



PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

# HISTORIC DISTRICT COMMISSION

## CERTIFICATE OF APPROPRIATENESS

**Application Number:** HDC2025-00101

**Effective Date:** 05/20/25

**Project Address:** 1681 Leverette

**Issued to:** Brian Hurttienne

**Historic District:** Corktown

15324 E Jefferson, Suite 5  
Grosse Pointe Park, MI 48230

**Description of Work:**

Demolish rear addition, erect new rear addition, rehab/alter porch

**With the Conditions that:**

The breezeway element connecting the proposed garage shall be redesigned to incorporate some massing/fenestration articulation, to be approvable by staff.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

**For the Commission:**

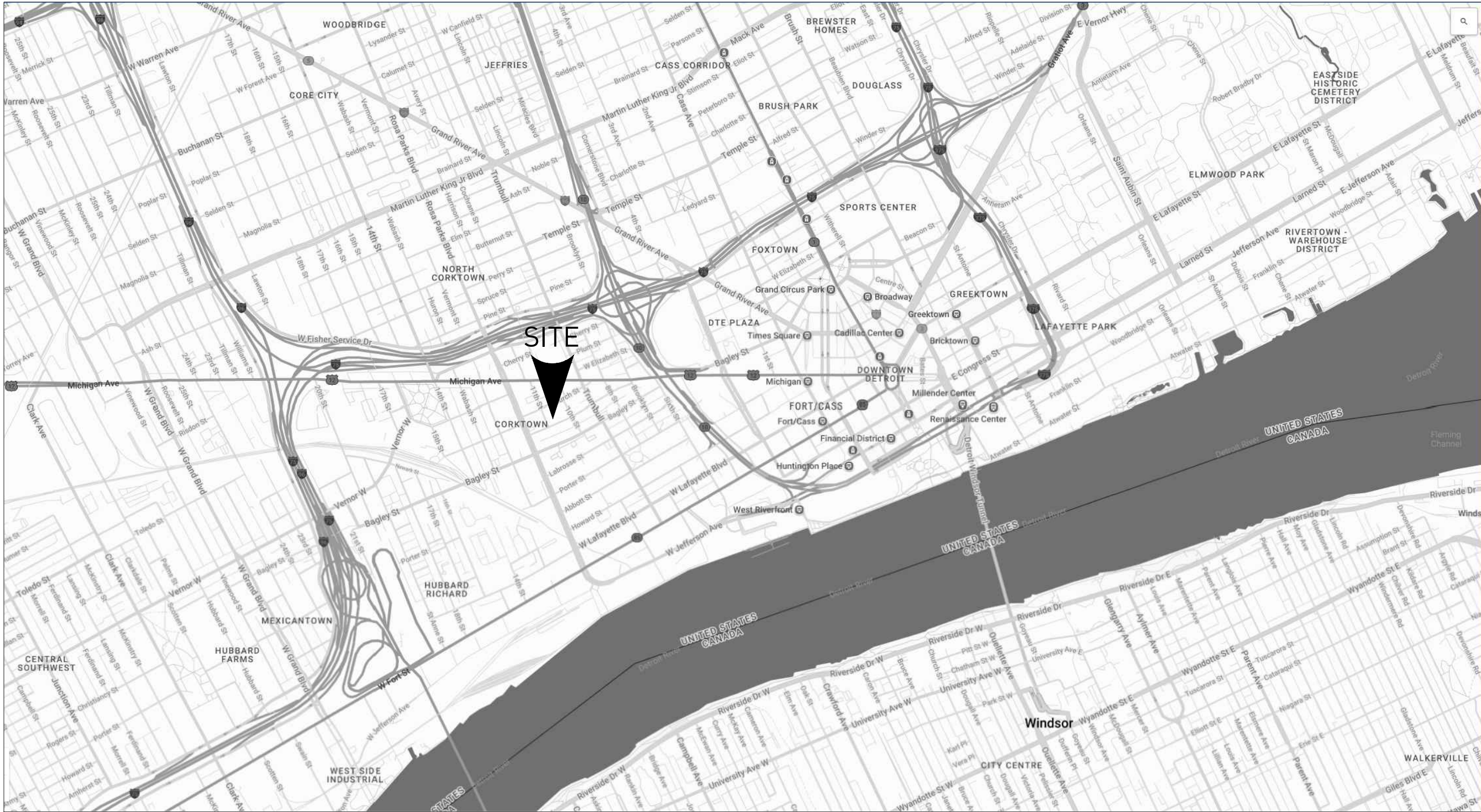
Daniel Rieden  
Senior Clerk to the Historic District Commission

PSR: 250523GL

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.







LOCATION PLAN

GENERAL NOTES		
1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION. UNLESS OTHERWISE AGREED UPON, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL RETAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.	11. CHANGES IN THE WORK SHALL BE INITIATED THROUGH CONSTRUCTION DIRECTIVES. CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM OWNER OF CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.	21. IF DEMOLITION OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHOD OF DEMOLITION.
2. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.	12. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE GENERAL CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, GUYS, OR TIE-DOWNS IF NECESSARY.	22. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION PRIOR TO START OF DEMOLITION.
3. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT AND INFLUENCE OF THE WORK.	13. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.	23. THE GENERAL CONTRACTOR AND DEMOLITION CONTRACTOR, SHALL VERIFY THE EXISTENCE AND LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL AND GAS SERVICES, ETC., IN THE DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
4. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.	14. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS IN WALLS AND CEILINGS AS REQUIRED BY THE APPLICABLE BUILDING CODE, AND RULES AND PER THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION.	24. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR THE CONSTRUCTION PROCESS AND DISPOSE OFF SITE IN A SAFE AND LEGAL MANNER.
5. ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE IS TO BE POINTED OUT TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. ADDENDA WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THOSE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.	15. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNERS REQUIREMENTS.	25. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE TO BE REMOVED.
6. THE GENERAL CONTRACTOR / SUB-CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITHIN THE PLANS, DRAWINGS, OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.	16. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXITING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.	26. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OF PLUMBING, NECESSARY CAPPING OF EXISTING, AND INSTALLATION OF NEW FOUNDATION WORK.
7. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.	17. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT. ALL ADVERSELY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE ARCHITECT.	27. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
8. THE GENERAL CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.	18. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE GENERAL CONTRACTOR'S EXPENSE.	28. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK WITH OWNER'S PERSONNEL TO AVOID ANY INTERFERENCE OR CONFLICT IN OPERATIONS.
9. THE GENERAL CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.	19. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEERS' DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.	29. THE GENERAL CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, SHALL ADJUST, REPAIR, OR REPLACE AT NO COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, INCLUDING OR AFFECTED WITHIN THE SCOPE OF THE CONTRACT.
10. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION.	20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE. USING TOOLS AND METHODS SUBJECT TO OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.	

SYMBOLS		LEGEND	
	Concrete masonry unit	Room 105	Room Name & Number
	Brick		Column Line Identification
	Concrete		Partition Type
	Batt Insulation		Demolition Key Note
	Rigid insulation		Foundation Key Note
	Closed Cell Polyurethane Spray Foam Insulation		
	Plywood		
	Ferrous metal		
	Nonferrous metal		
	Wood finish		
	Wood, rough continuous		
	Wood, rough blocked		
	Glass		
	Glass block		
	Acoustical Tile		
	Gypsum Wall Board		
	Carpets		
	Plastic laminate		
	Wood veneer		
	Align		

	Architectural Key Note		Vertical Height Elevation
	Roof Key Note		Window Type/Schedule Number
	Electrical Key Note		Door Type/Schedule Number
	Structural Key Note		Finish Material Number
	Elevation Key Note		Revision Number

	Elevation Tag		Plan Detail Tag
	Sheet Number Elevation Number		Detail Number
	Section Tag		Sheet Number
	Section Number		Door Identification Tag
	Sheet Number		Door Type Number
			Hardware Accessory Set
			Hardware Set

	Sheet Identification
	Discipline Designator
	A-Architectural Sheets

	Sheet Sequence Number
	Number Identifying each Sheet in Set
	Sheet Type Designator
	0-General (symbols, legend, notes)
	1-Plans (horizontal views)
	2-Elevations (vertical views)
	3-Sections, Details, Diagrams & Notes

SIGNATURE BLOCK		
NAME OF AUTHORIZED REPRESENTATIVE	SIGNATURE	DATE
-		
Owner		
-		
Christian Hurttienne Architects, LLC ( <i>Architect</i> )		
-		
Contractor		

DRAWING LIST	
GENERAL SHEETS	
G0-00	COVER SHEET GENERAL NOTES, LEGENDS, SYMBOLS
ARCHITECTURAL SHEETS	
A1-00	SITE PLAN
A1-10	EXISTING AND PROPOSED ARCHITECTURE PLANS
A1-11	EXISTING AND PROPOSED ARCHITECTURE PLANS
A1-12	EXISTING AND PROPOSED ARCHITECTURE PLANS
A1-13	EXISTING AND PROPOSED ROOF PLANS
D2-01	ELEVATIONS - DEMOLITIONS
D2-02	ELEVATIONS - DEMOLITIONS
A2-01	ELEVATIONS - NEW WORK
A2-02	ELEVATIONS - NEW WORK
A3-11	BUILDING DETAILS
A3-12	BUILDING DETAILS
A6-01	EXISTING HOUSE WINDOW SCHEDULE

ISSUED FOR:  
HISTORIC DISTRICT COMMITTEE

03.13.25

# 1681 LEVERETTE

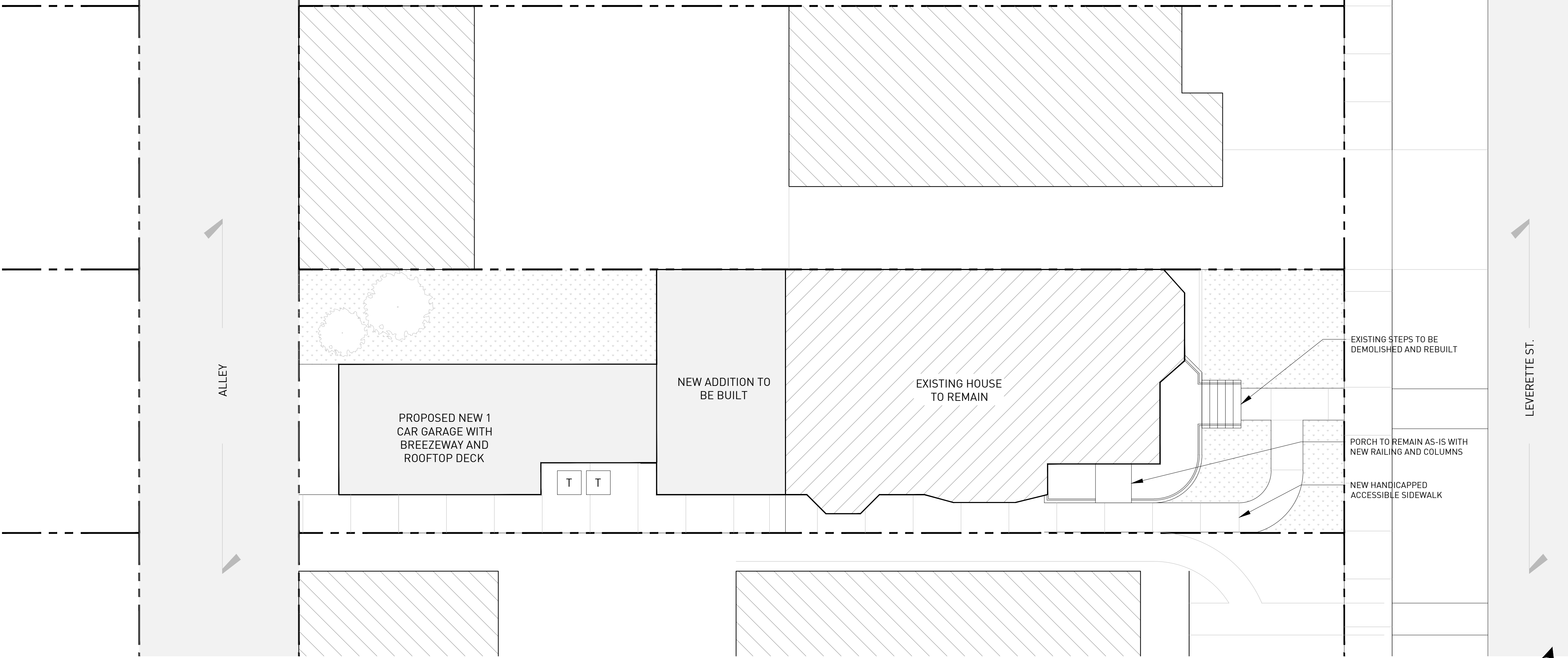
1681 Leverette St, Detroit, MI 48216

## Christian Hurttienne Architects, LLC

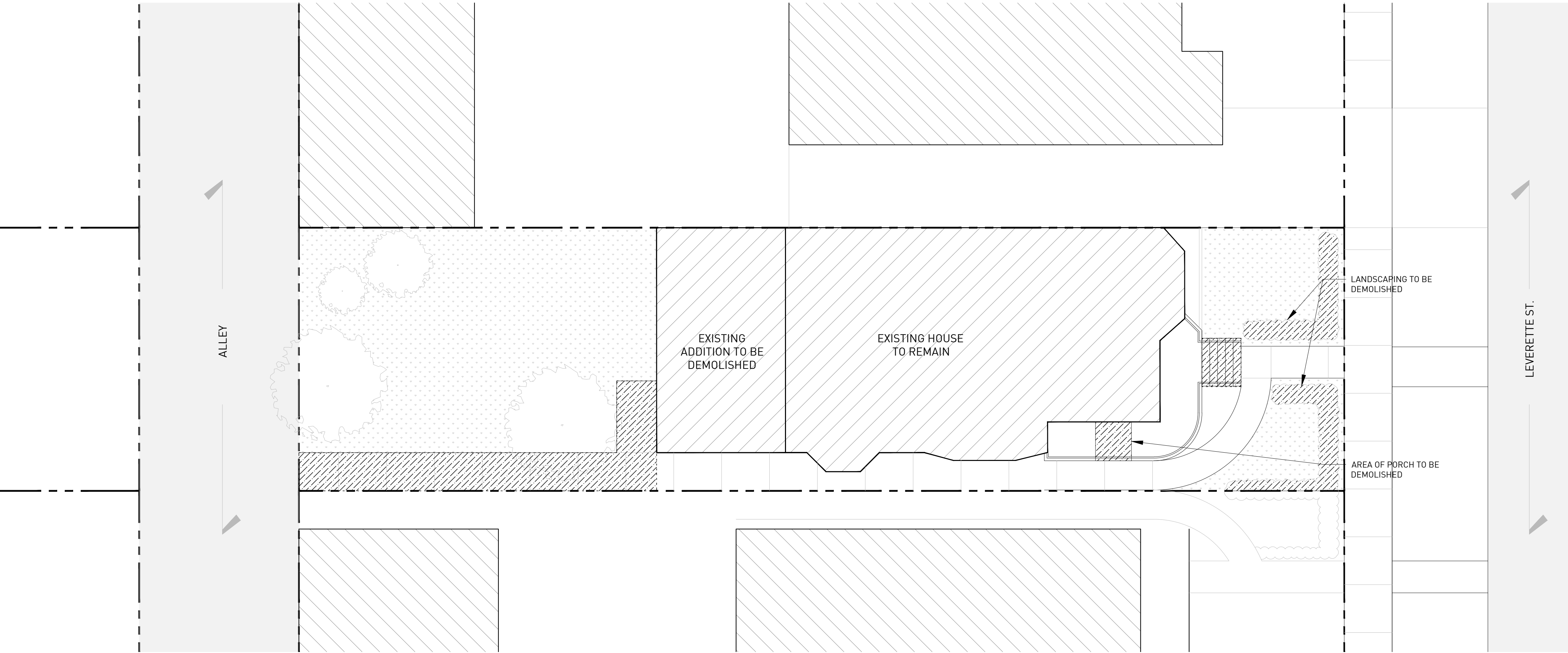
15324 E. Jefferson, Suite 5  
Grosse Pointe Park, MI 48230  
313.850.6689 brian@cha-c.com

DRAWING ISSUE DATES:	
DESCRIPTION	DATE OF ISSUE
1. -	-
2. -	-
3. -	-
4. -	-
5. -	-
6. -	-





1 SITE PLAN - PROPOSED  
ORIGINAL IMAGE SCALE: 1/8" = 1'-0"



2 SITE PLAN - EXISTING  
ORIGINAL IMAGE SCALE: 1/8" = 1'-0"

#### CONTRACTOR'S NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3 WORKING DAYS  
**BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

#### GENERAL NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE "STAKED-OUT" BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF
- ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY)
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES. NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
- EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



15324 E. JEFFERSON, SUITE 8  
GROSSE POINTE PARK, MI 48230  
313.825.2005 CHA-C.COM

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAILS TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

SEAL

DRAWING NO.

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

DATE DESCRIPTION  
1. HDC SUBMITTAL 03.13.2025

SITE PLAN

A1-00

HDC SUBMITTAL

ARCHITECTURE GENERAL NOTES

1.

ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2.

WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
3.

FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
4.

ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
5.

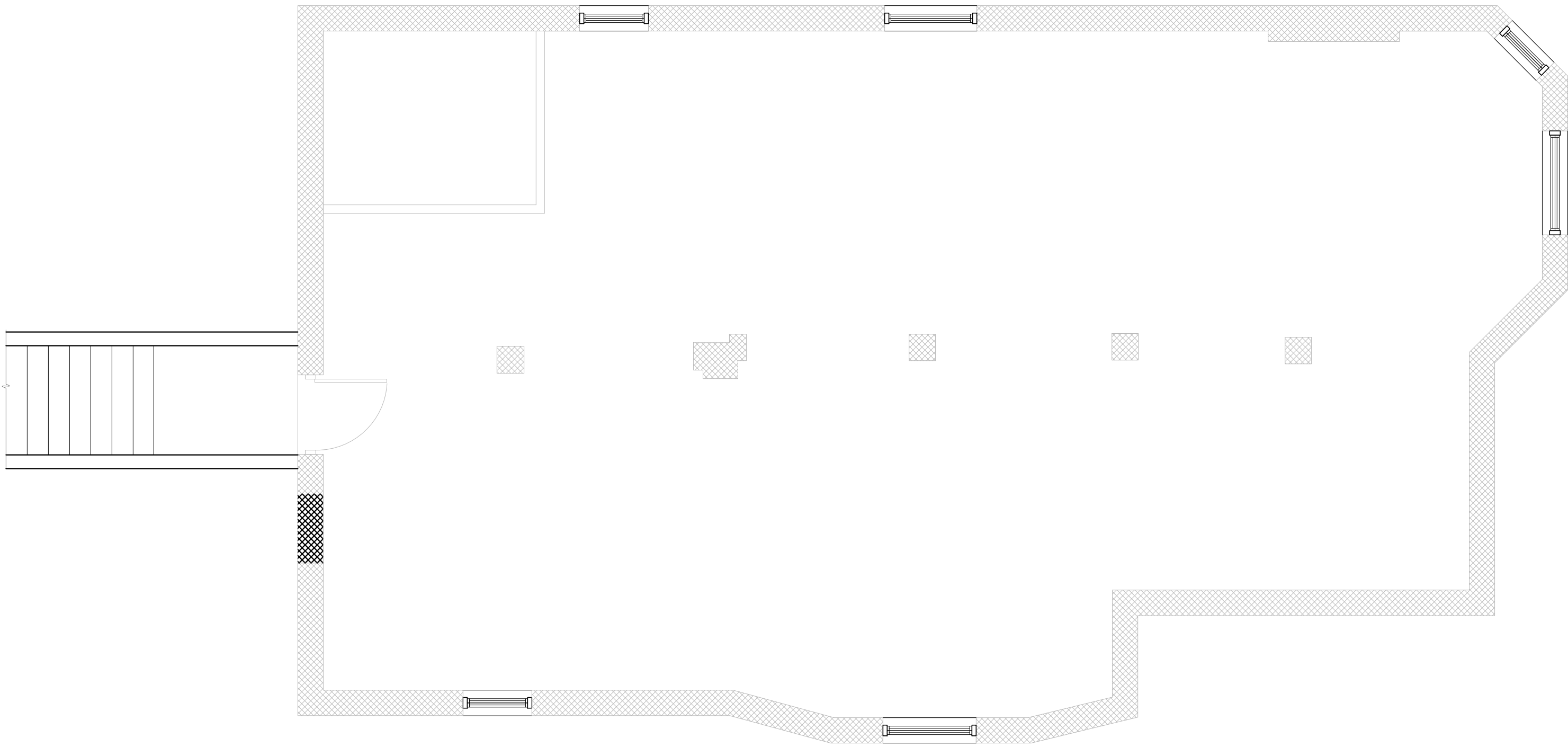
ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
6.

GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

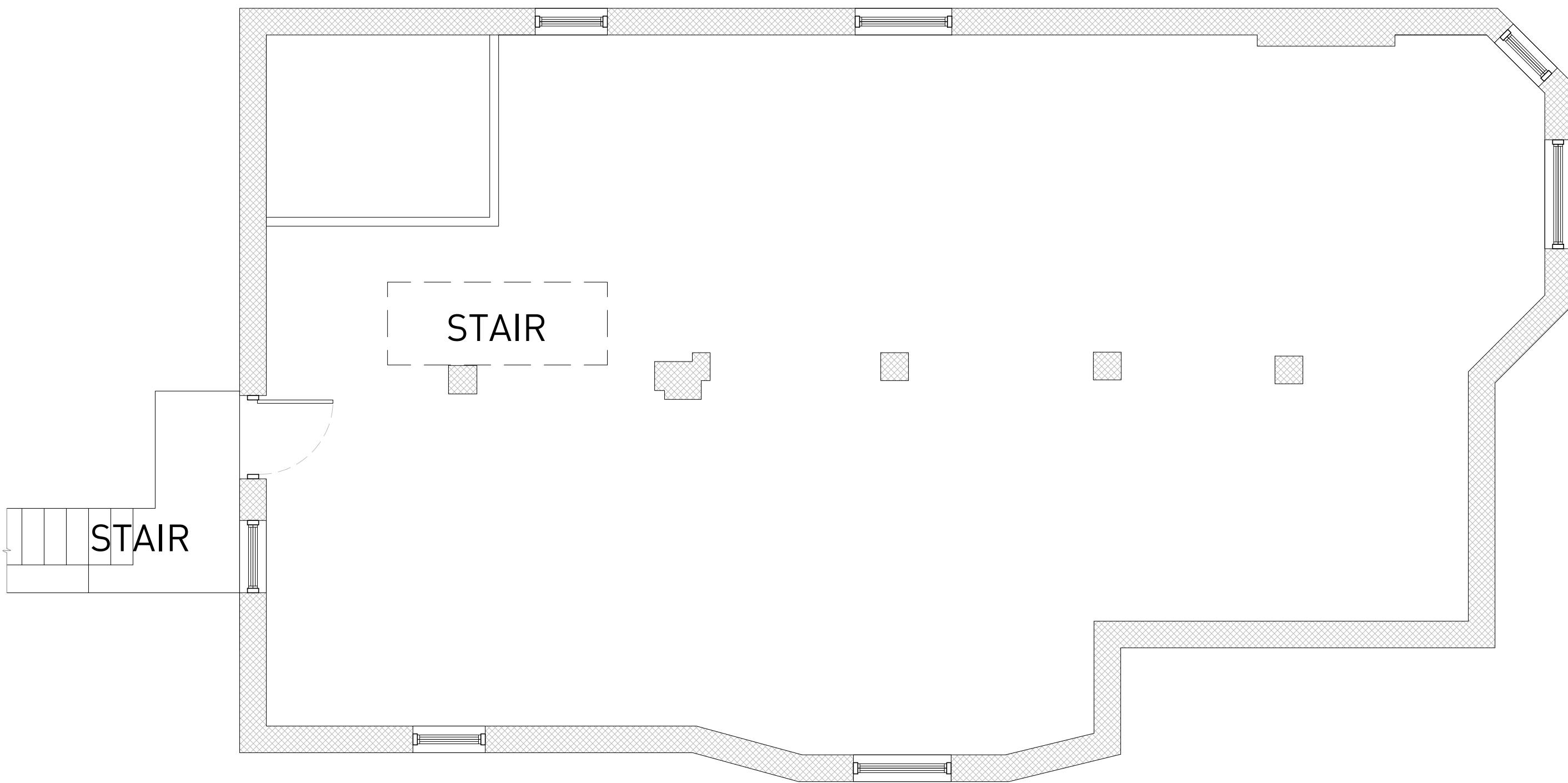
SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- WOOD-FRAMED WALL CONSTRUCTION
- CONCRETE FLATWORK
- DEMISING WALL
- SCREEN WALL
- LANDSCAPED AREA



2 BASEMENT ARCHITECTURE PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 EXISTING BASEMENT PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



CHRISTIAN HURTTIENNE ARCHITECTS

15324 E. JEFFERSON, SUITE 5  
GROSSE POINTE PARK, MI 48230  
313.825.2005

CHA-C.COM

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CONTRACTOR NOTE

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TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

DATE

DESCRIPTION

1. HDC SUBMITTAL

03.13.2025

SEAL

DRAWING NO.

EXISTING AND  
PROPOSED  
ARCHITECTURE  
PLANS

A1-10



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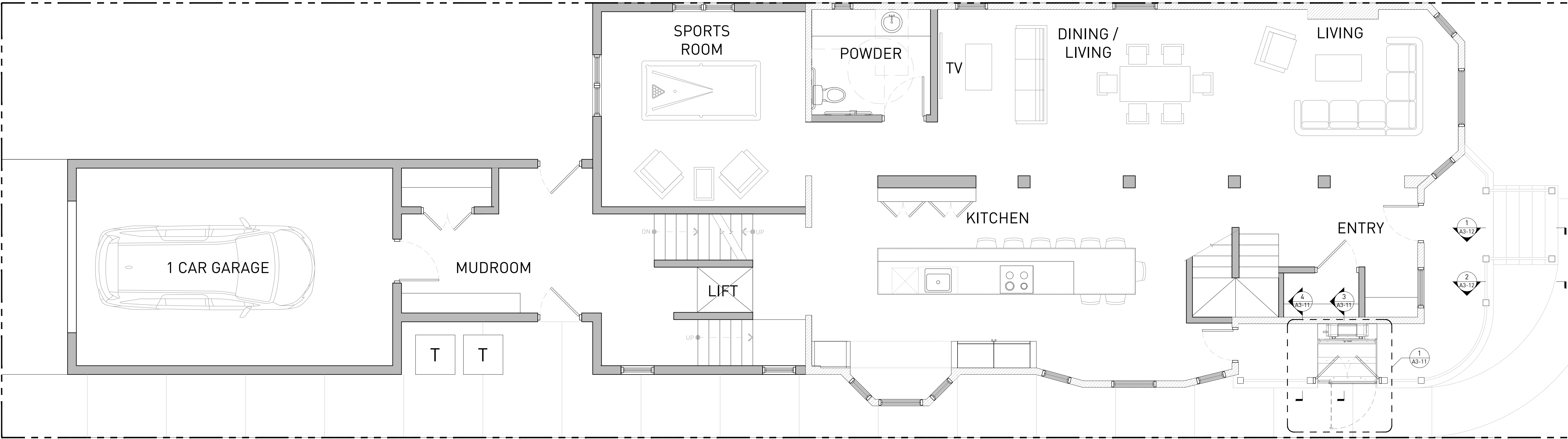
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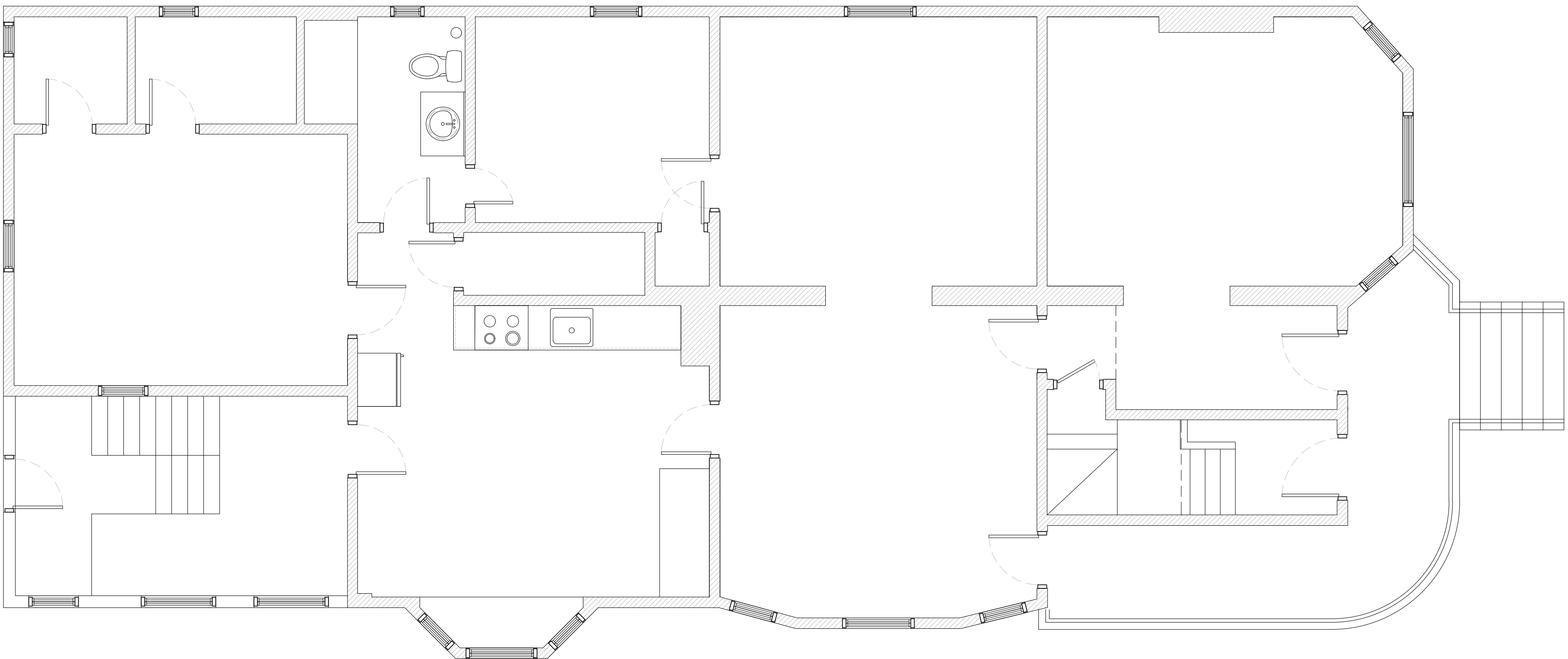
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- CONCRETE FLATWORK
- DEMISING WALL
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- LANDSCAPED AREA



2 PROPOSED FIRST LEVEL ARCHITECTURE PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 EXISTING FIRST LEVEL PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEER	TBD
MEP ENGINEER	TBD

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ISSUES	DATE	DESCRIPTION
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PLANS

A1-11

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STRUCTURAL ENGINEER  
MEP ENGINEER

TBD

TBD

1681 LEVERETTE

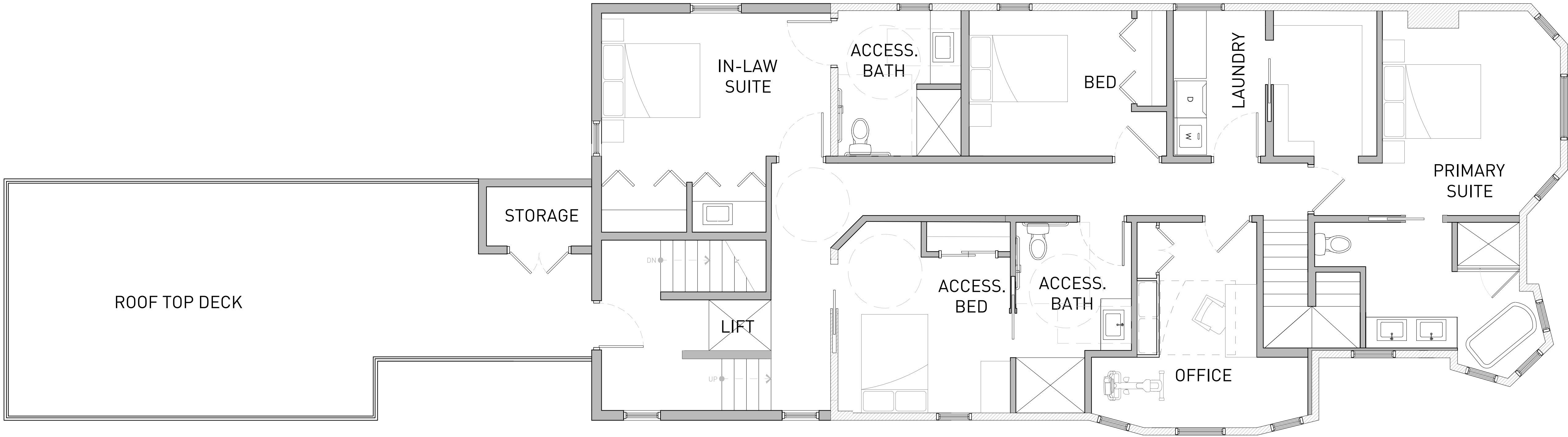
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HDC SUBMITTAL

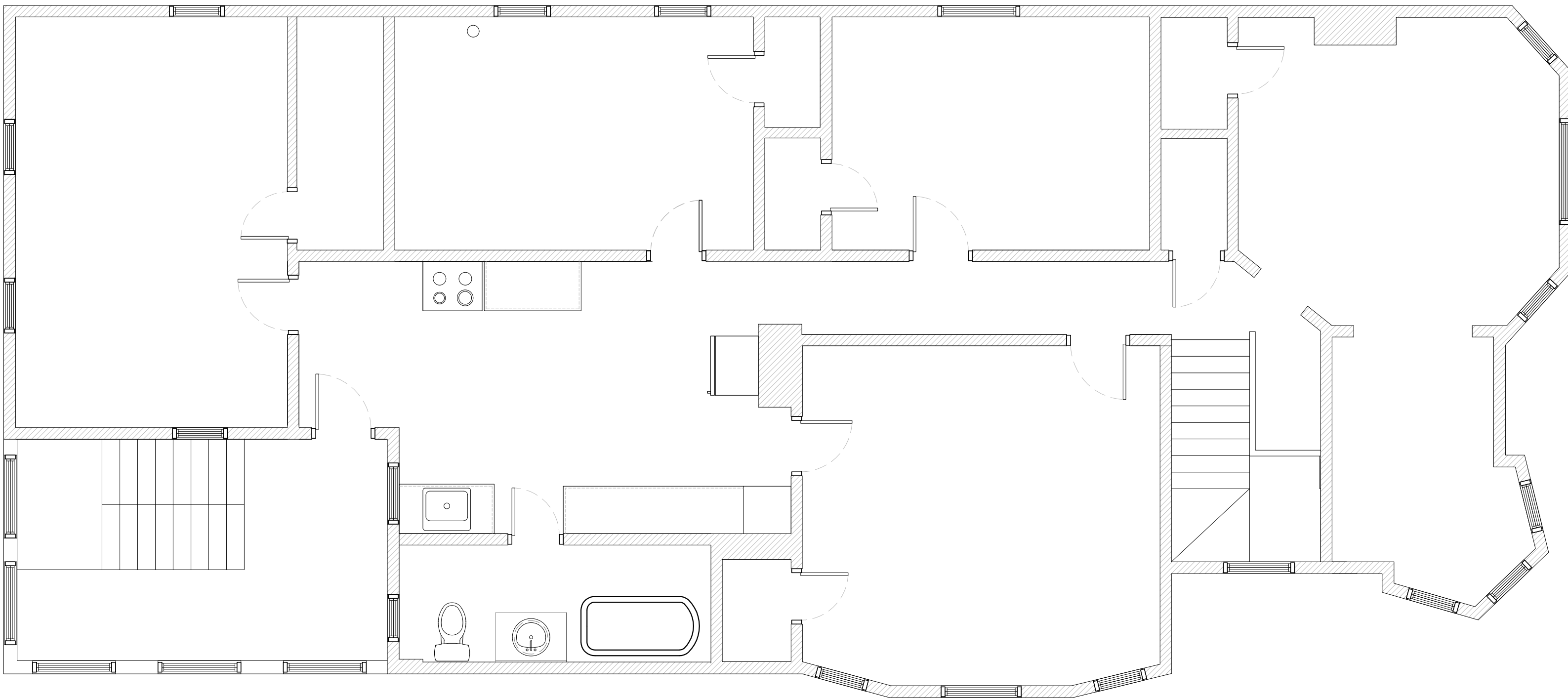
ISSUES	DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025	

EXISTING AND  
PROPOSED  
ARCHITECTURE  
PLANS

A1-12



2 PROPOSED SECOND LEVEL ARCHITECTURE PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 SECOND LEVEL EXISTING PLAN  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

ARCHITECTURE GENERAL NOTES

1.

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4.

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GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- WOOD-FRAMED WALL CONSTRUCTION
- CONCRETE FLATWORK
- DEMISING WALL
- SCREEN WALL
- LANDSCAPED AREA



CHRISTIAN HURTTIENNE ARCHITECTS  
15324 E. JEFFERSON, SUITE 5  
GROSSE POINTE PARK, MI 48230  
313.825.2005  
CHA-C.COM

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES	DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025	

SEAL

EXISTING AND  
PROPOSED ROOF  
PLANS

DRAWING NO.

A1-13



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DEMOLITION NOTES

PORCH

1.

FLOOR AND FLOOR STRUCTURE, ROOF AND ROOF/ CEILING STRUCTURE TO REMAIN.
2.

WROUGHT IRON COLUMNS AND RAILING TO BE DEMOLISHED.
3.

EXISTING IRON COLUMNS AND RAILING TO BE DEMOLISHED.
4.

EXISTING ANACHRONISTIC CONCRETE STEPS TO DE DEMOLISHED.
5.

EXISTING WOOD SKIRT TO BE DEMOLISHED.
6.

EXISTING DOOR AND ASSOCIATED TRIM TO BE REMOVED.

ROOF

1.

ROOF STRUCTURE AND SHINGLE MATERIAL TO REMAIN
2.

CHIMNEYS TO REMAIN.

WINDOWS

1.

SEE WINDOW SCHEDULE SHEET A6-01.
2.

AREA TO BE REMOVED FOR NEW WINDOW.

SIDING

1.

EXISTING ASPHALT SIDING TO BE REMOVED THROUGHOUT. EXISTING WOOD SIDING AND TRIM TO REMAIN.
2.

CHIMNEYS TO REMAIN.

REAR ADDITION

REAR ADDITION TO ALL WOOD CONSTRUCTION, CURRENTLY IN A STATE OF DISREPAIR (SLOPING FLOORS, CRACKED WALLS, OVERALL SUBSTANDARD CONSTRUCTION WHEN BUILT), IS PROPOSED TO BE DEMOLISHED AND REBUILT IN EXISTING CONFIGURATION.

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

- DATE

1. HDC SUBMITTAL
- DESCRIPTION

03.13.2025

SEAL

ELEVATIONS -  
DEMOLITION

DRAWING NO.

D2-01



1 NORTH ELEVATION - DEMOLITION  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - DEMOLITION  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



ARCHITECTURE GENERAL NOTES

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ROOF STRUCTURE AND SHINGLE MATERIAL TO REMAIN
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SEE WINDOW SCHEDULE SHEET A6-01.
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AREA TO BE REMOVED FOR NEW WINDOW.

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EXISTING ASPHALT SIDING TO BE REMOVED THROUGHOUT. EXISTING WOOD SIDING AND TRIM TO REMAIN.
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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

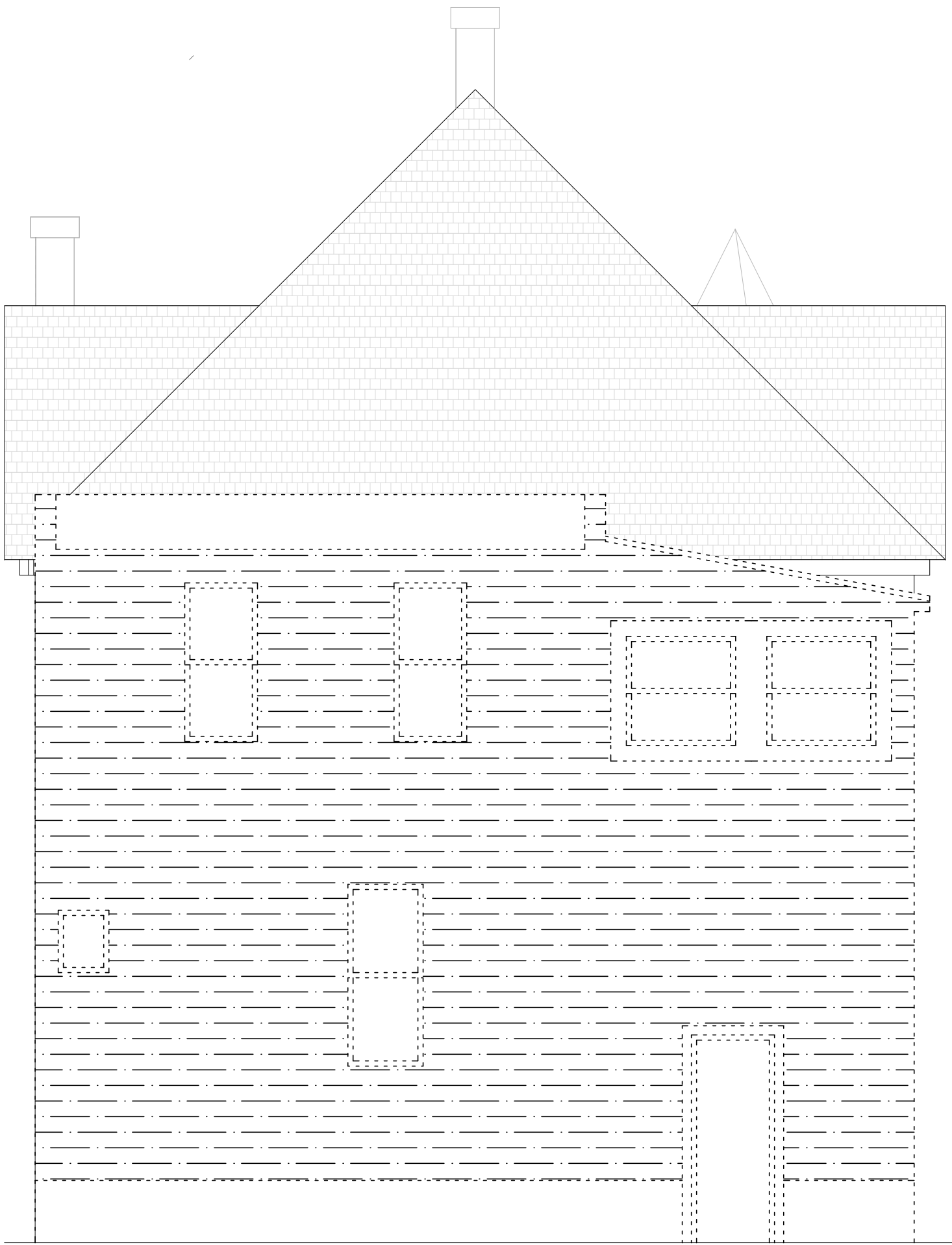
DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025

SEAL

ELEVATIONS -  
DEMOLITION

DRAWING NO.

D2-01



1 NORTH ELEVATION - DEMOLITION  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION - DEMOLITION  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION - ENLARGED PORCH  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

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ARCHITECTURE NOTES

PORCH

- EXISTING CEILING AND TRIM AND FLOOR AND TRIM, TO BE SANDED AND PAINTED. SMALL WOOD PIECES WILL BE REPLACED WITH WOOD.
- NEW TURNED WOOD COLUMNS, WOOD RAILING AND WOOD SKIRT TO BE INSTALLED, PAINTED.
- NEW WOOD STEPS TO BE INSTALLED, PAINTED. SEE DETAIL AX/3-XX

PAINT COLORS

- ALL PAINT COLORS TO BE BY HDC COLOR GUIDE. COLOR SYSTEM B. EXACT COLORS PER MATERIAL TBD AND PRESENTED TO HDC STAFF.

SYMBOLS

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

TBD

1681 LEVERETTE

1681 LEVERETTE ST, DETROIT, MI 48216

HDC SUBMITTAL

ISSUES

DATE	DESCRIPTION
1. HDC SUBMITTAL	03.13.2025

SEAL

ELEVATIONS - NEW WORK

DRAWING NO.

A2-01





1 SOUTH ELEVATION - PROPOSED  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 EAST ELEVATION - PROPOSED  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

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### ARCHITECTURE NOTES

#### ROOF

- SHINGLES TO REMAIN. TRIM TO BE PAINTED.
- CHIMNEYS TO BE TACK POINTED.

#### SIDING AND TRIM

- AFTER REMOVAL OF EXISTING ASPHALT SIDING, EXISTING WOOD SIDING AND TRIM REMAINING WILL BE SCRAPPED AND PAINTED.
- WINDOW AND DOOR TRIM WILL BE REVIEWED WITH HDC STAFF FOR REPAIR, REPLACEMENT OF PIECES, OR WHOLESALE REPLACEMENT.
- NEW CONSTRUCTION TO HAVE HARDIE-BOARD LAP SIDING INSTALLED WITH ALUMINUM ACCESSORIES.

#### NEW WINDOWS AND DOORS

- PROPOSED NEW WINDOWS TO BE ALUMINUM CLAD WOOD WINDOWS/
- PROPOSED NEW DOORS TO BE ALUMINUM INSULATED WITH HOLLOW METAL FRAMES.
- NEW DOOR TO ROOF DECK AT ROOF DECK TO BE ALUMINUM INSULATED WITH FULL GLASS AND HOLLOW METAL FRAME.

### SYMBOLS

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TBD

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TBD

1681 LEVERETTE

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HDC SUBMITTAL

ISSUES

DATE

1. HDC SUBMITTAL

DESCRIPTION

03.13.2025

SEAL

ELEVATIONS - NEW  
WORK

DRAWING NO.

A2-02

ARCHITECTURE NOTES

LIFT

- SEE BROCHURE FOR SPECIFICATIONS.
- WOOD RAILING TO BE HINGED FOR OPERATION OF LIFT DEVICE.
- LIFT WILL MOST LIKELY LIKELY B AUGMENTED TO CONFORM TO EXTERIOR CONDITIONS.

ARCHITECTURE GENERAL NOTES

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ARCHITECTURE GENERAL NOTES

1.

ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2.

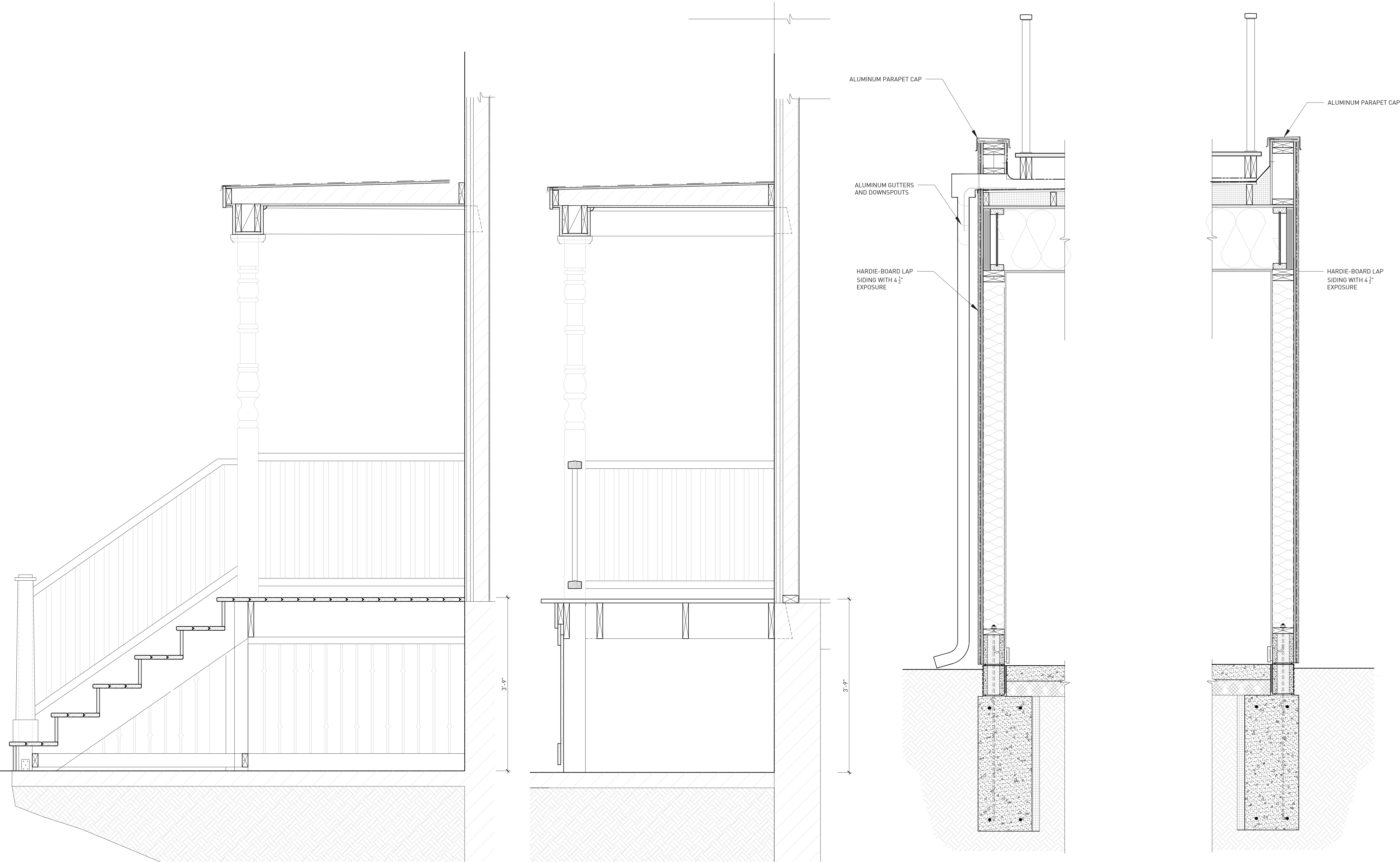
WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
3.

FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
4.

ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
5.

ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
6.

GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, STOREFRONT EQUIPMENT, OR OTHER FINISHES.



1 ENLARGED WALL SECTION PORCH STEPS  
ORIGINAL IMAGE SCALE: 1" = 1'-0"

2 ENLARGED WALL SECTION PORCH RAILING  
ORIGINAL IMAGE SCALE: 1" = 1'-0"

3 ENLARGED WALL SECTION AT GARAGE  
ORIGINAL IMAGE SCALE: 1" = 1'-0"

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STRUCTURAL ENGINEER

TBD

MEP ENGINEER

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1681 LEVERETTE

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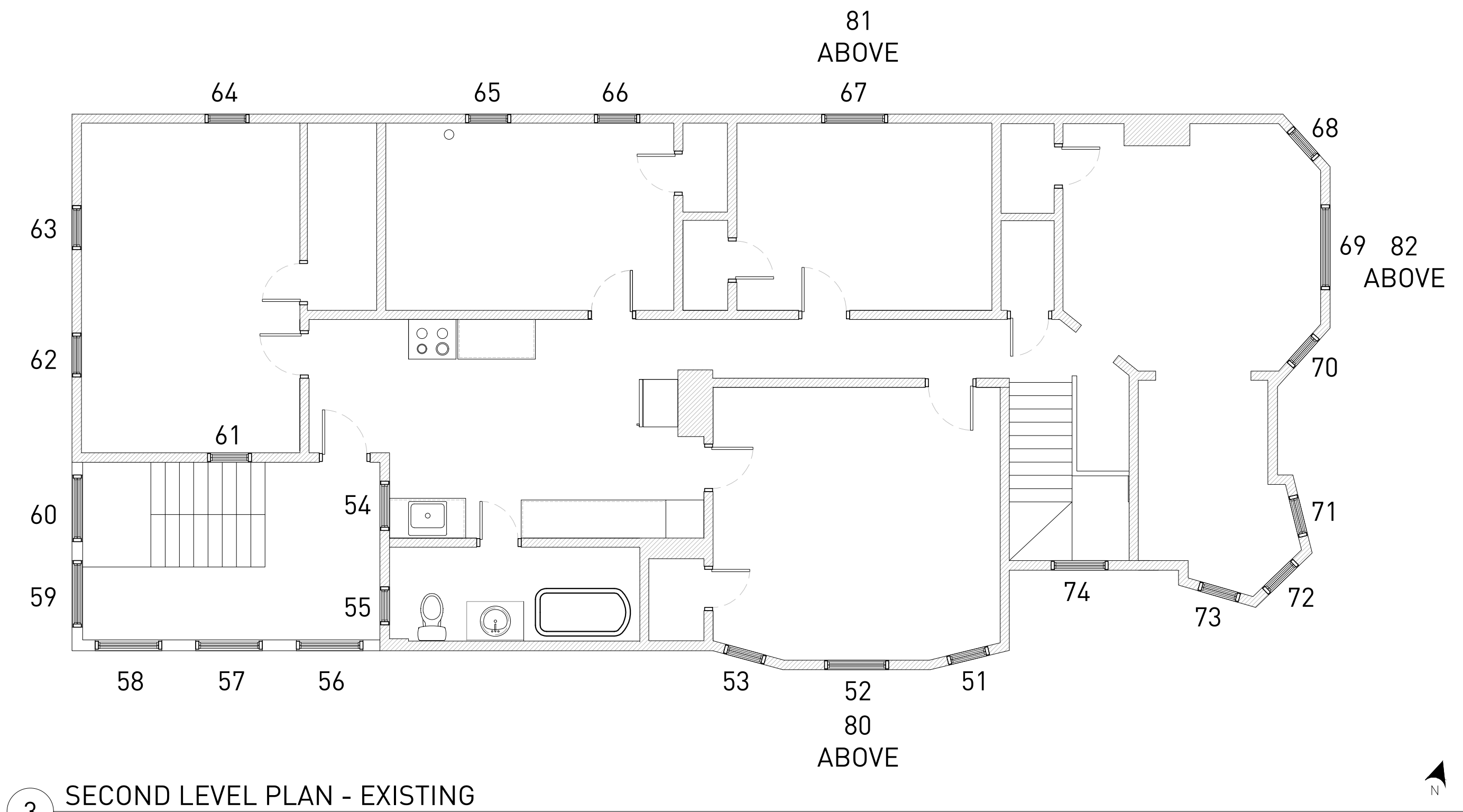
HDC SUBMITTAL

ISSUES	DATE	DESCRIPTION
1.	HDC SUBMITTAL	03.13.2025

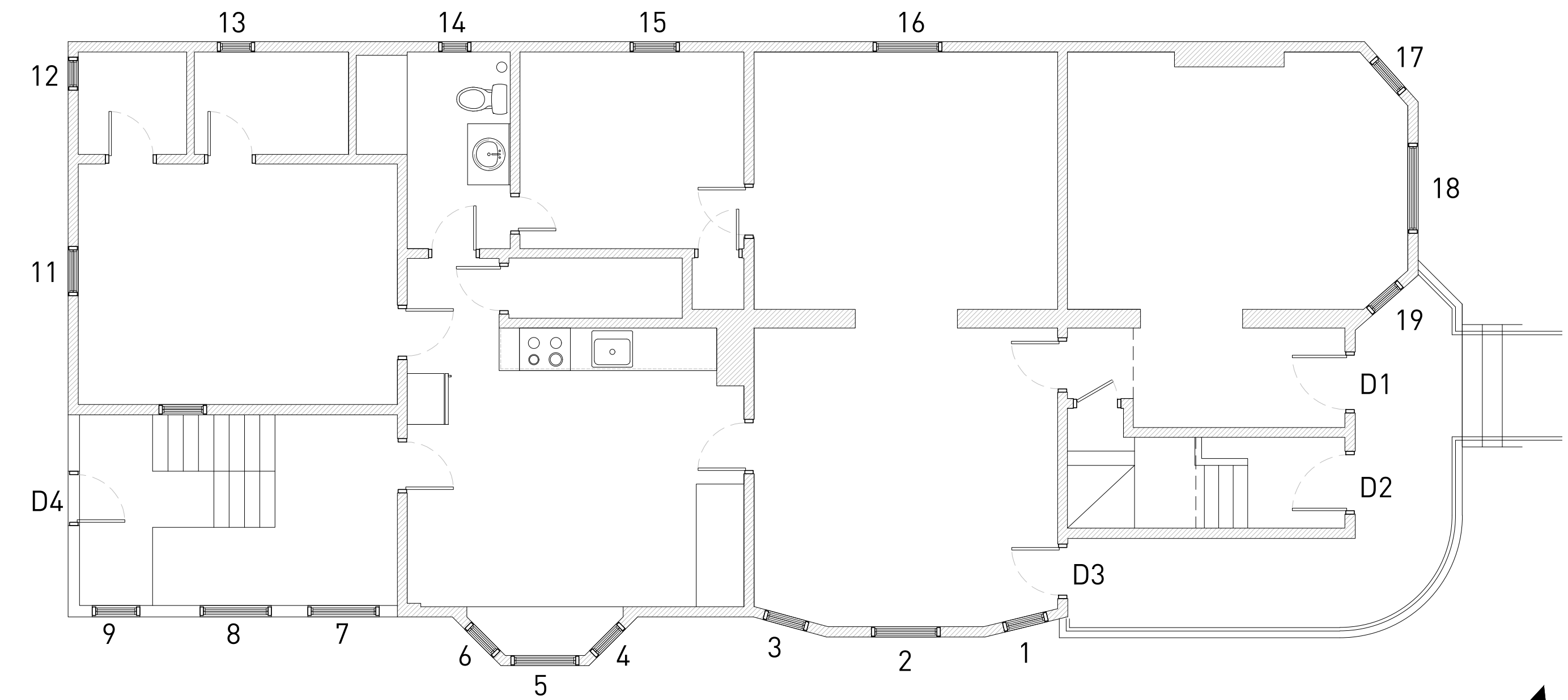
BUILDING DETAILS

A3-12

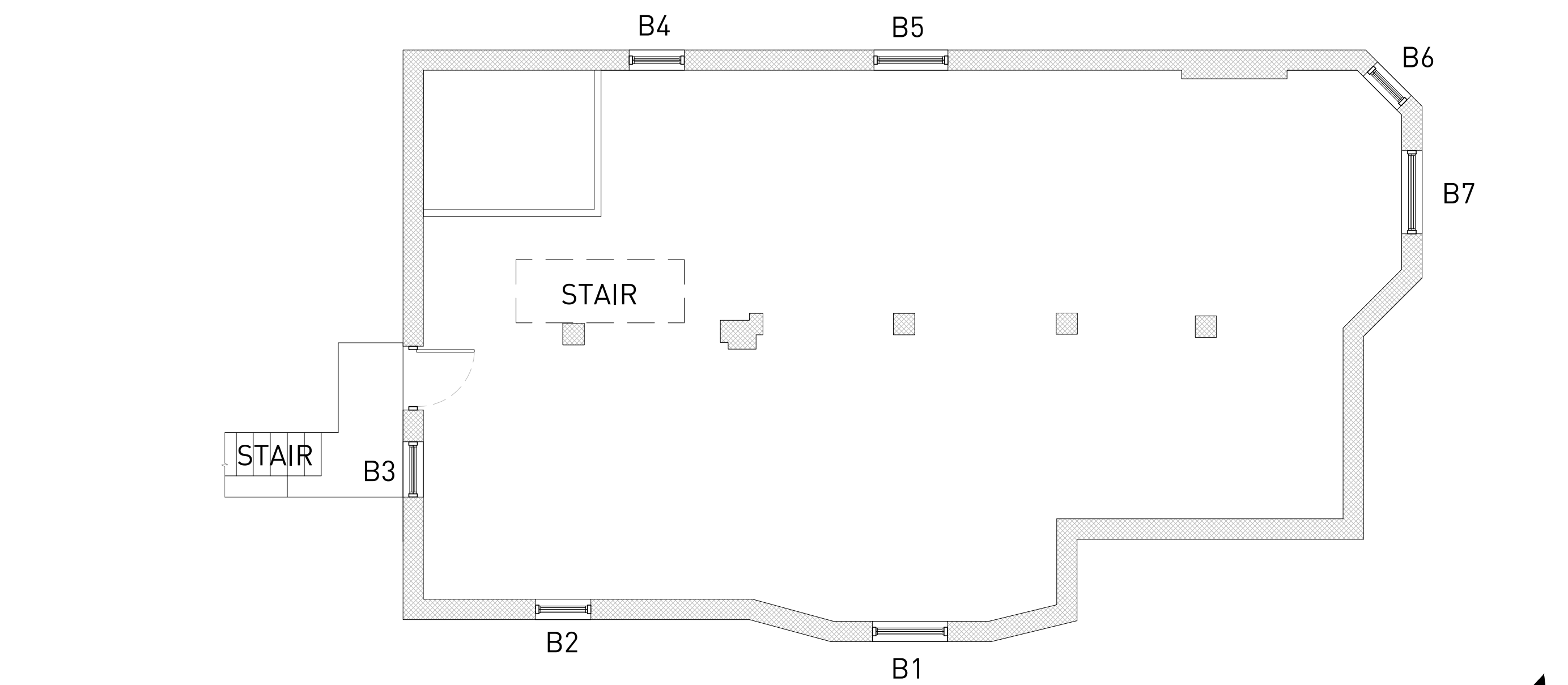




3 SECOND LEVEL PLAN - EXISTING  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



2 FIRST LEVEL PLAN - EXISTING  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"



1 BASEMENT LEVEL PLAN - EXISTING  
ORIGINAL IMAGE SCALE: 1/4" = 1'-0"

WINDOW NOTES

**RESTORED**  
THESE ORIGINAL WINDOWS WILL BE RESTORED OR REFURBISHED IN THE FOLLOWING MANNER. THE WINDOW SASH WILL BE REMOVED. THEY WILL BE STRIPPED OF PAINT OR CLEAR FINISHES. THEY WILL BE PATCHED WITH WOOD TO BE AS IN ORIGINAL CONDITION AS POSSIBLE. THEY WILL BE PAINTED INSIDE AND OUTSIDE. THE WINDOW FRAMES WILL REMAIN IN PLACE. THEY WILL BE STRIPPED OF PAINT OR CLEAR FINISH. THEY WILL BE PATCHED WITH WOOD TO BE IN AS ORIGINAL CONDITION AS POSSIBLE. THEY WILL BE PAINTED. WEATHERSTRIPPING WILL BE INSTALLED ON ALL EDGE CONDITIONS. SASH WILL BE RE-INSTALLED WITH NEW LOCKING DEVICES.

**EXTERIOR TRIM WILL BE RESTORED.** UNTIL THE REMOVAL OF THE EXISTING ASPHALT SIDING, WHICH CURRENTLY COVERS THE TRIM, WE DO NOT KNOW THE CONDITION OF THE EXISTING TRIM. WE WILL SAVE TRIM ELEMENTS WHICH ARE EXISTING INTACT, PREP FOR PAINTING, AND REPAINT. SHOULD TRIM ELEMENTS BE IN PIECES, WE WILL REMOVE THOSE PIECES AND REPLACE WITH WOOD TO MATCH THE ORIGINAL PIECE. THEY WILL BE PAINTED.

**DEMOLISHED**  
THESE WINDOWS ARE MOST LIKELY PART OF THE REAR ADDITION, ERECTED IN THE MID 20<sup>TH</sup> CENTURY. THERE ARE A COUPLE WINDOWS THAT ARE NOW INTERIOR WINDOWS, WHICH WILL ALSO BE DEMOLISHED.

**REMAIN AS-IS**  
THESE WINDOWS WILL REMAIN AS-IS, MEANING IN THEIR EXISTING CONDITION. MOST OF THESE WINDOWS ARE REPLACEMENT WINDOWS HAVING REPLACED THE ORIGINAL WINDOWS WITHIN THE PAST 10 YEARS. THESE WINDOWS ARE ALSO FULL ALUMINUM AND VINYL WINDOWS, ANACHRONISTIC TO THE HOUSE.

**REFURBISHED**  
THE BASEMENT WINDOWS ARE ORIGINAL TO THE HOUSE. THEY HAVE NOT BEEN MAINTAINED, YET DO NOT SHOW SIGNS OF SEVERE DETERIORATION. WE PROPOSE TO SAVE ALL WINDOWS. REPLACE MINOR PORTIONS WITH EITHER WOOD FILLER OR WOOD PATCH. SCRAPE AND PAINT, INSIDE AND OUTSIDE.

Des.	Status	Size (WxH)	Proposed Alteration	Notes
Basement				
B1	Original	3'-8" x 2'-4"	Refurbished	
B2	Original	2'-8 1/2" x 2'-4"	Refurbished	
B3	Original	2'-8 1/2" x 2'-4"	Refurbished	
B4	Original	2'-8 1/2" x 2'-4"	Refurbished	
B5	Original	3'-8" x 2'-4"	Refurbished	
B6	Original	2'-4" x 2'-4"	Refurbished	
B7	Original	4'-1" x 2'-4"	Refurbished	
BD	Original		New Interior	

First Level				
1	Original	2'-2 1/2" x 5'-9 1/2"	Restored	
2	Original	3'-4 1/2" x 5'-9 1/2"	Restored	
3	Original	2'-2 1/2" x 5'-9 1/2"	Restored	
4	Replacement	2'-0" x 6'-10"	Remain As-Is	
5	Replacement	3'-4" x 6'-10"	Remain As-Is	
6	Replacement	2'-0" x 6'-10"	Remain As-Is	
7	Replacement	Not Measured	To Be Demolished	
8	Replacement	Not Measured	To Be Demolished	
9	Replacement	Not Measured	To Be Demolished	
10	Original to the Addition	2'-4" x 5'-9 1/2"	To Be Demolished	
11	Original to the Addition	2'-4" x 5'-9 1/2"	To Be Demolished	
12	Original to the Addition	Not Measured	To Be Demolished	
13	Original to the Addition	1'-10" x 5'-9 1/2"	To Be Demolished	
14	Replacement	1'-7" x 3'-7"	Remain As-Is	
15	Original	2'-4" x 5'-9 1/2"	Restored	
16	Original	3'-4 1/2" x 5'-9 1/2"	Restored	
17	Original	2'-2" x 5'-9 1/2"	Restored	
18	Original	4'-5" x 5'-9 1/2"	Restored	
19	Original	2'-2" x 5'-9 1/2"	Restored	

Second Level				
51	Original	2'-2 1/2" x 5'-1"	Restored	
52	Original	3'-4 1/2" x 5'-1"	Restored	
53	Original	2'-2 1/2" x 5'-1"	Restored	
54	Original Altered	2'-7" x 3'-0"	Demolished	Altered original window
55	Original Altered	2'-0" x 5'-1"	Demolished	
56	Replacement	Not Measured	Demolished	
57	Replacement	Not Measured	Demolished	
58	Replacement	Not Measured	Demolished	
59	Replacement	Not Measured	Demolished	
60	Replacement	Not Measured	Demolished	
61	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
62	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
63	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
64	Original to the Addition	2'-3 1/2" x 5'-1"	Demolished	
65	Original	2'-4 1/2" x 5'-1"	Restored	
66	Original	2'-4 1/2" x 5'-1"	Restored	
67	Original	3'-5 1/2" x 5'-1"	Restored	
68	Original	2'-0" x 5'-1"	Restored	
69	Original	4'-5" x 5'-1"	Restored	
70	Original	2'-0" x 5'-1"	Restored	
71	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
72	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
73	Replacement	2'-2 1/2" x 5'-1"	Remain As-is	
74	Original	3'-0" x 3'-0"	Restored	Alter to cover interior

Third Level			
80	Original	Not Measured	Restored
81	Original	Not Measured	Restored
82	Original	Not Measured	Restored



CHRISTIAN HURTTIENNE ARCHITECTS  
15324 E. JEFFERSON, SUITE 5  
GROSSE POINTE PARK, MI 48230  
313.825.2005 CHA-C.COM

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SEAL

EXISTING WINDOW  
SCHEDULE

DRAWING NO.

A6-01