



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00093

Effective Date: 04/01/25

Project Address: 9851 Hamilton

Issued to: Adam Noel

Historic District: Boston-Edison

7950 MOORSBRIDGE RD, Ste 100
Portage, MI 49024

Description of Work:

Construct parking lot and trash enclosure per submitted application materials.

With the Conditions that:

- Brick cladding compatible with the building is used on the trash enclosure, which will be submitted for review by HDC staff, and the large shade tree shall be removed at the southwest corner of the lot.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250401dr

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.





HISTORIC DISTRICT COMMISSION APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID

HDC2025-00093

PROPERTY INFORMATION

ADDRESS(ES): 9851 Hamilton

HISTORIC DISTRICT: Boston-Edison

SCOPE OF WORK: (Check ALL that apply)

- | | | | | | |
|--|---|--|---|---|---|
| <input type="checkbox"/> Windows/
Doors | <input type="checkbox"/> Walls/
Siding | <input type="checkbox"/> Painting | <input type="checkbox"/> Roof/Gutters/
Chimney | <input type="checkbox"/> Porch/Deck/Balcony | <input checked="" type="checkbox"/> Other |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Signage | <input type="checkbox"/> New
Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Site Improvements
(landscape, trees, fences,
patios, etc.) | |

BRIEF PROJECT DESCRIPTION:

Installing an enclosed dumpster in an existing parking lot

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner

NAME: Adam Noel

COMPANY NAME: Hamilton Detroit LLC

ADDRESS: 7950 MOORSBRIDGE RD, Ste 100

CITY: Portage

STATE: MI

ZIP: 49024

PHONE: +1 (248) 736-3149

EMAIL: noel.adam@gmail.com

I AGREE TO AND AFFIRM THE FOLLOWING:

- ☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.
- ☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.
- ☒ I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

DocuSigned by:

ADAM NOEL

03/06/2025

SIGNATURE

DATE

7950 MOORSBRIDGE RD, Ste 100

Portage

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

49024

MI





NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: (only applicable if you've already applied for permits through ePLANS)	BLD2024-00881
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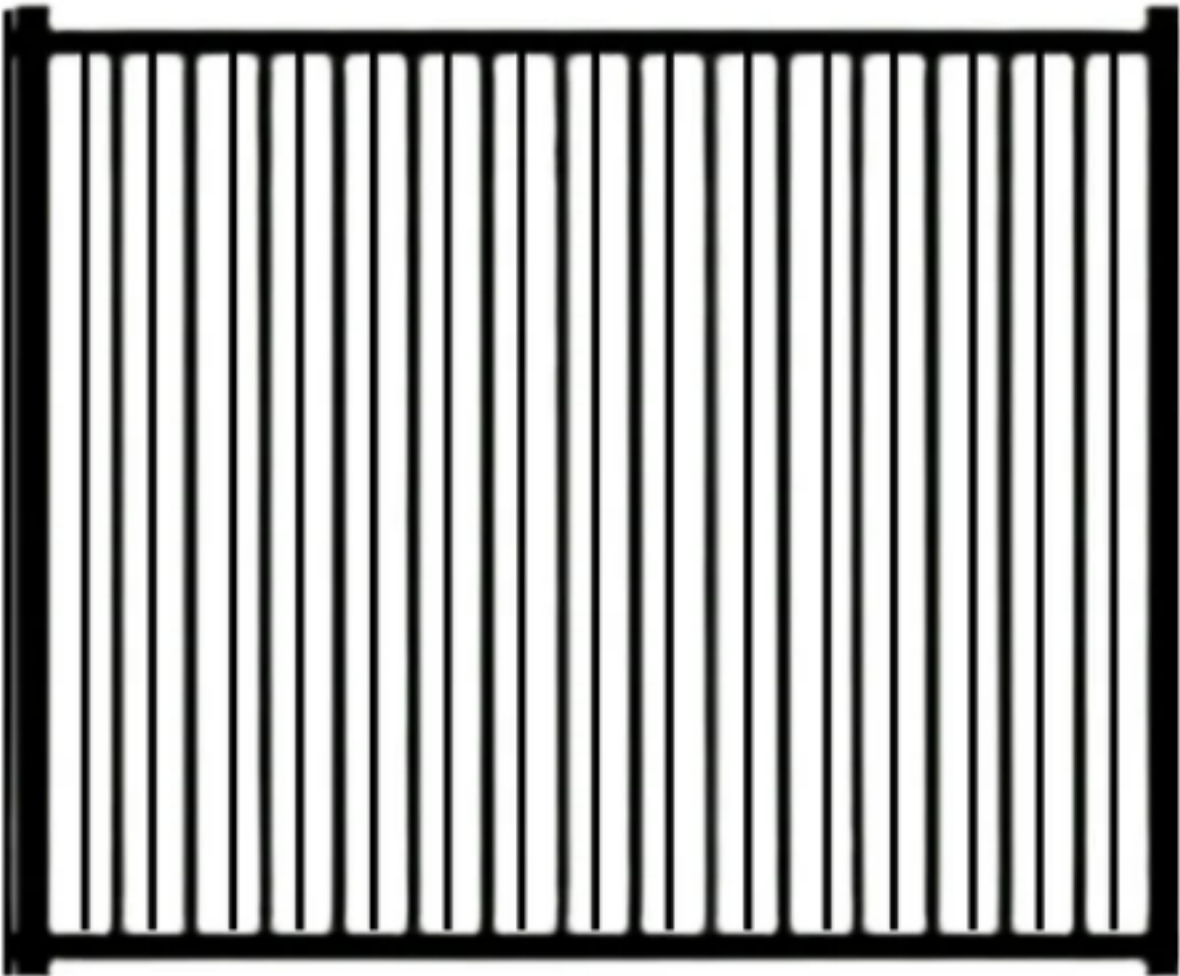
GENERAL

<p>1. DESCRIPTION OF EXISTING CONDITION <i>Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")</i></p> <p>The existing area is a asphalt parking area with no dumpster enclosure on the south end of our property near the entrance to the building. There is an existing fence and a large Tree of Heaven located in the corner of the property. The asphalt is at its end of life and will be need to be replaced.</p>	
<p>2. PHOTOGRAPHS <i>Help us understand your project. Please attach photographs of all areas where work is proposed.</i></p>	
<p>3. DESCRIPTION OF PROJECT <i>In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)</i></p> <p>The area we are proposing a change for is for the addition of a dumpster enclosure on the south side of the property. We are being asked to add an enclosure to our dumpster area as we are bringing the building up to code, which would include a enclosure. This would include adding a concrete pad to the dumpster enclosure area.</p>	
<p>4. DETAILED SCOPE OF WORK <i>In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")</i></p> <p>We will need to remove existing ashpalt. Pour an 8" slab in the dumpster are and we would be required to pour a 4" slab in the rest of the parking area prior to striping the parking spots. The cinder block construction of the enclosure will have an aluminum gate to close the dumpster area.</p>	
<p>5. BROCHURES/CUT SHEETS <i>Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.</i></p>	

ADDITIONAL DETAILS

<p>9. OTHER</p> <p><i>Please provide any additional details. HDC Staff may ask you to submit additional information at a later time depending on your project.</i></p>	





COMMERCIAL ALUMINUM WALK GATE

\$411.25

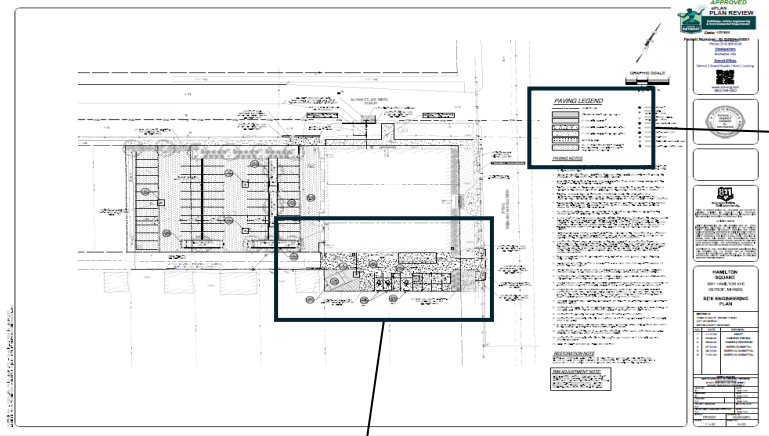
Add a entry and exit point to your fence with an aluminum Commercial Walk Gate. Each gate comes standard with the hardware needed to open, close and latch your gate.

Please ensure to coordinate your gate style to your fence and picket style by selecting the appropriate boxes below. The height and color of your gate will be matched to the fence panels you order.

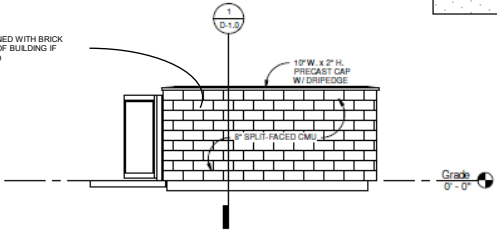
Our standard gates are 48", 60", 72" wide. All available at the same price. Custom gates are available please call for pricing. All gates are available in Black and Bronze with custom colors available. For custom colors, product or ordering info, please contact us at 423-343-1708.

STYLE

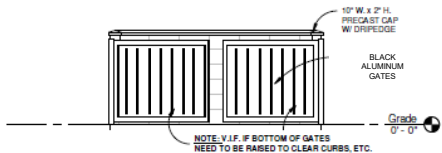
BEAGLE	GERMAN SHEPHERD	BULLDOG
RETRIEVER	BORDER COLLIE	LABRADOR



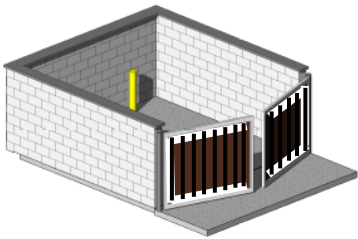
EXTERIOR CAN BE ADORNED WITH BRICK
SIMILAR TO EXTERIOR OF BUILDING IF
REQUIRED



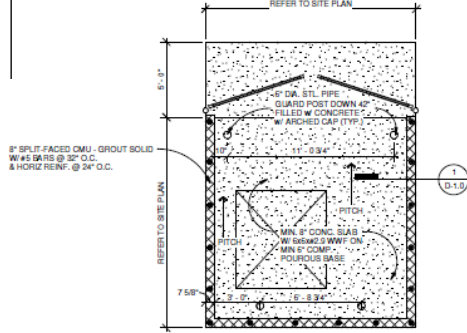
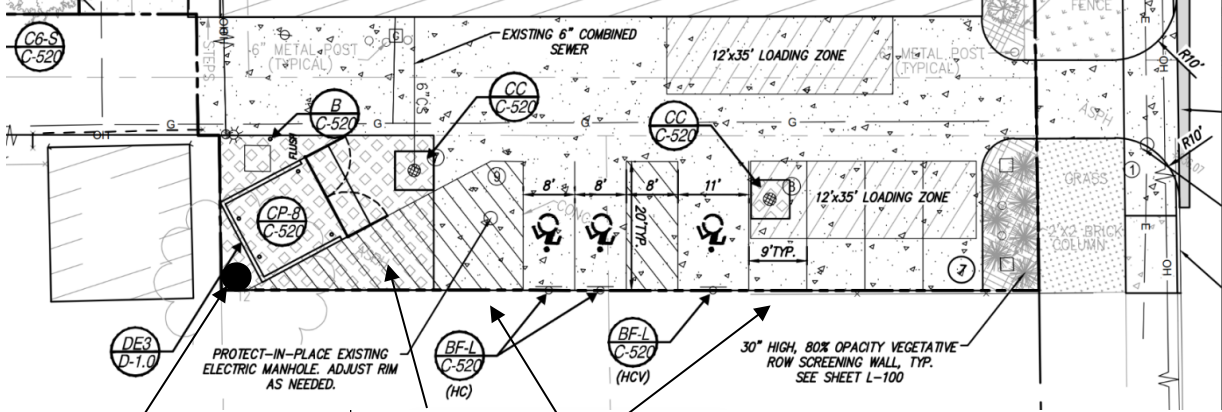
5 DUMPSTER ENCLOSURE SIDE ELEVATION
24'-0" x 10'-0"



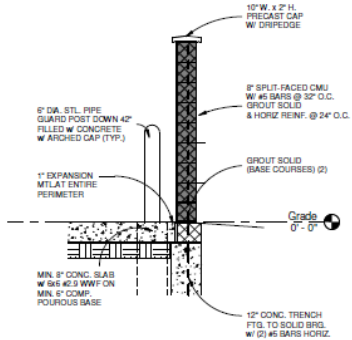
4 DUMPSTER ENCLOSURE FRONT ELEVATION
24'-0" x 10'-0"



2 DUMPSTER ENCLOSURE AXON



3 DUMPSTER ENCLOSURE PLAN
24'-0" x 10'-0"



1 DUMPSTER ENCLOSURE SECTION
10'-0" x 10'-0"

ARCHITECTS + INNOVATORS
Dustin B. Giff
Phone: 813.947.4006
Email: info@fuzarchitects.com
Web: fuzarchitects.com

Unauthorized use of this drawing
and without written permission
from fuz is in violation of
U.S. COPYRIGHT LAWS and will
be subject to civil damages and
prosecution.

Revision Schedule

#	Description	Date
1	DATE PLAN APPROVAL ONLY	03/24/2023

NOT FOR CONSTRUCTION

DATE: 03/24/2023

ADAPTIVE RE-USE: FORMER CATHOLIC CHARITIES

PROJECT NUMBER: 2304
5851 Hamilton Ave
CHICAGO, IL 60630
HAMILTON SQUARE, LLC
DUMPSTER ENCLOSURE DETAILS

SHEET NUMBER
D-1.0

HAMILTON SQUARE DETROIT, LLC

9851 HAMILTON AVE
DETROIT, MICHIGAN 48202

PROJECT INFORMATION

PROJECT DESCRIPTION:
REMODELING OF EXISTING STRUCTURE, CREATING AN APARTMENT COMPLEX OF FOUR (4) FLOORS (INCLUDING BASEMENT) CONSISTING OF FORTY-NINE (49) APARTMENT UNITS ; AND TWO (2) COMMERCIAL SPACES. OTHER SPACES INCLUDE STORAGE, ELECTRICAL ROOM AND MECHANICAL ROOM. EXISTING FOOTPRINT OF BUILDING IS 13,540 SQ.FT. AND 61 FEET TALL.

BUILDING SUMMARY:	EXISTING GROSS BUILDING AREAS:	
BASEMENT:	RESIDENTIAL DWELLING UNITS & ACCESSORY MECHANICAL & STORAGE AREAS	6345 SFG
FIRST FLOOR:	COMMERCIAL SPACE & RESIDENTIAL DWELLING UNITS	13,443 SFG
SECOND FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
THIRD FLOOR:	RESIDENTIAL DWELLING UNITS	13,443 SFG
TOTAL EXISTING GROSS BUILDING AREA		46,674 SFG

LAND AREA SUMMARY:	
PARCEL '1':	0.271 ACRES
PARCEL '2':	0.271 ACRES
PARCEL '3':	0.081 ACRES
PARCEL '4':	0.081 ACRES
TOTAL LAND AREA:	0.704 ACRES

FLOOR AREA RATIO: 1.522	
TOTAL EXISTING GROSS BUILDING AREA:	46,674 SFG
TOTAL LAND AREA:	30,666 SFG

OFF-STREET PARKING REQUIRED:	
OFFICE (BUSINESS) (SEC. 50-14-52):	11 SPACES
1 PER 400 SFG	
MULTIPLE FAMILY DWELLING (SEC. 50-14-34):	37 SPACES
*0.75 PER UNIT x 49 UNITS	
* REDUCTION: 0.25 MILES FROM WOODWARD AVE HFTC	

TOTAL REQUIRED PARKING SPACES:	48 SPACES
TOTAL PROVIDED PARKING SPACES:	59 SPACES

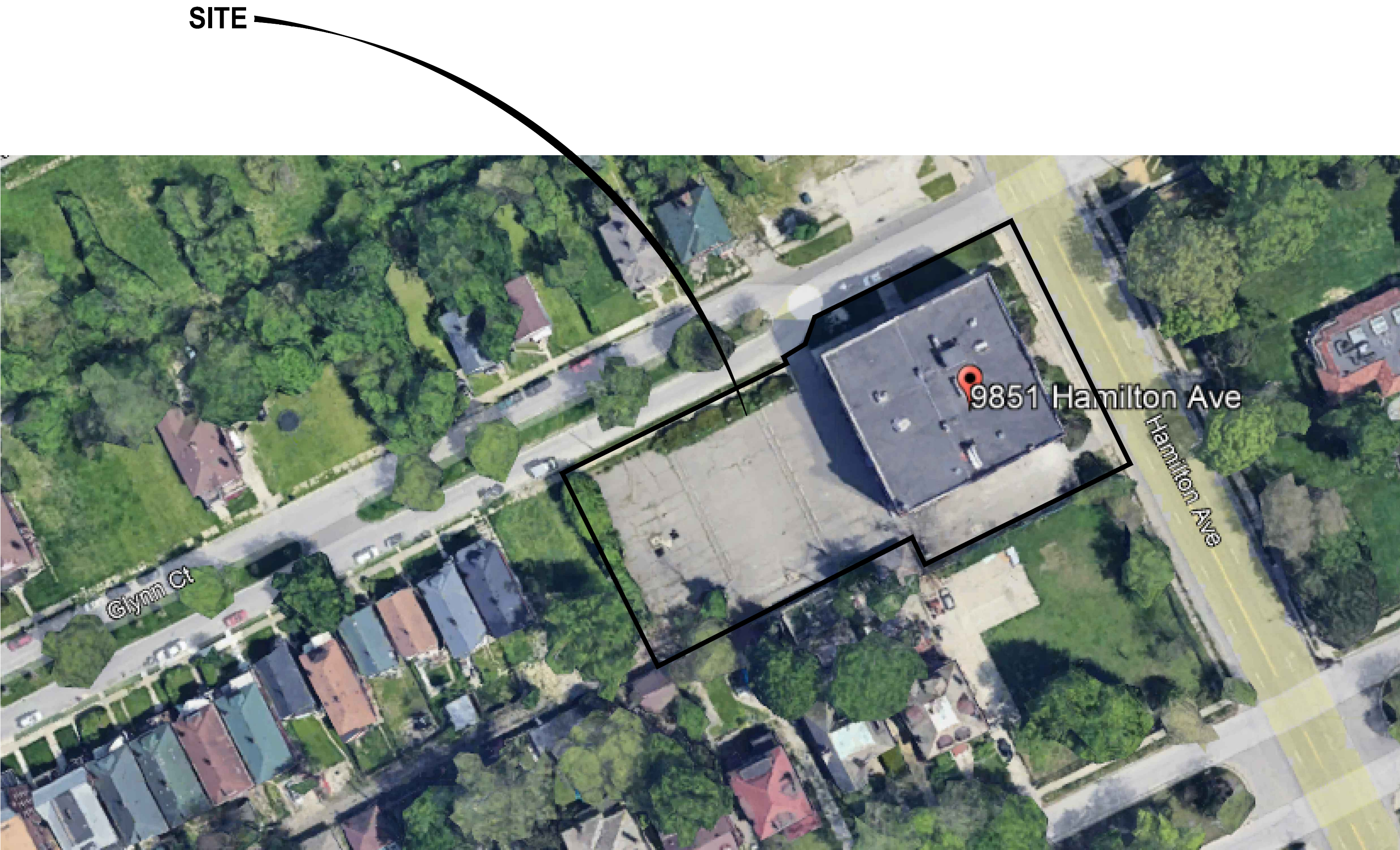
INTERIOR LANDSCAPING REQUIREMENT:	
25-100 OFF-STREET PARKING SPACES (SEC. 50-14-343)	1,062 SFG
18 SFG x 59 SPACES PER PARKING SPACE	
4 SHADE TREES	

TOTAL REQUIRED INTERIOR LANDSCAPING:	1,062 SFG
TOTAL PROVIDED INTERIOR LANDSCAPING:	1,088 SFG

OFF-STREET LOADING ZONE REQUIREMENT:	
RETAIL (OFFICE) (SEC. 50-14-52):	1 - 12' X 35'
4,474 SFG	
MULTIPLE-FAMILY DWELLING (SEC. 50-14-112):	1 - 12' x 35'
49 UNITS	

TOTAL REQUIRED OFF-STREET LOADING ZONES:	2 - 12' X 35'
TOTAL PROVIDED OFF-STREET LOADING ZONES:	2 - 12' X 35'

RIGHT OF WAY SCREENING REQUIRED: (SEC. 50-14-341)
RIGHT OF WAY SCREENING PROVIDED: (SEC. 50-14-341)
30 INCH HIGH VEGETATION SCREENING - 75 PERCENT OPACITY
1 TREE PER 30 LINEAR FEET



OVERALL SITE MAP
NO SCALE

SHEET INDEX

C-000 - COVER
C-100 - EXISTING CONDITIONS
C-110 - DEMOLITION PLAN
C-120 - SITE ENGINEERING PLAN
C-130 - GRADING PLAN
C-520 - SITE ENGINEERING PLAN DETAILS
C-521 - SITE ENGINEERING PLAN DETAILS
D-1.0 - DUMPSTER ENCLOSURE DETAILS (BY OTHERS)
L-100 - LANDSCAPE PLAN

LEGAL DESCRIPTION

AS PROVIDED BY:
COVENANT DEED RECORDED IN LIBER 57933, PAGE 1487, WAYNE COUNTY RECORDS DATED OCTOBER 31, 2022

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

PARCEL 1: 06004346 - B4 ZONING DESIGNATION
LOTS 10, 11, AND 12 INCLUDING VACATED ALLEYS ADJACENT THERETO, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS; ALSO THE NORTH 24 FEET OF LOTS 453 AND 454, BOSTON BOULEVARD SUBDIVISIONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 23, WAYNE COUNTY RECORDS.

PARCEL 2: 06002635-7 - R3 ZONING DESIGNATION
THE WEST 32.02 OF LOT 13, AND ALL OF LOTS 14 AND 15, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 3: 06002638 - R3 ZONING DESIGNATION
LOT 16, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 4: 06002639 - R3 ZONING DESIGNATION
LOT 17, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

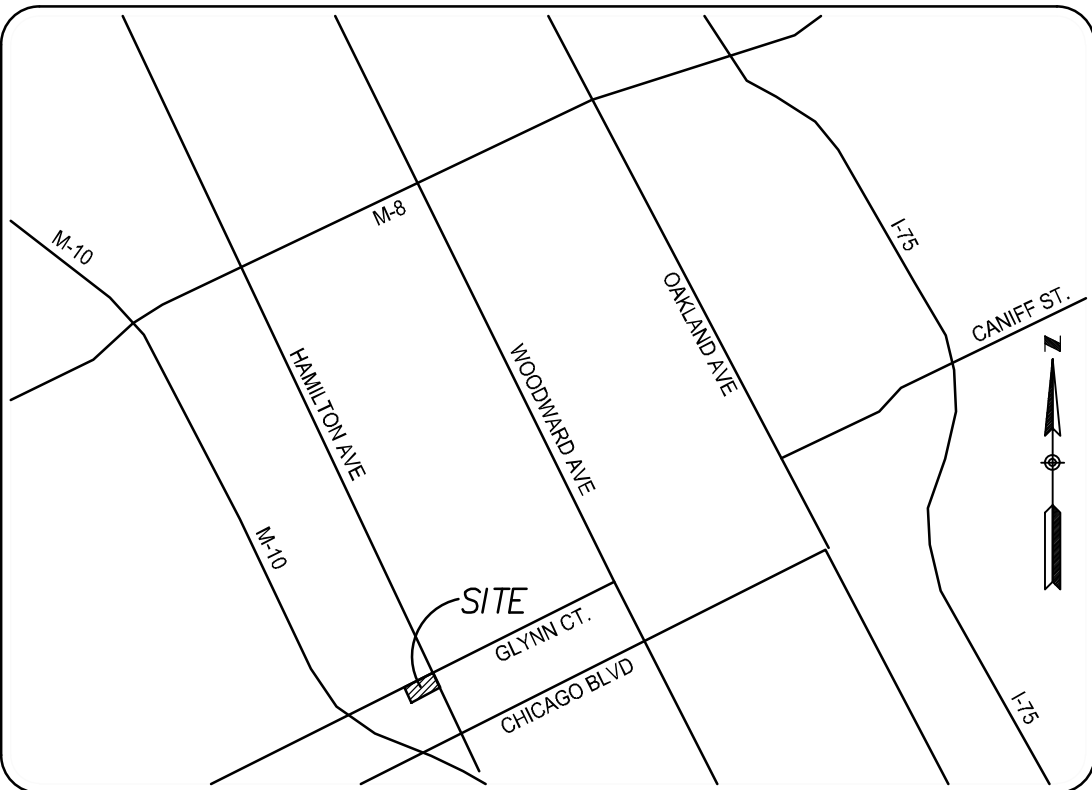
CIVIL ENGINEER

SPALDING DeDECKER

119 STATE STREET, SUITE 500
DETROIT, MICHIGAN 48226
PHONE (313) 305-9120

OWNER

HAMILTON SQUARE DETROIT, LLC
79502 MOORSBRIDGE 104
PORTAGE, MI, 49025



LOCATION MAP

NOT TO SCALE



**ePLAN
PLAN REVIEW**

Buildings, Safety Engineering
& Environmental Department

Date: 1/27/2025

Permit Number: **BLD2024-00881**

Detroit, MI 48226
Phone (313) 305-9120

Headquarters
Rochester Hills

Branch Offices

Detroit | Grand Rapids | Novi | Lansing



www.sda-eng.com
(800) 598-1600



PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

UTILITY INFORMATION ON THIS DRAWING MAY BE FROM INFORMATION DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANIES, CITY/COUNTY AGENCIES AND OTHER VARIOUS SOURCES. UNDERGROUND UTILITIES WHICH ARE ON PRIVATE PROPERTY ARE USUALLY NOT DELINEATED UPON A UTILITY COMPANY'S PUBLISHED PLANS. THEIR LOCATION, IF SHOWN UPON THIS SURVEY, ARE APPROXIMATED FROM FOUND PAINT MARKSTAKES, ETC. AS LOCATED BY THIS FIRM FROM SOURCES WHICH ARE UNKNOWN. NO GUARANTEE IS GIVEN AS TO THE COMPLETENESS OR ACCURACY THEREOF.

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HAMILTON SQUARE

9851 HAMILTON AVE,
DETROIT, MI 48202

COVER

SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DRAWER	DATE
JCI	2024-10-28
DESIGNER	DATE
JCI	2024-10-28
CHECKED	DATE
TLD	2024-10-28
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-10-28
JOB NO.	DRAWING NO.
DE23002	DE23002CVR
SCALE:	SHEET NO.
N.T.S.	C-000

	MANHOLE
	CATCH BASIN
	SERVER CLEAN OUT
	GAS METER
	GAS SHUT OFF VALVE
	VALVE BOX
	GATE VALVE & WELL
	WATER SHUT OFF VALVE
	FIRE HYDRANT
	SPRINKLER VALVE BOX
	LAWN SPRINKLER HEAD
	HAND HOLE
	ELECTRIC RISER OR METER
	TELEPHONE NUMBER
	CABLE TV RISER
	AIR CONDITIONING
	UTILITY POLE
	UTILITY POLE W/ TRANSFORMER
	ARM INDICATES DIRECTION OF ARM
	LIGHT POLE W/ LAMP EXTENSION
	TRAFFIC SIGNAL
	POLE W/ TRAFFIC SIGNAL (OVER ROAD)
	GUY WIRE
	FLAG POLE
	GROUND LEVEL / DECORATIVE LIGHTING
	PHONE OR PHONE BOOTH
	METAL OR CONC. POST
	MAILBOX
	SIGN
	WATER FOUNTAIN
	PARKING METER
	BILLBOARD OR LARGE SIGN
	BASKETBALL HOOP
	BOULDER
	STATUE OR SCULPTURE
	BENCH
	STUMP
	DOWNSPOUT INTO STORM DRAIN
	DOWNSPOUT
	CONIFEROUS TREE
	DECIDUOUS TREE
	DECIDUOUS SHRUB
	CONIFEROUS SHRUB
	SECTION CORNER
	TRANSITION POINT
	STRUCTURE NUMBER
	SDA PRODUCT NO.



DATUM: GPS-DEIVED NAVD88		
SITE BM#100	SET A CHISELED "X" ON CONCRETE LIGHT POLE BASE, LOCATED 412' FEET EAST-NORTHEAST STORM MAN-HOLE, 13 FEET WEST-SOUTHWEST FROM BACK OF WALK AND 430 FEET SOUTH FROM 2ND TREE.	ELEV=638.46
SITE BM#101	BENCH TIE ON THE EAST FACE OF UTILITY POLE, LOCATED 418 FEET SOUTH FROM UTILITY POLE, 1/2 FEET WEST-SOUTH FROM BUILDING CORNER AND 430 FEET WEST-SOUTHWEST FROM ROUND CATCH BASIN (STRUCTURE NO.7).	ELEV=638.42
SITE BM#102	ARROW ON HYDRANT PAINTED YELLOW, LOCATED 47 FEET SOUTHWEST FROM GATE VALVE, 118 FEET WEST-SOUTHWEST FROM STOP SIGN AND 124 FEET NORTH-WEST FROM NORTH CORNER OF BRICK BUILDING.	ELEV=640.17

THE STRUCTURE TABLE ON THE DRAWING IDENTIFIES THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES, DIRECTIONS AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE MANY TIMES AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN CONNECTIONS, PUMPS AND / OR PIPES THAT ARE FILLED WITH DEBRIS. IT WILL BE UP TO THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF FURTHER INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.

#	TYPE	RIM	SIZE	MTRL	INVERT	DIRECTION	CONNECT
1	ELECTRIC MANHOLE	636.13					
	TOP / PIPE	630.63				NW - SE	
	TOP / WATER	628.83					
	BOTTOM	628.23					
2	ROUND CATCH BASIN	636.11					
	NO PIPES VISIBLE						
	TOP / WATER	633.21					
	TOP / DEBRIS	632.81					
3	SQUARE CATCH BASIN	636.22	12"	CLAY	632.22	NW	6
	TOP / WATER	632.52					
	TOP / DEBRIS	631.52					
4	SQUARE CATCH BASIN	635.62					
	FOD TO THE RIM						
	TOP / DEBRIS	635.12					
5	SQUARE CATCH BASIN	635.70	12"	CLAY	632.00	SSE	4
			12"	CLAY	631.80	NNE	6
	TOP / WATER	631.80					
	TOP / DEBRIS	631.50					
6	STORM MANHOLE	636.59	12"	CLAY	631.29	NNW	
			12"	CLAY	631.39	SE	3
			12"	CLAY	631.41	SSE	
			12"	CLAY	628.39	SSW	5
			12"	CLAY	627.09	NNE	
	BOTTOM	627.09					
7	SEWER MANHOLE	636.96	6"	CLAY	633.26	NNW	
			N/A	N/A	N/A	ENE	8
			N/A	N/A	N/A	WSW	
	TOP / WATER	633.26					
	TOP / DEBRIS	633.26					
8	SEWER MANHOLE	636.72	N/A	N/A	N/A	WSW	7
	TOP / WATER	633.82					
	TOP / DEBRIS	633.82					
9	ELECTRIC MANHOLE	637.70					
	FOD UP TO RIM						
	TOP / DEBRIS	637.20					
10	ELECTRIC MANHOLE	637.71					
	COULD NOT OPEN						
11	ROUND CATCH BASIN	635.64	6"	PVC	633.64	ESE	
	TOP / WATER	633.44					
	TOP / DEBRIS	632.94					
12	GATE VALVE & WELL	636.77					
	TOP / PIPE	633.07				N - S	
	TOP / WATER	634.57					
	TOP / DEBRIS	632.57					
13	ROUND CATCH BASIN	636.05	6"	CLAY	632.25	SW	
	TOP / WATER	632.35					
	TOP / DEBRIS	631.95					

1. THIS TOPOGRAPHICAL MAP IS BASED UPON A FIELD SURVEY PERFORMED BY SPALDING DEEDEDOR DURING JANUARY OF 2023 (ALTA SURVEY) AND JANUARY OF 2024.
2. THE PROPERTY LINESIGHT-OF-WAY LINE(S) SHOWN ON THIS TOPOGRAPHICAL SURVEY ARE FROM THE 2023 ALTA SURVEY BY SPALDING DEEDEDOR. PROPERTY LINES AS SHOWN IN DRAWING ARE BASED UPON THIS WORK. VARIATIONS MAY EXIST BETWEEN THE EXISTING PROPERTY DESCRIPTION AS SHOWN AND THE PHYSICAL LINES COMPLETED IN THE DRAWING. A COMPLETE PROPERTY LINE ANALYSIS IS NOT PART OF THE SCOPE OF SERVICES AND PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD PER THE AGREED TO SCOPE OF SERVICES.
3. THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE SEARCH THAT WOULD IDENTIFY ANY RECORDED EASEMENTS THAT ENCUMBER THIS PROPERTY. THEREFORE, THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, RIGHT-OF-WAY TAKINGS AND RESTRICTIVE COVENANTS THAT ARE NOT SHOWN.
4. BEARINGS AND DISTANCES AS LABELED TO THE PROPERTY LINES ARE BASED UPON THE 2023 ALTA SURVEY BY SPALDING DEEDEDOR. THE PROPERTY LINES IN THE ELECTRONIC CAD FILE HAVE BEEN ROTATED TO STATE PLANE GRID BEARINGS; THEREFORE, THE BEARINGS OF THE PROPERTY LINES IN THE ELECTRONIC CAD FILE MAY NOT MATCH THOSE SHOWN IN THE LEGAL DESCRIPTION AND LABELED ON THE SURVEY DRAWING.
5. THE COORDINATE SYSTEM FOR THIS SURVEY IS THE STATE PLANE COORDINATE SYSTEM, MICHIGAN SOUTH ZONE (213), BASED ON NAD83 (NSR2011). UNITS ARE INTERNATIONAL FEET. COORDINATES WERE OBTAINED USING A DATA LINK TO THE MOOT CONTINUOUSLY OPERATING REFERENCE STATION (CORS).
6. THE VERTICAL DATUM OF THIS SURVEY IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD88) AS ESTABLISHED WITH RTK GPS MEASUREMENTS USING A DATA LINK TO THE MOOT CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS).
7. THE PARKING LOT STRIPING SHOWN ON THIS SURVEY IS APPROXIMATE. DIMENSIONAL AND/OR ORIENTATION VARIATIONS MAY EXIST. THIS DRAWING SHOULD NOT BE USED FOR A PARKING SPACE COUNT.
8. THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED UPON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIG DESIGN TICKET NUMBER OF 2020120016745-000 WAS REFERENCED TO THIS PROJECT AND A UTILITY PROVIDER CHART IS SHOWN ON THIS DRAWING. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION SHOWN ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS NOT BE RESPONSIBILITY TO THE USER TO VERIFY THE LOCATION OF ANY UNDERGROUND UTILITIES THROUGH THE MISS DIG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION. CALL 811 OR 800-442-7171.

AS PROVIDED BY:
COVENANT DEED RECORDED IN LIBER 57933, PAGE 1487, WAYNE COUNTY RECORDS
DATED OCTOBER 31, 2022

LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN,
DESCRIBED AS FOLLOWS:

PARCEL 1: 060004346

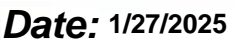
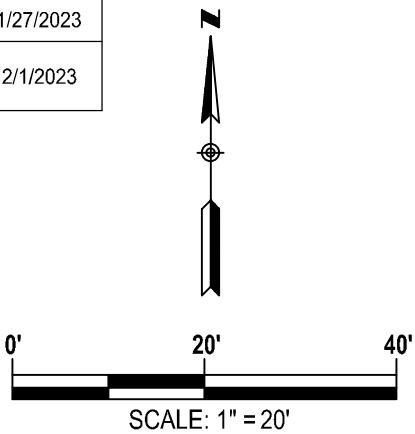
LOTS 10, 11, AND 12 INCLUDING VACATED ALLEYS ADJACENT THERETO, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS; ALSO THE NORTH 24 FEET OF LOTS 453 AND 454, BOSTON BOULEVARD SUBDIVISIONS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 29 OF PLATS, PAGE 23, WAYNE COUNTY RECORDS.

PARCEL 2: 06002635-7
THE WEST 32.02 OF LOT 13, AND ALL OF LOTS 14 AND 15, ADAMS AND PECKS 2ND
NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN
LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 3: 06002638
LOT 16, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

PARCEL 4: 06002639
LOT 17, ADAMS AND PECKS 2ND NORTH END SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN LIBER 17 OF PLATS, PAGE 13, WAYNE COUNTY RECORDS.

UTILITY PROVIDER	CONTACT #	MISS DIG RESULTS	DATE
AT&T TELEPHONE	(800) 778-9140	RECEIVED	2/1/2023
COMCAST CABLE TV	(855) 962-8525	RECEIVED	2/7/2023
COMCAST FIBER OPTICS	(855) 962-8525	RECEIVED	2/7/2023
DETROIT CITY WATER & SEWERAGE POTABLE WATER	(313) 999-4761	RECEIVED	1/26/2023
DETROIT CITY WATER & SEWERAGE SEWER (COMBINED SANITRIM ONLY)	(313) 999-4761	RECEIVED	1/26/2023
DETROIT PUBLIC LIGHTING ELECTRIC	(313) 267-5130	NOT RECEIVED	
DTE ENERGY (ELECTRIC) ELECTRIC	(313) 407-5364	RECEIVED	2/8/2023
DTE ENERGY (GAS) GAS	(248) 318-7838	RECEIVED	1/27/2023
GREAT LAKES WATER AUTHORITY SEWER (COMBINED SANITRIM ONLY)	(313) 799-0289	RECEIVED	2/1/2023



Permit Number: BLD2024-00881

Headquarters

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Know what's below.
Call before you dig.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES (IN CONFLICT WITH PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD. CALL MISS DIG 3 WORKING DAYS PRIOR TO CONSTRUCTION.

UTILITY NOTE

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DeDECKER ASSOCIATES, INC.

**HAMILTON
SQUARE**

9851 HAMILTON AVE
DETROIT, MI 48202

EXISTING CONDITIONS

SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

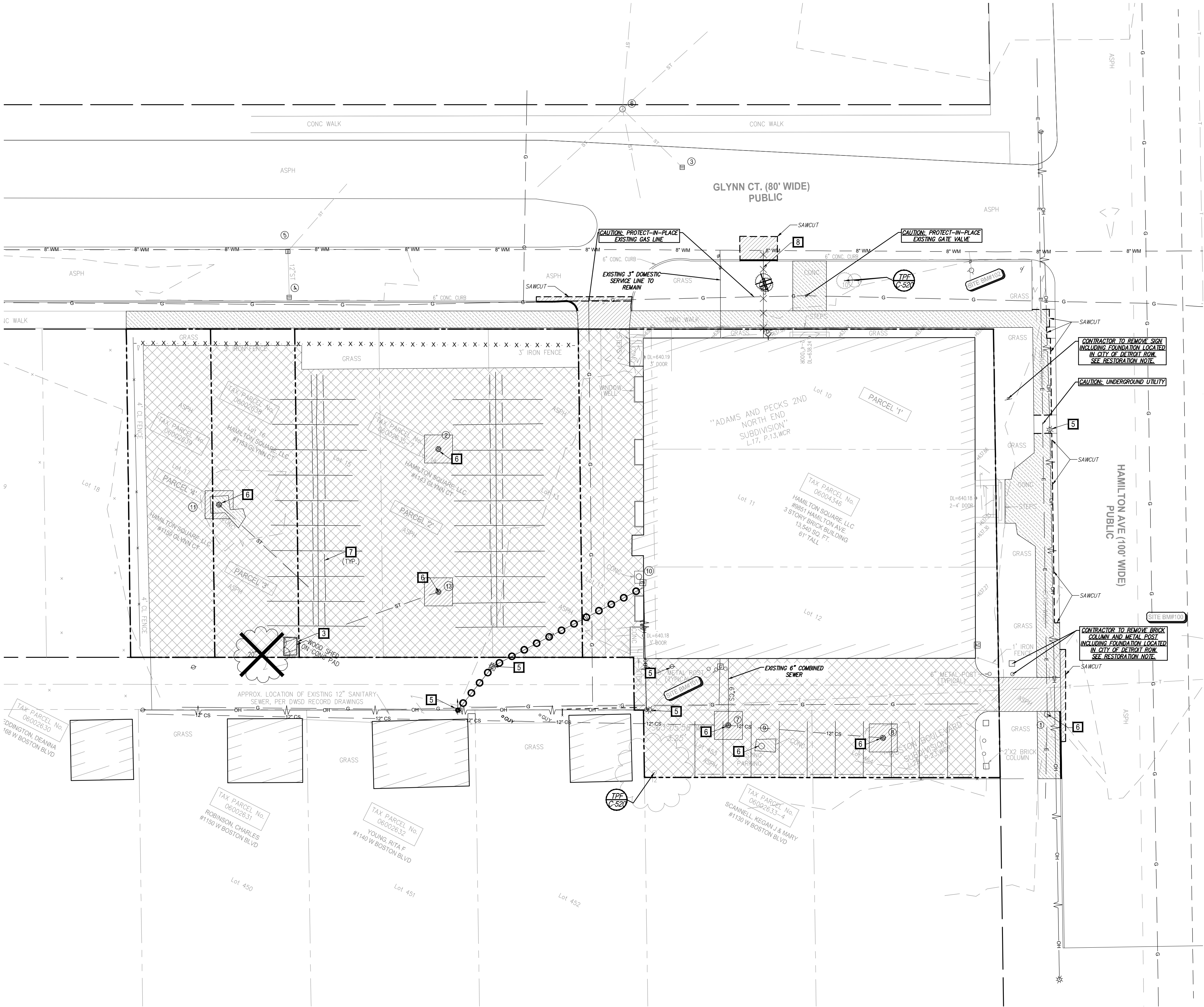
NO.	DATE	REVISION
1	05-01-23	ADDED LAND AREAS
2	05-14-24	ADDED PARCEL 5
3	07-10-24	BSEED SUBMITTAL
4	09-13-24	BSEED V2 SUBMITTAL
5	10-15-24	REMOVE PARCEL 5
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

DRAFTER R. CALI		DATE 2024-01-29
DESIGNER S. NEUMANN		DATE 2024-01-29
CHECKED S. NEUMANN		DATE 2024-01-29
PROJECT MANAGER TLD		BID PLAN DATE
DEPARTMENT MANAGER APPROVAL TLD		DATE 2024-07-10
JOB NO. DE23002	DRAWING NO. DE23002TPG - NP	
SCALE: 1" = 20'	SHEET NO. C-100	

$$1'' = 20'$$



DEMOLITION LEGEND

- REMOVE ASPHALT PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. EXCAVATE EXISTING AGGREGATE BASE AND SUBGRADE AS NECESSARY TO INSTALL NEW PAVEMENT SECTION AS SHOWN ON THE PAVING PLANS, INCLUDING NEW AGGREGATE BASE.
- REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH TO NEAREST JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT.
- MILL AND FILL EXISTING ASPHALT PAVEMENT TO 2" DEPTH.
- REMOVE CONCRETE CURB TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW CURB AND/OR INTEGRAL WALK WILL BE PLACED ADJACENT TO EXISTING CURB TO REMAIN.
- REMOVE EXISTING TREE (INCLUDING STUMPS AND ROOTS).
- LIMITS OF EXCAVATION
- ABANDON-IN-PLACE EXISTING WATER PIPE. CUT AND CAP AT MAIN.
- REMOVE EXISTING FENCE, POSTS, AND FOOTINGS.
- PROJECT BOUNDARY.
- PROTECT-IN-PLACE OVERHEAD UTILITY WIRES.
- 1 CONTRACTOR TO COORDINATE WITH DTE ON REMOVAL AND REPLACEMENT OF UTILITY POLES.
- 2 REMOVE EXISTING LIGHT POLES, INCLUDING POSTS AND FOOTINGS AND ALL ASSOCIATED ELECTRICAL EQUIPMENT. CAP EXISTING ELECTRICAL. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- 3 REMOVE EXISTING BUILDING INCLUDING FOUNDATION TO FULL DEPTH.
- 4 REMOVE EXISTING POST UNCLINING FOUNDATION TO FULL DEPTH.
- 5 PROTECT EXISTING UTILITY POLE AND GUY WIRE.
- 6 PROTECT EXISTING UTILITIES AND UTILITY STRUCTURE. CONTRACTOR TO ADJUST STRUCTURE RIM TO MATCH PROPOSED ELEVATIONS.
- 7 REMOVE AND SALVAGE PARKING BLOCK.
- 8 CONTRACTOR TO CONDUCT EXPLORATORY INVESTIGATION TO DETERMINE EXACT LOCATION OF EXISTING SERVICE LINE TO BE ABANDONED.

DEMOLITION NOTES

ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL, IN 8" LIFTS COMPACTED TO 90% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.

CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.

CONTRACTOR SHALL UTILIZE A UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITY LINES.

CONTRACTOR TO ESTABLISH SEDIMENT EROSION CONTROL MEASURES PRIOR TO BEGINNING WORK, AS REQUIRED BY WAYNE COUNTY AND THE STATE OF MICHIGAN.

ALL WORK IS TO BE IN CONFORMANCE WITH LOCAL STANDARDS, RULES AND REGULATIONS AS DETERMINED BY THE STATE OF MICHIGAN, WAYNE COUNTY, CITY OF DETROIT, AND ASSOCIATED UTILITIES.

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SOD PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

CONTRACTOR TO PROTECT EXISTING UTILITY STRUCTURES, SIGNS, POSTS, TREES, ETC. UNLESS OTHERWISE SPECIFIED ON PLANS.

CONTRACTOR TO PROTECT-IN-PLACE ALL TREES THAT AREN'T SCHEDULED FOR REMOVAL SEE SHEET C-300 - TREE PROTECTION FENCE DETAIL.

CONTRACTOR IS RESPONSIBLE TO NOTIFY OPERATION MANAGER AND ENGINEER PRIOR TO DEMOLITION/REMOVAL OF EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE TO RECONSTRUCT EXISTING UTILITIES THAT ARE FOUND IN THE FIELD AT OPERATION MANAGER'S DIRECTION.

RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SOD PER SPEC SECTION 2920. PEG SOD IN PLACE ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL USING WOODEN PEGS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

ePLAN PLAN REVIEW

Buildings, Safety Engineering & Environmental Department

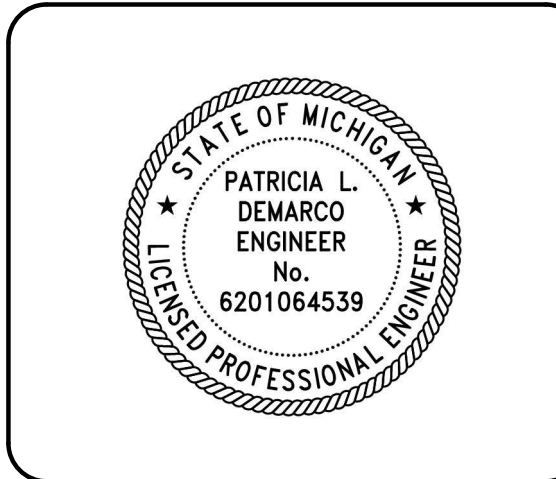
Date: 1/27/2025

Permit Number: BLD2024-00881

Detroit, MI 48226
Phone (313) 305-9120

Headquarters
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SECTION 35		
TOWN 01 SOUTH RANGE 11 EAST		
CITY OF DETROIT		
WAYNE COUNTY, MICHIGAN		
NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES	
BAR IS ONE INCH ON ORIGINAL DRAWING	
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	
DRAWER	DATE
JCI	2024-10-31
DESIGNER	DATE
JCI	2024-10-31
CHECKED	DATE
TLD	2024-10-31
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-10-31
JOB NO.	DRAWING NO.
DE23002	DE23002STP
SCALE:	SHEET NO.
1" = 20'	C-110



**ePLAN
PLAN REVIEW**

Buildings, Safety Engineering
& Environmental Department

Date: 1/27/2025

Permit Number: **BLD2024-00881**

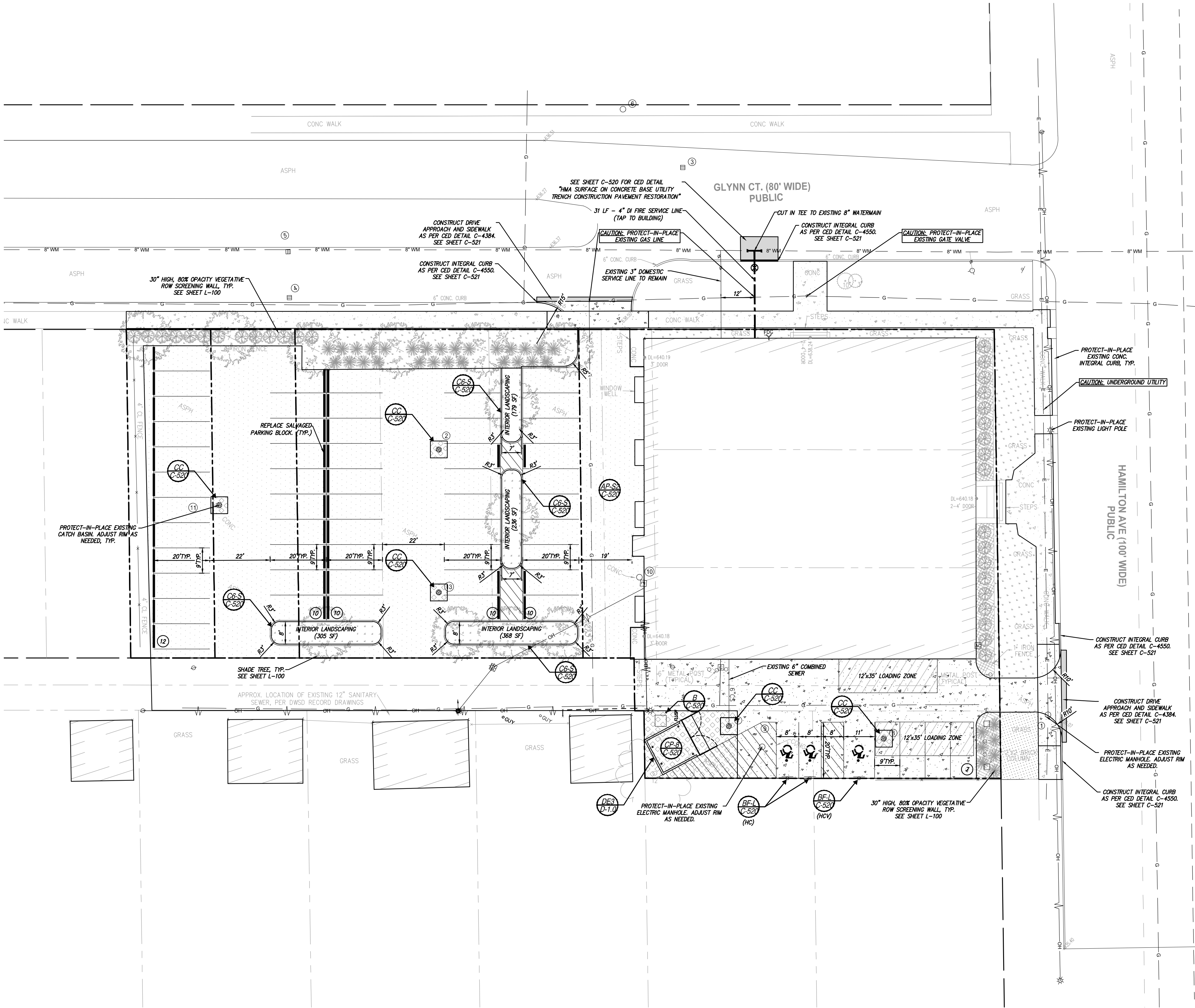
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PAVING LEGEND

- PROPERTY LINE

STANDARD ASPHALT (PER CED SPECS)

8" CONCRETE PAVEMENT

6" CONCRETE PAVEMENT (PER CED DETAIL)

4" CONCRETE PAVEMENT (PER CED DETAIL)

LANDSCAPE AREA

MILL 2" OF EXISTING ASPHALT PAVEMENT
AND RESURFACE, COMPLETE FULL DEPTH
BASE REPAIRS AS REQUIRED
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)
- PROPOSED SAN MANHOLE (SAM)
- PROPOSED STORM MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED INLET (INL)
- PROPOSED TREE (SEE LANDSCAPE PLAN)
- PROPOSED LIGHT (SEE LIGHTING PLAN)

PAVING NOTES

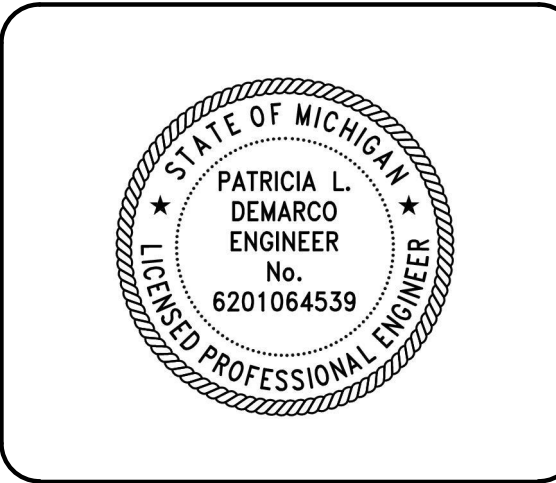
- EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF DETROIT STANDARD SPECIFICATIONS FOR PAVING AND RELATED CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS.
- REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND OTHER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED.
- EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM.
- THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91).
- THE FINAL SUBGRADE SHALL BE THOROUGHLY PROPOURED UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS WHICH CANNOT BE MECHANICALLY STABILIZED SHALL BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
- THE AGGREGATE BASE SHALL BE COMPACTED TO A DENSITY NO LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D 1557-91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE.
- ALL BITUMINOUS MATERIAL SHALL BE COMPACTED TO A DENSITY NO LESS THAN 97 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
- A BOND COAT OF 55-1H EMULSION IS REQUIRED BETWEEN THE LEVELING COURSE AND THE WEARING COURSE WHEN EITHER 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT OF THE BITUMINOUS COURSES OR THE SURFACE OF THE PAVEMENT HAS BEEN CONTAMINATED WITH DIRT, DUST, OR FOREIGN MATERIAL. THE BOND COAT SHALL BE APPLIED IN A UNIFORM MANNER OVER THE SURFACE AT A RATE OF 0.1 GALLONS/SY. IN THE EVENT A BOND COAT IS NOT REQUIRED, THE LEVELING COURSE MAY REQUIRE LOCALIZED BROOM CLEANING.
- PERFORMANCE GRADE PG64-22 ASPHALT CEMENT SHALL BE USED IN THE PRODUCTION OF ALL BITUMINOUS MIXTURES. RECLAIMED ASPHALT PAVEMENT (RAP) SHALL BE ALLOWED IN THE SURFACE COURSE ONLY AS SPECIFIED BY THE CURRENT MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE PLACEMENT OF THE FINAL LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURES, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR TO ANY DAMAGED SECTION RESULTING FROM CONSTRUCTION ACTIVITY.
- TAPER CURB HEIGHT DOWN TO ZERO HEIGHT IN FIVE FEET AT ALL CURB ENDINGS UNLESS OTHERWISE NOTED ON THE PLAN.
- WHERE CURB AND GUTTER SECTION IS ADJACENT TO A ADA RAMP, DROP CURB HEIGHT TO MAXIMUM 1/4" ACROSS THE RAMP OPENING.
- STRIPE PARKING LOTS AS SHOWN, USING 4" PAVEMENT MARKING - BLUE FOR ADA SPACES, WHITE FOR STANDARD SPACES. IF NEW PARKING LAYOUT IS NOT INDICATED, MATCH ORIGINAL STRIPING PATTERN.
- CONTRACTOR SHALL PROTECT EXISTING CURB, GUTTER, SIDEWALK, WALLS, FENCES AND ALL OTHER EXISTING SITE FEATURES NOT INDICATED FOR REMOVAL OR REHABILITATION.
- PLACE EXPANSION JOINTS WHERE NEW CONCRETE PAVEMENT OR WALKS ABUT BUILDING WALLS (PROPOSED OR EXISTING), CURB OR EXISTING CONCRETE PAVEMENT. PLACE JOINT SEALANT ON ALL EXPANSION JOINTS.
- CONTRACTOR TO CONSTRUCT CONTRACTION AND EXPANSION JOINTS IN ALL NEW CONCRETE PAVEMENT. CONTRACTION JOINTS SHALL BE TOoled WHERE SIDEWALK WIDTH IS 8' OR LESS AND SHALL BE SPACED EQUAL TO THE WIDTH OF THE PAVEMENT (I.E. 8' SPACING FOR 8' WIDE WALK), BUT NOT MORE THAN 10' APART. PLACE EXPANSION JOINTS WITH JOINT SEALANT AT MAXIMUM 30' SPACING.
- CONCRETE PAVEMENT SHALL MEET THE REQUIREMENTS FOR THE CITY OF DETROIT ENGINEERING DEPARTMENT STANDARD DETAILS.
- CONTRACTOR TO REFER TO CITY OF DETROIT ENGINEERING DIVISION STANDARD DETAIL FOR "1MA SURFACE ON CONCRETE BASE UTILITY TRENCH CONSTRUCTION PAVEMENT RESTORATION" ON SHEET C-520.
- CONTRACTOR TO RELOCATE SALVAGED TRAFFIC SIGNS TO MATCH EXISTING LOCATION.
- CONTRACTOR TO COORDINATE WITH DTE ON LOCATIONS OF UTILITY POLE REPLACEMENT PRIOR TO CONCRETE WORK IN ALL AREAS.
- ALL ADA SIDEWALK RAMPS WITH WARNING STRIPS SHALL BE PROVIDED AT ALL INTERSECTIONS, AND COMPLY TO THE MICHIGAN DEPARTMENT OF TRANSPORTATION DETAIL R-28-B.
- CONTRACTOR TO ADJUST THE RIM OF ALL EXISTING STRUCTURES WITHIN PAVING LIMITS SHOWN AND AREAS AFFECTED BY THE INSTALLATION OF CURB ON PUBLIC STREETS.
- CONTRACTOR TO COORDINATE WITH DTE ON THE LOCATION AND POURING OF 4" CONCRETE PAD FOR MOUNTED EQUIPMENT.
- REFER TO SHEET L-100 FOR ALL TREES AND PLANTINGS.


RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SOD PER SPEC SECTION 2020.
RES SOD IN PLACE ON SLOPES IN EXCESS OF 1:1 HORIZONTAL TO 1 VERTICAL USING WOODEN PESS A MINIMUM OF 12" LONG. WATER SOD ON A REGULAR BASIS AS INDICATED IN THE SPECIFICATIONS.

RIM ADJUSTMENT NOTE:

REMOVE EXISTING CASTING, COVER AND ADJUSTMENT MATERIALS FROM DRAINAGE STRUCTURE. SALVAGE CASTING AND COVER FOR REINSTALLATION AND PROVIDE NEW ADJUSTMENT BRICK/BLOCK/RINGS. REINSTALL ACCORDING TO STANDARD DETAILS (IF INCLUDED). PROTECT EXISTING UTILITY STRUCTURE TO REMAIN.





Know what's below.
Call before you dig.

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HAMILTON SQUARE

9851 HAMILTON AVE,
DETROIT, MI 48202

SITE ENGINEERING PLAN

SECTION 35
TOWN 01 SOUTH RANGE 11 EAST
CITY OF DETROIT
WAYNE COUNTY, MICHIGAN

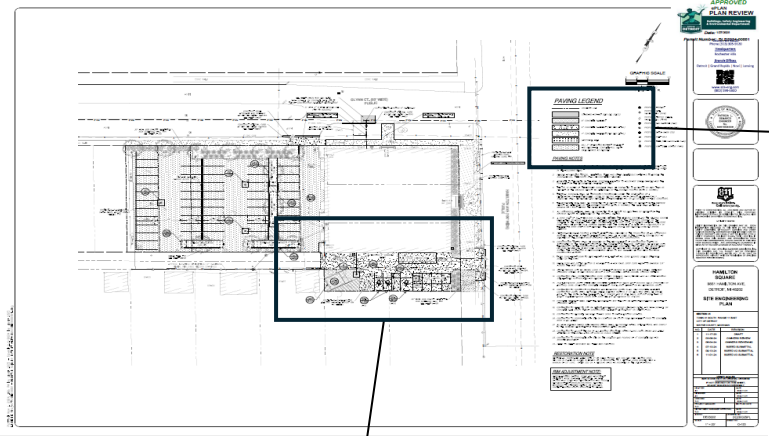
NO.	DATE	REVISION
1	11-17-23	DRAFT
2	03-08-24	OWNERS REVIEW
3	06-04-24	OWNERS REVIEW #2
4	07-10-24	BSEED SUBMITTAL
5	09-13-24	BSEED V2 SUBMITTAL
6	11-01-24	BSEED V3 SUBMITTAL

VERIFY SCALES

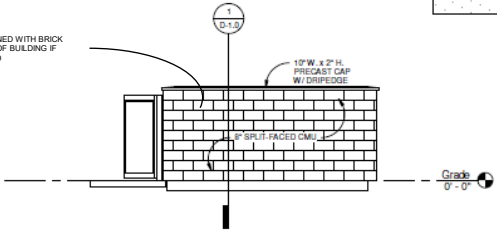
BAR IS ONE INCH ON ORIGINAL DRAWING

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

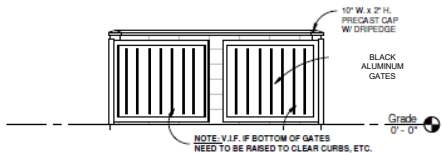
DRAYER	DATE
JCI	2024-11-01
DESIGNER	DATE
JCI	2024-11-01
CHECKED	DATE
TLD	2024-11-01
PROJECT MANAGER	BID PLAN DATE
TLD	
DEPARTMENT MANAGER APPROVAL	DATE
TLD	2024-11-01
JOB NO.	DRAWING NO.
DE23002	DE23002SPL
SCALE:	SHEET NO.
1" = 20'	C-120



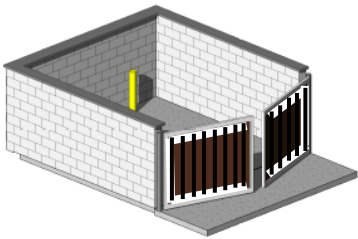
EXTERIOR CAN BE ADORNED WITH BRICK
SIMILAR TO EXTERIOR OF BUILDING IF
REQUIRED



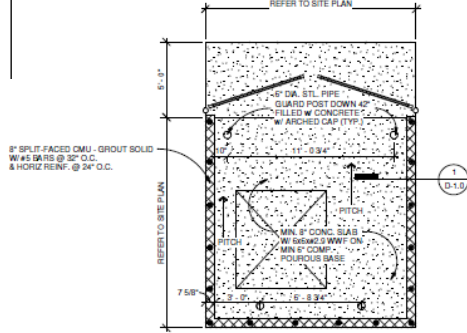
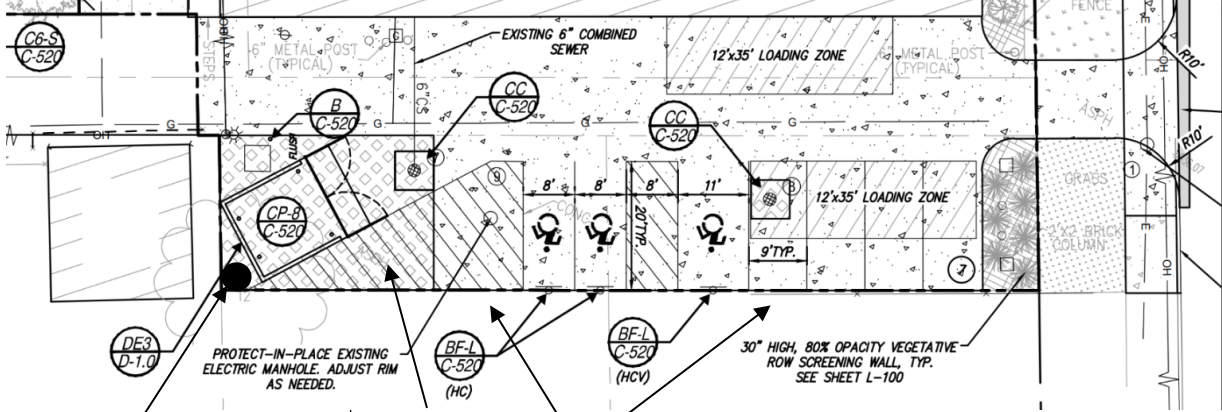
5 DUMPSTER ENCLOSURE SIDE ELEVATION
24'-0" x 10'-0"



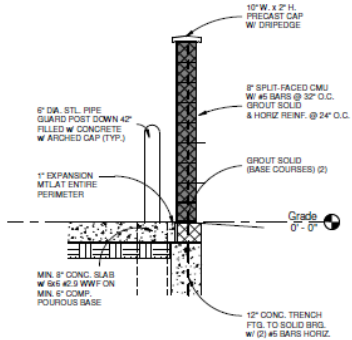
4 DUMPSTER ENCLOSURE FRONT ELEVATION
24'-0" x 10'-0"



2 DUMPSTER ENCLOSURE AXON



3 DUMPSTER ENCLOSURE PLAN
24'-0" x 10'-0"



1 DUMPSTER ENCLOSURE SECTION
10'-0" x 10'-0"

ARCHITECTS + INNOVATORS
Dustin B. Giff
Phone: 813.947.4006
Email: info@fuzarchitects.com
Web: fuzarchitects.com

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U.S. COPYRIGHT LAWS and will
be subject to civil damages and
prosecution.

Revision Schedule

#	Description	Date
1	DATE PLAN APPROVAL ONLY	03/24/2023

NOT FOR CONSTRUCTION

DATE: 03/24/2023

ADAPTIVE RE-USE: FORMER CATHOLIC CHARITIES

PROJECT NUMBER: 2304
3851 Hamilton Ave
CHICAGO, IL 60642
HAMILTON SQUARE, LLC
DUMPSTER ENCLOSURE DETAILS

SHEET NUMBER
D-1.0