



# HISTORIC DISTRICT COMMISSION NOTICE OF DENIAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**Notification Date:** 05/23/25

**Application Number:** HDC2025-00114

## APPLICANT & PROPERTY INFORMATION

<b>NAME:</b> Steven Flum		<b>COMPANY NAME:</b> Steven Flum Inc	
<b>ADDRESS:</b> 3105 Holbrook	<b>CITY:</b> HAMTRAMCK	<b>STATE:</b> MI	<b>ZIP:</b> 48212
<b>PROJECT ADDRESS:</b> 2233 Park Avenue			
<b>HISTORIC DISTRICT:</b> Park Avenue Local			

### SCOPE:

Replacement of wood French-style windows with aluminum-clad cottage-style windows on floors three through eight.

DENY

At the Regular Meeting that was held on 05/14/25 , the Detroit Historic District Commission ("DHDC") reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 05/23/25 , as it will be inappropriate according to the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

### REASON FOR DENIAL:

- ☐ The circa 1920s photo of the building confirms the existing windows at the third through eighth floors are similar to the historic windows; unique in design, proportion and operation, they are a distinctive character-defining feature of the building.
- ☐ Replacement windows that were installed likely occurred prior to designation of the local historic district and were designed to be compatible with the historic window opening pattern and French window function.
- ☐ The submitted exterior visual analysis by staff shows that there is no clear understanding of what, if any, original historic material remains, beyond the brick mould. Before the Commission can consider any level of a window replacement project, a window survey documenting the details of each and every window that is suggested to be replaced must be completed.
- ☐ The application proposes to install "cottage-style" windows from the third through eighth floors on three sides of the building.
  - o The installation of this new window type would obliterate the distinctive, character-defining feature of the existing windows and would alter the features that characterize this building.
  - o Additionally, the proposal is to remove or cover all remaining details, including the profiled wood brick mould. The brick mould is one of the most visible components of a window opening due to its proximity to the masonry wall. Aluminum trim cannot be bent in such a way as to match the highly profiled wood brick mould. The flatter surface and sheen of aluminum is not compatible with a building erected in the early 20th century.

## FAILURE TO MEET STANDARDS:

**The Standards for Rehabilitation** (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

**Failure to meet standards:** 2, 5, 6

**Corresponding Standard numbered below:**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## FAILURE TO MEET ELEMENTS OF DESIGN:

**Failure to meet Elements of Design:** N/A

**Corresponding design element numbered below:**

- |   |  |
|---|--|
| 1. Height.                                      | 12. Walls of continuity.   |
| 2. Proportion of building's front façades.      | 13. Relationship of significant landscape features and surface treatments. |
| 3. Proportion of openings within the façade.    | 14. Relationship of open space to structures.                              |
| 4. Rhythm of solids to voids in front façade.   | 15. Scale of façade and façade elements.                                   |
| 5. Rhythm of spacing of buildings on streets.   | 16. Directional expression of front elevations.                            |
| 6. Rhythm of entrance and/or porch projections. | 17. Rhythm of building setbacks.   |
| 7. Relationship of materials.                   | 18. Relationship of lot coverages.   |
| 8. Relationship of textures.                    | 19. Degree of complexity within the façade.                                |
| 9. Relationship of colors.                      | 20. Orientation, vistas, overviews.  |
| 10. Relationship of architectural details.      | 21. Symmetric or asymmetric appearance.                                    |
| 11. Relationship of roof shapes.                | 22. General environmental character.                                       |

If you have any questions regarding the above, please contact staff at 313-224-1762 or [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov).

For the Commission:



Daniel Rieden  
Senior Clerk to the Historic District Commission

PSR: 250523AD

## APPEALS PROCESS

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General  
2nd Floor, G. Mennen Williams Building  
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909  
Phone: 517-335-0665 E-mail: [stuckeyj@michigan.gov](mailto:stuckeyj@michigan.gov)



# HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

**APPLICATION ID**

HDC2025-00114

**PROPERTY INFORMATION****ADDRESS(ES):** 2233 Park Avenue**HISTORIC DISTRICT:** Park Avenue Local**SCOPE OF WORK: (Check ALL that apply)**

- |   |   |  |   |   |                                |
|---|---|--|---|---|--------------------------------|
| <input checked="" type="checkbox"/> Windows/<br>Doors | <input type="checkbox"/> Walls/<br>Siding | <input type="checkbox"/> Painting        | <input type="checkbox"/> Roof/Gutters/<br>Chimney | <input type="checkbox"/> Porch/Deck/Balcony   | <input type="checkbox"/> Other |
| <input type="checkbox"/> Demolition                   | <input type="checkbox"/> Signage          | <input type="checkbox"/> New<br>Building | <input type="checkbox"/> Addition                 | <input type="checkbox"/> Site Improvements<br>(landscape, trees, fences,<br>patios, etc.) |                                |

**BRIEF PROJECT DESCRIPTION:**

Replace windows in 112 openings on the south, east and north elevations, third floor through eighth floor.

**APPLICANT IDENTIFICATION****TYPE OF APPLICANT:** Architect/Engineer/Consultant**NAME:** Steven Flum**COMPANY NAME:** Steven Flum Inc**ADDRESS:** 3105 Holbrook**CITY:** HAMTRAMCK**STATE:** MI**ZIP:** 48212**PHONE:** +1 (313) 407-1318**EMAIL:** SFLUM@STEVENCFUM.COM**I AGREE TO AND AFFIRM THE FOLLOWING:**

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that the information on this application is true and correct. I certify that the proposed work is authorized by the owner of record and I have been authorized to make this application as the property owner(s) authorized agent.

DocuSigned by:

Steven Flum

01F13EF84B08483...

04/21/2025

SIGNATURE

DATE

3105 Holbrook

HAMTRAMCK

Questions? Contact us at [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov) or (313)224-1762

48212

MI



**NOTE: Based on the scope of work, additional documentation may be required. See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.**

## PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

**Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.**

### ePLANS PERMIT NUMBER:

(only applicable if you've already applied for permits through ePLANS)

N/A

## GENERAL

### 1. DESCRIPTION OF EXISTING CONDITION

*Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")*

#### Description of Existing Condition

The existing wood windows are deteriorating, lacking weatherization and unsafe. The window consists of French windows (with no center post) and a fixed transom above.

No original window sashes are present. Approximately 50% of the original wood head, jambs, sills and brickmould are present but are cracked and deteriorated. The window sashes were replaced in 2006, poor workmanship and use



### 2. PHOTOGRAPHS

*Help us understand your project. Please attach photographs of all areas where work is proposed.*



### 3. DESCRIPTION OF PROJECT

*In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)*

#### Description of Project

Replacement of the windows with a Pella Reserve aluminum clad wood cottage style single hung window. The new window provides a superior performance with air and water infiltration, structural integrity and is a safer solution. The windows will have insulated dual pane glass. The aluminum window sash, frame and trim will be black.

Install 112 single hung windows. New windows will be located on the second thru eighth floor, on the north, east and



### 4. DETAILED SCOPE OF WORK

*In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")*

#### Detail Scope of Work

1. Remove existing windows sashes, jambs, head and sill
2. Install new wood blocking at the jamb, head and sill to the masonry
3. Install new window and trim
4. Install sealant between exterior aluminum trim and masonry
5. Install new interior wood window sill, caulk and paint

### 5. BROCHURES/CUT SHEETS

*Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.*



ADDITIONAL DETAILS

<div><div>6. WINDOWS/DOORS</div><div>Detailed photographs of window(s) and/or door(s) proposed for replacement showing the condition of the interior and exterior of the window(s) and/or door(s)</div></div>	<div><div></div><div></div></div>



REV.	DESCRIPTION	DATE
1	BIDS	5.12.06
2	OWNER REVIEW	6.27.06
3	PERMIT	1.5.07

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SHEET DESCRIPTION:  
PROPOSED THIRD AND  
FOURTH FLOOR PLANS

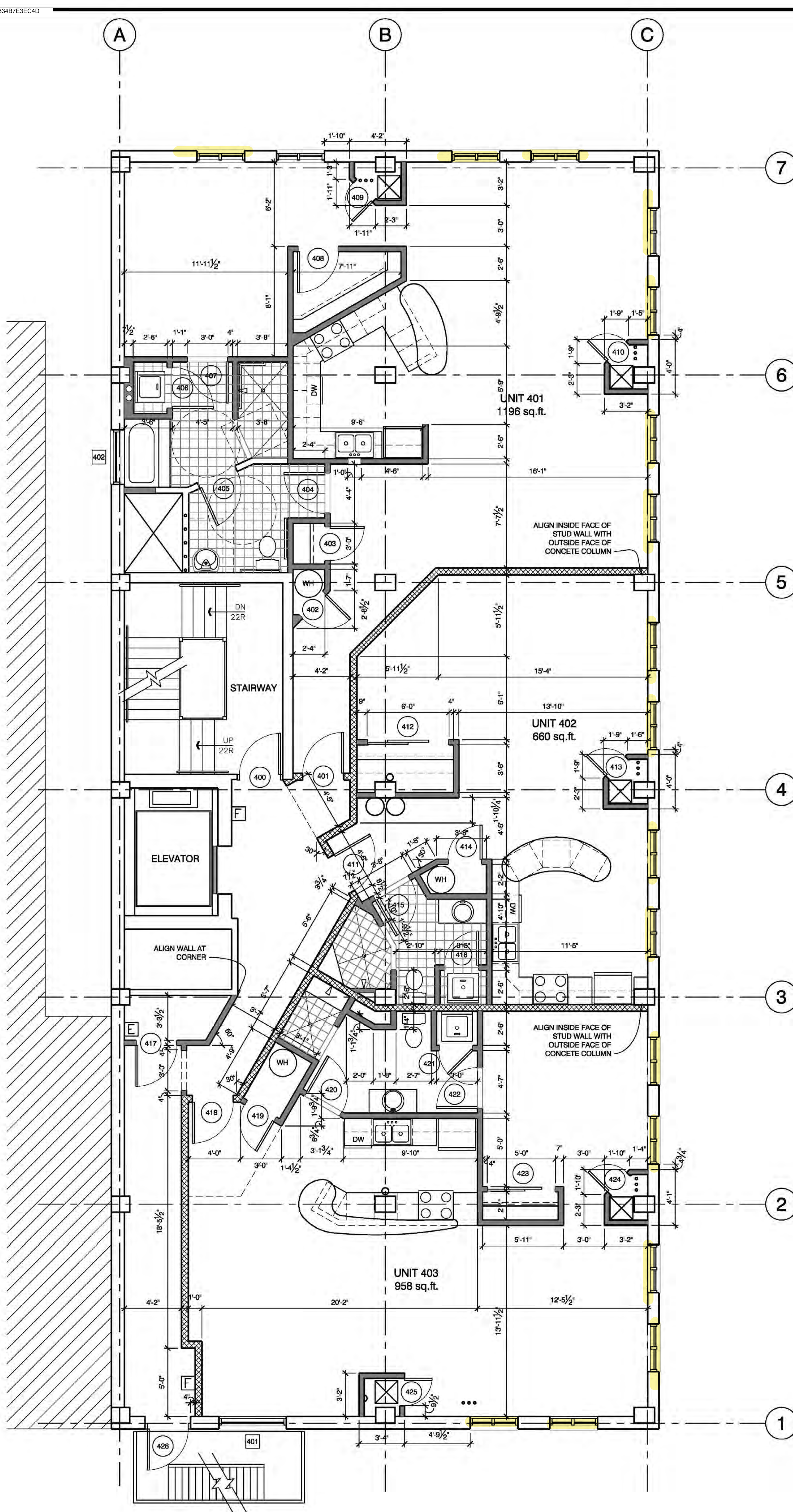
DRAWN: JTF/DMA CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. SHEET NO.

1269 A1.1



7 HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT

6

5

4

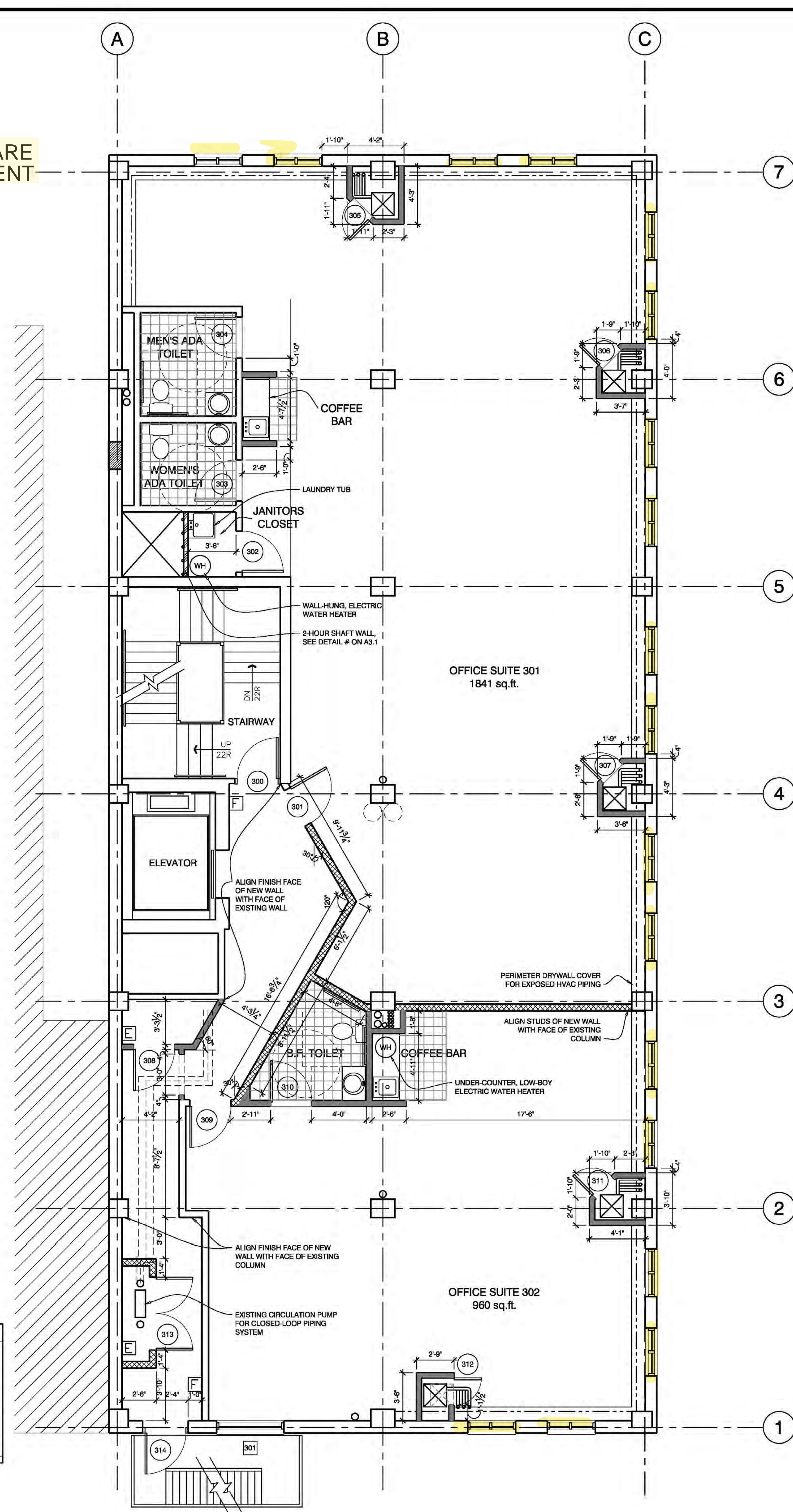
3

2

1

NOTES:

- 1.) DIMENSIONS TO OUTER/EXISTING WALLS ARE TO CURRENT CONDITIONS, NOT PROPOSED FINISHED CONDITIONS.
- 2.) FOR WALL THICKNESSES SEE SHEET A3.1
- 3.) FOR DOOR SIZES SEE SHEET A5.1





REV.	DESCRIPTION	DATE
1	BIDS	6.12.06
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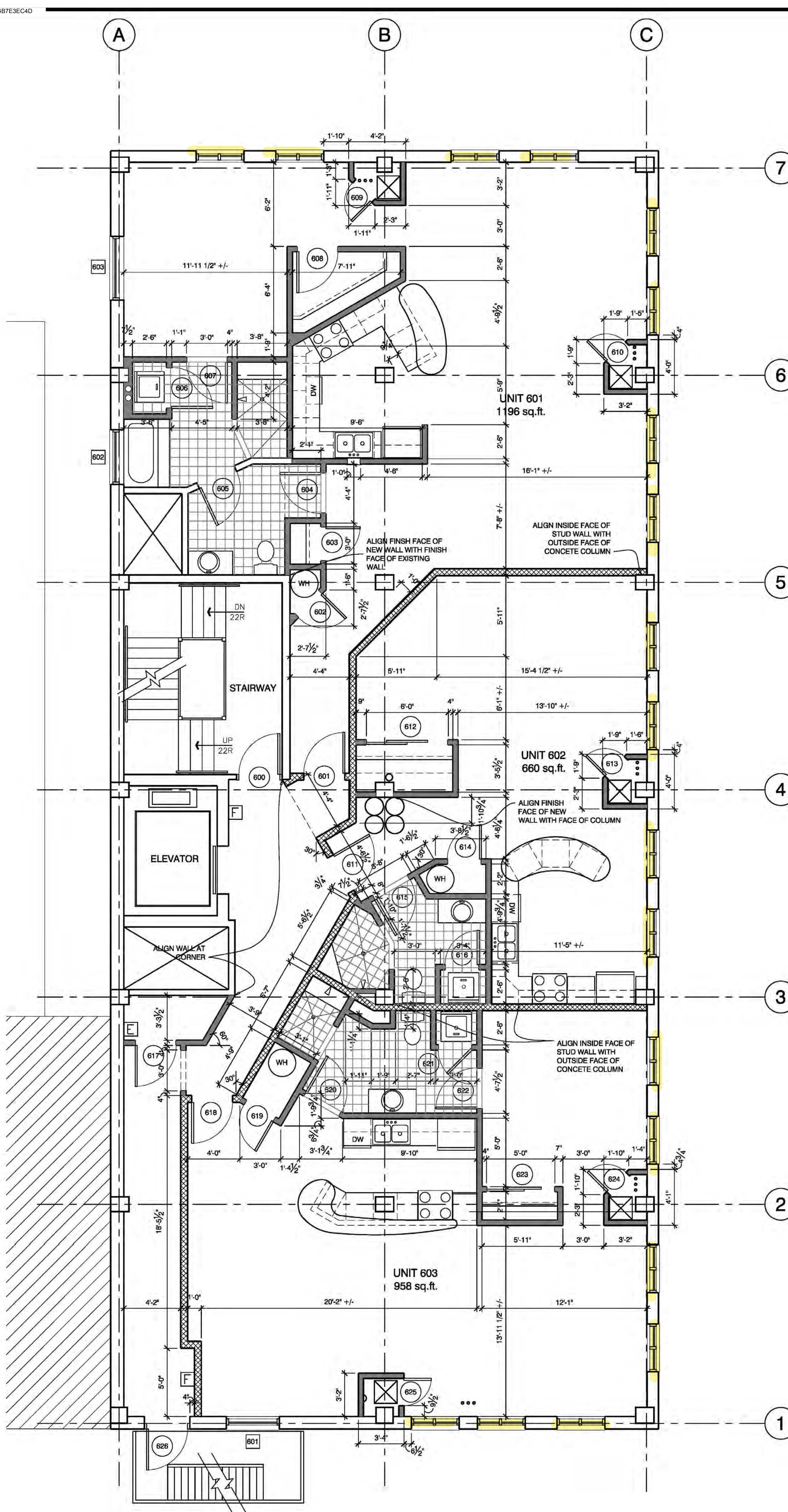
SHEET DESCRIPTION:  
PROPOSED FIFTH AND SIXTH  
FLOOR PLANS

DRAWN: JTF/DMA  
CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269  
SHEET NO. A1.2



PROPOSED  
SIXTH FLOOR PLAN  
A1.2 1/4" = 1'-0"

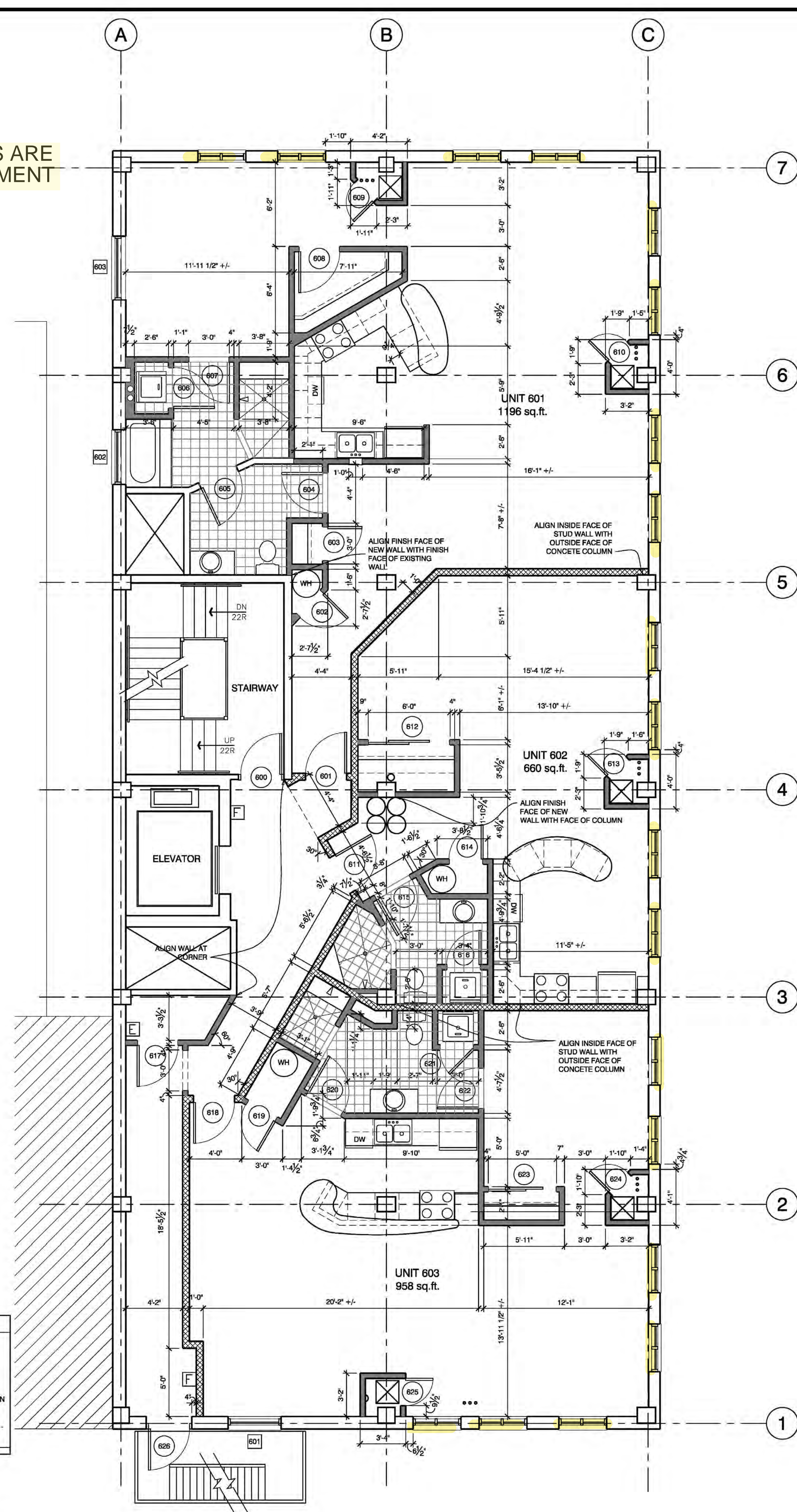
HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
[Symbol]	3/8" METAL STUD HALF-WALL
[Symbol]	3/8" METAL STUD WALL w/ 1/2" DRYWALL ON EACH FACE, TO CONC. CEILING
[Symbol]	1-HOUR RATED CORRIDOR AND TENANT SEPERATION WALL. SEE DESIGN NO. U411 ON SHEET A3.1
[Symbol]	2-HOUR RATED SHAFT-WALL. SEE DESIGN NO. U415-SYSTEM B ON SHEET A3.1

NOTES:

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PROPOSED  
FIFTH FLOOR PLAN  
A1.2 1/4" = 1'-0"



REV.	DESCRIPTION	DATE
1	BIDS	6.12.06
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3	PERMIT	1.5.07

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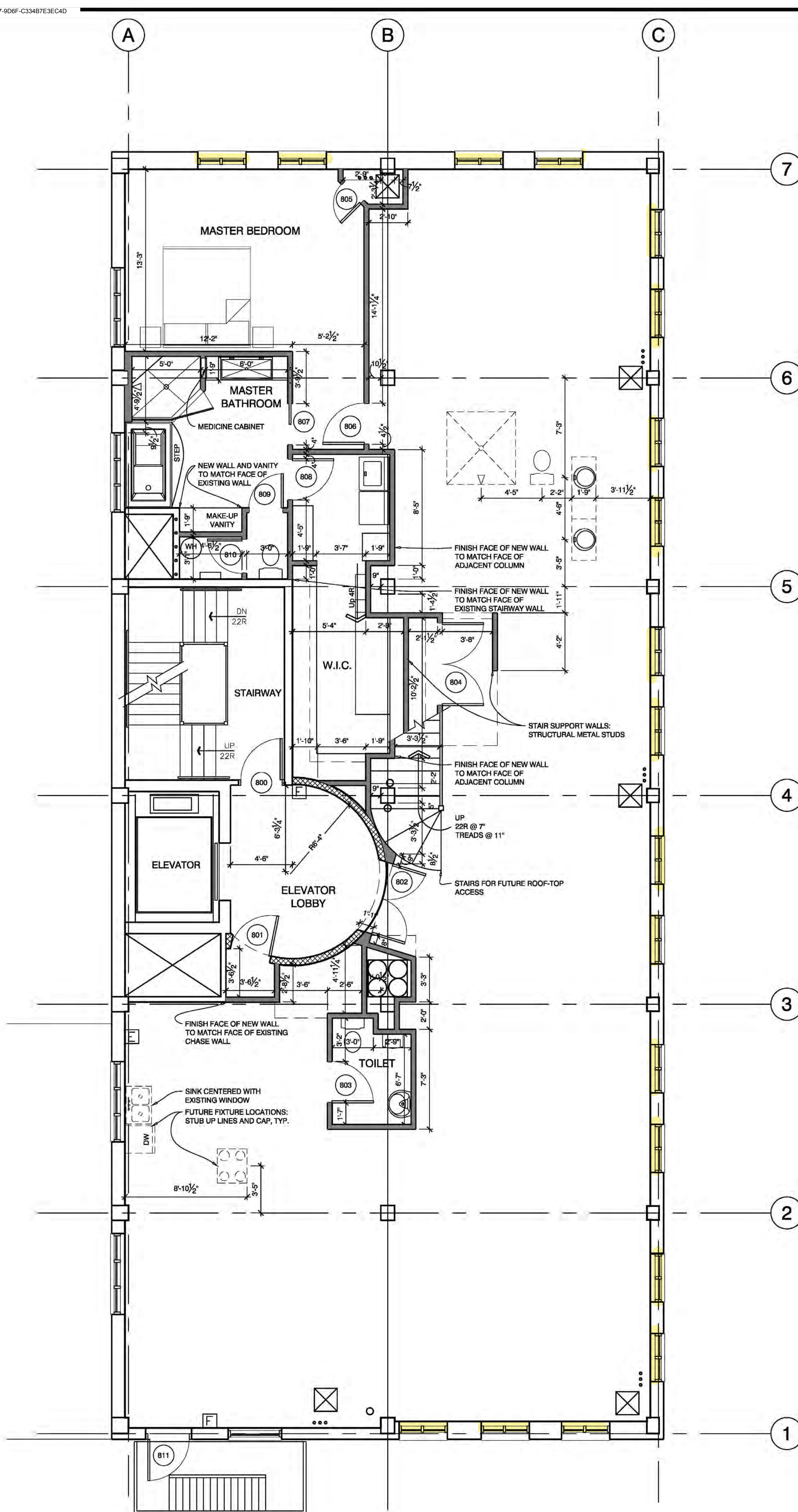
SHEET DESCRIPTION:  
PROPOSED SEVENTH AND  
EIGHTH FLOOR PLANS

DRAWN: JTF/DMA  
CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269  
SHEET NO. A1.3



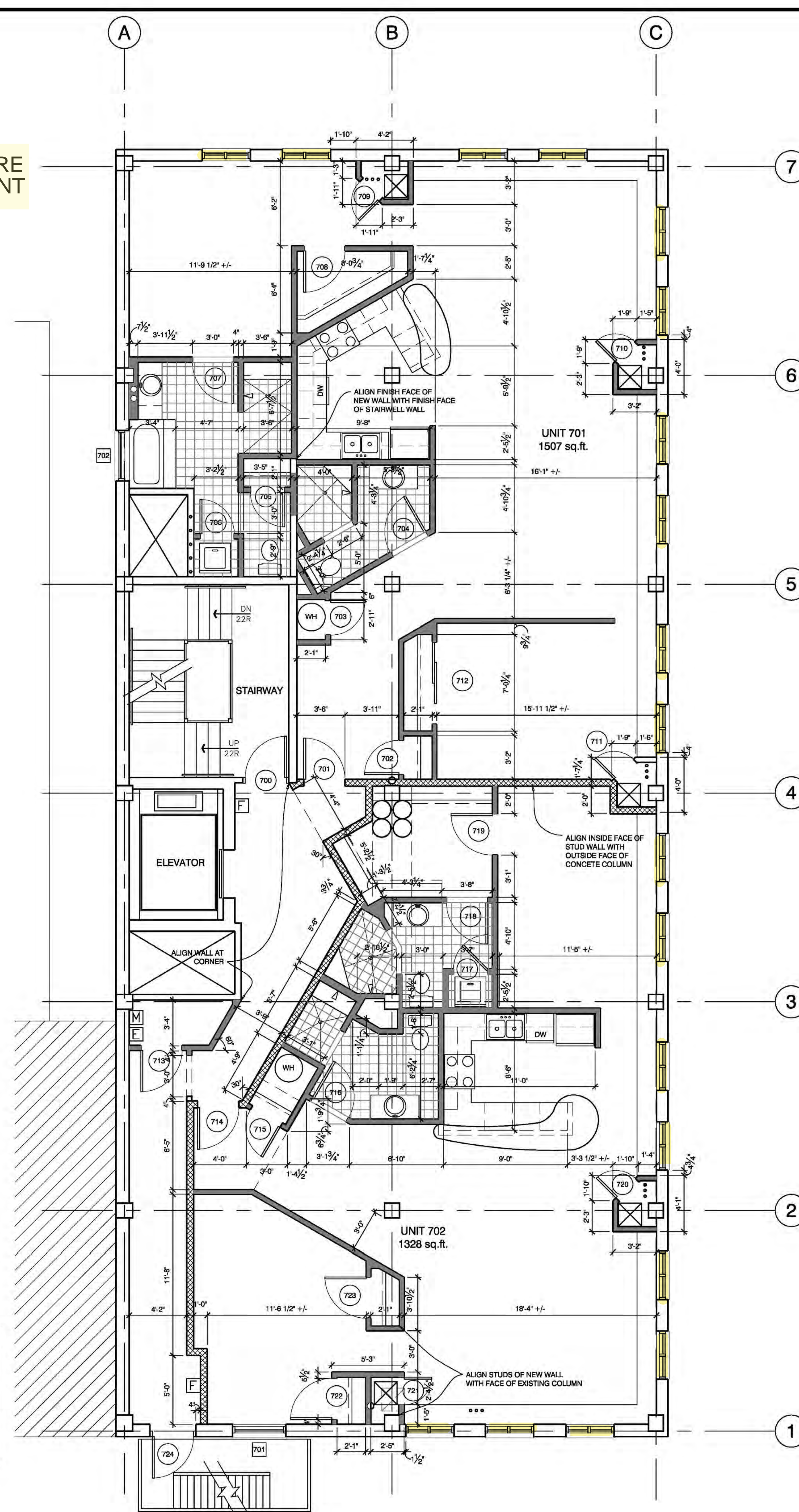
PROPOSED  
EIGHTH FLOOR PLAN  
2  
A1.3 1/4" = 1'-0"

HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
[Symbol]	3/8" METAL STUD HALF-WALL
[Symbol]	3/8" METAL STUD WALL w/ 5/8" DRYWALL ON EACH FACE, TO CONC. CEILING
[Symbol]	1-HOUR RATED CORRIDOR AND TENANT SEPERATION WALL. SEE DESIGN NO. U411 ON SHEET A3.1
[Symbol]	2-HOUR RATED SHAFT-WALL. SEE DESIGN NO. U415 - SYSTEM B ON SHEET A3.1

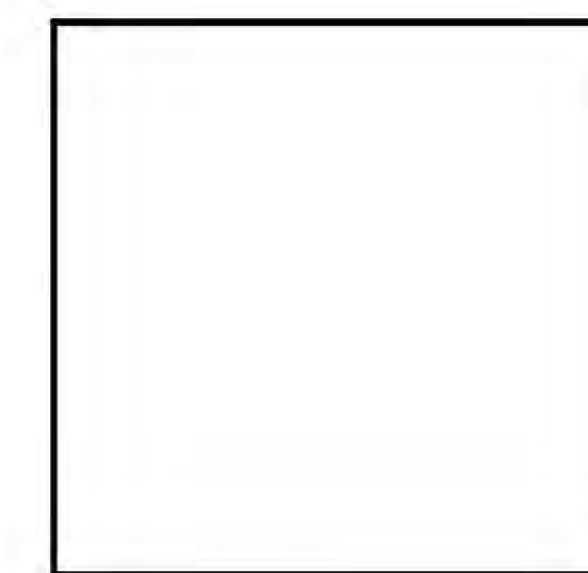
- NOTES:
- 1.) DIMENSIONS TO OUTER/EXISTING WALLS ARE TO CURRENT CONDITIONS, NOT PROPOSED FINISHED CONDITIONS.
  - 2.) FOR WALL THICKNESSES SEE SHEET A3.1
  - 3.) FOR DOOR SIZES SEE SHEET A5.1



PROPOSED  
SEVENTH FLOOR PLAN  
1  
A1.3 1/4" = 1'-0"



REV.	DESCRIPTION	DATE
1	BIDS	6.12.06
2	OWNER REVIEW	6.27.06
3	PERMIT	1.5.07



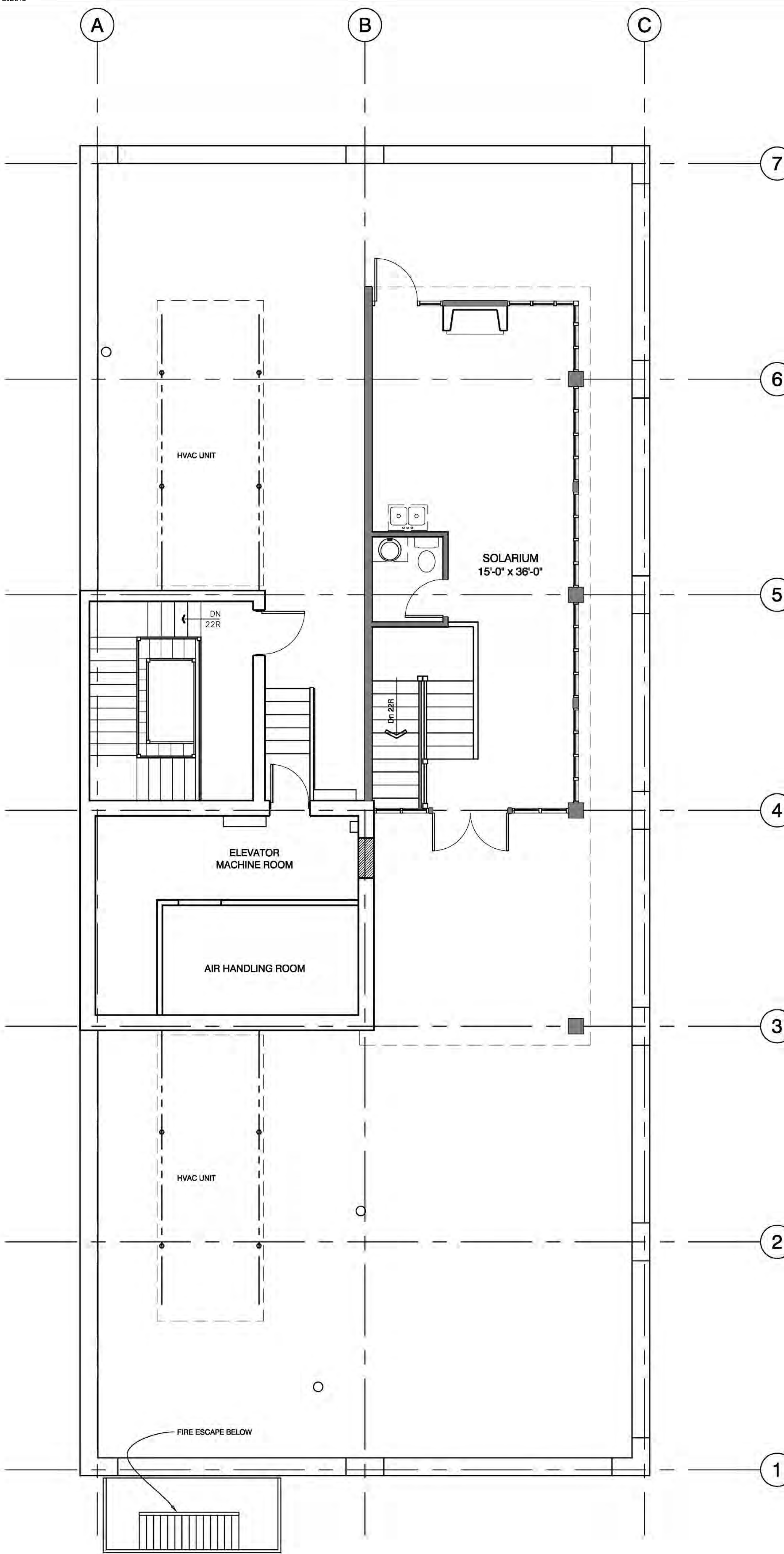
SHEET DESCRIPTION:  
EXISTING SEVENTH AND  
EIGHTH FLOOR PLANS

DRAWN: JTF/DMA  
CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269  
SHEET NO. A1.4



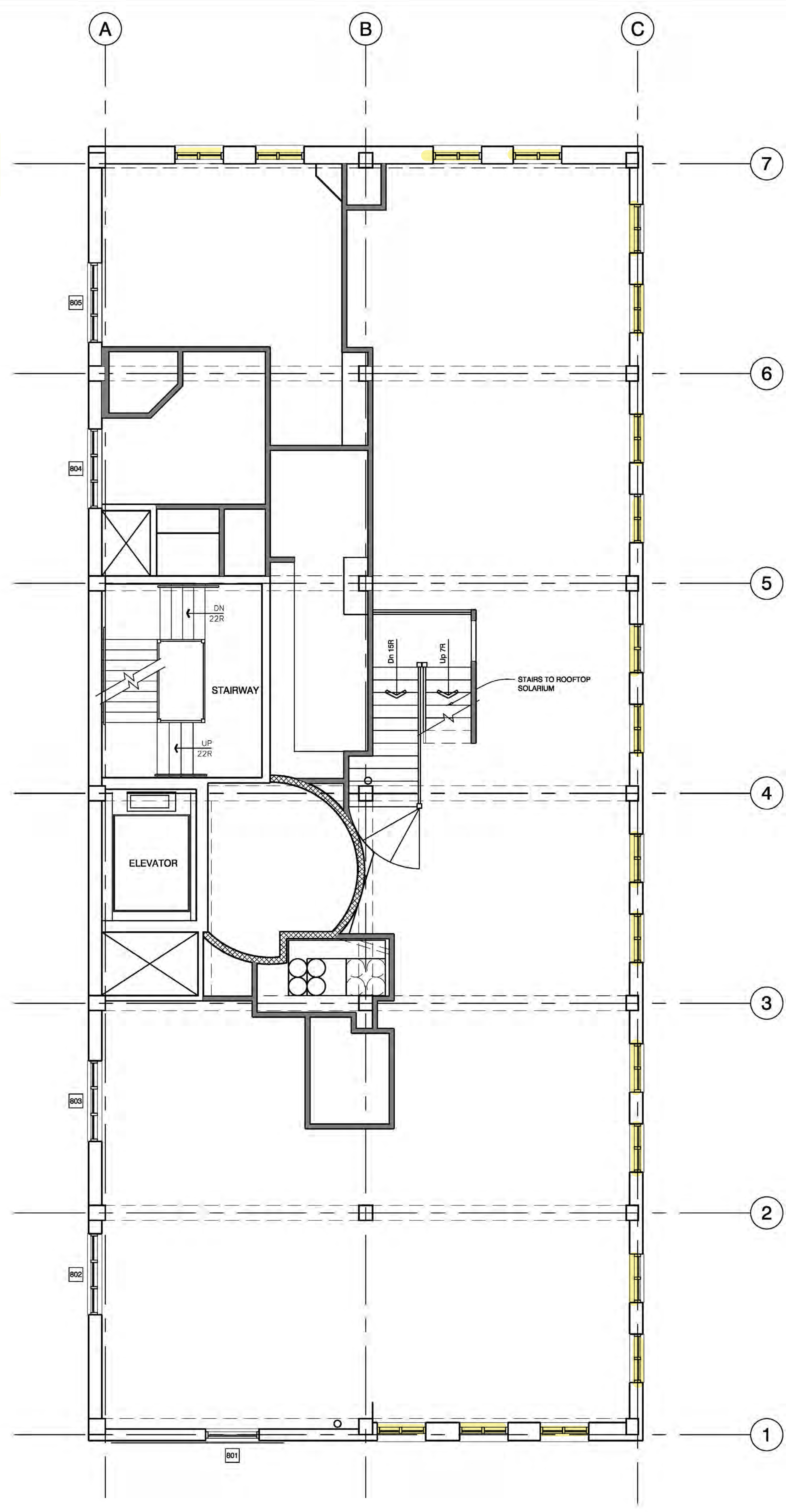
2  
A1.4  
PROPOSED  
ROOF PLAN  
1/4" = 1'-0"

7 HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
[Symbol]	3/8" METAL STUD HALF-WALL
[Symbol]	3/8" METAL STUD WALL w/ 5/8" DRYWALL ON EACH FACE, TO CONC. CEILING
[Symbol]	1-HOUR RATED CORRIDOR AND TENANT SEPERATION WALL. SEE DESIGN NO. U411 ON SHEET A3.1
[Symbol]	2-HOUR RATED SHAFT-WALL. SEE DESIGN NO. U415 - SYSTEM B ON SHEET A3.1

- NOTES:
- 1.) DIMENSIONS TO OUTER/EXISTING  
WALLS ARE TO CURRENT CONDITIONS.  
NOT PROPOSED FINISHED CONDITIONS.
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  - 3.) FOR DOOR SIZES SEE SHEET A5.1



1  
A1.4  
PROPOSED EIGHTH  
FLOOR MEZZANINE PLAN  
1/4" = 1'-0"



## Iodent building photographs

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North East Corner Park Ave. and W. Montcalm St.



## Iodent building photographs

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South view of building at alley



## Iodent building photographs

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Exterior close up view of existing windows

# Iodent building photographs



Interior view of existing window closed position



# Iodent building photographs



Interior view of existing window open position

## Iodent building photographs

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Window frame wood sill and exterior stone wall



Close up view of window frame sill



## Iodent building photographs

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Window frame head and transom above

## Iodent building photographs

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View of existing widow jamb and sash



## Iodent building photographs

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View of existing window jamb and sash



## Iodent building photographs

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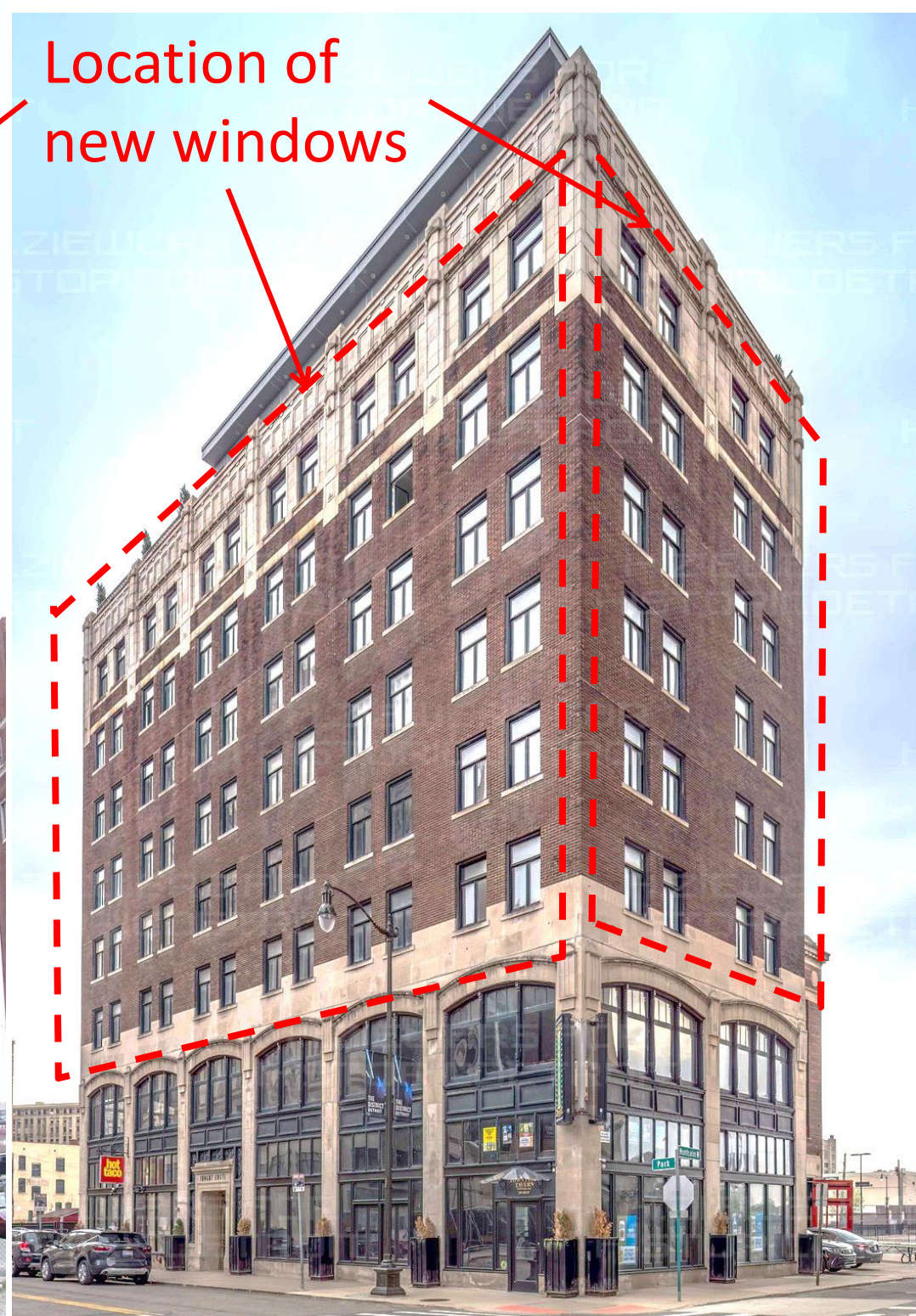


View of existing window sash





SOUTH ELEVATION

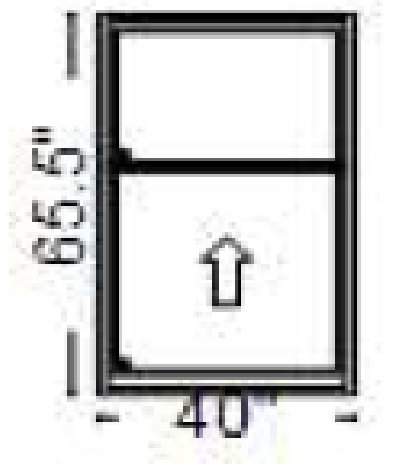


EAST AND NORTH ELEVATION

2233 Park Avenue  
Iodent Building  
Park Ave. Historic District 4/15/2025

Scope of Work

- Remove windows in 112 openings on floors three thru eight, on the north, east and south facades.
- Install new single hung windows
- Repair or replace wood bucks at the sill, jamb and head.
- Insulated and caulk perimeter.
- Install aluminum trim to cover perimeter wood buck.
- Replace wood sill with marble sill.



Viewed From Exterior

Pella Reserve, Traditional  
Cottage Style Single Hung Window  
Exterior aluminum clad black  
Interior painted white



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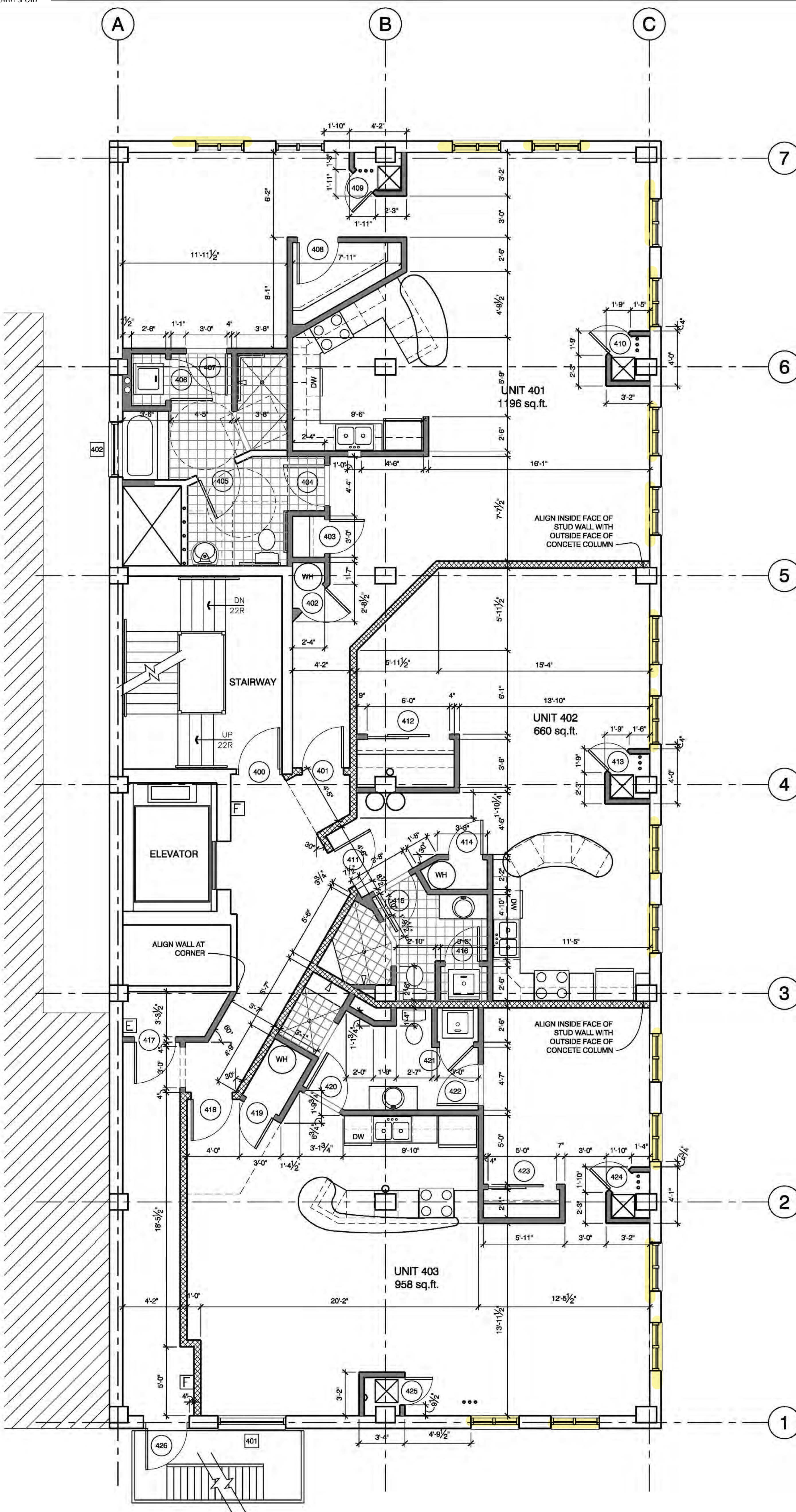
SHEET DESCRIPTION:  
PROPOSED THIRD AND  
FOURTH FLOOR PLANS

DRAWN: JTF/DMA CHECKED: SCF

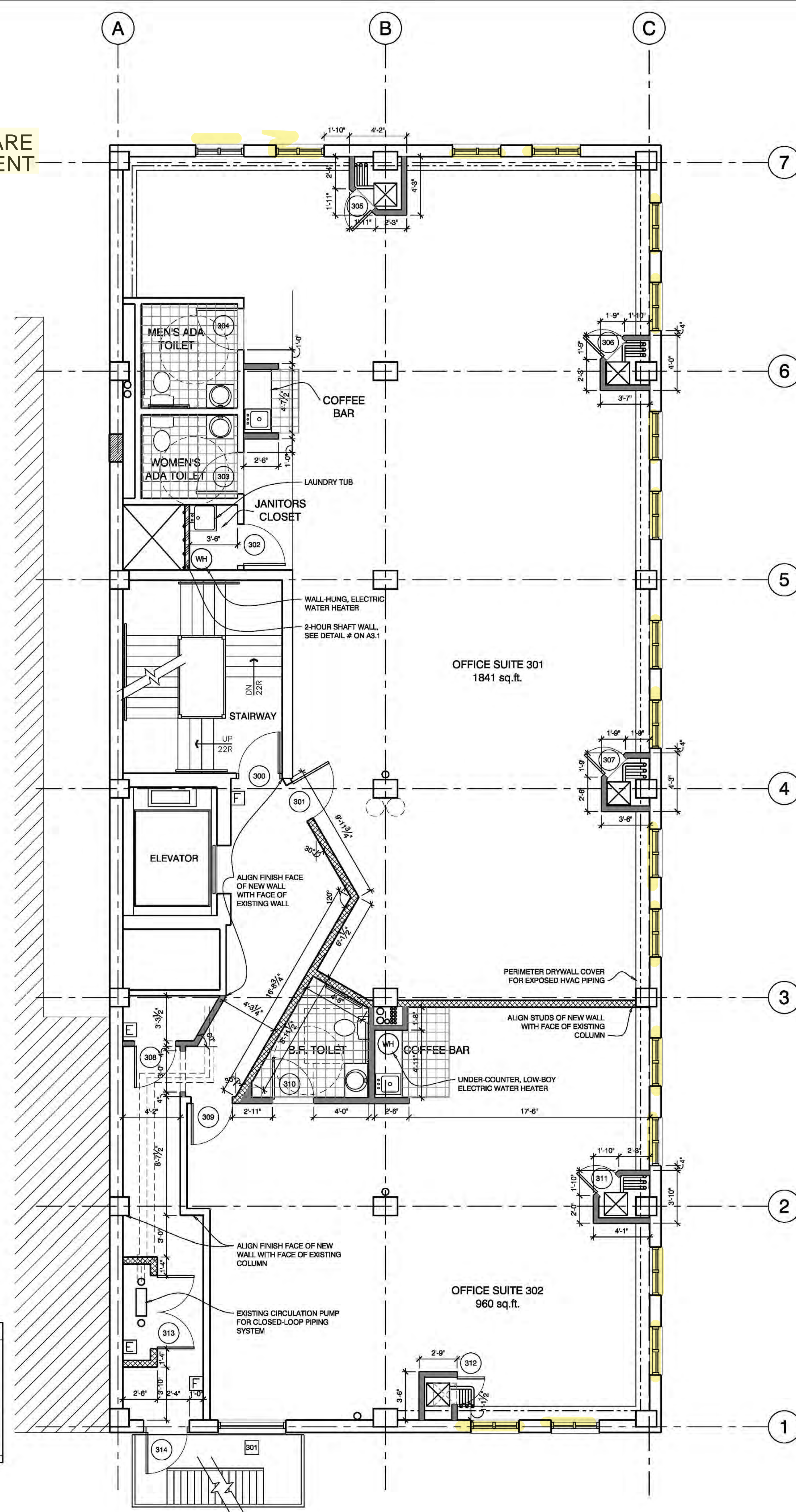
SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. 1269 SHEET NO. A1.1



HIGHLIGHTED WINDOWS ARE LOCATION OF REPLACEMENT





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FLOOR PLANS

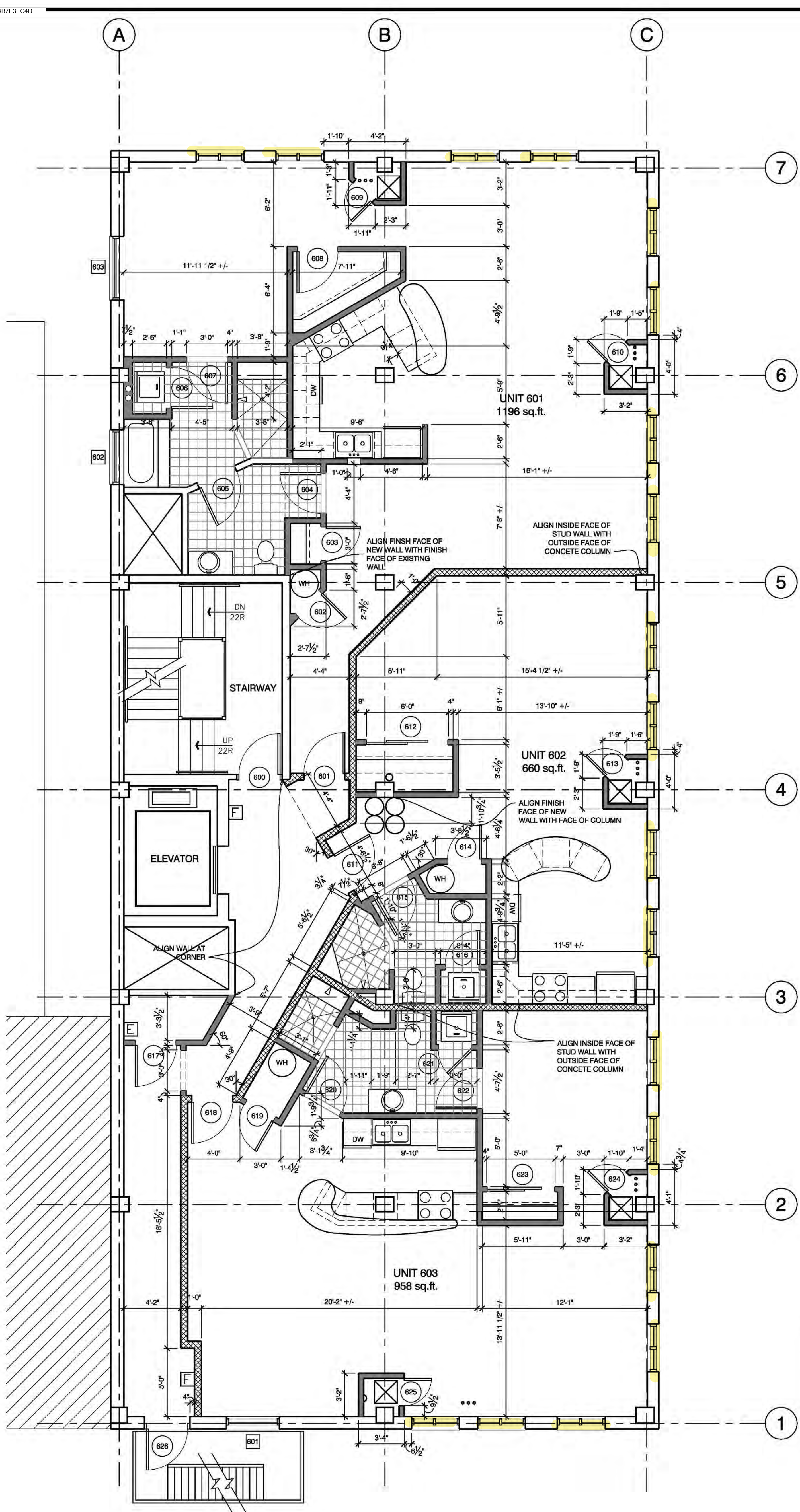
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CHECKED: SCF

SCALE: 1/4" = 1'-0"

DATE: 5 JANUARY 2007

JOB NO. SHEET NO.

1269 A1.2



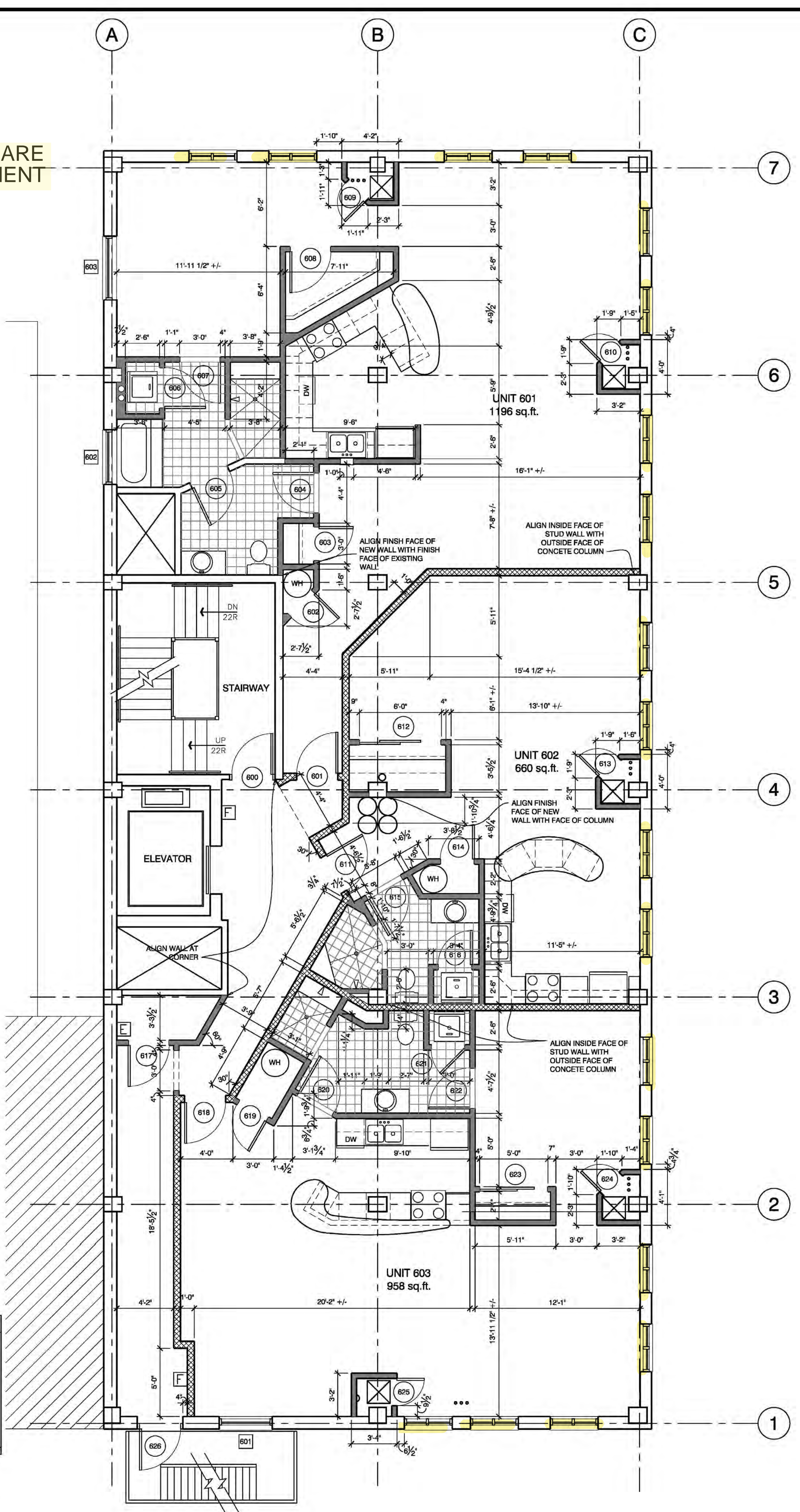
PROPOSED  
SIXTH FLOOR PLAN  
A1.2 1/4" = 1'-0"

HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT

LEGEND	
[Symbol]	FIRE PULL/ALARM
[Symbol]	ELECTRICAL PANEL
[Symbol]	ELECTRICAL METER

WALL LEGEND	
[Line Style]	3-5/8" METAL STUD HALF-WALL
[Line Style]	3-5/8" METAL STUD WALL w/ 5/8" DRYWALL ON EACH FACE, TO CONC. CEILING
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[Line Style]	2-HOUR RATED SHAFT-WALL. SEE DESIGN NO. U415-SYSTEM B ON SHEET A3.1

- NOTES:
- 1.) DIMENSIONS TO OUTER/EXISTING WALLS ARE TO CURRENT CONDITIONS, NOT PROPOSED FINISHED CONDITIONS.
  - 2.) FOR WALL THICKNESSES SEE SHEET A3.1
  - 3.) FOR DOOR SIZES SEE SHEET A5.1



PROPOSED  
FIFTH FLOOR PLAN  
A1.2 1/4" = 1'-0"



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**SHEET DESCRIPTION:**  
**PROPOSED SEVENTH AND**  
**EIGHTH FLOOR PLANS**

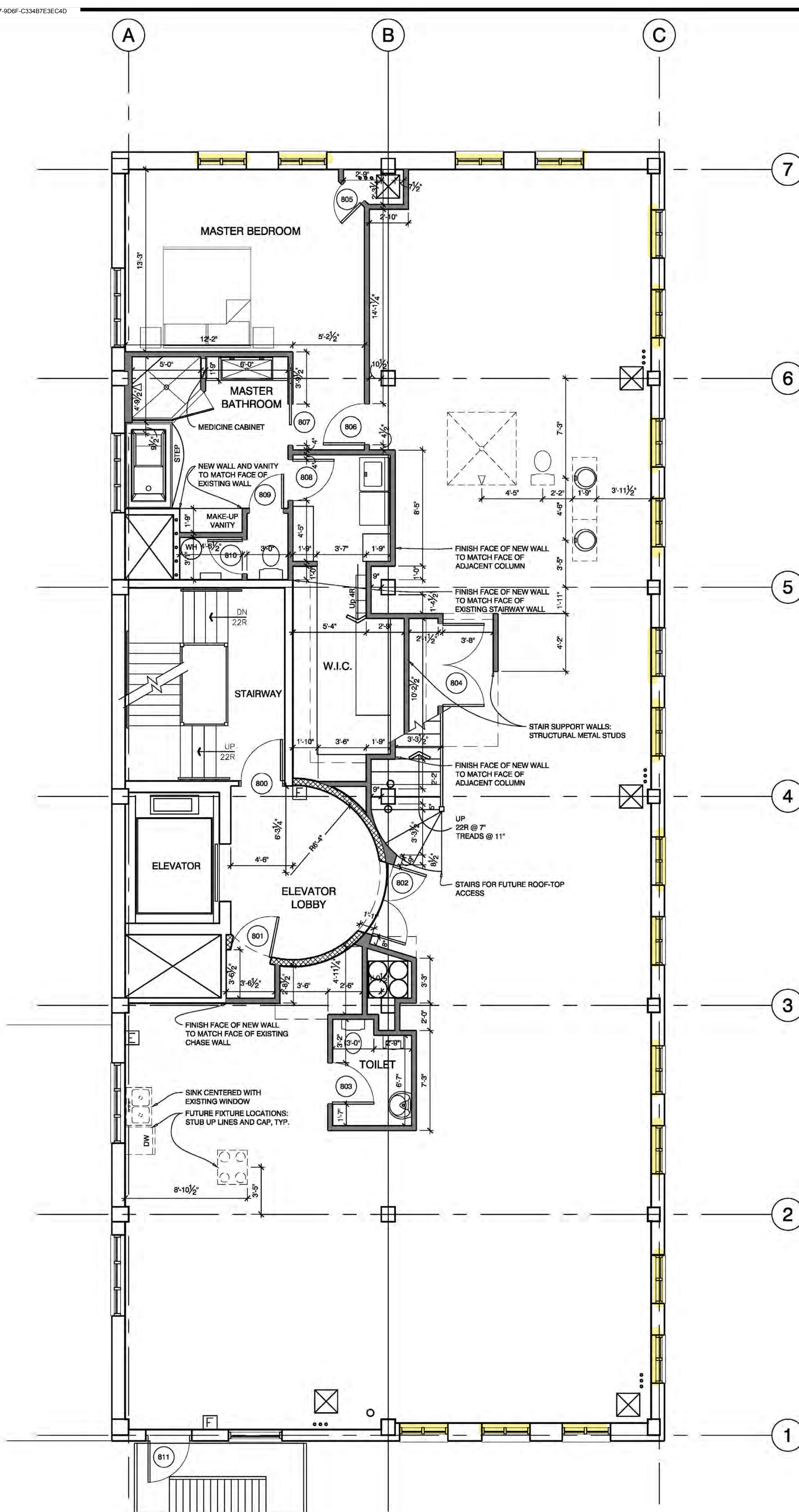
DRAWN: JTE/DMA	CHECKED: SCF
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SCALE:  $1/4" = 1'-0"$

DATE: 5 JANUARY 2007

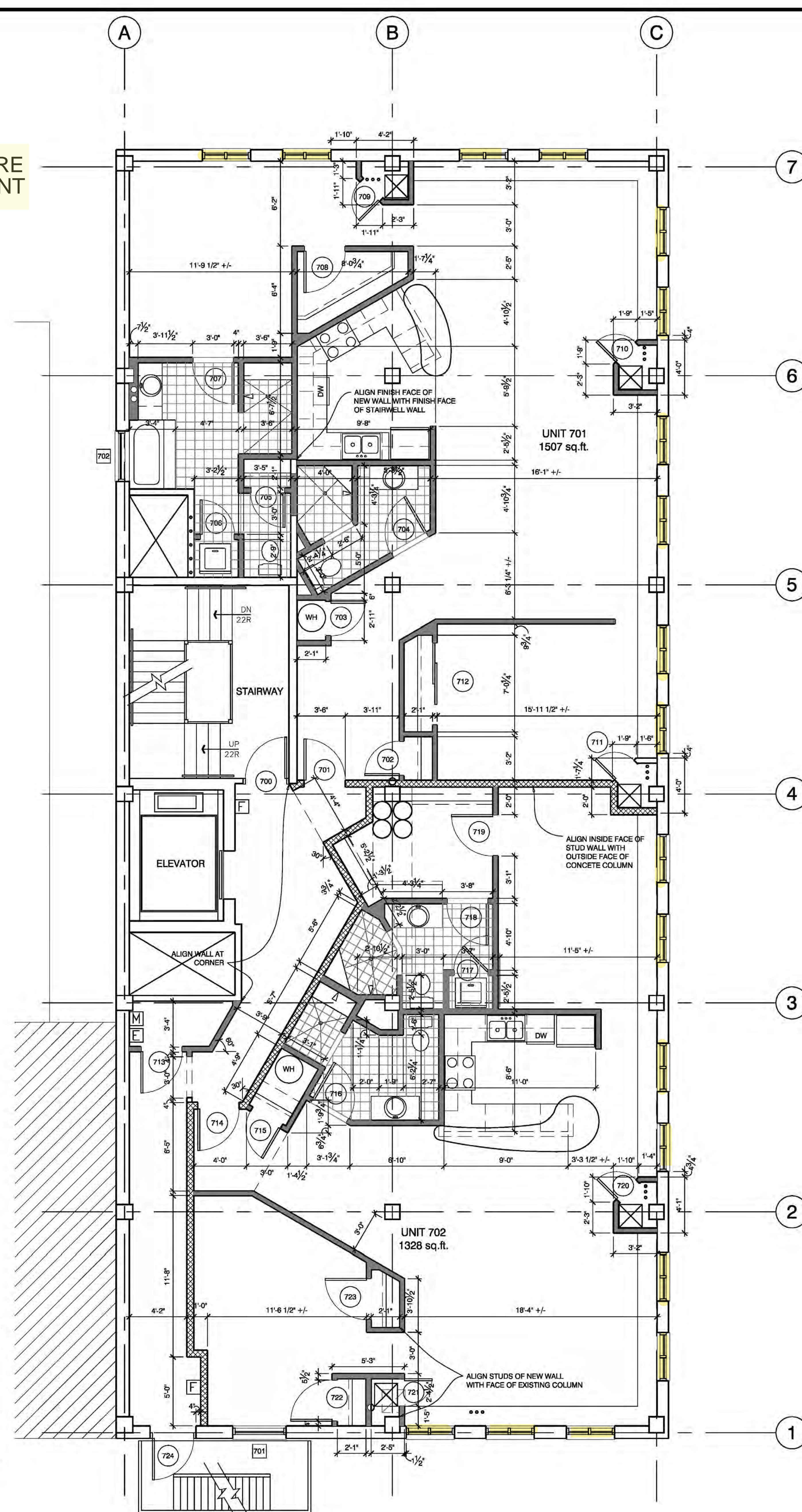
JOB NO	SHEET NO

1269	A1.3
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## PROPOSED EIGHTH FLOOR PLAN

HIGHLIGHTED WINDOWS ARE  
LOCATION OF REPLACEMENT







### PROPOSED SEVENTH FLOOR PLAN

### LEGEND

- F** FIRE PULL/ALARM
- E** ELECTRICAL PANE
- M** ELECTRICAL METE

## WALL LEGEND

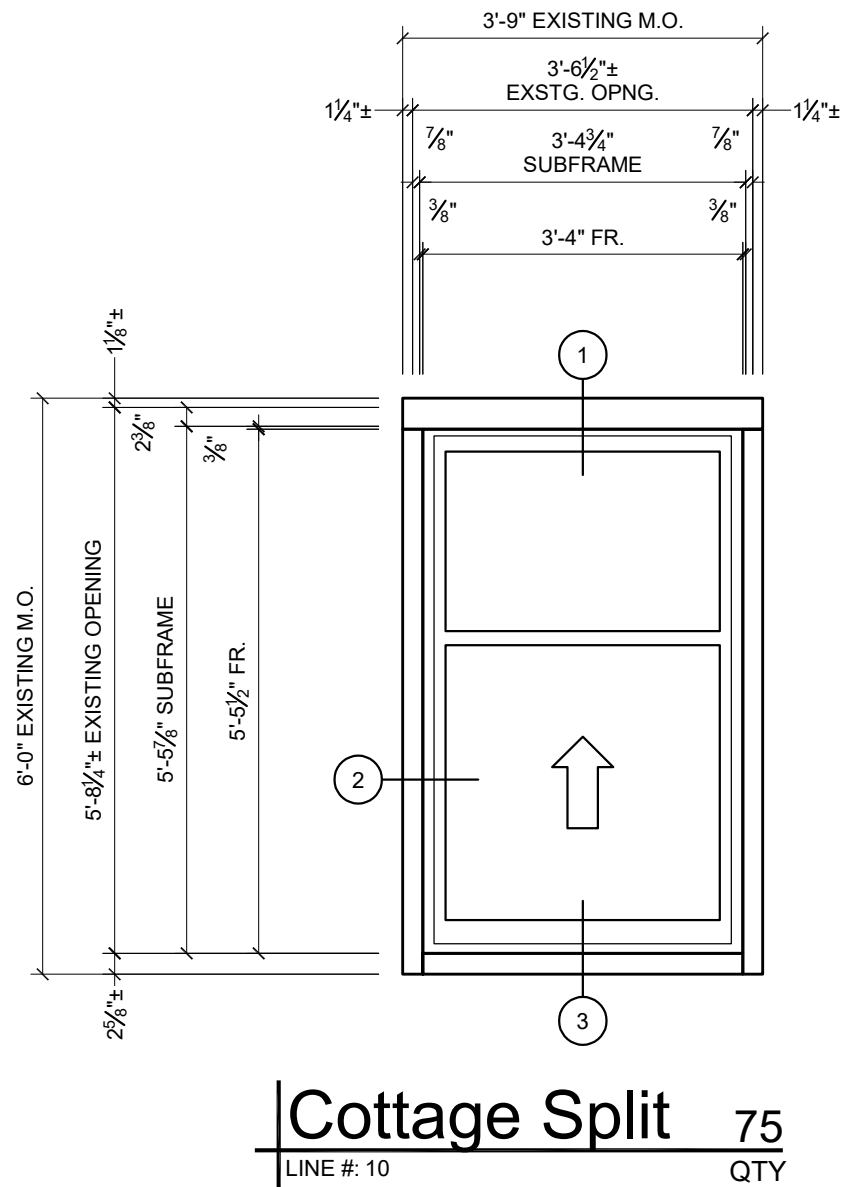
- |   |   |
|---|---|
|  | 3-5/8" METAL STUD HALF-WALL.  |
|  | 3-5/8" METAL STUD WALL w/ 5/8" DRYWALL ON EACH FACE, TO CONC. CEILING               |
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- 1.) DIMENSIONS TO OUTER/EXISTING WALLS ARE TO CURRENT CONDITIONS, NOT PROPOSED FINISHED CONDITIONS.
- 2.) FOR WALL THICKNESSES SEE SHEET A3.1
- 3.) FOR DOOR SIZES SEE SHEET A5.1



PRELIMINARY DRAWING FOR  
IODENT BUILDING  
RENOVATION  
DETROIT, MICHIGAN



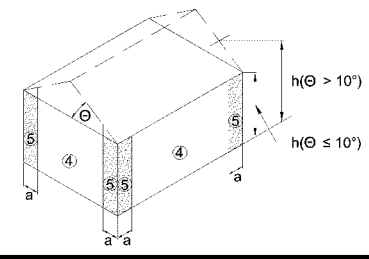
PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

Components & Cladding Design Pressures

DESIGN PRESSURE PER CODE: ASCE 7-10

Mean Roof Height (ft):	94
Building Classification/Risk Category:	II
Ultimate Design Wind Speed (MPH):	115
Allowable Design Wind Speed (MPH):	89
Exposure Category:	B
Topographical Factor (K <sub>z</sub> ):	1
Project Elevation (ft):	0
Ground Elevation Factor (K <sub>g</sub> ):	1.00

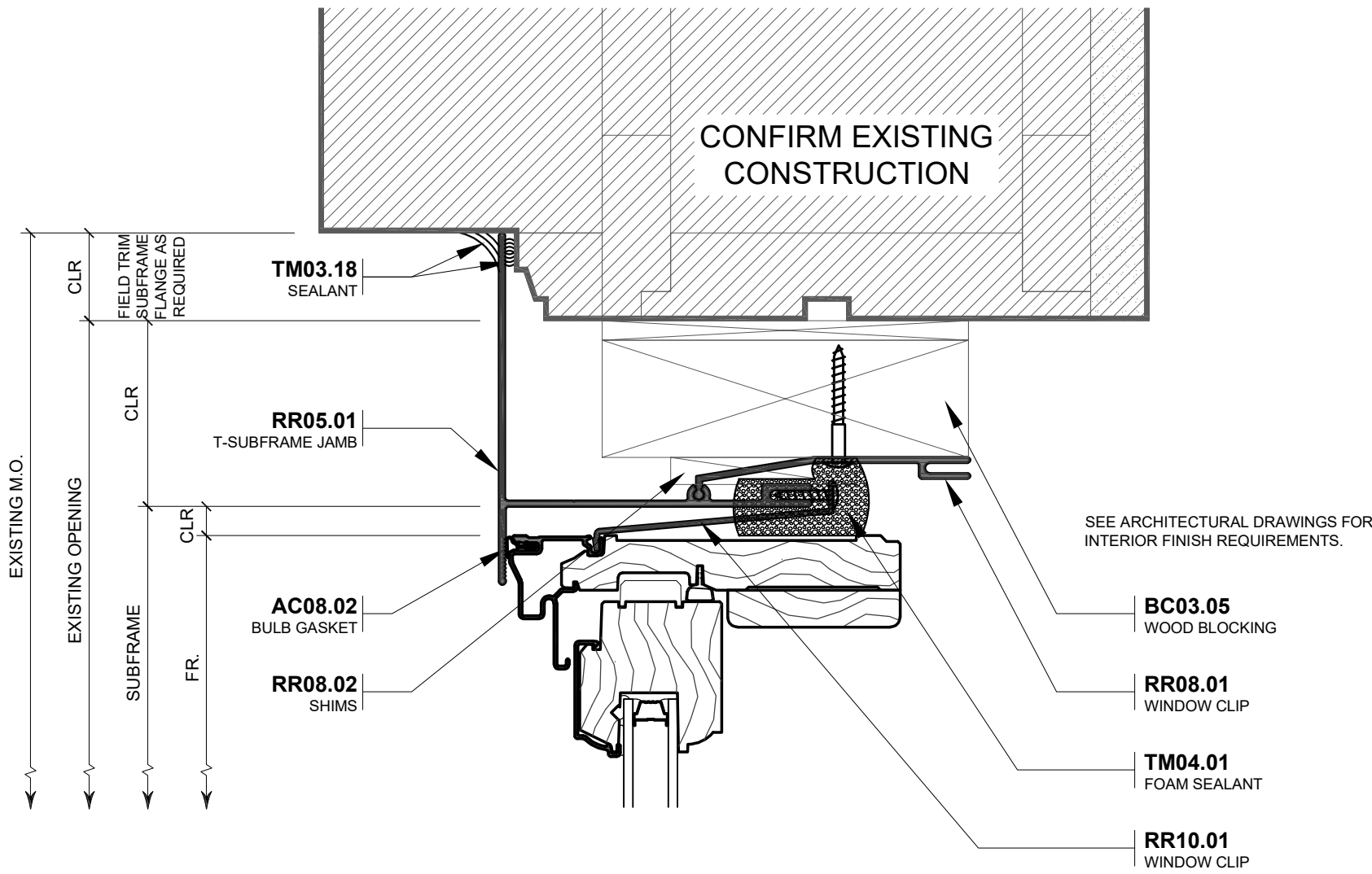
Building Length (ft):	106
Building Width (ft):	80
Edge Strip "a" (ft):	8



	Components and Cladding Design Pressures (PSF)							
	Ultimate				Allowable (ASD)			
	Zone 4		Zone 5		Zone 4		Zone 5	
	Pos	Neg	Pos	Neg	Pos	Neg	Pos	Neg
10	+30.1	-30.1	+30.1	-55.4	+18.1	-18.1	+18.1	-33.2
20	+30.1	-30.1	+30.1	-55.4	+18.1	-18.1	+18.1	-33.2
50	+27.8	-28.6	+27.8	-49.0	+16.7	-17.2	+16.7	-29.4
100	+26.0	-27.4	+26.0	-44.1	+15.6	-16.4	+15.6	-26.5
200	+24.2	-26.2	+24.2	-39.3	+14.5	-15.7	+14.5	-23.6

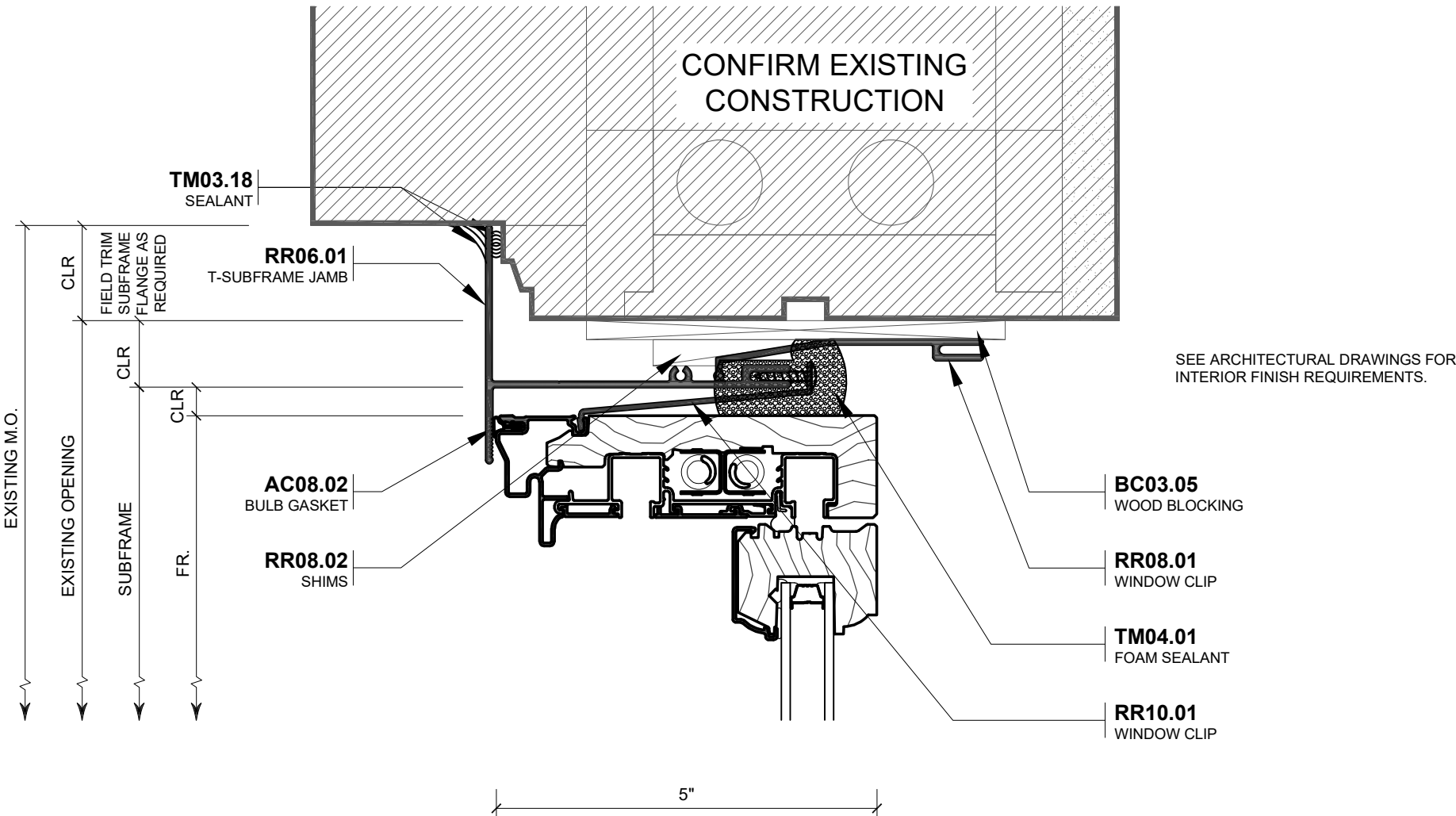
The proposed windows and doors comply with the design pressures shown unless noted otherwise. Allowable Stress Design (ASD) pressures were obtained by multiplying the Ultimate design pressures (Ult.) by 0.6 per IBC section 1609. ASD pressures align with WDMA/AAMA standards and the NAFS performance rating system. Please confirm these design pressures with the structural engineer or building official.

FAILURE TO CONFIRM THESE DESIGN PRESSURES BY A LOCAL STRUCTURAL ENGINEER OR BUILDING OFFICIAL MAY RESULT IN INADEQUATE MULLION DESIGN OR SELECTION OF PRODUCTS.



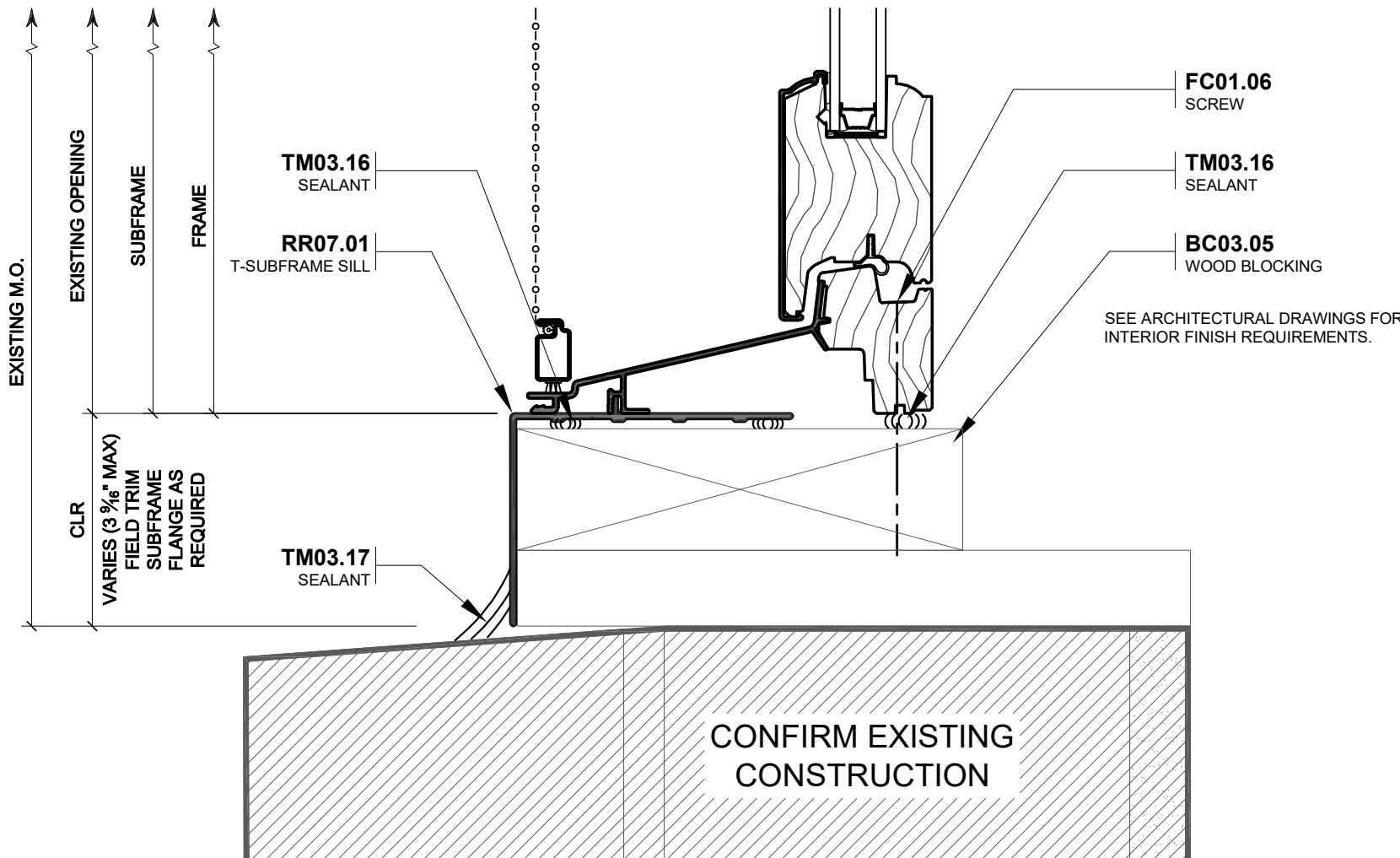
1 HEAD

REF. ARCH. DWG.: -



2 JAMB

REF. ARCH. DWG.: -



3 SILL

REF. ARCH. DWG.: -

DETAIL KEYNOTES

AC : ATTACHMENT COMPONENTS

AC08.02 VINYL RECEPTOR GASKET. INSTALL INTO ACCESSORY GROOVE AS NOTED PRIOR TO INSTALLING UNIT. NOTCH BARB TO CONTINUE BULB GASKET OVER MULLION ENDS.

BC : BUILDING COMPONENTS (BY OTHERS)

BC03.05 CONTINUOUS WOOD BLOCKING. SEAL AND ANCHOR SECURELY TO WALL CONSTRUCTION.

FC : FASTENING COMPONENTS

FC01.06 ANCHOR UNIT TO OPENING WITHIN 4" OF ENDS AND 16" ON CENTER (MAXIMUM) WITH #8 X 3" WOOD SCREWS OR SIMILAR SUBSTRATE COMPATIBLE ANCHOR.

RR : RENOVATION AND REPLACEMENT ACCESSORIES

RR05.01 ALUMINUM T-SUBFRAME SYSTEM. HEAD. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR06.01 ALUMINUM T-SUBFRAME SYSTEM JAMB. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR07.01 ALUMINUM T-SUBFRAME SYSTEM SILL. REFER TO PELLA SUBFRAME INSTALLATION INSTRUCTIONS FOR ASSEMBLY AND INSTALLATION REQUIREMENTS.

RR08.01 SUBFRAME CLIP. SEE TYPICAL DETAIL CC1. ANCHOR TO OPENING WITH TREATED WOOD OR EXISTING WOOD WINDOW. #8 X 1-1/2" STAINLESS STEEL PAN HEAD SCREW.

RR08.02 CONCRETE, BLOCK/BRICK. 3/16" X 1-3/4" STAINLESS STEEL HEX WASHER HEAD MASONRY SCREW.

STEEL STUD. #8 X 1-1/2" STAINLESS STEEL SELF-DRILLING PAN HEAD SCREW.

RR10.01 WINDOW CLIP. SEE TYPICAL DETAIL CC1. USE #8 X 5/8" STAINLESS STEEL SCREW. AVOID INTERFERENCE WITH SUBFRAME CLIP.

TM : THERMAL AND MOISTURE PROTECTION

TM03.16 CONTINUOUS SEALANT. ENSURE FIELD APPLIED PERIMETER SEALANT CONNECTS WITH SEALANT ENDS.

TM03.17 CONTINUOUS SEALANT. PROVIDE WEEPS AS REQUIRED.

TM03.18 CONTINUOUS SEALANT.

TM04.01 APPLY CONTINUOUS 1" BEAD OF LOW EXPANSION, POLYURETHANE, INSULATING FOAM SEALANT MEETING THE REQUIREMENTS OF AAMA812 - DO NOT USE HIGH PRESSURE OR LATEX FOAMS TO CREATE FULL INTERIOR SEAL.

Architectural  
Solutions



REV:	DATE:	REV:	DATE:	REV:	DATE:	REV:	DATE:	REV:	DATE:
1	-	2	-	3	-	4	-	5	-

PRELIMINARY DRAWING FOR  
**IODENT BUILDING RENOVATION**  
LOCATION: DETROIT, MICHIGAN  
ARCHITECT: STEVEN C. FLUM, INC.

ORIGINAL: 3-17-2025

DRAWN BY: BMB

CHECKED BY: RCH

Project No.:

223688.01

SHEET:  
01 OF 01





## PELLA® RESERVE™ – TRADITIONAL Wood Double-Hung Window

3.78 ★★★★★ [357 Reviews](#)

Create the traditional look your historic renovation, new construction or replacement project requires with a traditional wood or aluminum-clad wood double-hung window. This Pella Reserve window proves our uncompromised attention to detail with historic putty profiles, through-stile construction, innovative grilles and authentic spoon-lock hardware.

- Winner of 2019 Most Innovative Window from Window and Door Magazine with optional Integrated Rolscreen® retractable screen that appears when you open the window and rolls away when you close it.
- Pella Reserve products have been reviewed and approved on a case-by-case basis by the National Park Service for use on projects with historic tax credits.
- Innovative sash lugs can be added to the exterior to create the authentic look, while maintaining modern tilting functionality for easy cleaning.



Pella® Reserve™ Traditional Hung Window

Size and Performance Data

Air/Water/Structural Performance <sub>1</sub>	
Meets or Exceeds AAMA / WDMA Ratings	H-CW30 - CW50 Hallmark Certified
Air Infiltration (cfm / ft² of frame @ 1.57 psf wind pressure) <sub>2</sub>	0.11
Water Resistance	4.6 – 7.5 psf
Design Pressure	30 – 50 psf
Other Performance Criteria	
Forced Entry Resistance Level (Minimum Security Grade) <sub>3</sub>	10
Operating Force (lb) Initiate Motion / Maintain Motion (of Hallmark tested size and glazing) <sub>4</sub>	40/45

Sound Transmission Class / Outdoor-Indoor Transmission Class

Product	Frame Size Tested <sub>5</sub>	Glazing System				STC Rating	OITC Rating
		Overall Glazing Thickness	Exterior Glass Thickness	Interior Glass Thickness	Third Pane Thickness		
Clad Double-Hung Window	WITHOUT GRILLES						
	45" x 65"	11/16"	2.5mm	2.5mm	—	28	24
	45" x 65"	11/16"	5mm	3mm	—	31	27
Wood Double-Hung Window	WITHOUT GRILLES						
	45" x 65"	11/16"	2.5mm	2.5mm	—	26	22
	45" x 65"	11/16"	3mm	3mm	—	29	24

(—) = Not Available

(1) Maximum performance for single unit when glazed with the appropriate glass thickness. See Design Data pages in this section for specific product performance class and grade values.

(2) Published performance data for air infiltration is determined by testing a minimum of four (4) products of NFRC model size. Testing is conducted in accordance with ASTM E283. Air infiltration ratings for products will differ by size. The performance data does not apply to combination assemblies unless noted. Actual product performance may vary for a number of reasons including installation and product care.

(3) The higher the level, the greater the product's ability to resist forced entry.

(4) Glazing configurations may result in higher operational forces

(5) ASTM E 1425 defines standard sizes for acoustical testing. Ratings achieved at that size are representative of all sizes of the same configuration.



# Pella® Reserve™ Traditional Hung Window

## Features and Options

Standard	Options / Upgrades
<b>Glazing</b>	
<b>Glazing Type</b>	
Dual-Pane Insulating Glass	—
<b>Insulated Glass Options/Low-E Types</b>	
Advanced Low-E	SunDefense™ Low-E
	SunDefense+ Low-E
	AdvancedComfort Low-E
	NaturalSun Low-E
	NaturalSun+ Low-E
	Clear (no Low-E coating)
<b>Additional Glass Options</b>	
Annealed Glass	Tempered Glass
	Obscure Glass <sub>1</sub>
	Low-E Tinted Glass (Bronze, Gray and Green)
	Non-Impact Laminated Dual-Pane Insulating Glass
<b>Gas Fill/High Altitude</b>	
Argon	High altitude
<b>Exterior</b>	
<b>Exterior Sash Profile</b>	
Ogee	Putty Glaze
<b>Exterior Finish</b>	
EnduraClad® aluminum-clad exterior	EnduraClad Plus protective finish, Factory Primed Pine wood exterior, Unfinished Mahogany wood exterior
<b>Cladding Colors</b>	
Standard colors <sub>1</sub>	Feature Colors, Custom Colors <sub>1</sub>
<b>Interior</b>	
Unfinished wood	Factory primed
	Factory prefinished paint <sub>1</sub>
	Factory prefinished stain <sub>1</sub>
<b>Wood Types</b>	
Pine	Mahogany, Douglas Fir
<b>Hardware</b>	
<b>Hardware Types</b>	
Sash lifts, Cam-action lock	Simulated lock
	Air conditioner lock
	Historical spoon-style lock (surface mounted)
<b>Hardware Finishes</b>	
Champagne, White, Brown or Matte Black	Satin Brass, Satin Nickel, Oil-Rubbed Bronze, Distressed Bronze, Distressed Nickel <sub>4</sub>
<b>Tilt-Wash Cleaning</b>	
Tilt to interior on both sashes	—
<b>Grilles</b>	
<b>Integral Light Technology® Grilles</b>	
—	Traditional, Prairie, Top Row, Cross, New England, Victorian, Diamond, Custom
<b>Grilles-Between-the-Glass</b>	
—	Traditional, Prairie, Top Row <sub>1</sub> , Cross, Custom-Equally Divided
<b>Screens</b>	
—	Integrated Rolscreen® - retractable screen, InView™ screens, in standard roll-form or premium extruded aluminum frame

(—) = Not Available

(1) Contact your local Pella sales representative for current designs and color options.

(2) Only available for Pella Reserve products with triple glazing. Not available with high altitude glazing.

(3) Available with Low-E argon-insulated glass only.

































































(4) Antique Brass, Distressed Nickel, Distressed Bronze finishes available for Historical spoon-style lock only.



Pella® Reserve™ Traditional Hung Window

Size Tables - Cottage Sash

VENT UNITS

	(552) (533)	(654) (635)	(756) (737)	(857) (838)	(959) (940)	(1 060) (1 041)	(1 162) (1 143)	(1 238) (1 219)
Opening	1' 9 3/4"	2' 1 3/4"	2' 5 3/4"	2' 9 3/4"	3' 1 3/4"	3' 5 3/4"	3' 9 3/4"	4' 0 3/4"
Frame	1' 9"	2' 1"	2' 5"	2' 9"	3' 1"	3' 5"	3' 9"	4' 0"
(1 060) (1 041)								
(1 213) (1 194)								
(1 365) (1 346)								
(1 467) (1 448)								
(1 518) (1 499)								
(1 670) (1 651)								
(1 822) (1 803)								
(1 822) (1 803)								

**Egress Notes:**

Check all applicable local codes for emergency egress requirements.

E = Window meets minimum clear opening of 24" height, 20" width, and 5.7 ft<sup>2</sup>.

E1 = Window meets minimum clear opening of 24" height, 20" width, and 5.0 ft<sup>2</sup>.

See Design Data pages in this section for clear opening dimensions.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen (or any other accessory) to the product. Consult your local building code to ensure products with Rolcreens meet egress requirements.

Opening Dimensions

**Clad Exterior Units:**  
Dimensions shown in standard size tables are rough opening dimensions.

**Wood Exterior Units:**  
Use frame dimension plus dimensions below. This dimension includes the use of standard 1-1/8" wood subsill.

Frame	Rough		Masonry	
Brickmould	Width	Height	Width	Height
STD	+ 3/4"	+1-7/8"	+ 3-1/8"	+ 3-1/8"
3-1/2"	+ 3/4"	+1-7/8"	+ 6-3/8"	+ 4-3/4"

For clad and wood units with impact-resistant glass, see the product installation instructions or refer to local building code requirements.

Not to scale.

Traditional grille patterns shown. Refer to Grille Types section for additional patterns and profiles.

Cottage units have unequal sash split. Sash glass ratio is 40% upper sash to 60% Lower sash.

Vent variable units have unequal sash split. Sash glass ratio is determined by checkrail heights. See unit sections for dimension requirements.



## Iodent building photographs

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North East Corner Park Ave. and W. Montcalm St.



## Iodent building photographs

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South view of building at alley



## Iodent building photographs

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Exterior close up view of existing windows



# Iodent building photographs



Interior view of existing window closed position

# Iodent building photographs



Interior view of existing window open position



## Iodent building photographs

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Window frame wood sill and exterior stone wall



Close up view of window frame sill

## Iodent building photographs

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Window frame head and transom above



## Iodent building photographs

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View of existing widow jamb and sash



## Iodent building photographs

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View of existing window jamb and sash



## Iodent building photographs

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View of existing window sash