



HISTORIC DISTRICT COMMISSION

NOTICE OF DENIAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Notification Date: 5/22/2025

Application Number: HDC2025-00126

APPLICANT & PROPERTY INFORMATION

NAME: Victor Smolyanov

COMPANY NAME: Smolyanov Home Improvement

ADDRESS: 5002 Dewitt Rd

CITY: Canton

STATE: MI

ZIP: 48188

PROJECT ADDRESS: 305 Eliot Street

HISTORIC DISTRICT: Brush Park

SCOPE:

Replace slate at dormers with asphalt shingles

At the Regular Meeting that was held on 05/14/25, the Detroit Historic District Commission ("DHDC") reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 5/20/2025, as it will be inappropriate according to the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

REASON FOR DENIAL:

- The slate shingles were a distinctive character defining feature, because they provided textural contrast and articulation of our textural detailing, which is characteristic of the design of the home and the district more broadly. Therefore, the slate should have been retained and repaired in kind where necessary.
- The current asphalt shingles which have been installed at the dormers are flat and uniform in appearance, and therefore do not provide the adequate replication of slate

FAILURE TO MEET STANDARDS:

The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

Failure to meet standards: 2,5,6,and 9

Corresponding Standard numbered below:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FAILURE TO MEET ELEMENTS OF DESIGN:

Failure to meet Elements of Design: 7,8, and 10

Corresponding design element numbered below:

1. Height.	12. Walls of continuity.
2. Proportion of building's front façades.	13. Relationship of significant landscape features and surface treatments.
3. Proportion of openings within the façade.	14. Relationship of open space to structures.
4. Rhythm of solids to voids in front façade.	15. Scale of façade and façade elements.
5. Rhythm of spacing of buildings on streets.	16. Directional expression of front elevations.
6. Rhythm of entrance and/or porch projections.	17. Rhythm of building setbacks.
7. Relationship of materials.	18. Relationship of lot coverages.
8. Relationship of textures.	19. Degree of complexity within the façade.
9. Relationship of colors.	20. Orientation, vistas, overviews.
10. Relationship of architectural details.	21. Symmetric or asymmetric appearance.
11. Relationship of roof shapes.	22. General environmental character.

If you have any questions regarding the above, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250522jr

APPEALS PROCESS

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909
Phone: 517-335-0665 E-mail: stuckeyj@michigan.gov



HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00126

PROPERTY INFORMATION**ADDRESS(ES):** 305 Eliot Street**HISTORIC DISTRICT:** Brush Park**SCOPE OF WORK: (Check ALL that apply)**

- | | | | | | |
|--|--|--|--|---|--------------------------------|
| <input type="checkbox"/> Windows/
Doors | <input checked="" type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input checked="" type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

The slate on dormers removed and shingled to match the rest of new roof installed. This was all apart of our original plans submitted to get the new roof approved application #: DHDC 2024-00701. We were under the impression everything was g2g but staff kicked back saying the slated dormers could not be approved and I needed to re-apply for those areas and get historical approval separately from the roof.

APPLICANT IDENTIFICATION**TYPE OF APPLICANT:** Contractor**NAME:** Victor Smolyanov**COMPANY NAME:** Smolyanov Home Improvement**ADDRESS:** 5002 Dewitt Rd**CITY:** Canton**STATE:** MI**ZIP:** 48188**PHONE:** +1 (734) 800-0937**EMAIL:** permitsdept@victors.com**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

Signed by:

Victor Smolyanov

C566182D1021423...

SIGNATURE

03/24/2025

DATE

5002 Dewitt Rd

Canton

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

48188

MI



NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	RES2024-05544
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GENERAL

<p>1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>Existing dormers had slated tiles shingles on them, slated tiles were in poor condition cracking, not sealed properly, allowing for active leaks, and rotting wood around the dormers.</p>	
<p>2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p>3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>Replaced existing dormer slated tiles with the same proposed shingle the rest of the roof was replaced with atlas pinnacle pristine weathered wood.</p>	
<p>4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>Removed all slated tiles on dormers and replaced with asphalt shingle atlas pinnacle pristine weathered wood to match with the rest of the roof that was approved under DHDC 2024-00701.</p>	
<p>5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

ADDITIONAL DETAILS













DHDC 2024-00701

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

December 16, 2024

CERTIFICATE OF APPROPRIATENESS (ADMINISTRATIVE APPROVAL)

Victor Smolyanov
Smolynov Home Improvement
5002 Dewitt Rd.
Canton, MI 48188

RE: Application Number HDC2024-00701; 305 Eliot; Brush Park Historic District

Dear Applicant,

Pursuant to Section 5(10) of the Michigan Local Historic Districts Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission (“DHDC”) delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on December 12, 2024, as it meets the Secretary of the Interior’s Standards for Rehabilitation and the district’s Elements of Design:

Installation of Atlas Pinnacle Pristine, Weathered Wood, asphalt shingles on the house, and replacement of two existing flat skylights per the submitted documents, product data and photographs.

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Daniel Rieden
Senior Clerk to the Historic District Commission

PSR:241216AD







Job #215433811

Project Details, Payment, and Acknowledgments

Customer Information

Name
Charles & Margaret Squires

Address
305 Eliot Street, Detroit, MI 48201 USA

Phone Number
(313) 399-3963

Email
squiresconsulting305@gmail.com

Date
2024-12-07

Roof Inspector:
Vaun Rose

Payment Terms

Total Contract Amount
67000

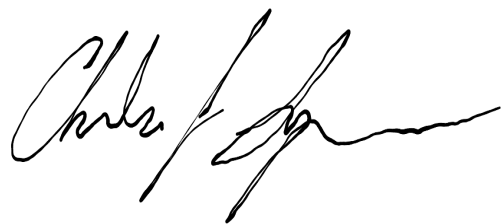
Deposit Form of Payment
Financed

Deposit Amount
0

Balance Form of Payment
Financed

Rates and terms subject to credit approval

Payment Terms
Signature



Project Details

Project Type

☒ Roof Replacement

Roof Replacement Package

Roof Replacement Package

Better Than Basic

Areas INCLUDED in the scope of work

Main home

Areas EXCLUDED in the scope of work

Flat roof on top

Flashing Color

Brown

Satellite Dish or Antenna

N/A

Roof Replacement Project Acknowledgements

Project Expectations

Project Expectations

1. Materials to be delivered 1-5 days prior to project start.
2. Debris trailer to be delivered 2-3 days prior to project start and to be picked up 2-3 days after project completion.
3. Roof removal can cause considerable dust in attic area, please cover or remove attic items as necessary. Victors Home Solutions is not responsible for damage or attic clean up.
4. Roof installation can cause vibration to walls and ceilings. Please remove any valuable items from walls to prevent damage.
5. Victors Home Solutions is not responsible for leaks resulting from skylights that do not get replaced.
6. Skylight replacements require additional inside trim work. This is the responsibility of the homeowner.
7. If any antennas or satellites are reinstalled, homeowners need to be prepared to contact their satellite provider post installation to reconnect their signal.
8. Victors Home Solutions is not liable for any gutter guard system installed by another company and not taken down prior to installation of new roof.
9. Final ventilation layout may change based on production and install team findings.



Additional Wood Cost

1. Three (3) sheets of 7/16" OSB and thirty (30) lineal ft of 1x6 roof boards can be replaced free of charge if needed unless specified on the estimate page.
2. Additional sheathing to be billed at \$85 per OSB sheet and \$5 per ft of roof board unless specified on first page.
3. Any damaged fascia wood will be replaced if needed at additional \$25 per foot with raw 1x6 boards.



Additional Acknowledgment Notes

N/A

Additional Acknowledgements
Signature



Roof Install Diagram



- ||||| Baffles
- Solar Fan
- Deck air
- Kitchen vent
- Bathroom vent
- Ice and water
- Skylights
- Box vents
- Ridge vent
- Vented edge
- Flat roof
- ↓ Downspouts

Roof Install Notes

We are doing a full roof replacement minus the flat roof up top. They are getting deck air for intake with deck air under the flat roof to ventilate the rest of the roof will get box vents. We are also replacing the skylights. The slate is being removed and shingled.

Roof Install
Signature



Job #216274021

Change Order (Change Order)

Change Order Skylights

Change being requested to the original contract:

All 4 skylights will have cranks and screens, 2 skylights will have Solar Powered Dark Sand shades, and there will be 2 replacement hooks for extension rods

Original Total

\$67,000.04

New Total

\$67,000.04

Does this change the install diagram?

No

Only the above changes will be reflected to the original Estimate, Payment, Instructions, and Acknowledgments

**Customer
Signature**



Date

2024-12-19





















ATLAS ROOFING LIMITED SHINGLE WARRANTY

LIMITED SHINGLE WARRANTY

ATLAS ROOFING CORPORATION ("ATLAS") warrants to you, the original owner of its shingle products, that this product is free from any manufacturing defects that materially affect the performance of your shingle during the Premium Protection Period or that cause leaks for the balance of the applicable warranty period. This warranty is effective on all product types stated herein and installed in the United States and Canada on or after **4/1/2016**.

LIMITED WARRANTY PERIOD ▶

Your ATLAS shingles qualify for a limited warranty (as listed in the chart below) when properly installed in accordance with the product's application instructions (as provided on the product packaging).

PREMIUM PROTECTION PERIOD ▶

Premium Protection Period refers to the initial full labor & material coverage during the critical first years of your roof's life (see chart for product specific premium protection periods). The limited warranty is the sole and exclusive remedy, and during the warranty period specified in the chart below, the maximum repair or replacement cost to ATLAS shall not exceed during the Premium Protection years, the replacement cost to the owner for the product plus replacement labor cost for the defective shingles. (This limited warranty does not include costs for tear-off and dump fees after the fifth year from the original installation date. This limited warranty does not include costs for roof deck repairs, flashing, metal work, or related work.)

PRORATED LIMITED WARRANTY PERIOD ▶

During the remaining warranty period (after the Premium Protection Period), ATLAS will adjust valid claims (product materially affected by a manufacturing defect), by an amount determined by decreasing monthly the replacement cost of the product in proportion to the unexpired warranty period. To reflect the percent of use you have received from your shingles, the warranty calculation will be made by dividing the number of months that have elapsed since installation by the number of months in the warranty period. If applicable, the StormMaster® Slate, StormMaster® Shake, Pinnacle® Pristine, and ProLAM™ Lifetime Limited Warranty proration after the 45th year or 540th month of installation will have a 10% proration factor for the lifetime of the original owner (see LIMITATIONS AND RESTRICTIONS FOR THE LIFETIME LIMITED WARRANTY). In no event shall ATLAS' liability extend to any cost for the tear-off of the product or for the replacement installation cost of the new product during the prorated period.

LIMITATIONS AND RESTRICTIONS FOR THE LIFETIME LIMITED WARRANTY ▶

ATLAS will provide the homeowner who initially purchases StormMaster® Slate, StormMaster® Shake, Pinnacle® Pristine Shingles, or ProLAM™ with a warranty that last the lifetime (lifetime meaning the lifetime of the original property owner, not the roof, or the second owner, if coverage was properly transferred during the first five years) of the homeowner's possession, provided that proper product installation in accordance with the instructions (as provided on the product packaging) is followed.

The lifetime coverage offered by this warranty automatically ceases/ends upon the sale of the property or the death of the last of the homeowners who owned the home at the time of the application, unless it is transferred as described below under Transferability.

The lifetime limited warranty option is only available for individual single-family site-built detached residences. A 50 year limited warranty would apply to all property owned by government agencies, corporations, limited liability companies, partnerships, trust, religious organizations, schools, or school districts, condominiums, or cooperative housing arrangements, or installed on apartment buildings or any type of building or premises not used by individual homeowners for a single-family site-built detached residence.

LIMITATIONS OF REMEDIES AND LIABILITY ▶

This limited warranty is the sole and exclusive remedy provided by ATLAS for shingles containing manufacturing defects. For those shingles containing manufacturing defects, your maximum remedy is outlined herein under the sections entitled **Premium Protection Period** and **Prorated Limited Warranty Period**. The decision on which of the stated remedies is provided to an original owner or authorized transferee in each individual case shall be at the sole discretion of ATLAS. If proration

applies as stated above, ATLAS will calculate the appropriate percentage as stated herein under (**Prorated Limited Warranty Period**.) If providing replacement shingles, ATLAS, wherever possible, shall replace shingles with shingles of the same color and design; however, since color variances exist between shingles manufactured at different times and since ATLAS may discontinue or modify its shingles, ATLAS reserves the right to replace defective shingles with shingles of similar color and design.

IN NO INSTANCE IS ATLAS RESPONSIBLE FOR SPECIAL, INDIRECT OR CONSEQUENTIAL DAMAGES. THE DURATION OF ANY IMPLIED WARRANTY IS HEREIN LIMITED IN DURATION TO THAT OF THE EXPRESS WARRANTY STATED HEREIN.

Some states do not allow the exclusion or limitation of incidental or consequential damages, so the limitations or exclusions may not apply to you.

SOLE WARRANTY ▶

THE LIMITED WARRANTIES SET FORTH HEREIN ARE EXCLUSIVE AND LIMITS AS TO DURATION ALL OTHER WARRANTIES WHETHER EXPRESSED OR IMPLIED BY LAW INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE TO THE TIME PERIODS STATED ABOVE. ATLAS MAKES NO REPRESENTATION OR WARRANTY OF ANY KIND, OTHER THAN THE LIMITED WARRANTY SET FORTH HEREIN. THIS LIMITED WARRANTY CONTAINS ALL OF THE PROVISIONS OF YOUR REMEDIES FROM ATLAS. ATLAS' LIABILITY IS LIMITED TO THE PROVISIONS OF THIS LIMITED WARRANTY, WHETHER ANY CLAIM AGAINST IT IS BASED UPON STRICT LIABILITY, NEGLIGENCE, BREACH OF WARRANTY OR ANY OTHER THEORY OR CAUSE OF ACTION. NO PERSON IS AUTHORIZED TO ALTER THIS LIMITED WARRANTY EITHER ORALLY OR IN WRITING. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATIONS MAY NOT APPLY TO YOU.

WIND LIMITED WARRANTY ▶

(Covers shingles only) ATLAS warrants that its shingles will resist damage by wind gusts up to a maximum wind speed as indicated in the Warranty Details chart provided that the shingles have been installed in accordance with the printed application instructions on the shingle bundle wrapper, and have had the opportunity to seal down. If during the Wind Limited Warranty period, indicated in the Warranty Details Chart, damage occurs to the shingles as a result of wind gusts under the specified Wind Speed Limits, ATLAS will furnish at no charge, replacement shingles for the damaged shingles only, but not for replacement labor. The coverage against wind gusts as described above is 15 years for lifetime shingles and 5 years for all other shingles from the date of installation.

High Wind Speed Provision: Atlas offers the property owner a 130 mph high wind speed provision for StormMaster Slate, StormMaster Shake, and Pinnacle Pristine shingles that have the "Built with HP Technology" designation on the product packaging (produced in Ardmore, Daingerfield, Franklin, Hampton, and Meridian) when following the Atlas standard 4-nail application or 6 nails for steep slope or Mansard application as seen on the product packaging.

All Atlas Shingle Products Tested To:

ASTM D 7158, Class H Wind Resistance, Passed to 150 mph
ASTM D 6381, Uplift Resistance
ASTM D 3161, Class F Wind Resistance, Tested at 110 mph

SEALANT FEATURE ▶

In order to activate the sealant feature, the shingles must be exposed to direct sunlight for a continued period of time for the shingles to seal. Shingles installed in fall or winter and not exposed to adequate surface temperatures, or other conditions, which temporarily or permanently preclude activation of the sealant, may never seal and must be hand sealed at the time of installation. It is not a manufacturing defect if shingles fail to seal under the above circumstances, and Atlas will not be responsible for repair, replacement, or hand sealing shingles under these circumstances. However, in the event the shingles fail to self-seal after proper installation and climactic exposure, and Atlas is notified within the first year after installation, ATLAS' sole responsibility shall be to pay a reasonable cost to hand seal the affected shingles.

Product	Limited Warranty Period	Atlas Premium Protection Non-Prorated Period	Prorated Reduction Figure	Wind Speed Limits	Wind Warranty Length	Algae Resistance	
StormMaster® Slate Featuring Scotchgard™ Protector	Lifetime	10 Years	1/600*	130 mph w/ 4 nails	15 Years	Scotchgard™ Protector	Lifetime ¹
StormMaster® Shake Featuring Scotchgard™ Protector	Lifetime	10 Years	1/600*	130 mph w/ 4 nails	15 Years	Scotchgard™ Protector	Lifetime ¹
Pinnacle® Pristine Featuring Scotchgard™ Protector	Lifetime	10 Years	1/600*	130 mph w/ 4 nails	15 Years	Scotchgard™ Protector	Lifetime ¹
ProLAM™	Lifetime	10 Years	1/600*	130 mph w/ 6 nails 110 mph w/ 4 nails	15 Years	ARS	10 Years
GlassMaster®	30 years (360 months)	5 Years	1/360	60 mph w/ 4 nails	5 Years	ARS	10 Years
Tough-Glass®	20 years (240 months)	5 Years	1/240	60 mph w/ 4 nails	5 Years	NON-ARS	N/A

* The StormMaster® Slate, StormMaster® Shake, and Pinnacle® Pristine Lifetime Limited Warranty proration after the 45th year or 540th month of installation will have a 10% proration factor for the lifetime of the original owner.

¹ In order to qualify for the Atlas Lifetime Algae Resistance Limited Warranty against black streaks caused by blue-green algae, installation must include Atlas Pro-Cut® Hip & Ridge shingles featuring Scotchgard™ Protector or Atlas Pro-Cut® High Profile Hip & Ridge shingles featuring Scotchgard™ Protector with Atlas shingles featuring Scotchgard™ Protector.

ALGAE RESISTANCE LIMITED WARRANTY ►

(If applicable) ATLAS warrants that its algae resistance shingles (**those with the “ARS” designation**) will remain free of obvious and unsightly black streaks due to blue-green algae growth for a period of ten (10) years from the date of installation. In the event the algae resistant shingles fail to meet this coverage, ATLAS’ sole and only liability shall be to pay the reasonable cost of cleaning, repairing, or replacing the affected shingles, up to the following limits: (a) during the first one (1) year, the maximum cost to ATLAS shall be, at its option, the cost to clean, repair, or replace the shingles in the affected roof area. Replacement includes the costs of labor, tear-off, and replacement of the affected shingles (does not include costs for deck repairs, flashing, metal work, or related work); (b) during the remainder of the algae warranty period (years 2-10), the maximum cost to ATLAS shall be, at its option, the cost to clean or replace only those shingles exhibiting algae discoloration, in proportion to the unexpired warranty period, excluding all installation costs.

(If applicable) ATLAS warrants that its shingles featuring Scotchgard Protector (**those with the “featuring Scotchgard™ Protector” designation**) will remain free of obvious and unsightly black streaks due to blue-green algae growth with a warranty that last the lifetime (lifetime meaning the lifetime of the original property owner, not the roof, or the second owner, if coverage was properly transferred, as outlined herein under “Transferability”) of the homeowner’s possession, provided that proper product installation in accordance with the instructions (as provided on the product packaging) is followed. Additionally, Atlas Pro-Cut Hip & Ridge featuring Scotchgard Protector or Atlas Pro-Cut High Profile Hip & Ridge featuring Scotchgard Protector must be installed on the roof ridge and hips for this warranty to be valid. In the event the Atlas shingles featuring Scotchgard Protector fail to meet this coverage, ATLAS’ sole and only liability shall be to pay the reasonable cost of cleaning, repairing, or replacing the affected shingles, up to the following limits: (a) during the Premium Protection Period (Premium Protection Period for each shingle is outlined herein in the “Warranty Details” chart), the maximum cost to ATLAS shall be, at its option, the cost to clean, repair, or replace the shingles in the affected roof area. Replacement includes the costs of labor, tear-off, and replacement of the affected shingles (does not include costs for deck repairs, flashing, metal work, or related work); (b) during the remaining warranty period (after the Premium Protection Period), the maximum cost to ATLAS shall be the cost to clean only those shingles exhibiting black streaks due to blue-green algae. The lifetime limited warranty against black streaks due to blue-green algae is only available for individual single-family site-built detached residences. For all properties not classified as a single-family site-built detached residence, Atlas’ terms (stated above) for Algae coverage is for a period of 20 years only. These shingles contain a preservative to inhibit black streaks caused by blue-green algae - which only applies to the shingles.

LIMITATIONS OF COVERAGE (WHAT IS NOT COVERED) ►

ATLAS shall not be liable for and the Limited Warranties set forth herein do not apply to:

- Faulty or improper application of said product or products not installed or applied in accordance with the printed instructions on the product bundle wrappers.
- Damage to the products caused by inadequate attic/roof sheathing ventilation (Note: Ventilation must meet the FHA and HUD Minimum Property Standards or a minimum of one (1) square foot of net free attic vent area for every 150 feet of attic floor area; or one square foot per every 300 square feet, if vapor barrier is installed on the warm side of the ceiling, or at least one half the ventilation area is provided near the ridge.
- The use of any self-described metallized or metal containing category of “Radiant Barrier,” as an asphalt shingle underlayment installed above the deck. Spray-on types of below-deck vapor permeable radiant barriers will be considered only on a job-by-job basis, and only if tested confirmed greater than 2 perms and adequate ventilation can be achieved.
- Replacement of products for the first six (6) months after application due to:
 - Loss of Granules: Products when first applied will have some excess granule wash off.

- Discoloration: i) Some color shading may occur due to positioning or embedment of the granule; ii) Yellow staining and/or powder-like shading may occur due to transfer of backing materials. The conditions listed in section (c) are normal and should be eliminated by natural weathering conditions over a six (6) month period after application.
- Damage to a roof due to settlement, distortion, failure or cracking of the roof deck, walls or foundation of a building or to any defect in or failure of material used as a roof base over which products are applied or for damage by foot traffic on the roof.
- Damage from any cause other than inherent manufacturing defect.
- Acts of God including lightning, wind gusts in excess of the specified Wind Speed Limits listed herein, hurricane, tornado, hailstorm, impact of foreign objects or other violent storms.
- We are not liable to you if you make a warranty claim in the future, or make structural changes and any replacement shingles vary in color either due to normal weathering or changes in our product line or color blend.
- Claims by owners or transferees not qualifying as Original Owners or Authorized Transferees under this Limited Warranty.

TRANSFERABILITY ►

You, the original purchaser of the product, can make full transfer of this warranty only one time, during the first five years of the warranty term from the date of original installation. This warranty cannot be transferred after the first five years. For this warranty to be transferred, the homeowner must complete a Warranty Transfer Application by visiting AtlasRoofing.com/Warranty, along with mailing in a transfer fee of one hundred (\$100.00) dollars within sixty (60) days after the date of the real estate transfer to obtain the benefits of this warranty. Proof of purchase of the Atlas shingles and the installation date must be submitted with the online Warranty Transfer Application. Transfer of this warranty shall not renew or extend the warranty terms, nor alter the warranty provisions, nor shall any duplication of any previous claim be accepted. AFTER YOU HAVE TRANSFERRED THIS WARRANTY TO THE PURCHASER OF YOUR HOME, IT MAY NOT BE TRANSFERRED AGAIN. THAT IS, THE PURCHASER OF YOUR HOME MAY NOT TRANSFER THIS WARRANTY TO ANY SUBSEQUENT PURCHASERS. Warranty Transfer Applications may be completed online by going to: AtlasRoofing.com/Warranty.

WARRANTY REGISTRATION ►

Warranty registration can be completed online by going to: AtlasRoofing.com/Warranty. Warranty registration is not required to qualify for Atlas shingle warranty coverage.

CLAIM REPORTING PROCEDURE ►

Any claim made hereunder must be made within thirty (30) days after discovery of the alleged defect by calling 1-800-478-0258 or in writing to:

Atlas Roofing Corporation
Attn: Consumer Services
802 Hwy 19 N., Suite 170
Meridian, MS 39307

To fully evaluate your claim we may ask you to provide and forward, at your expense, pictures of your shingles and/or two (2) full shingle samples for us to test. Repairs made prior to or during the investigation period without Atlas Roofing Corporation’s prior written approval shall be at the owner’s expense. **With all claims, the original proof of purchase must be submitted with any other claim information requested.**

WARRANTY NOT VALID IF SUBMITTED INFORMATION IS ERRONEOUS OR FRAUDULENT.

Any claim for shingles that have been replaced prior to Atlas receiving written notification of the claim, samples and inspection will be denied.

FAST & EASY WARRANTY REGISTRATION

Atlas Limited Shingle Warranty registration can be completed through our easy-to-use online registration tool, or by printing out the registration form and sending it through the mail. To start the registration process visit:

AtlasRoofing.com/Warranty

Then choose your registration method:

Register By Mail

Register Online

Clicking on “register by mail” will provide you with a printable registration form that once filled out completely, should be mailed directly to Atlas:

Atlas Roofing Corporation
Attn: Consumer Services
802 Hwy 19 N., Suite 170
Meridian, MS 39307

If you chose to register online, you’ll be asked to enter your email address. For your convenience, you will receive a confirmation email with a link and a password which will allow you to continue a paused or incomplete registration. In addition, you will receive status updates from Atlas regarding the progress of your completed registration.

- Identify products used in your new roof from Atlas.
- Enter required information about the installation of your new roof.
- Enter contact information for both the owner and contractor (or installer) of the roof.
- Confirm your information and accept the Terms of Agreement on the warranty. Once submitted, you will be able to print and/or download your PROOF OF REGISTRATION. Please keep this information with your original receipt and proof of purchase.

Fast and easy online warranty registration—it’s just one more reason homeowners and roofing professionals prefer Atlas Roofing Corporation.



LIFETIME **PINNACLE[®] PRISTINE**

HIGH PERFORMANCE ARCHITECTURAL SHINGLE

Featuring



THE COLOR OF CLEAN[™]



**HIGH PERFORMANCE FEATURES
TO PROTECT YOUR NEW ROOF**

www.AtlasRoofing.com

CLEAN IS BUILT INTO EVERY ROOF PINNACLE® PRISTINE

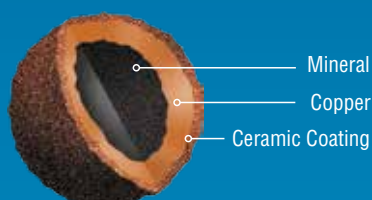
HIGH PERFORMANCE ARCHITECTURAL SHINGLE

Featuring



Pinnacle® Pristine Shingles are manufactured using the latest in algae resistance technology, so you will never need to worry about streaking again – ever. Pinnacle® Pristine featuring Scotchgard™ Protector Shingles are the best assurance of built-in, long-term algae and stain resistance. The shingle color you choose is the color you'll keep.

The Science of Algae Prevention



Copper stops algae. Copper-fortified granules are uniformly distributed across the surface of Pinnacle® Pristine featuring Scotchgard™ Protector Shingles. Independent third-party laboratory tests ensure optimal and consistent copper content, resulting in an algae resistant shingle qualified to earn the Scotchgard™ name. These shingles contain a preservative to inhibit discoloration by algae – which only applies to the shingle.



Typical Algae Stained Roof

When black algae streaks take over, not only does it look terrible and make your house appear old and dirty, but also reduces the curb appeal and value of your home.

Look around at the roofs in your neighborhood. See anything like this? Since algae spores are carried by the wind, even if you don't have this problem now, you soon could.

Algae Streaking is a problem almost everywhere in the U.S. – Except on an Atlas Roof featuring Scotchgard™ Protector.

Lifetime* Algae Resistance Limited Warranty

In order to qualify for the Lifetime Algae Resistance Limited Warranty, installation must include Pro-Cut® Hip & Ridge featuring Scotchgard™ Protector with Atlas Pristine shingles featuring Scotchgard™ Protector.



WHAT MAKES PINNACLE® PRISTINE SUCH A GREAT CHOICE?

Lifetime* Algae Resistance Limited Warranty

Simply put, once you choose Pinnacle® Pristine featuring Scotchgard™ Protector, you will never need to worry about algae growth ever again.



Lifetime** Limited Warranty

Lasting protection against shingle manufacturing defects.



130 mph Limited Wind Warranty With HP Technology

Provides superior resistance against wind and wind-driven rain for every application.



Up To 15-Year Peace of Mind**

Premium Protection Period is the initial non-prorated labor and material coverage for your new roof. With an Atlas Signature Select® System, you get unprecedented coverage for your new roof.



Built With HP Technology

High Performance for unmatched quality and efficiency.



**DEMAND THE BEST – PINNACLE® PRISTINE
FEATURING SCOTCHGARD™ PROTECTOR.**



www.AtlasRoofing.com

FINAL COLOR SELECTIONS SHOULD BE MADE USING FULL SIZE SHINGLE.

Colors and shadow lines on the sample board and in the photos should only be used as a guideline and not for your final color selection. Please consult your Atlas distributor for specific color and product availability.

* In order to qualify for the Lifetime Algae Resistance Limited Warranty, installation must include Pro-Cut® Hip & Ridge featuring Scotchgard™ Protector with Atlas Pristine shingles featuring Scotchgard™ Protector.

** Refer to the Atlas Signature Select® Limited Warranty for all system and coverage requirements.

Pristine Black

Pristine Desert

Pristine Dove

Pristine Green

Pristine Hearthstone

Pristine Heather

Pristine Hickory

Pristine Oyster

Pristine Pewter

Pristine Sienna

Pristine Tan

Pristine Weathered

Pristine Weathered Shadow

Pristine Pearl

EVERY ROOF IS A SYSTEM. YOUR ROOF SHOULD BE AN ATLAS SYSTEM.

MAXIMIZE your protection by installing products that are specifically manufactured to work together in an Atlas Signature Select® Roofing System.



When you install a roofing system where all components are manufactured by Atlas, you not only get upgraded to an unprecedented 15-Year Premium Protection Limited Warranty,** but you also get peace of mind. That means one manufacturer standing behind a system that provides lasting protection for one of the biggest investments you can make in your home.

Atlas Signature Select® Premium Protection Period Benefits:

- Non-Prorated Labor and Material Coverage
- Full System Coverage - All Atlas Components
- Optional High Wind Coverage
- Fully Transferable

Ask your contractor for the best roofing system in the industry.

Ask for Atlas Signature Select®!

** Refer to the Atlas Signature Select® Limited Warranty for all system and coverage requirements.



Roofing Components:

- 1 Atlas Pinnacle® Pristine Featuring Scotchgard™ Protector Shingle
- 2 Atlas Pro-Cut® Hip & Ridge Featuring Scotchgard™ Protector
- 3 Atlas Shingle Underlayment
- 4 Atlas Pro-Cut® Starter Strip

PINNACLE® PRISTINE

HIGH PERFORMANCE ARCHITECTURAL SHINGLE

Specifications

Length: 39 3/8" / 1000.1 mm
Width: 14" / 355.6 mm
Exposure: 6" / 152.4 mm
Shingles Per Bundle: 20

UL

790, Class A Fire Resistance
2390, Class H Wind Resistance

ASTM

D7158, Class H Wind Resistance,
Passed at 150 mph
D6381, Uplift Resistance
D3018, Type 1
D3161, Class F, Tested at 110 mph
D3462, As Manufactured
E108, Class A Fire Resistance

Codes and Compliances

CAN/CSA-A123.5-M90
Florida Building Code Approved –
FL 9792
Miami-Dade County–
Product Control Approved



Take a picture of this code with your smartphone to find out more information about Pinnacle® Pristine.

FOR MORE INFORMATION PLEASE VISIT:

www.AtlasRoofing.com

Check out the



online at:

www.AtlasRoofing.com/Visualizer



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PINNACLE® PRISTINE GENERAL INSTRUCTIONS

IMPORTANT: THE STATEMENTS EXPRESSED ON THIS PAGE ARE THE RECOMMENDATIONS FOR THE APPLICATION OF THE ROOFING PRODUCTS AS OUTLINED AND ILLUSTRATED. ANY DEVIATION FROM THESE RECOMMENDED PROCEDURES SHALL BE AT THE SOLE RISK OF THE INSTALLERS. FAILURE TO FOLLOW THESE INSTRUCTIONS MAY RESULT IN SERIOUS DAMAGE TO THE APPLICATION AND LIFE OF THIS ROOFING PRODUCT, RESULTING IN THE TERMINATION OF ANY WARRANTY, EXPRESSED OR IMPLIED.

1.) GENERAL INSTRUCTIONS

The lifetime limited warranty option is only available for individual single-family site built detached residence. A 50 year limited warranty would apply to all property owned by government agencies, corporations, limited liability companies, partnerships, trusts, religious organizations, schools, or school districts, condominiums, or cooperative housing arrangements, or installed on apartment buildings or any type of building or premises not used by individual homeowners for a single-family site built detached residence.

These shingles are warranted against manufacturing defects and wind gusts up to 130 MPH WITH STANDARD 4 NAIL INSTALLATION ONLY FOR SHINGLES WITH THE "BUILT WITH HP42® TECHNOLOGY DESIGNATION".

The Pinnacle® Pristine Limited Warranty can be obtained by visiting www.AtlasRoofing.com/Warranty, or by writing to: Atlas Roofing Corporation, Attn: Consumer Services Department, 802 Hwy 19 N., Suite 170, Meridian, Mississippi, 39307. The following instructions must be followed to qualify for protection under the Pinnacle® Pristine Limited Warranty.

Important: See special instructions below for Low Slope Applications. See special instructions below for Steep Slope/Mansard/ 6-Nail application. To obtain stated area coverage and to achieve design performance and appearance, the directions on this package must be followed. Sealing of the adhesive strips on each shingle to the shingle beneath is created by heat from sunlight. Atlas Roofing Corporation also endorses the Asphalt Roofing Manufacturers Association's (ARMA) recommendations for application details not specified within this text.

2.) ROOF DECK VENTILATION

Adequate ventilation under the roof deck must be provided to prevent harmful condensation in winter and heat build-up in summer. These conditions can cause: A. Accelerated shingle weathering B. Deck rot and attic fungus C. Shingle distortion/ cracking due to deck movement D. Cosmetic blisters on the shingle surface. Atlas will not be responsible for damage to shingles as a result of inadequate ventilation. Ventilation provisions must meet or exceed current FHA Minimum Property Standards and conform to all building codes and regulations. To best ensure adequate ventilation and circulation of air, a combination of vents at the ridge and eaves should be used. All roof structures, especially mansard and cathedral-type ceilings, must have complete through ventilation from eave area to the ridge area. FHA Minimum Property Standards require 1 square foot of net free attic vent area for every 150 square feet of attic floor area; or 1 square foot per every 300 square feet if vapor barrier is installed on the warm side of the ceiling, or at least one half the ventilation area is provided near the ridge.

3.) ROOF DECK

These instructions are for the application of Atlas asphalt shingles to nominal 3/8" or 7/16" thick American Plywood Association (APA/TECO) rated, code approved plywood, OSB decks or minimum 3/4" actual thickness, wood decking. The plywood or non-veneer (OSB) decks must comply with the roof deck specifications of APA/TECO. Solid wood decking must be well seasoned, not over 6" (nominal) width, and fastened securely to each rafter. The deck surface must be clean, bare, gap free (less than 1/4") and flat. Pinnacle® Pristine shingles must not be applied to any surface other than roof deck types described here. Atlas also honors its Shingle Limited Warranty when Atlas shingles are installed on the Atlas CrossVent® Nailable Insulation panels. Atlas will not be responsible for the performance of its shingles if applied directly to non-vented, insulated decks composed of perlite board, plastic

foam, fiberboard, gypsum plank, lightweight concrete, cementitious wood fiber, or similar materials or to any decks with insulation installed directly to the underside of the decking, with the exception of CrossVent® Nailable Insulation. Spray foam insulation applied directly to the bottom of the decking will void the warranty. Atlas shingles may be installed over a roof system containing a radiant barrier material if: 1. the required full, flow through ventilation is maintained directly under the decking material in all cases, 2. the radiant barrier material is highly vapor permeable (> 2 perms), and, 3. the radiant barrier is installed on the underside of or below the decking—not used as an underlayment above the decking. Spray-on types of below deck vapor permeable radiant barriers will be considered only on a job by job basis, and only if tests confirm > 2 perms or greater vapor permeability.

4.) UNDERLAYMENT

Atlas highly recommends the use of high performance, ASTM 6757 compliant - Gorilla Guard® or Summit® proprietary underlayment products for long term roof system performance and WeatherMaster® products self-adhering, waterproofing underlayment for critical areas, such as valleys and eaves. Atlas does not approve the use of any self-described, metalized or metal containing category of "Radiant Barrier", as an asphalt shingle underlayment installed above the deck. Use of these types of radiant barrier would void the shingle warranty. Underlayment must be applied flat and unwrinkled. Building codes vary with geographic areas, and the installation must comply with local building codes or shingle manufacturer's requirements, whichever is stricter. Shingles should be applied as soon as possible after the application of organic underlayment felt, which is not intended for prolonged exposure. Atlas recommends that the shingles be applied the same day as the felt underlayment application to avoid wetting and wrinkling. If an underlayment is used for prolonged dry-in, Atlas recommends Summit® Synthetic Underlayment as the dry-in underlayment, for up to 6 months exposure.

Standard Slope Application: Proper application requires that a single layer of approved underlayment be applied to decks with slopes 4:12 ($> 18.4^\circ$) up to 21:12 ($<60^\circ$) and consistent with all applicable building codes. This approved underlayment is a required roof assembly component to maintain a Class A fire rating of the deck assembly. Install underlayment over the entire deck, parallel to the eaves, overhanging $1/4"$ to $3/8"$, with fasteners placed $2"$ from the deck edge, $12"$ O.C. across the lower edge and with $2"$ overlap parallel to eaves and with $4"$ min. end lap, parallel to the rake. Underlayment end laps shall be staggered 6 feet apart from the adjacent courses. Corrosion-resistant drip edge should be placed over the underlayment at the rake and beneath the underlayment at the eaves. Underlayment shall lap over the hip & ridge a minimum of $6"$.

Low Slope Application: 2:12 ($>9.5^\circ$) up to 4:12 ($<18.4^\circ$) (51mm/305mm) on slopes of $2"$ to $4"$ rise per foot, a double layer of approved underlayment over the entire deck surface is required. Atlas WeatherMaster® Ice & Water products are highly recommended as the underlayment for low slope roofs to cover the entire deck prior to installing shingles. In low slope applications, slopes between 2:12 and 4:12, it is acceptable to install a single layer of WeatherMaster® products either on partial or for entire deck coverage. As an alternative option, a double layer of approved underlayment can be installed over the entire deck surface is required. Starting with a $19"$ wide strip at eaves and overhanging the eaves $1/4"$ to $3/8"$, cover the first $19"$ course with a full $36"$ wide strip. Expose the first course $17"$ and continue up the deck with $36"$ wide strips, lapping each course $19"$ over the preceding course - providing a $17"$ exposure. End laps for low slopes shall be of at least $12"$ overlap and staggered 6 feet apart. Install drip edge over the underlayment at the rake and beneath the underlayment at the eaves. Underlayment shall lap over the hip & ridge a minimum of $6"$.

5.) FLASHING

All flashing should be in place before shingles are installed. Cap flashings of sheet metal and base flashings of metal or mineral surfaces such as chimneys, skylights, vents, walls, etc. All flashings should be sealed with asphalt plastic cement. Consult the Residential Asphalt Roofing Manual published by the Asphalt Roofing Manufacturers Association (ARMA) for details concerning specific methods and types of flashing installation.

6.) ICE DAM PROTECTION

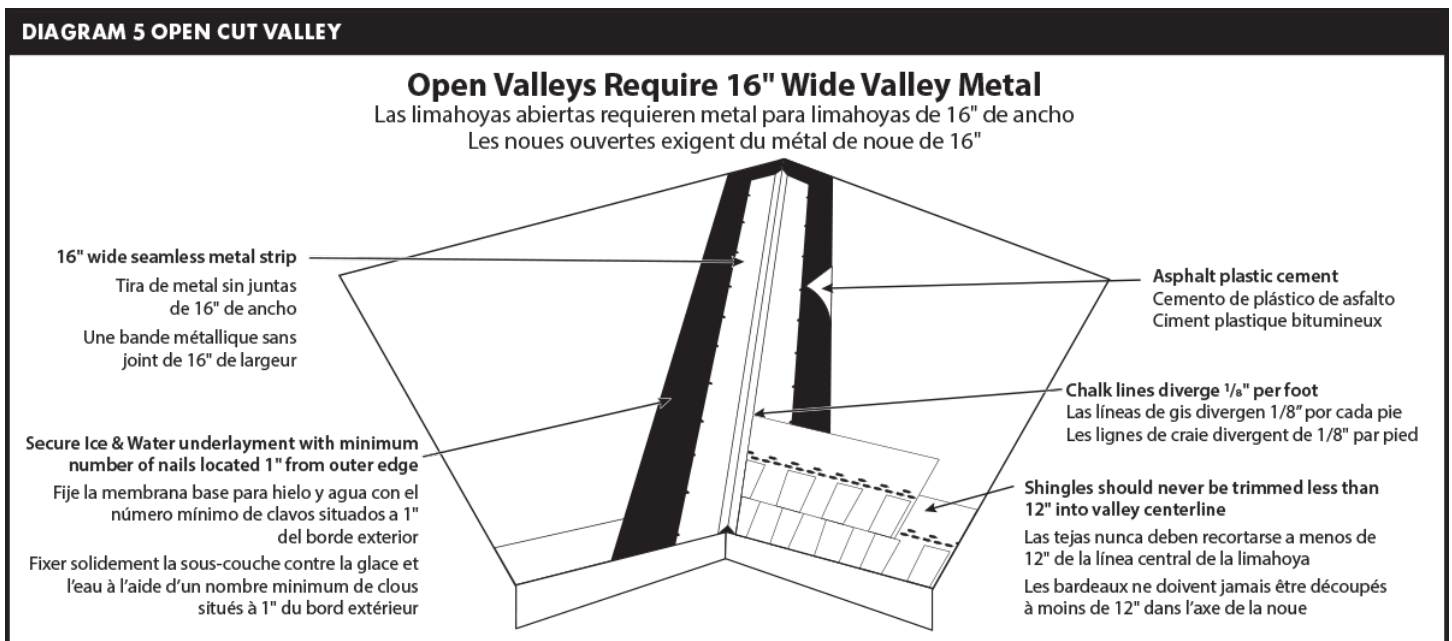
Eave and rake edge waterproof flashings must be installed per local building codes and where there is a possibility of icing along the eaves and rake edges causing a potential for ice damming and a backup of water. Atlas's WeatherMaster® products, or equivalent must be applied directly over the decking according to application instructions provided with the product, and local building codes. The waterproof flashing material must extend up the roof at least 24" beyond the interior warm wall line, and in areas of severe icing, at least up to the highest water level expected to occur from ice dams. If the overhang requires flashing wider than 36", the horizontal lap must be located on the overhang area and cemented or sealed. End laps must be 12" (minimum) and cemented/sealed. WeatherMaster® products, as supplied by Atlas, are recommended as the first layer of Ice Dam Protection. WeatherMaster® products conform to ASTM D1970.

7.) VALLEYS

Valleys must be installed before Pinnacle® Pristine shingles are applied.

Open Valley: Apply a 36" ice & water product centered in the valley. Install 16" wide minimum copper flashing (or equivalent) also centered in valley. Secure the copper flashing every 24" along both edges either with copper cleats or large head copper nails with the shanks immediately adjacent to the copper edge. Overlaps in the copper must be a minimum of 12".

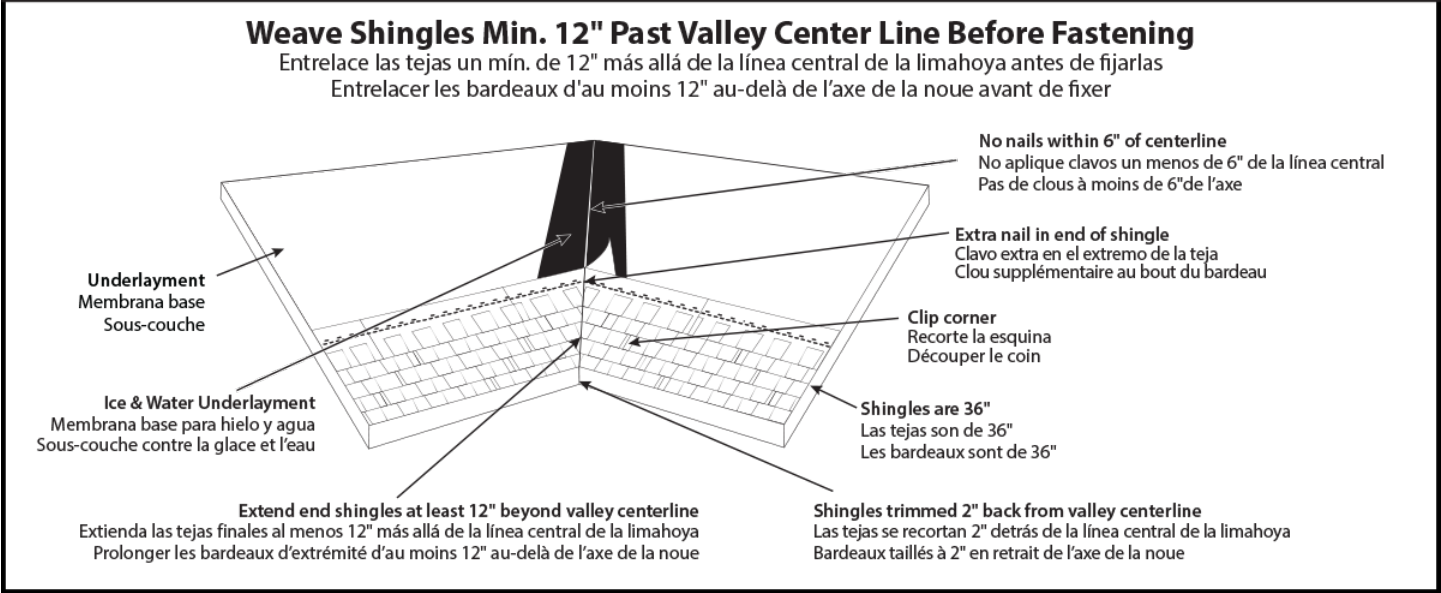
Strike chalk lines on each side of the copper valley 3" from the center line. As shingles are applied, trim them to chalk lines and, to direct water into valley, cut 2" diagonally off upper corner of shingles adjacent to chalk line. Set valley edge of each shingle in a 3" wide band of asphalt plastic cement meeting ASTM D-4586 and nail no closer than 6" from valley center line. See Diagram #5.



Closed Cut Valley: Apply a 36" wide ice & water product centered in the valley, nailing 2" from outer edges only. Apply all shingles on one side of valley and across center of valley, a minimum of 12". Nail a minimum of 6" away from the center line of the valley on the unshingled side and strike a chalk line 2" from the center line on the unshingled side. Apply shingles on the unshingled side up to the chalk line and trim. Do not cut the underlying shingle.

Cut upper corners of the shingle, cement and nail. See Diagram #4.

DIAGRAM 4 CLOSED CUT VALLEY



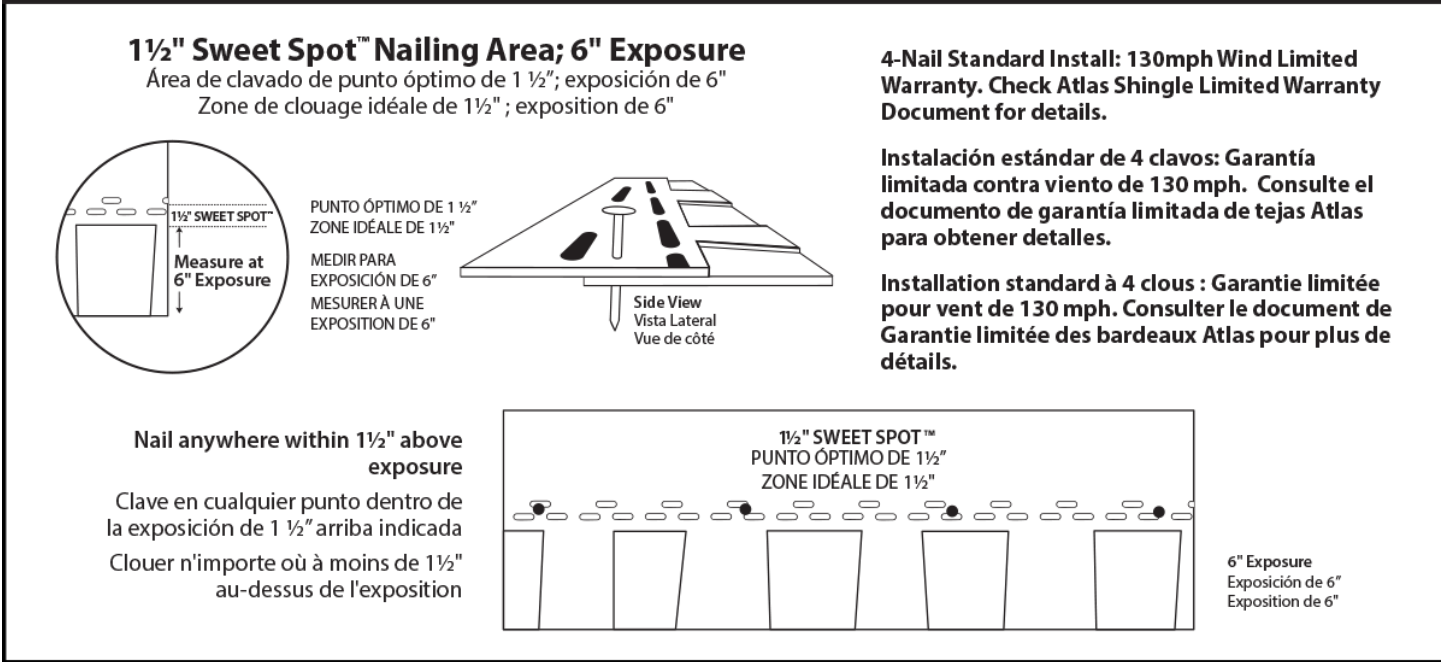
8.) FASTENING

Placement of nails is critical to overall performance. High nail placement can result in separation of components and will cause delamination of the shingles after application. All nails must be driven straight with the heads flush to the shingle surface, never cutting into the shingle. Nails must not be exposed (visible) on the finished roof. Delamination after installation does not justify a warranty claim.

FASTENERS: Nails must be 11 OR 12 gauge corrosion-resistant roofing nails with 3/8" minimum head. Nails must be long enough to penetrate the roof deck 3/4" or if the deck is less than 3/4" thick, the nails should be long enough to penetrate fully and extend at least 1/8" through the roof deck. Nails may be placed in the sealant line.

NEW ROOFING APPLICATION (first shingle layer): 4 nails are required per shingle. The nails are to be located 7" up from the bottom edge of the shingle, with one nail placed approximately 1" from each side of the shingle, and the remaining two equally spaced between the two outer nails as illustrated in the diagram. **NAILS MUST BE MINIMUM OF 1-1/4" LONG.** See Diagram #2.

DIAGRAM 2 NAIL APPLICATION & EXPOSURE

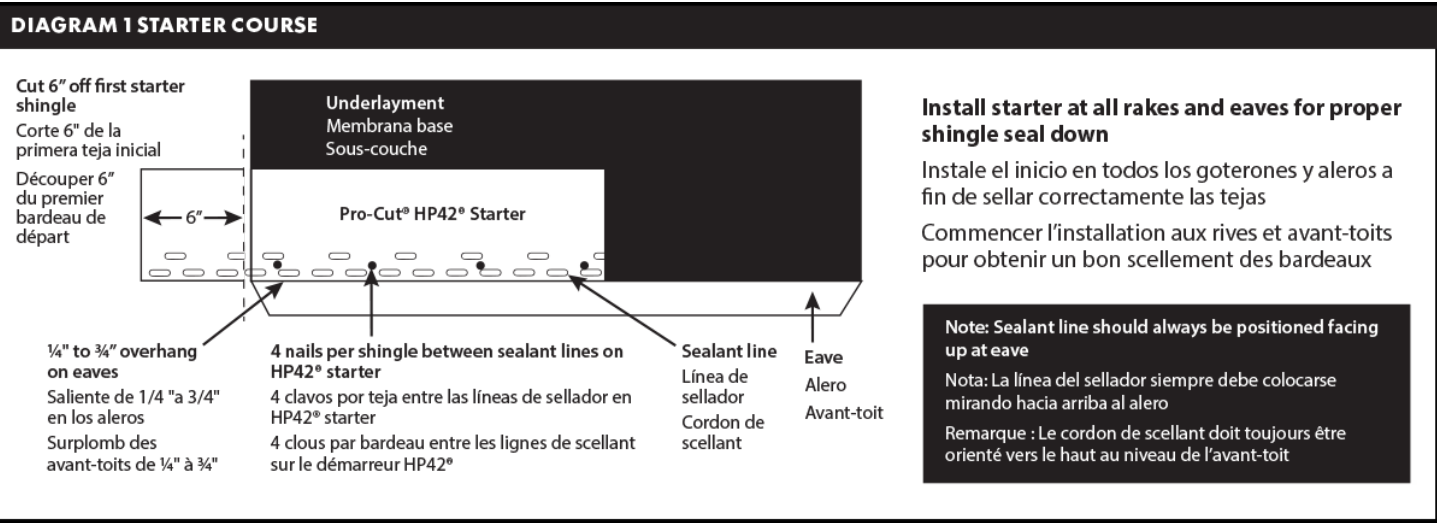


RE-ROOFING APPLICATION (second shingle layer): Requires the same nail placement as New Roofing. NAIL PLACEMENT IS IMPORTANT FOR WIND RESISTANCE. INCORRECTLY PLACED NAILS WILL VOID WIND COVERAGE OF WARRANTY. (See Section #12)

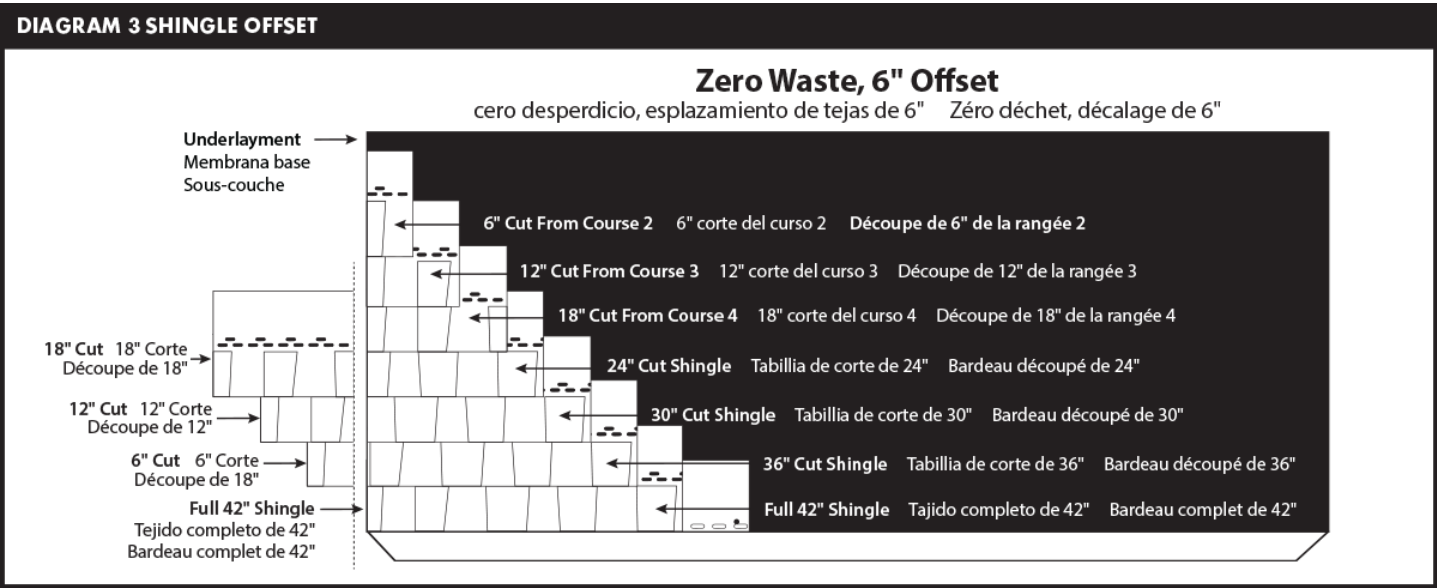
9.) APPLICATION

Prepare deck with an approved roof underlayment, drip edges and flashings as recommended. Horizontal and vertical chalk lines should be utilized to ensure proper shingle alignment from eave to ridge.

Starter Course: Use Pro-Cut® Starter Shingle (Pro-Cut® Starter Shingles are REQUIRED for the Signature Select® Roofing System) or 3-tab shingle for the starter course (if your roof is NOT qualifying for the Signature Select® Roofing System). Trim off tabs and apply with 1/4" to 3/4" overhang on the eaves. Note the seal-down feature should be in line with the eave. In order to offset seams, cut 6" off the left end of the first shingle. Begin application at lower left rake of roof, and then continue across with full-length shingle, nailed with 4 nails equally spaced across the shingle and nailed 3" up from the eave. See Diagram #1. **NOTE:** Pro-Cut® HP42® starter is packaged 20 shingles per bundle (40 starter shingles), 140 lineal feet. The starter shingle is perforated down the center for easy installation. Once apart, the Pro-Cut® HP42® starter shingles should be aligned next to one another with the sealant toward the eave.



First Course: Begin first full shingle at lower left rake of roof or right of vertical chalk line and continue course across roof with full shingles laid flush with starter course and fastened with 4 nails, placed as specified. Note: an optional band of asphalt plastic cement meeting ASTM D4586 may be applied to the rake of the roof with each shingle course to enhance wind resistance and to resist wind driven rain infiltration. See Diagram #3.



Second Course: Cut 6" off the left end of a shingle and apply the remaining larger piece over the first course shingle, flush with the left edge and exposing the first course 6". Proceed with full shingle across roof maintaining 6" exposure. Save the 6" piece for starting course 7. See Diagram #3.

Third Course: Cut 12" off the left edge of a shingle and apply the remaining larger piece over the second course shingle, flush with the left edge and exposing the second course 6". Proceed with full shingle across roof maintaining 6" exposure. Save the 12" piece for starting course 6. See Diagram #3.

Fourth Course: Cut 18" off the left edge of a shingle and apply the remaining larger piece over the third course shingle, flush with the left edge and exposing the third course 6". Proceed with full shingle across roof maintaining 6" exposure. Save the 18" piece for starting course 5. See Diagram #3.

Fifth Course: Apply the 18" piece that was cut starting the proceeded (4th course) or cut 24" off the left edge of a shingle and apply the remaining 18" piece over the fourth course, flush with the left edge and exposing the fourth course 6". Proceed with full shingle across roof maintaining 6" exposure. See Diagram #3.

Sixth Course: Apply the 12" piece that was cut starting the 3rd course or cut 30" off the left edge of a shingle and apply the remaining 12" piece over the fifth course, flush with the left edge and exposing the fifth course 6". Proceed with full shingle across roof maintaining 6" exposure. See Diagram #3.

Seventh Course: Apply the 6" piece that was cut starting the 2nd course or cut 36" off the left edge of a shingle and apply the remaining 6" piece over the sixth course, flush with the left edge and exposing the sixth course 6". Proceed with full shingle across roof maintaining 6" exposure. See Diagram #3.

Course Completion: Begin eighth course application cycle, with full shingle (same as First Course method) and continue with full shingle across roof. Continuation of this staggered course cycle must be followed to achieve correct pattern appearance.

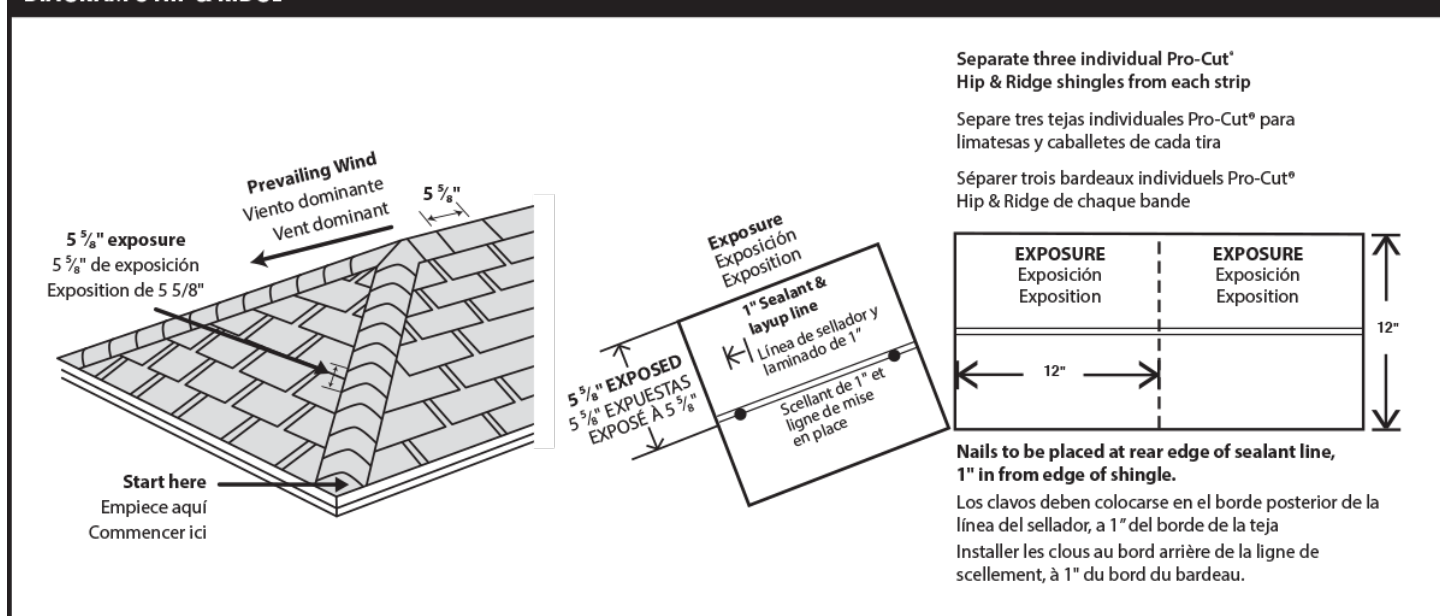
10.) STEEP SLOPE AND MANSARD APPLICATIONS

Immediately upon application to slopes exceeding 60° (or 21:12), apply six (6) quarter size spots of asphalt plastic cement under each shingle. All six spots are to be approximately 1" up from the bottom edge of the shingle and spaced equally across the shingle with the two outer spots located 1" in from each outer edge. The cement should not be exposed when shingles are pressed into position. Excessive use of roofing cement can cause shingles to blister.

CAUTION: STEEP SLOPE AND MANSARD APPLICATIONS BOTH REQUIRE 6 NAILS EVENLY SPACED ALONG THE LENGTH OF EACH SHINGLE.

11.) HIP AND RIDGE

(NOTE: Pro-Cut® Hip & Ridge featuring Scotchgard™ or Pro-Cut® High Profile Hip & Ridge featuring Scotchgard™ must be used as hip and ridge for the roof to qualify for Scotchgard™ Limited Warranty Coverage.) To prevent cracking in cold climates when applying to hips and ridges, shingles must be sufficiently warm and flexible. Apply Pro-Cut® Hip & Ridge shingles with a 5-5/8" exposure, beginning at the bottom of the hip or from the end of the ridge in the direction opposite of prevailing winds. Use two nails per shingle, as specified under Section 8—Fastening, with one nail on each side, 6" back from the exposed end and 1" up from the edge so succeeding shingles conceal nail heads. Trim final shingle to fit and set in plastic cement. See Diagram #6. When installing ridge vents follow vent manufacturer's instructions.

DIAGRAM 6 HIP & RIDGE

Separate the Pro-Cut® Hip & Ridge shingle into three equal pieces along the perforated lines provided. Bend each piece lengthwise to provide equal exposure on both sides of the ridge. Allow 5-5/8" of exposure and nail 6" from exposed butt edge with 2 nails—1" from each side. The direction of the exposed end should be away from the prevailing wind. One bundle of shingles will provide approximately 31 lineal feet of ridge coverage when applied in accordance with these instructions.

12.) RE-ROOFING OVER ASPHALT SHINGLES

Replace all missing shingles. Split and securely nail all buckles, raised tabs or curled shingles. Ensure attic ventilation complies with FHA Minimum Property Standards as stated previously. Install a layer of number 30 felt underlayment to maintain a Class A fire rating. Asphalt Felt is to be applied over the old shingles and then proceed with the new shingles as if applying a new roof.

DIAGRAM 6 IMPORTANT: Atlas recommends 2" nails for a roof over. See Section 8.

ATLAS ROOFING CORPORATION DOES NOT APPROVE RE-ROOFING OVER EXISTING WOOD SHINGLES OR LAMINATED ASPHALT SHINGLES.

MINIMUM STANDARD SLOPE REQUIREMENT AND INSTRUCTIONS APPLY TO NOT LESS THAN 4 INCHES PER FOOT. LOW SLOPE REQUIREMENT AND INSTRUCTIONS APPLY TO NOT LESS THAN 2 INCHES PER FOOT.

WARNINGS & PRECAUTIONS

WARNING: Roofing application can be dangerous. All necessary precautions and safety guidelines should be observed in accordance with proper roofing trade practices. Every effort should be made to keep roof traffic to a minimum. Regular roof maintenance should be performed in the cooler parts of the day.

Important Precautions: Store on flat surface. Protect from weather during storage and on job site. Sealant protection tape is placed on the back of each shingle and does not have to be removed before applying.

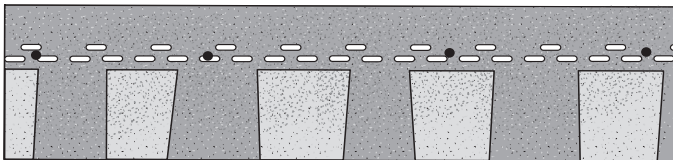
DISCOLORATION: Some shading or variations in the colors may occur due to positioning or embedment of the granule. When asphalt shingles are packaged, they are under a certain amount of pressure due to weight. Minor staining may occur. While in storage, they may also pick up varying amounts of backing material used to keep the shingles from sticking together. These discolorations are temporary and are removed by natural weathering.

Pinnacle® Pristine

High Performance Meets Lasting Beauty



Pristine Appearance. Protected Appeal. Pinnacle® Pristine architectural shingles provide stunning color that lasts while protecting homeowners' roofs from black streaks caused by algae with 3M™ Scotchgard™ Protector.



Length: 42" / 1066.8 mm
Width: 14" / 355.6 mm

Exposure: 6" / 152.4 mm
Shingles Per Bundle: 18-20

FEATURES

Available In 16 Colors
3M™ Scotchgard™ Protector
Class 3 Impact Rating
130 mph Wind Limited Warranty**
FASTAC® Double Sealant Lines
Atlas Lifetime* Algae Resistance
Limited Warranty
Lifetime Limited Warranty**
Atlas Signature Select® Eligible¹

ASTM

D7158, Class H Wind Resistance,
Passed at 150 mph
D6381, Uplift Resistance
D3018, Type 1
D3161, Class F, Tested at 110 mph
D3462, As Manufactured
E108, Class A Fire Resistance

UL

790, Class A Fire Resistance
2218, Class 3 Impact Resistance
2390, Class H Wind Resistance

CODES AND COMPLIANCES

Meets AC438 Criteria
CAN/CSA-A123.5-M90
Florida Building Code Approved – FL 16305
Miami-Dade County Product Control Approved



For maximum protection and warranty coverage, install an Atlas Signature Select® Roofing System with components designed and backed by an Atlas warranty.

SAFETY, STORAGE AND HANDLING

WARNING: Roofing application can be dangerous. Observe all precautions and safety guidelines in accordance with proper roofing trade practices. Minimize roof traffic. Perform regular roof maintenance in appropriate weather.

IMPORTANT PRECAUTIONS: Store on flat surface. Protect from weather during storage and on job site. Sealant protection tape is placed on back of each shingle and does not have to be removed before applying.

For additional safety, storage, and handling instructions go to: AtlasRoofing.com/roof-shingles/sds

INSTALLATION AND SPECIFICATIONS

For warranty and installation instructions go to: AtlasRoofing.com/roof-shingles/pinnacle-pristine

For detailed installation and complete 3-part specifications go to: AtlasRoofing.com/roof-shingles/specifications

Atlas Roofing Corporation (ATLAS) warrants to you, the original owner of its shingle products, that this product is free from any manufacturing defects that materially affect the performance of your shingle during the Premium Protection Period or that cause leaks for the balance of the applicable warranty period.

* In order to qualify for the Atlas Lifetime Algae Resistance Limited Warranty against black streaks caused by blue-green algae, installation must include StormMaster® Hip & Ridge shingles, Pro-Cut® Hip & Ridge shingles, or Pro-Cut® High Profile Hip & Ridge shingles featuring Scotchgard™ Protector with Atlas shingles featuring Scotchgard™ Protector.

** Refer to the Atlas Roofing Limited Shingle Warranty for all coverage requirements.

¹ Refer to the Atlas Signature Select® Limited Warranty for all system coverage requirements.

Scotchgard™ and the Scotchgard™ Protector logo, including the plaid design and 3M™ logo, are all trademarks of 3M.



AtlasRoofing.com #AtlasProtects

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Pinnacle® Pristine Colors



Black Shadow



Coastal Granite



Hearthstone



Pewter



Summer Storm



Oyster Shell



Copper Canyon



Heatherblend



Burnt Hickory



Majestic Shake



Weathered Wood



Weathered Shadow*



Morning Harvest



Tan Mist*



Woodland Green



Sunset*

*Limited regional availability. Please contact your local supplier.



LIFETIME

limited warranty

Comprehensive warranty coverage for black streaks caused by algae, damage from high winds, and manufacturer defects.



130MPH

wind resistance

Beauty meets protection with the help of the Atlas 130 mph Wind Limited Warranty**.



Scotchgard™

shingle protector

Maintain your roof's appearance for years by resisting the black streaks caused by algae.



HP42®

technology

These bigger 42" shingles mean a faster install, quicker clean up and less waste—plus big savings on materials and labor.



CLASS 3

impact resistance

UL 2218 Class 3 impact resistance rating offers protection against harsh weather conditions, keeping your home safe and secure.



To provide homeowners with the most accurate representation of color options, several photo scans and house shots were used under various lighting conditions. Variations in lighting illustrate the color gradients on asphalt shingle roofs. Color blends vary from shingle to shingle. Before installation, consult with your contractor and request to view the actual shingles being installed on your roof to ensure confidence in your final color selection.