CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00087

Effective Date: 04/15/25

Project Address: 3964 W Lafayette Blvd

Issued to: Jamie Perez

3964 W Lafayette Blvd

Detroit, MI 48216

Historic District: Hubbard Farms

Description of Work:

Erect a two-story carriage house in the rear yard. A paved area of stone, brick pavers, and concrete will be added.

With the Conditions that:

• The carriage house shall have a simple hipped roof (to match the house), with open, overhanging eaves which lack brackets, to indicate that it is distinctively new construction. The revised design shall be submitted shall be submitted to staff for review and approval prior to the permit's issuance

• The applicant shall submit a section drawing of the historic house which indicates its exact heights at the eaves and ridge line to staff for review and approval prior to the permit's issuance

• The applicant shall provide cutsheets which specifically depict the appearance of the new hardscape that is proposed for installation within the rear yard to HDC staff for review and approval prior to the issuance of the project's permit.

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

D. Rieden

Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250416jr

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

HISTORIC DISTRICT COMMISSION
APPLICATION FOR WORK APPROVAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

APPLICATION ID
HDC2025-00087

PROPERTY INFORMATION

ADDRESS(ES): 3964 W Lafayette Blvd

HISTORIC DISTRICT: Hubbard Farms

SCOPE OF WORK: (Check ALL that apply)

☐ Windows/ Doors	☐ Walls/ Siding	☐ Painting	☐ Roof/Gutters/ Chimney	☐ Porch/Deck/Balcony	☐ Other
☐ Demolition	☐ Signage	☒ New Building	☐ Addition	☐ Site Improvements (landscape, trees, fences, patios, etc.)	

BRIEF PROJECT DESCRIPTION:

New construction garage with apartment above (ADU). Currently empty land in the backyard. It will be constructed in a traditional style to compliment the old world Mediterranean-style main house.

APPLICANT IDENTIFICATION

TYPE OF APPLICANT: Property Owner/Homeowner

NAME: Jamie Perez	**COMPANY NAME:** Time and Tool
ADDRESS: 3964 W Lafayette Blvd	**CITY:** Detroit **STATE:** MI **ZIP:** 48216
PHONE: +1 (313) 699-1180	**EMAIL:** timeandtool313@gmail.com

I AGREE TO AND AFFIRM THE FOLLOWING:

☒ I understand that the failure to upload all required documentation may result in extended review times for my project and/or a denied application.

☒ I understand that the review of this application by the Historic District Commission does not waive my responsibility to comply with any other applicable ordinances including obtaining appropriate permits (building, sign, etc.) or other department approvals prior to beginning the work.

☒ I hereby certify that I am the legal owner and occupant of the subject property and that the information on this application is true and correct.

Signed by:
Jamie Perez
2349F31A909641A...
SIGNATURE

03/03/2025
DATE

3964 W Lafayette Blvd   Detroit

NOTE: Based on the scope of work, additional documentation may be required. See www/detroitmi.gov/hdc **for scope-specific requirements.**

PROJECT DETAILS – TELL US ABOUT YOUR PROJECT

Instructions: Add project details using the text box in each section. If your details exceed the space provided, attach the details via the attachment icon for that section.

ePLANS PERMIT NUMBER: **(only applicable if you've already applied for permits through ePLANS)**	N/A

GENERAL

1. DESCRIPTION OF EXISTING CONDITION
Please tell us about the current appearance and conditions of the areas you want to change. You may use a few sentences or attach a separate prepared document on the right. (For example, "existing roof on my garage is covered in gray asphalt shingles in poor condition.")

There is currently nothing in the backyard. There is simply dirt and grass surrounding the main house.

2. PHOTOGRAPHS
Help us understand your project. Please attach photographs of all areas where work is proposed.

3. DESCRIPTION OF PROJECT
In this box, tell us about what you want to do at the areas described above in box #1. (For example, Install new asphalt shingle roofing at garage.)

See attached document

4. DETAILED SCOPE OF WORK
In this box, please describe all steps necessary to complete the work described in box #3. (For example, "remove existing shingles, replace wood deck as necessary, replace wood eaves, install roof vents, replace rotted fascia boards, paint, clean worksite.")

See attached document

5. BROCHURES/CUT SHEETS
Please provide information on the products or materials you are proposing to install. For example, a brochure on the brand and color of the shingles proposed.

Questions? Contact us at hdc@detroitmi.gov or (313)224-1762

ADDITIONAL DETAILS

|	

I am writing to submit my proposal for the construction of a 20x32 garage with an Accessory Dwelling Unit (ADU) on the second floor, located in my backyard at 3964 W Lafayette Blvd, 48216, within the Hubbard Farms Historic District. The design has been carefully crafted to complement the architectural style of the main house and contribute positively to the character of the surrounding neighborhood.

To ensure the ADU harmonizes with the existing structure, attention has been paid to several key design elements. These include the bracket details, exterior door and window trim, muntin patterns, the scale of the wooden casement windows, the selection of a hinged garage door, overhang depth, and the overall proportions of the building. These features are intentionally selected to match and enhance the traditional Spanish aesthetic of the main house, with a clear focus on adding architectural value to the neighborhood.

The windows for the ADU will be wooden casements featuring true divided light, in keeping with the traditional design. The muntin pattern used in the main house, specifically the "cross" pattern, will be replicated on the ADU to create visual continuity. The size and scale of the windows will mirror those of the main house, ensuring consistency in their grandeur.

The garage opening will consist of a set of double doors with traditional hinges, operating as a classic garage door. The ADU's overhangs will extend nearly two feet, closely mimicking the overhang proportions found on the main house. The facade of the building will be finished with smooth-faced cement board lap siding, installed with a traditional 4" reveal. The siding will be painted white, matching the color of the main house. All trim throughout the design will be constructed from solid pine.
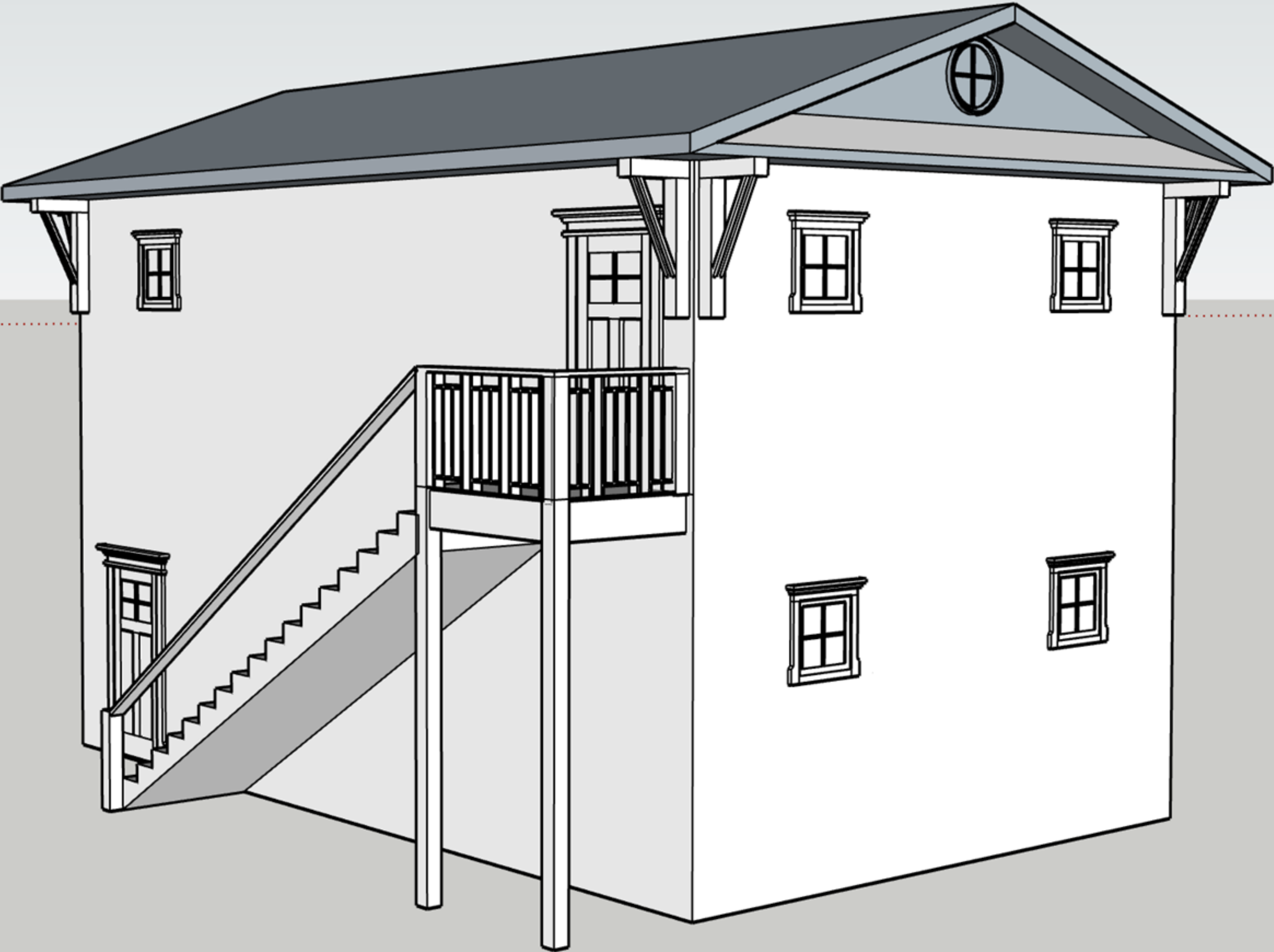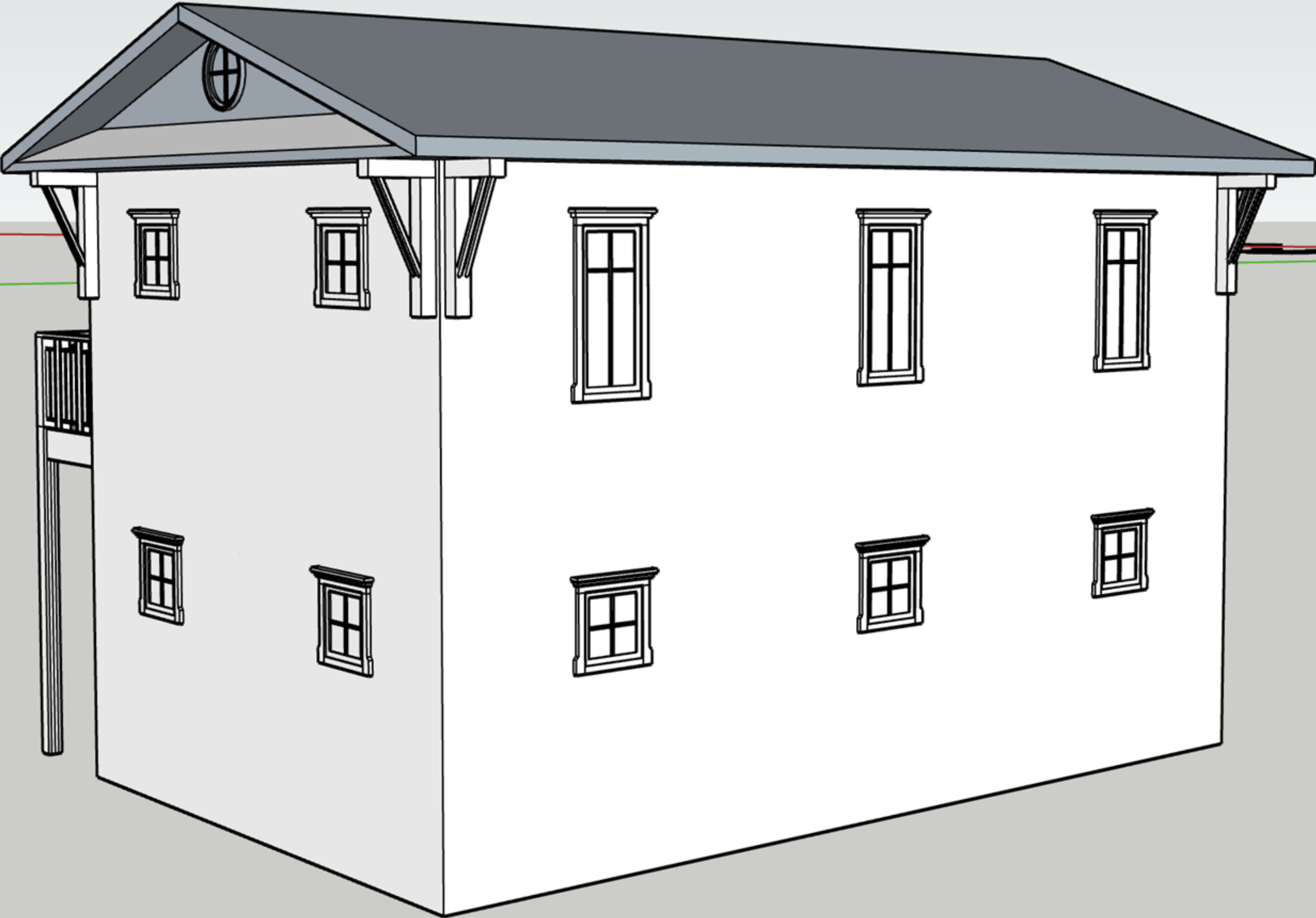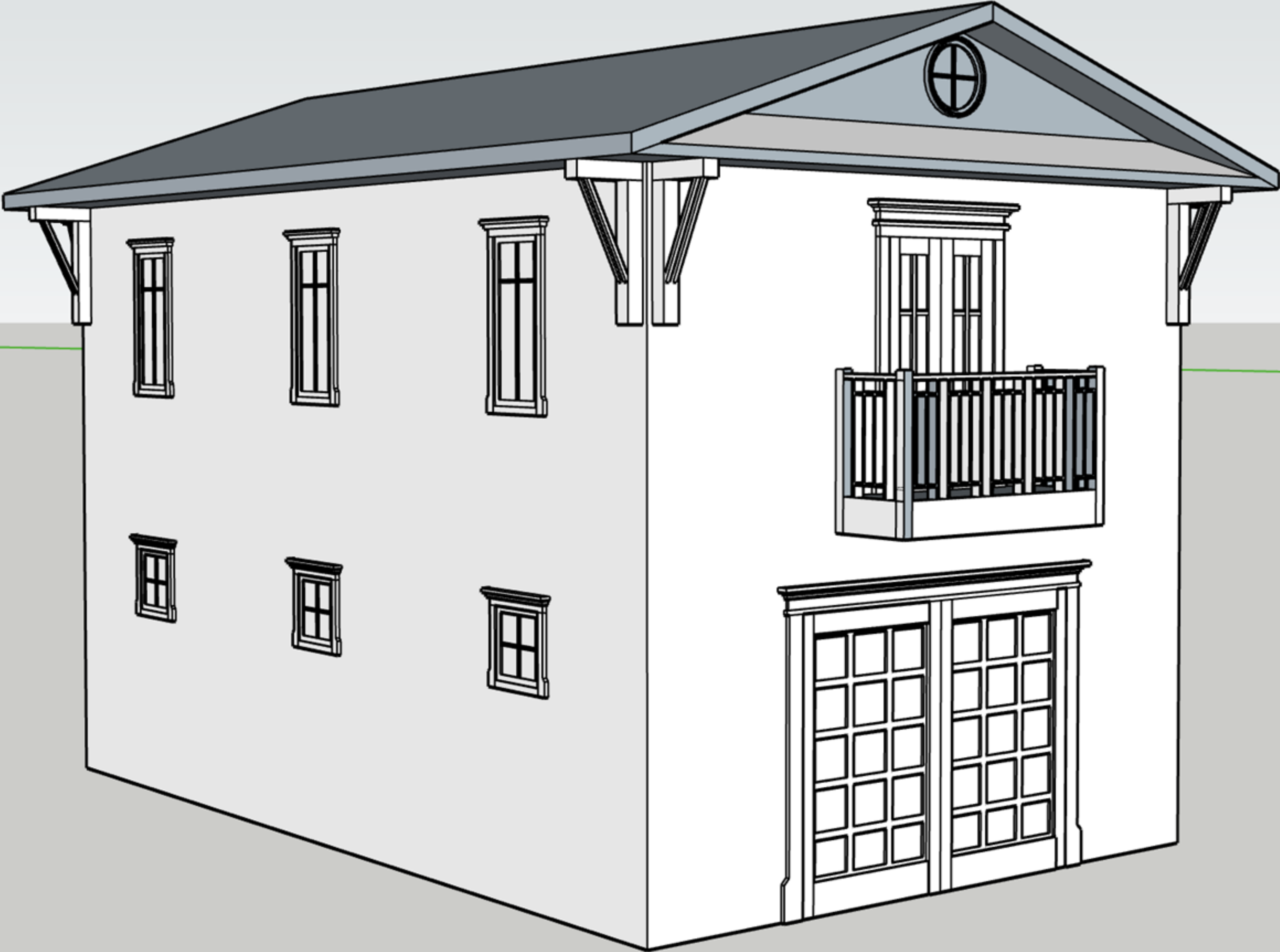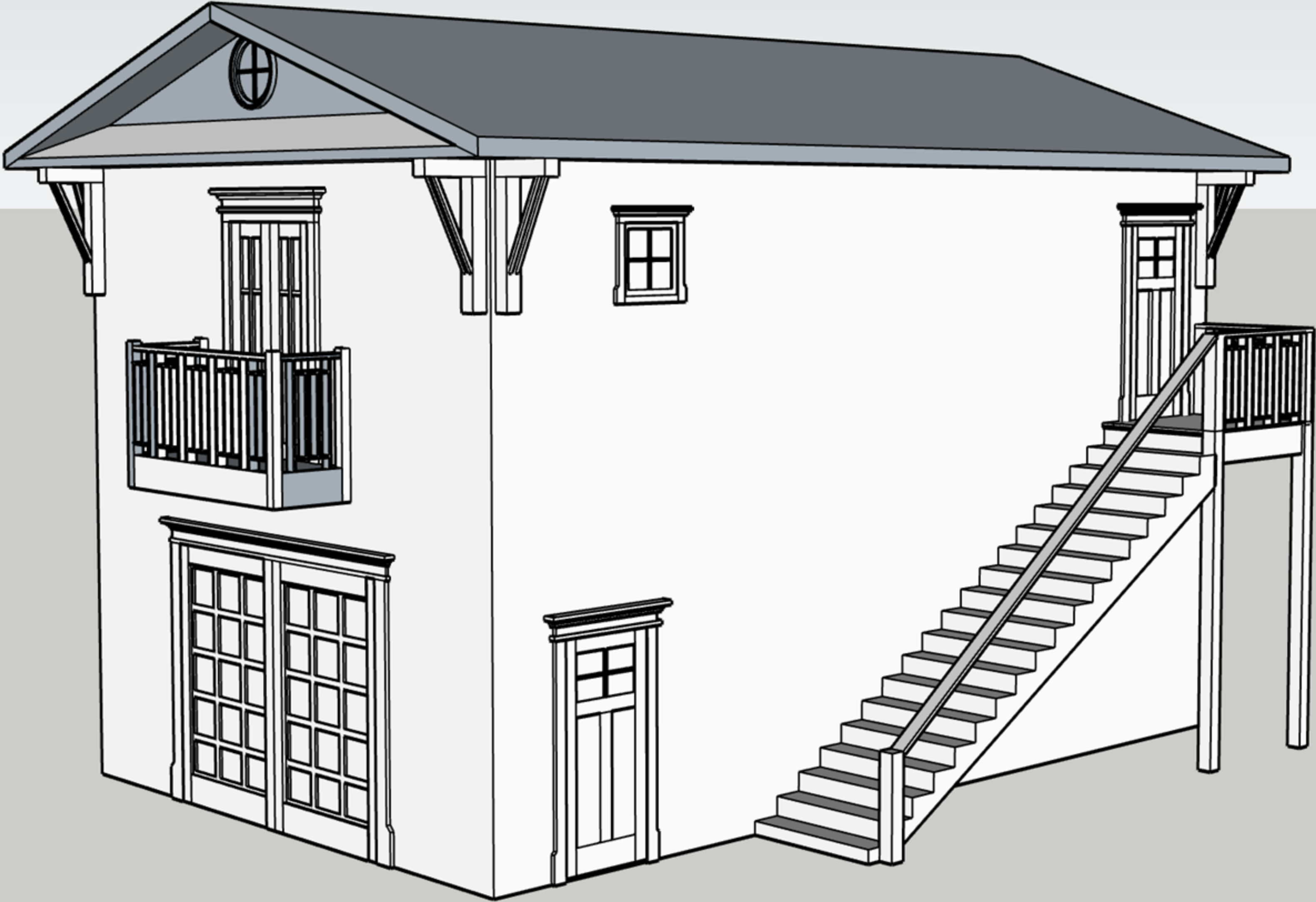
HISTORIC DISTRICT COMMISSION
ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 03/03/2025

Application Number: HDC2025-00087

APPLICANT & PROPERTY INFORMATION

NAME: Jamie Perez	**COMPANY NAME:** na

ADDRESS: 3964 W Lafayette Blvd	**CITY:** Detroit	**STATE:** MI	**ZIP:** 48216

PROJECT ADDRESS: 3964 W Lafayette Blvd

HISTORIC DISTRICT: Hubbard Farms

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

This application is not complete. Please provide a site plan that shows dimensions and location of the proposed structure and its location within the property lines. Please provide any paved areas, dimensions and materials on the site plan. Please provide dimensions on elevations and label all exterior materials, and cut sheets (production materials) for each material type. (You can provide screen shots from supplier websites, but Staff cannot use weblinks.) Please provide window dimensions, operation, material, and design (division of lights, if any).

PSR: 250303dr

## APPLICANT RESPONSE

Response Date: 03/04/2025

I have attached renderings of the ADU/Garage that include the main house and the property lot lines. I have included measurements of the windows that will be used on this build. There are only two variations of windows being used. They will all be constructed of solid wood with no aluminum or clad of any kind. Windows will be painted on the exterior and polyurethane on the interior. The windows will be casement style to match the main house. The cladding of the building will be a 5-1/4" smooth cement board lap siding from James Hardie. I have attached a picture of the product, not much to see other than a smooth board that will be installed horizontally with a 4" reveal. All doors, including the garage/loading doors, will be solid wood.
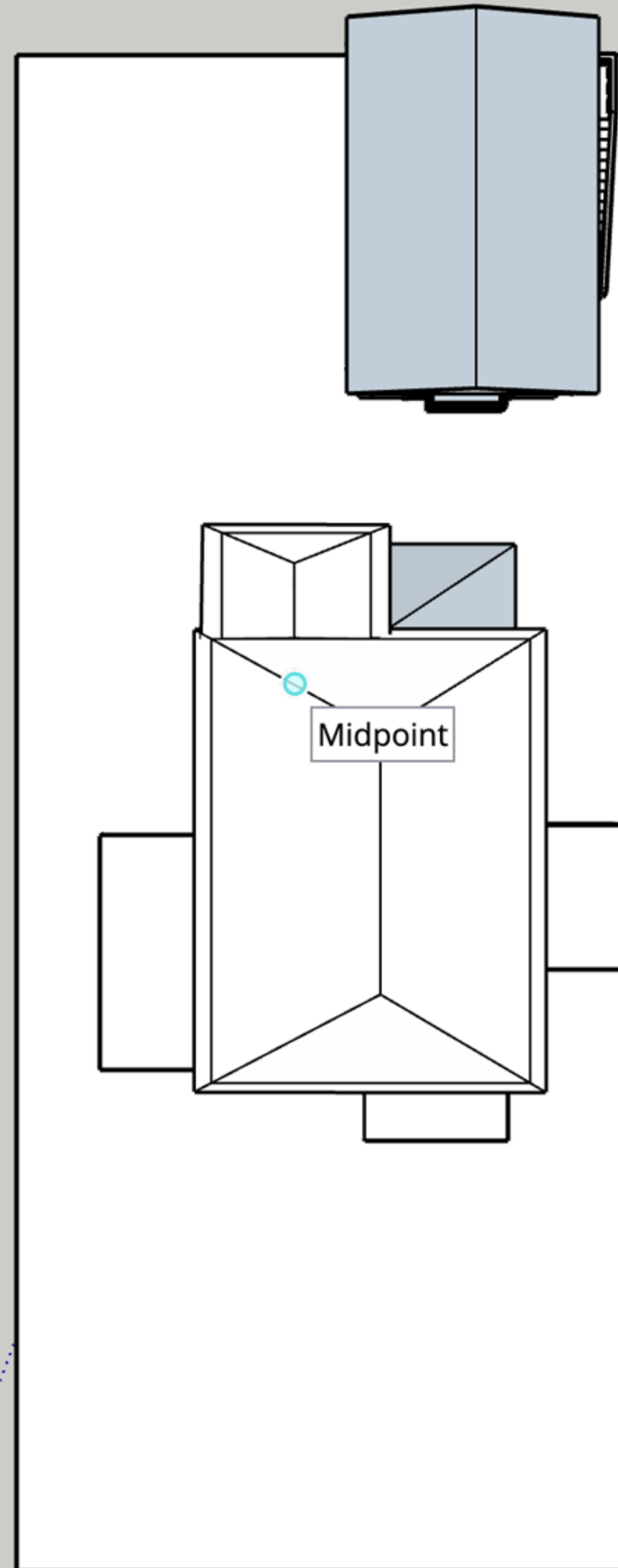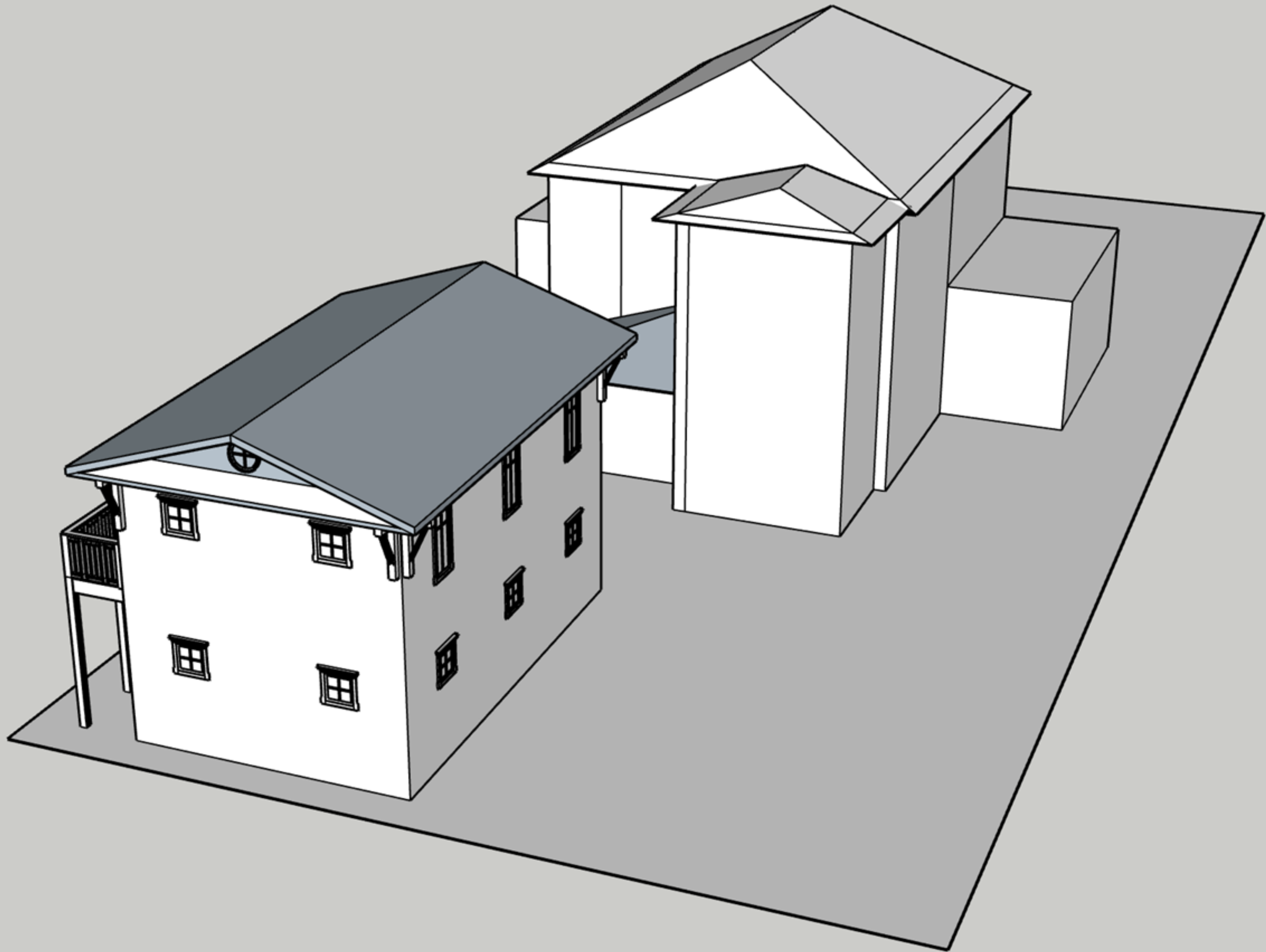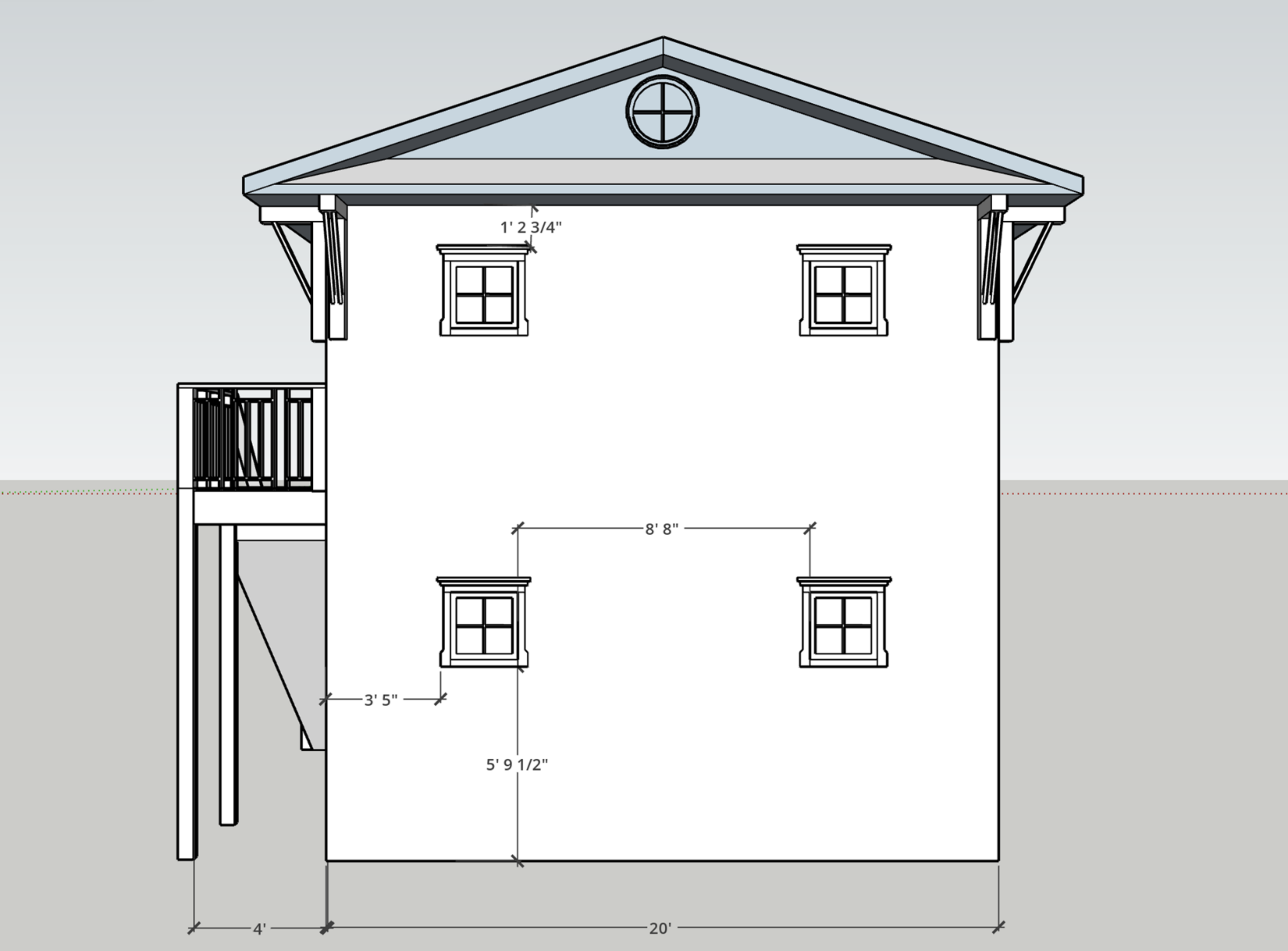
4' 5"

14' 1"

10'

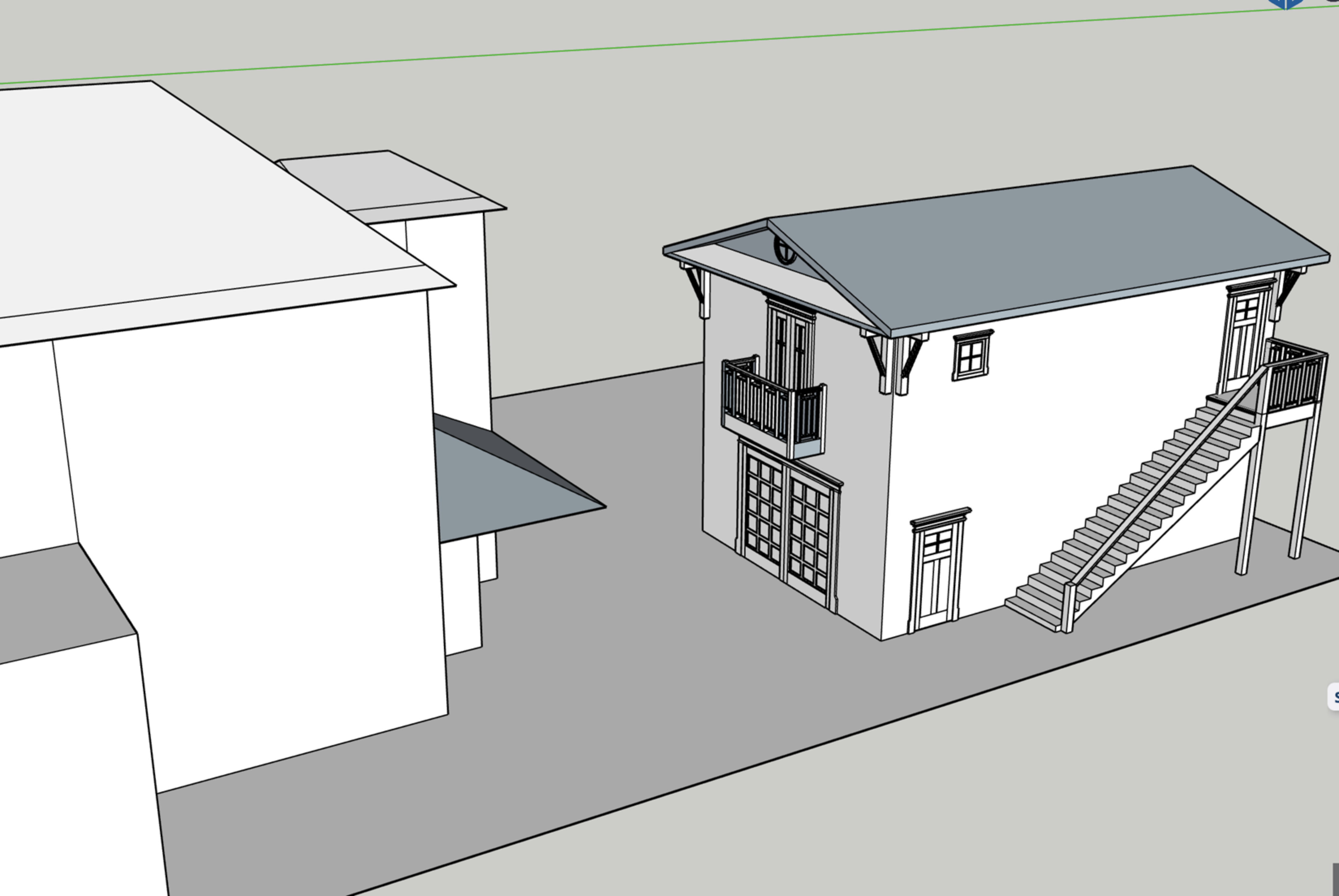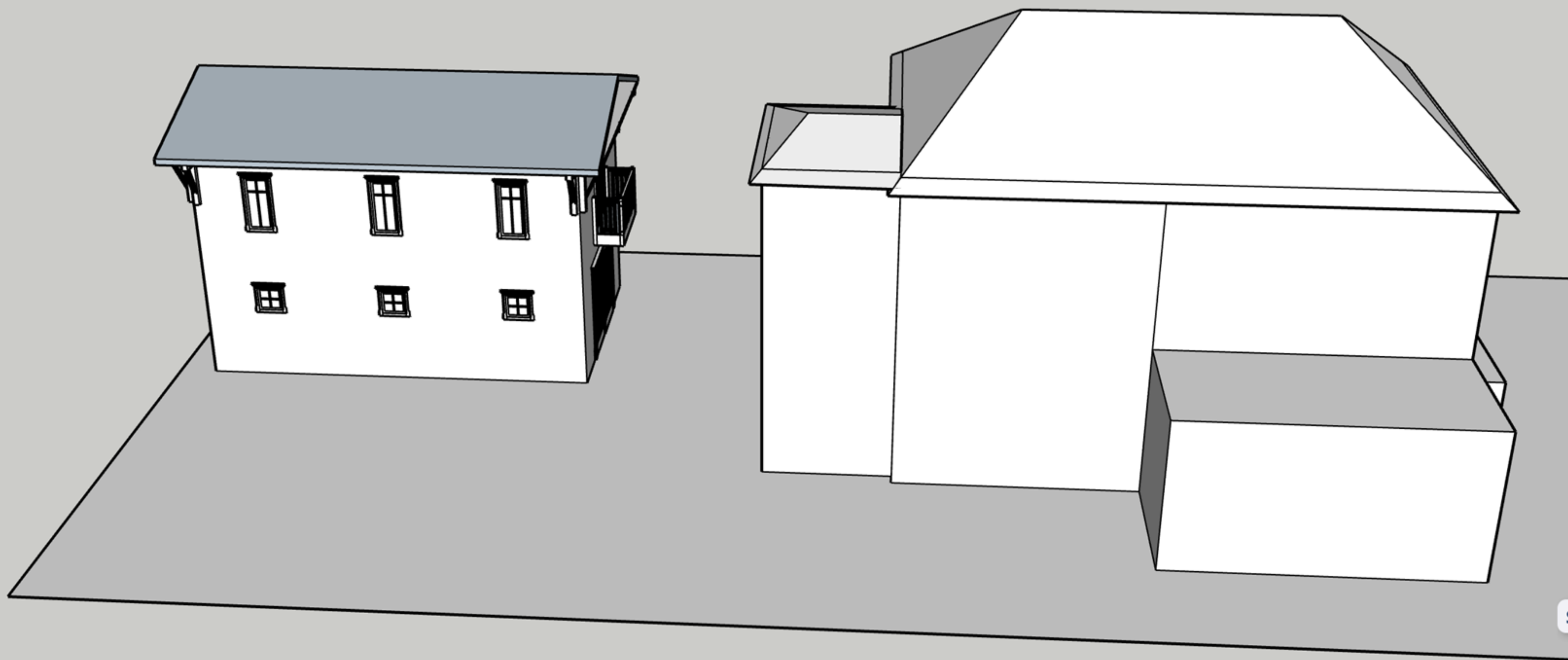6' 8"

3'

16' 4 3/4"

32'

Midpoint

35'   8'

15' 9 11/16"

JamesHardie
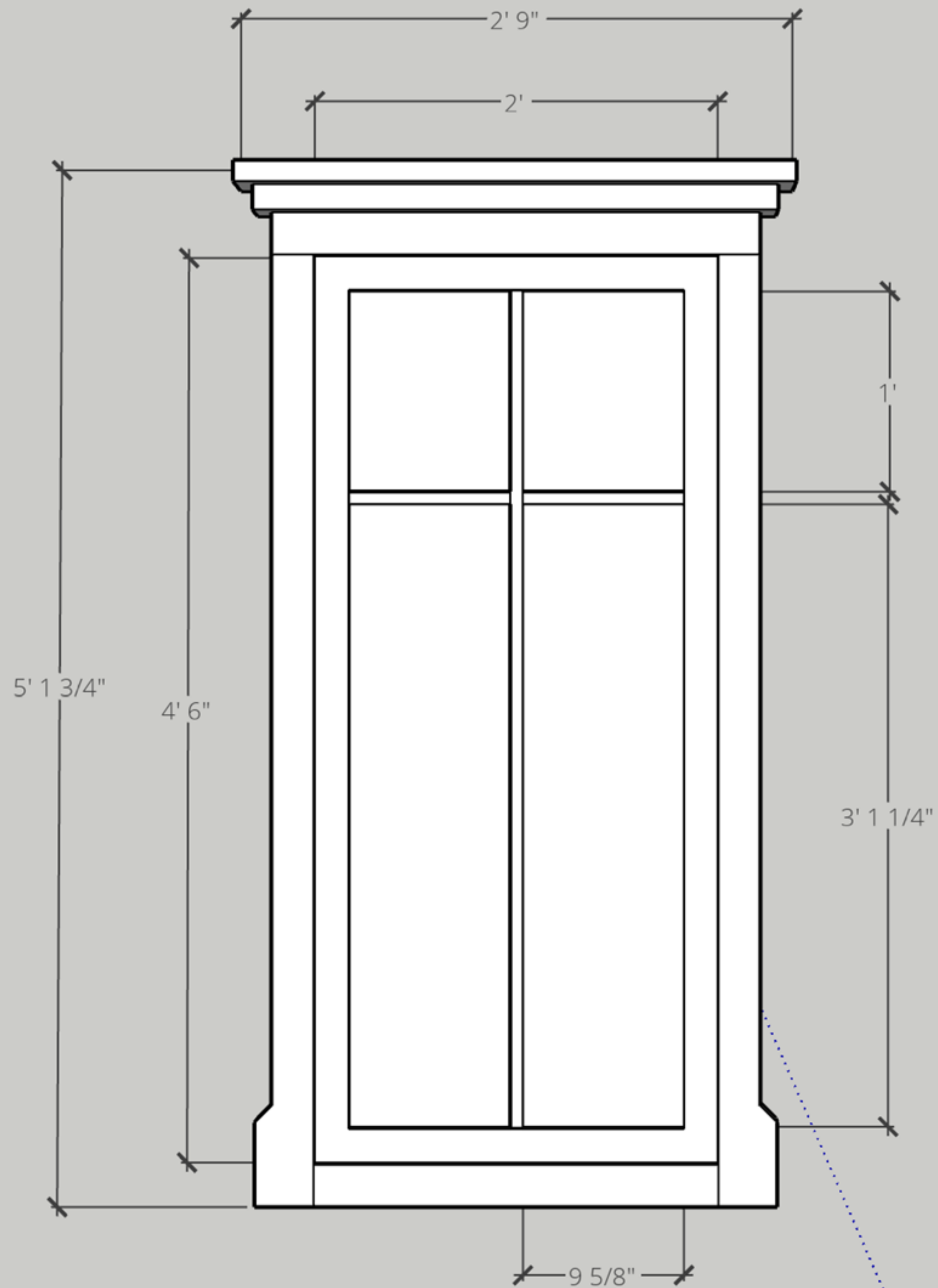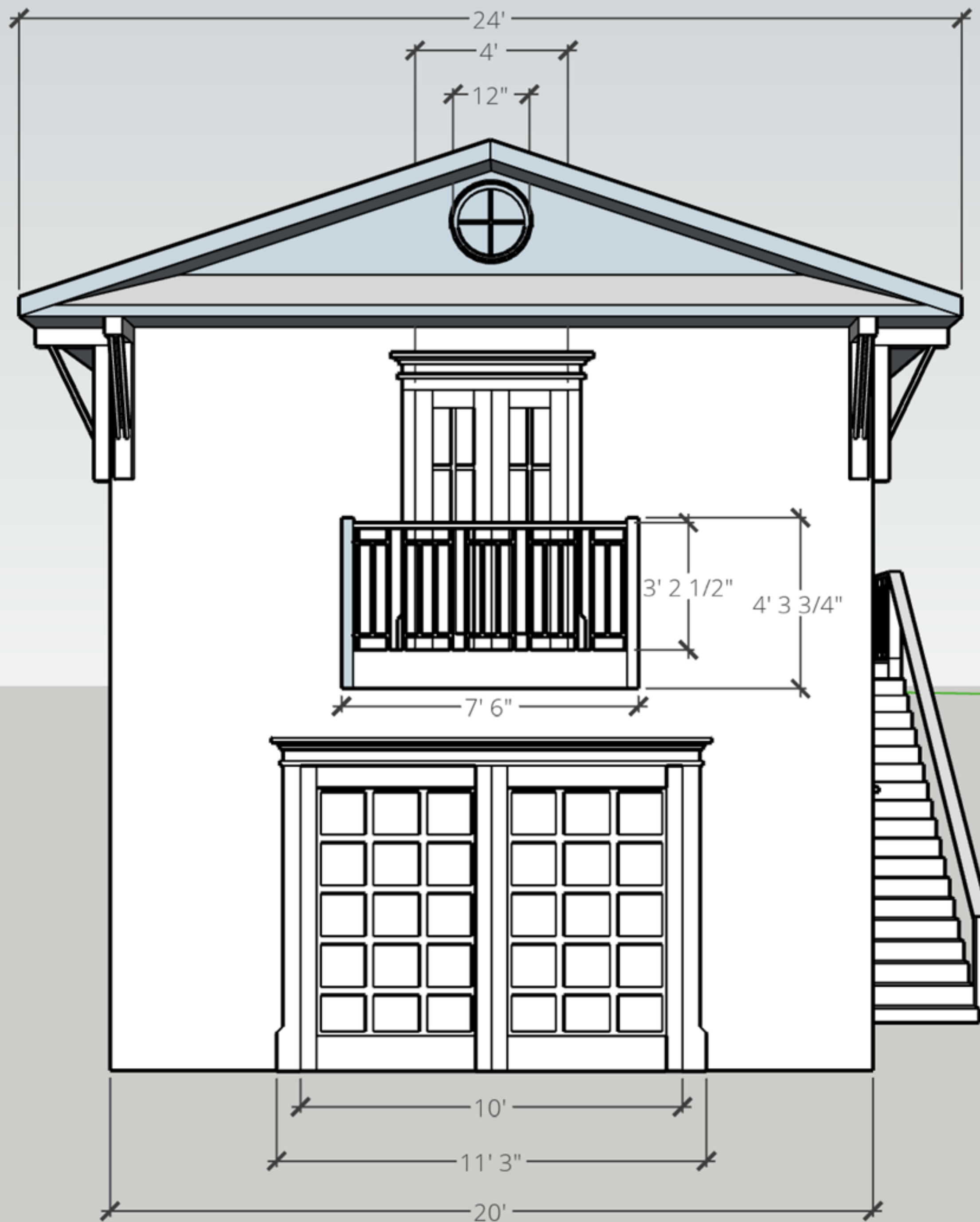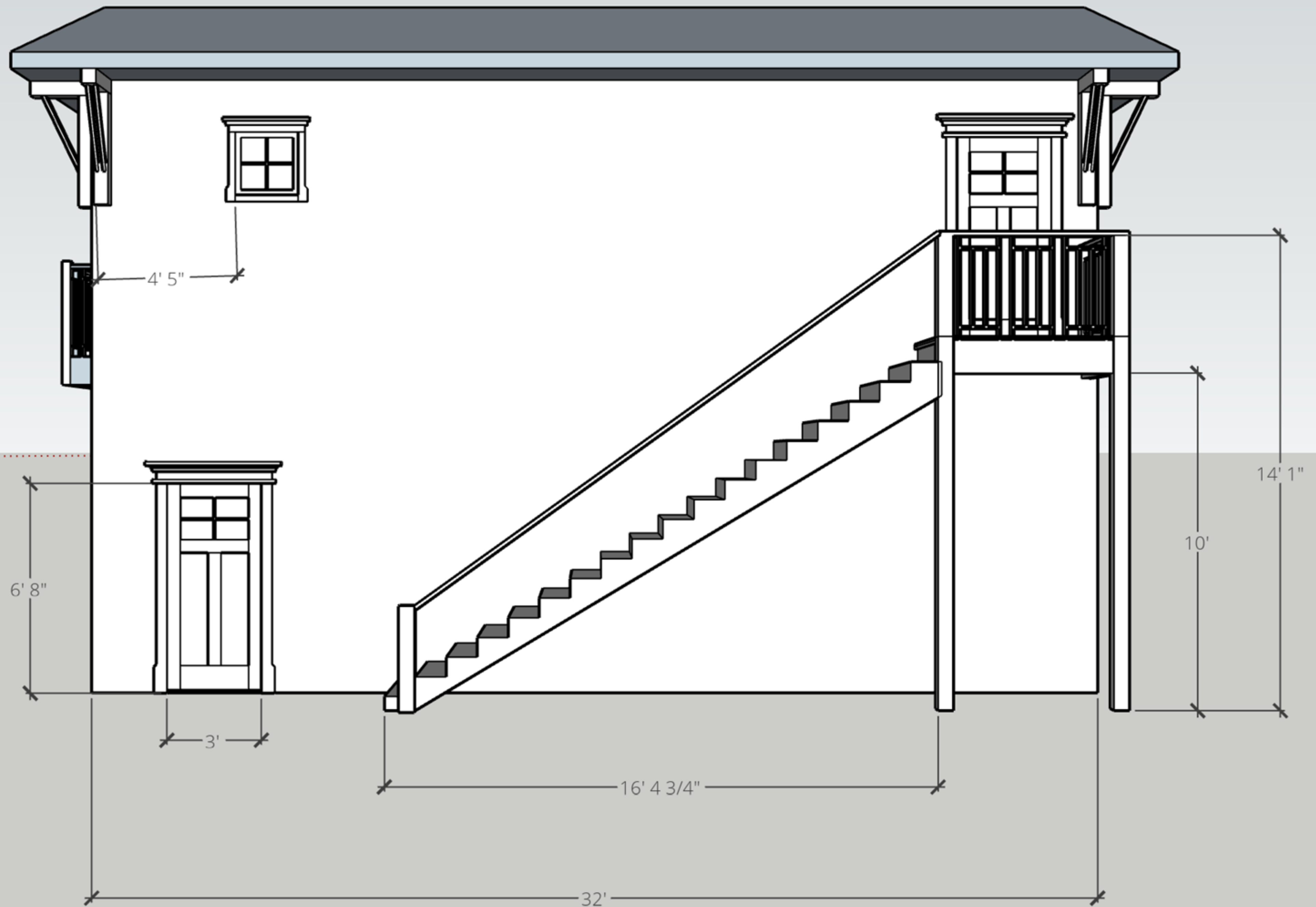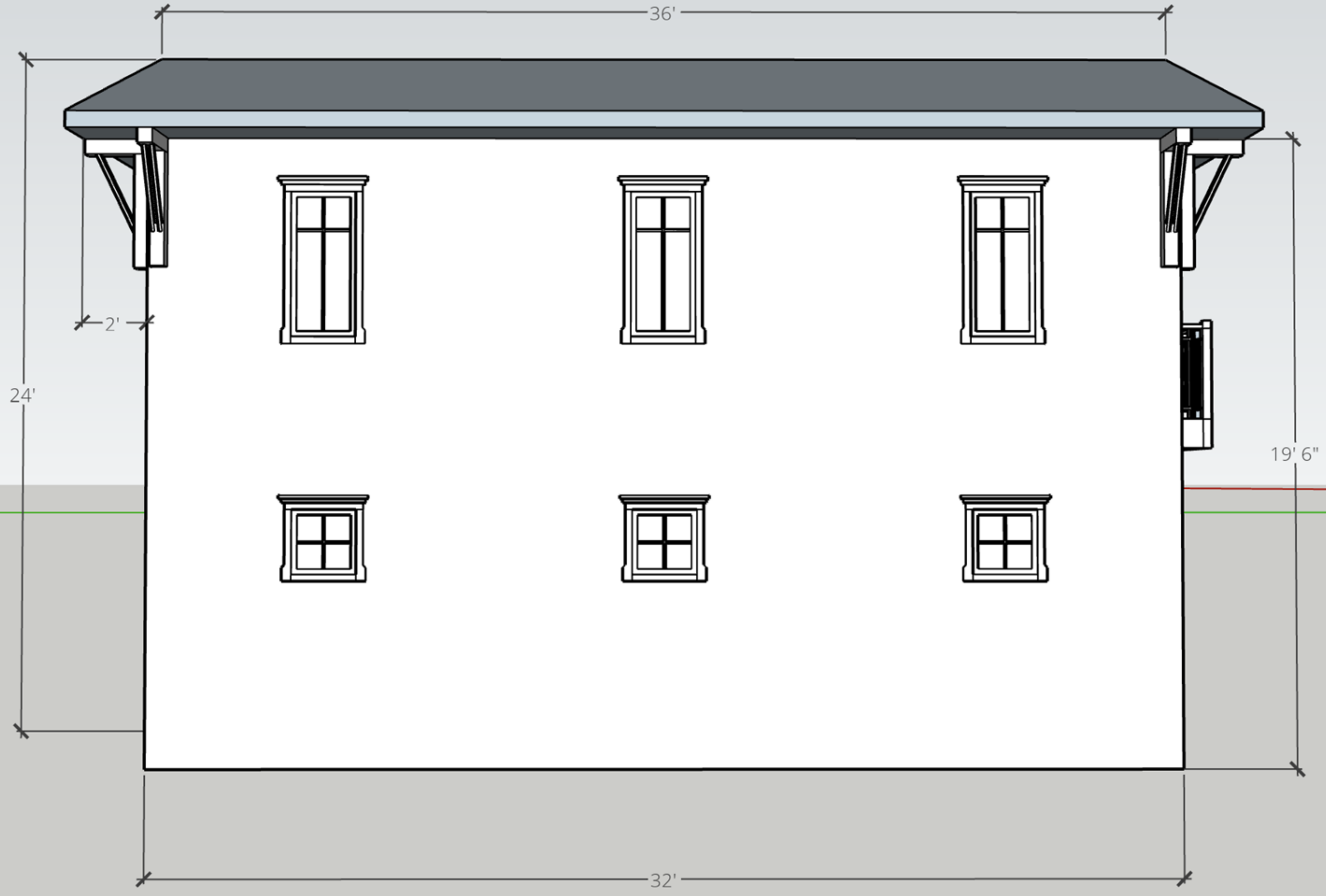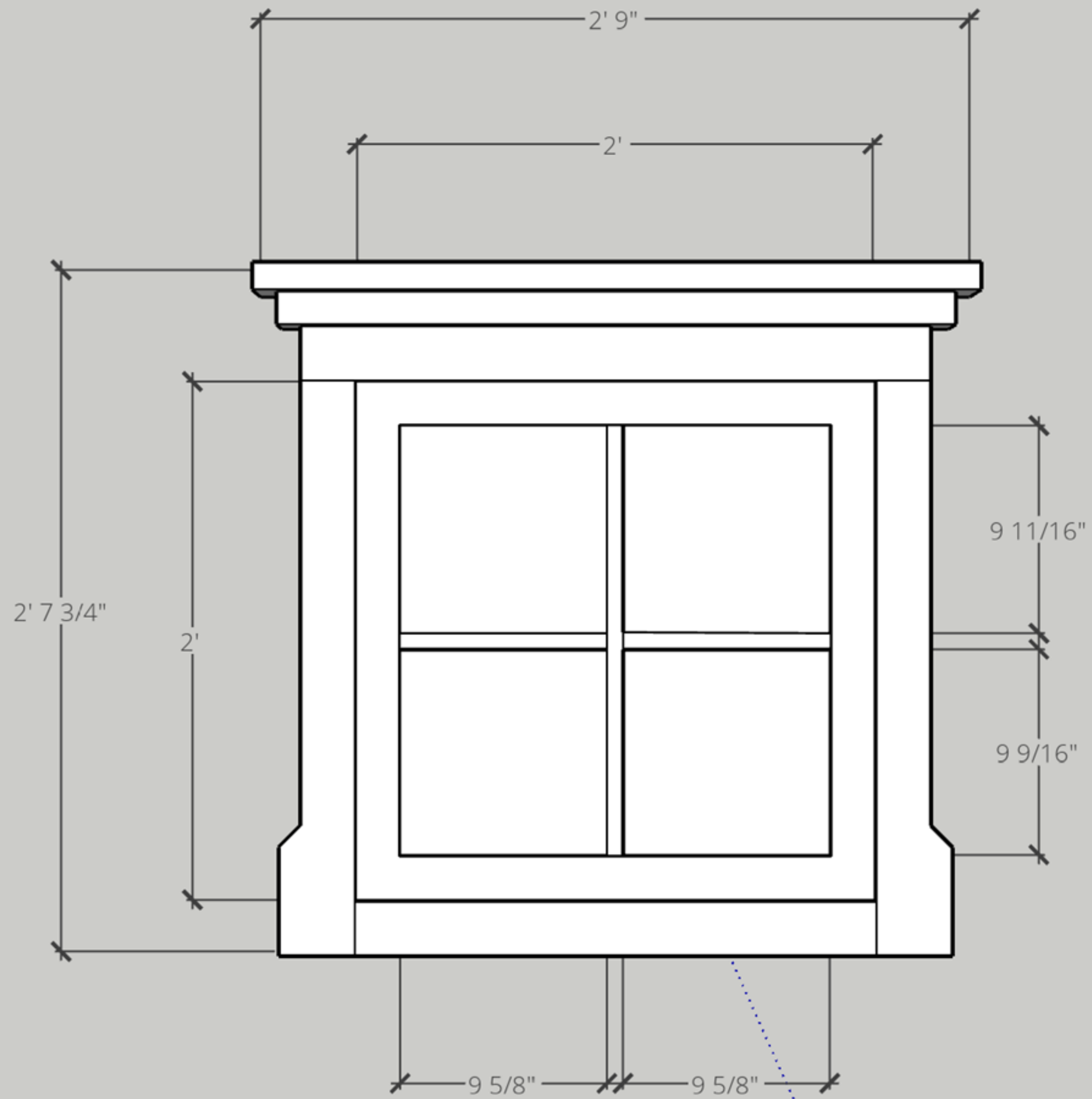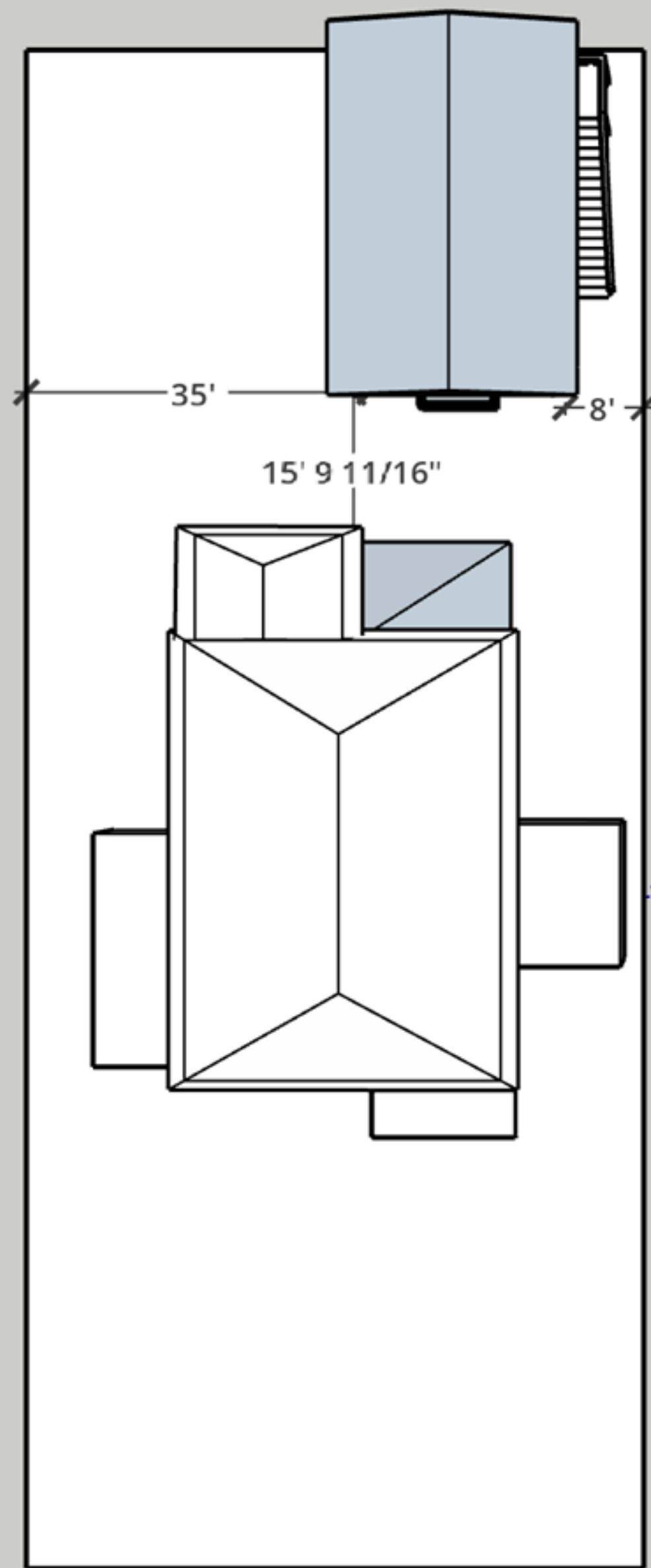
HardiePlank® Lap Siding • Smooth • 5/16"x5¼"-12'

QUICK SPECS   SHIPS VIA DUNN LUMBER

HardiePlank Lap Smooth 5¼"

Click to select lengths:

QTY		
0 / ea	$10.38 / ea	ADD TO CART

YOU ARE BROWSING FROM: SHORELINE

Check Other Stores

STOCK STATUS   ADD TO WISH LIST
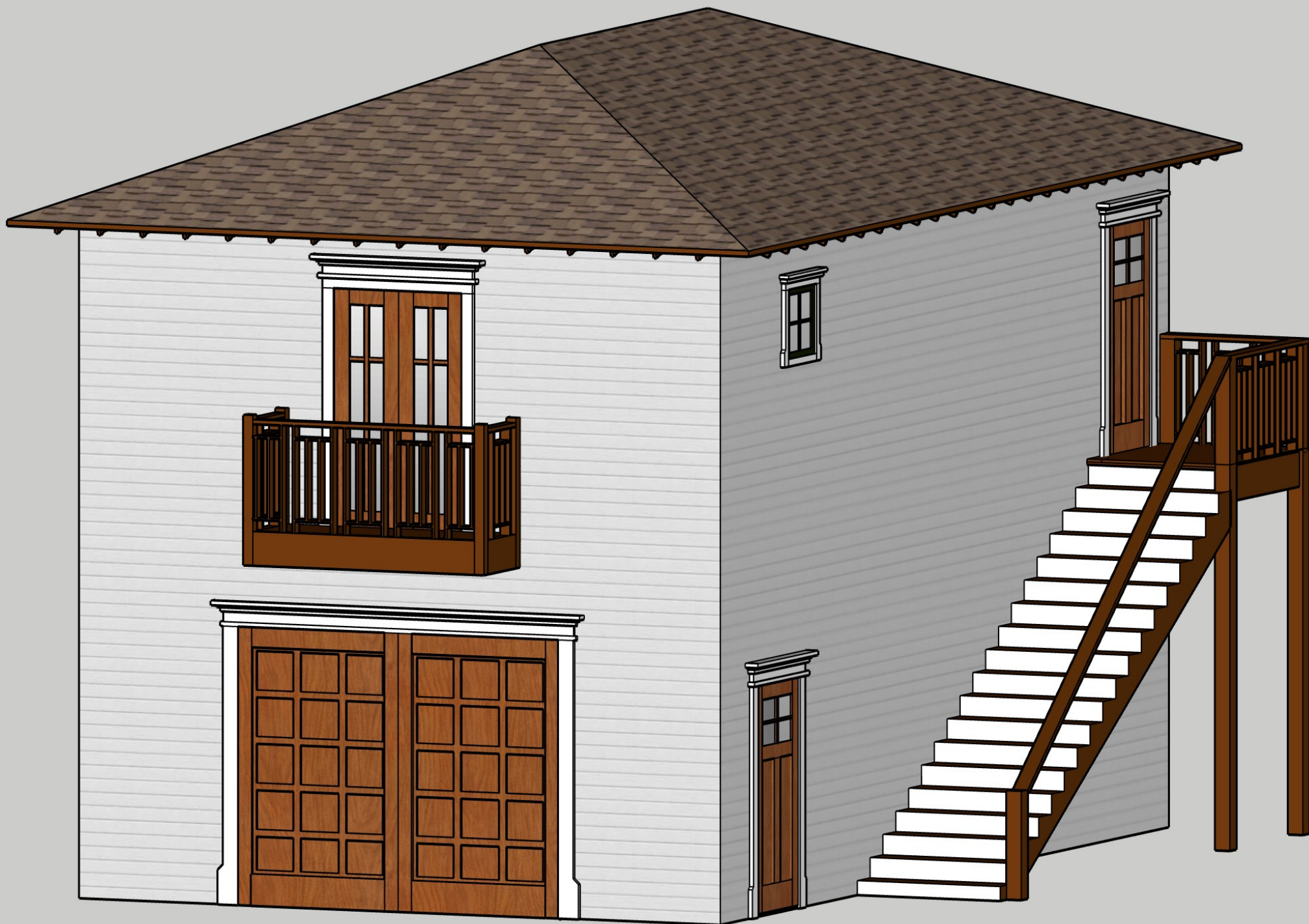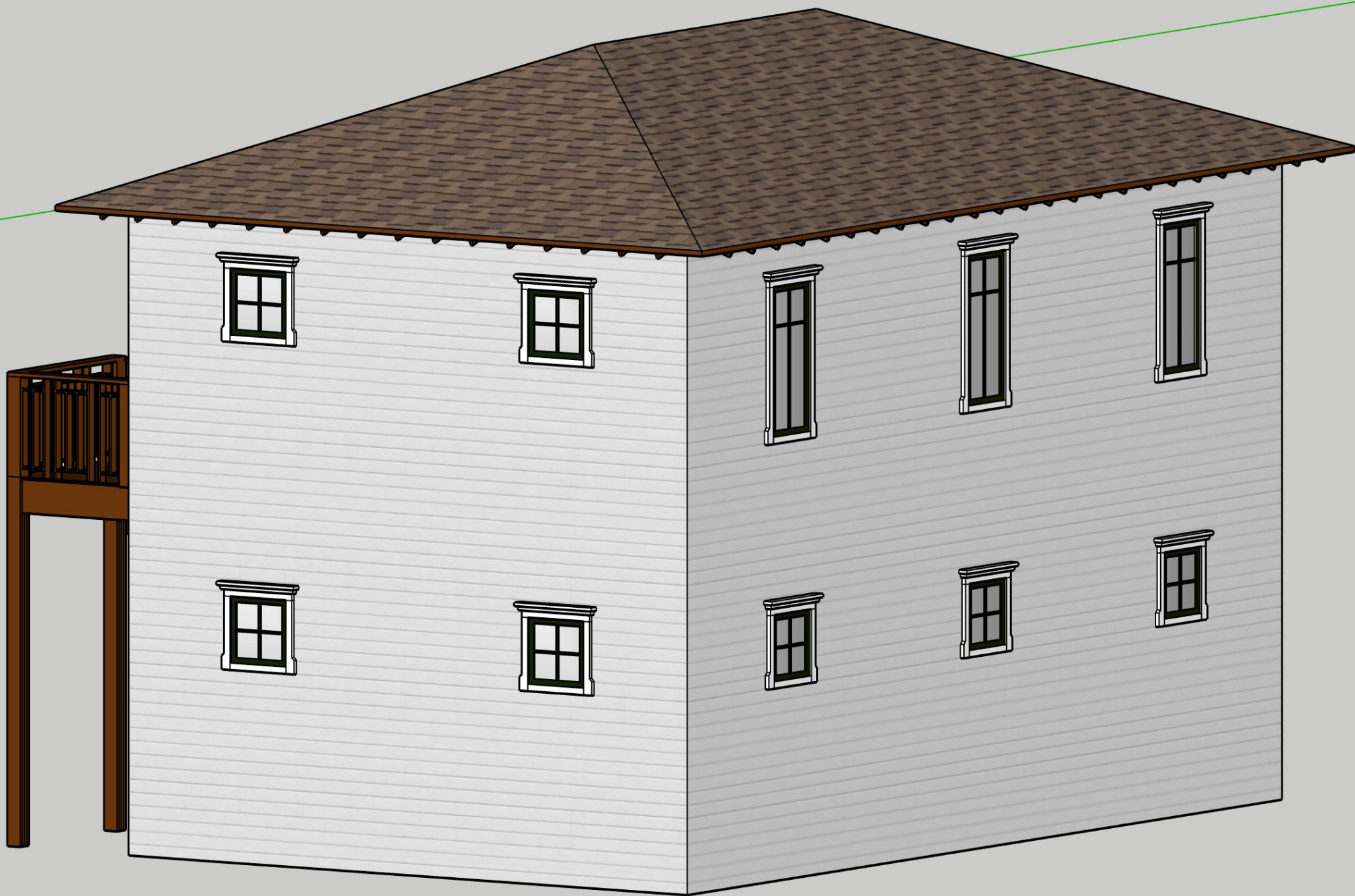
ZOOM

HISTORIC DISTRICT COMMISSION
ADDITIONAL INFORMATION REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 03/13/2025

Application Number: HDC2025-00087

APPLICANT & PROPERTY INFORMATION

NAME: Jamie Perez	**COMPANY NAME:** NA

ADDRESS: 3964 W Lafayette Blvd	**CITY:** Detroit	**STATE:** MI	**ZIP:** 48216

PROJECT ADDRESS: 3964 W Lafayette Blvd

HISTORIC DISTRICT: Hubbard Farms

REQUESTED INFORMATION

We have received your application, but it is not yet complete for review. Please provide additional details based on the comments and questions listed below. Should you need to attach additional files per this request, use the paperclip icons at the end of this form. You may attach up to (5) files per icon up to 25MB:

Thank you for the additional information, however many items are still needed before staff can place this application on an HDC agenda:

Dimensioned site plan - please note all existing and proposed paved areas, and proposed landscaping.

Dimensioned elevation drawings and wall section – renderings are helpful but are not informative enough to complete a design review.

Cut sheets of all components – to confirm the specific design of the selected items as shown on the drawings. Please include site and/or building lighting.

Additional photographs - One photo isn't informative enough for the Commission to understand the area where the building will be located as well as the context of the surrounding buildings/lots. We need multiple views of the rear yard, a photograph of each side of the house, as well as an angled alley view to capture the adjunct properties at the alley.
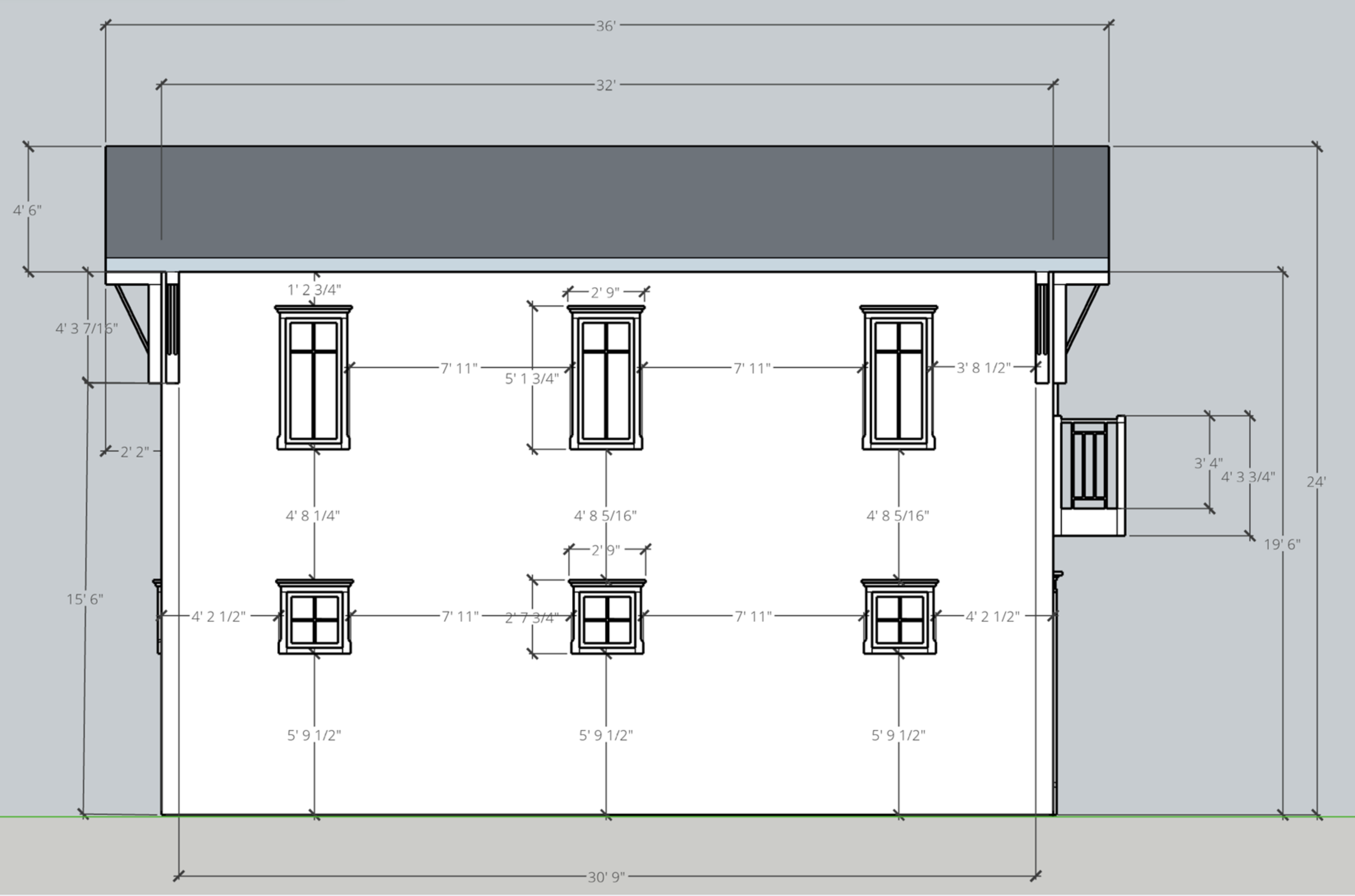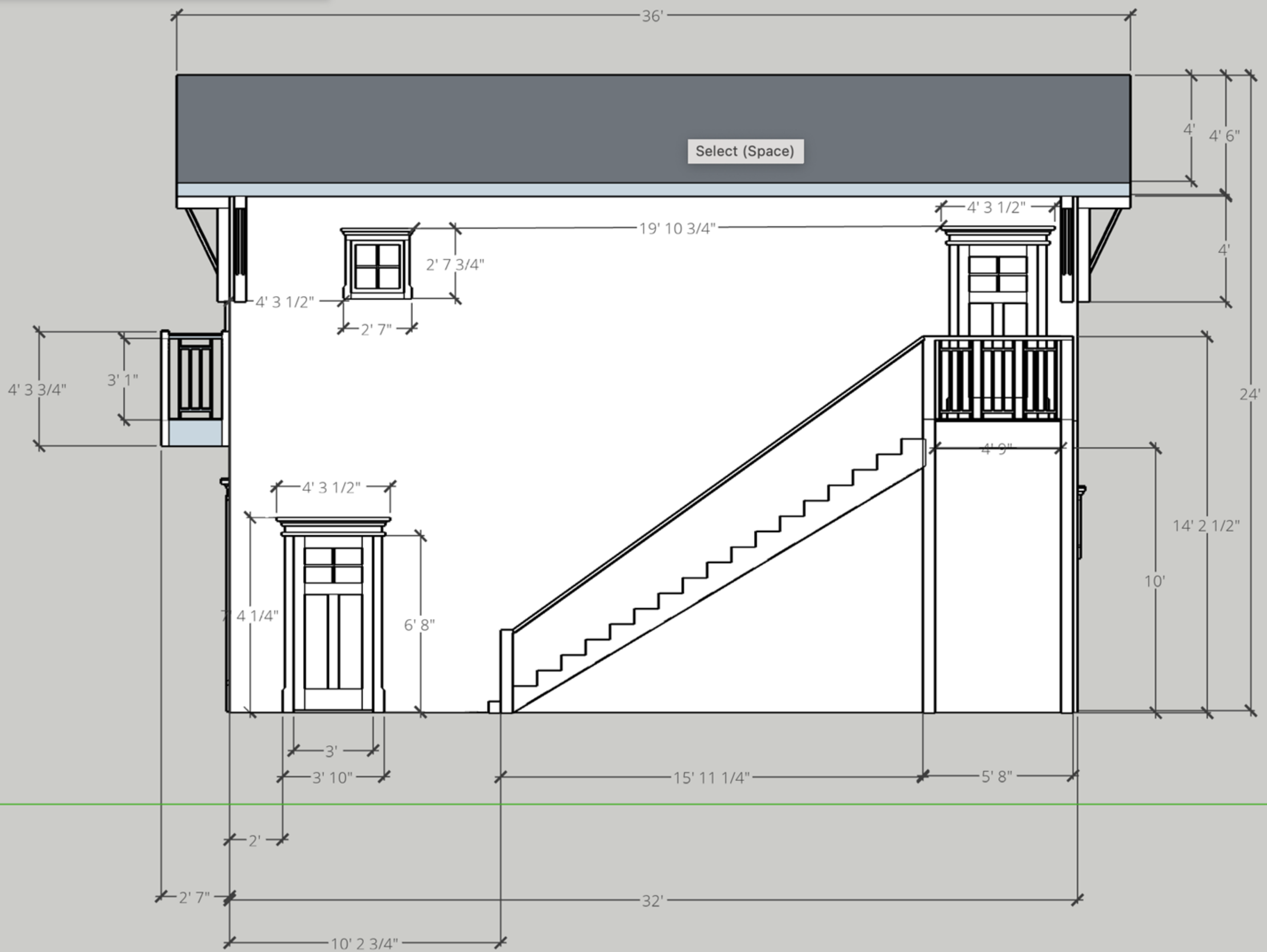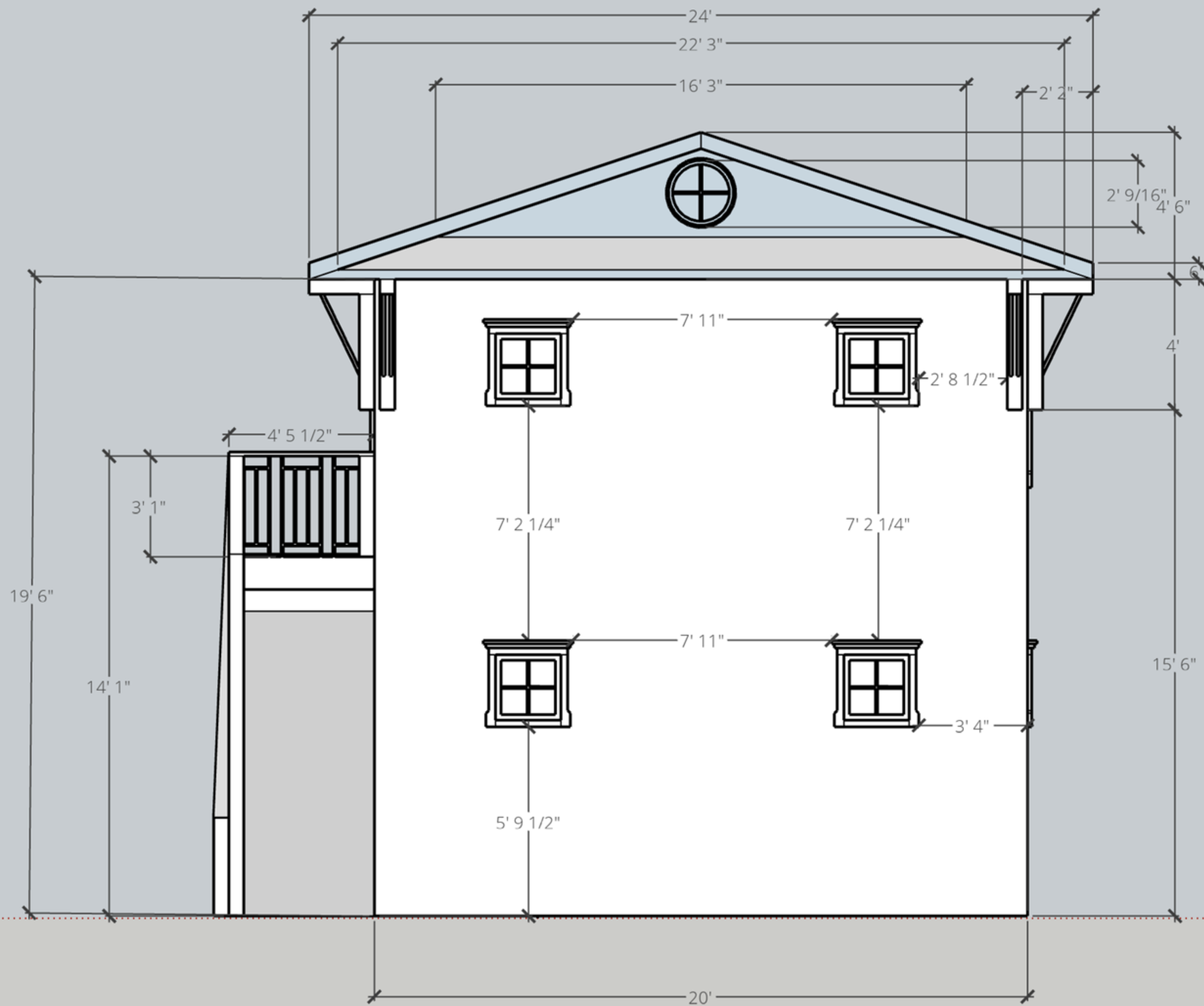
Thank you.

PSR: 250313

APPLICANT RESPONSE
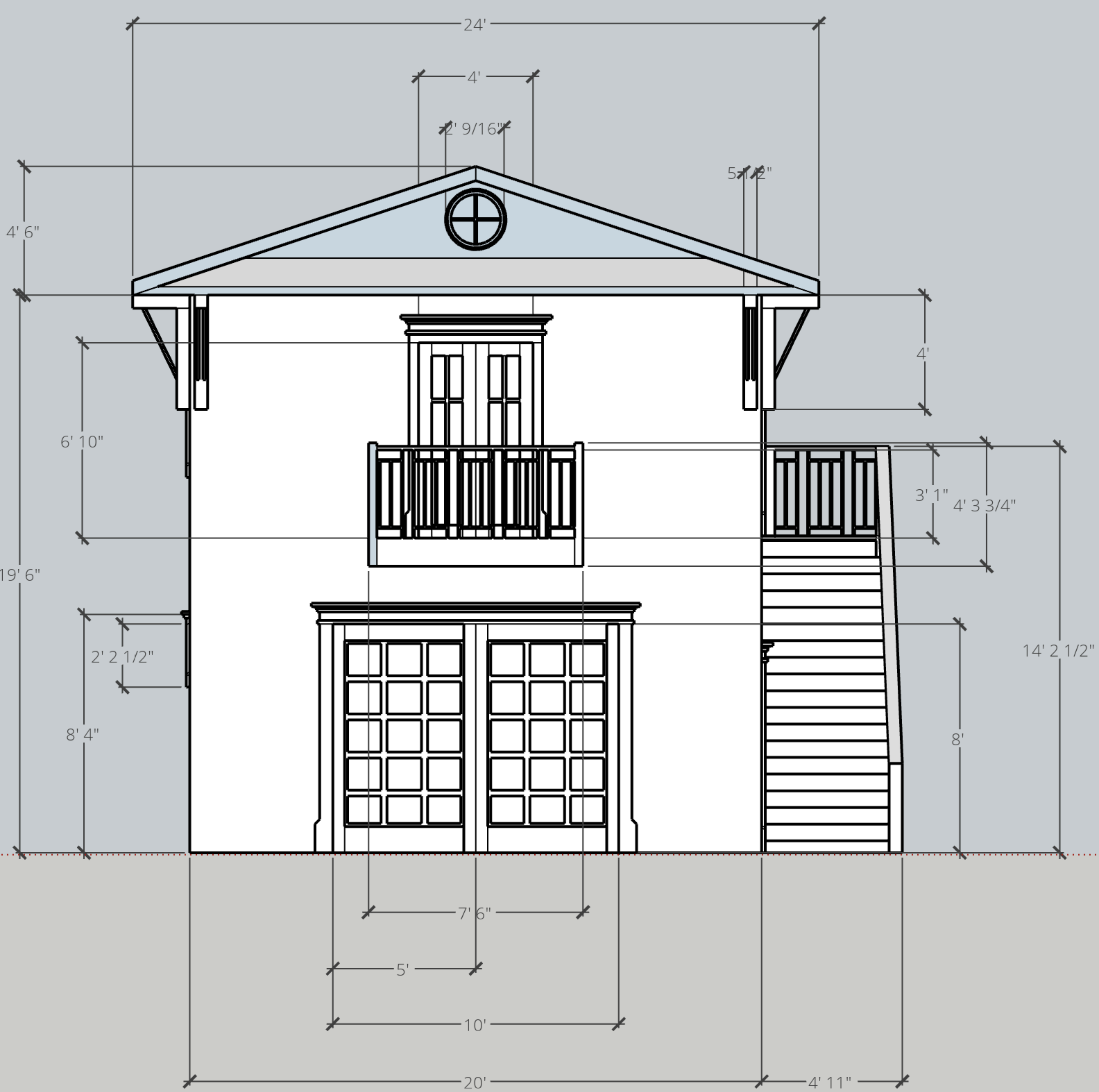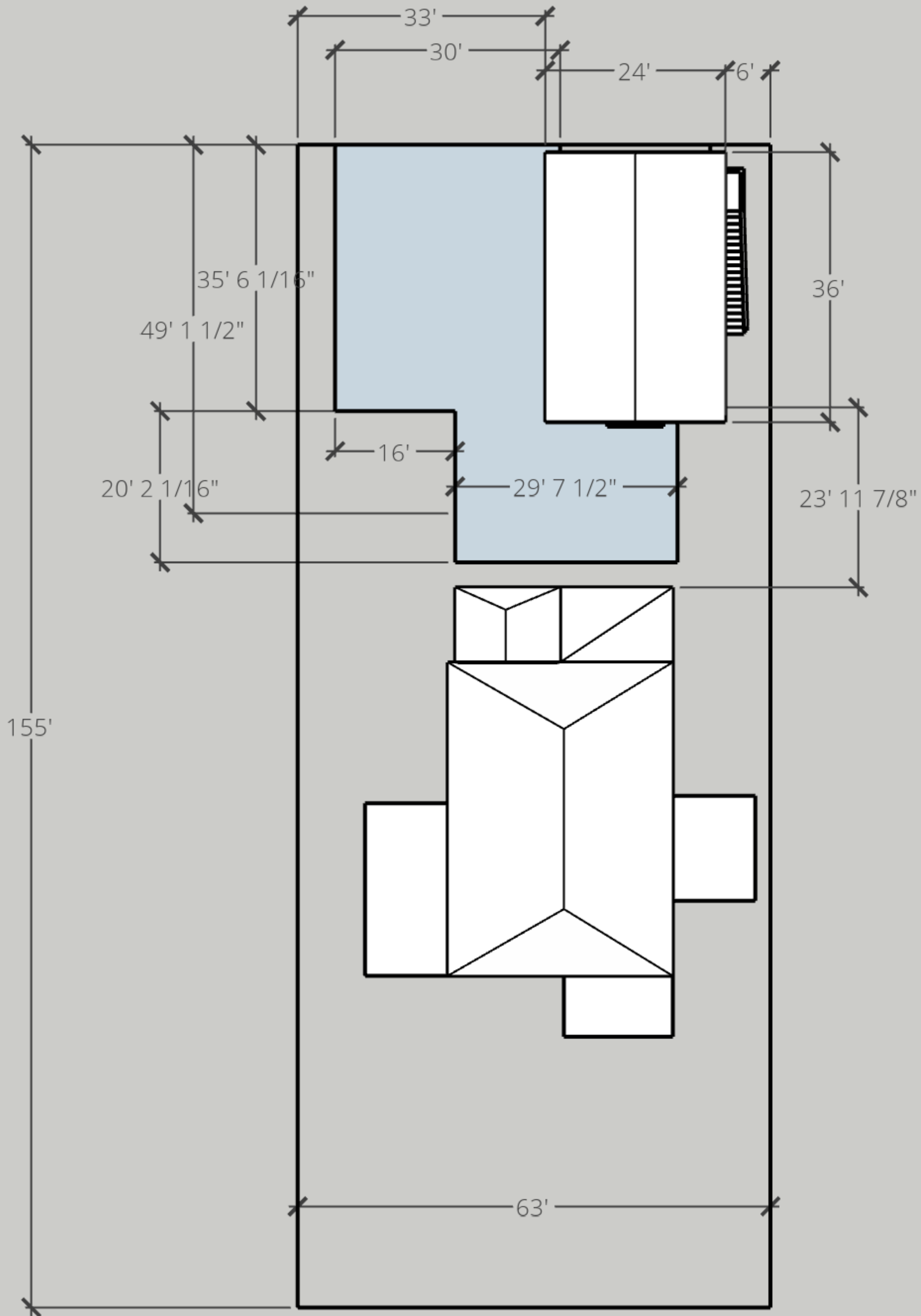
Response Date: 03/16/2025

[attachment icon]

Attached are elevation drawings of each side of the ADU, as well as the site plan to see relationship to the main house. You can see the planned paved area to the west of the ADU and between the two buildings. We would like to do this with a combination of stone, brick pavers, and concrete. I have not planned any further landscaping. Once the structure is built, we will bring forth a separate landscaping plan that encompasses the front yard as well. I am planning to use Pewter Grey Timberline shingles, the cut sheet is attached. I have uploaded a picture of the planned sconce lighting. One sconce will be installed to the left of each doorway on the home, and a simple white floodlight will be installed above the garage doors. These are not depicted in the drawings, but they will be installed to illuminate each entranceway as per code.I will be building the windows from pine, they will be painted on the exterior and left natural on the interior. All window trim will be wood as well. As stated earlier, I would like to use fiber cement lap siding, and natural wood everywhere else (brackets, soffit, trim, doors, etc.). Hopefully these details are enough to further the process. If any more details are needed, please let me know. Thank you.

Select (Space)

36'

4'
4' 6'
4'

19' 10 3/4"

4' 3 1/2"

2' 7 3/4"

4' 3 1/2"

2' 7"

3' 1"

4' 3 3/4"

4' 9"

24'

4' 3 1/2"

14' 2 1/2"

4 1/4"

6' 8"

10'

3'

3' 10"

15' 11 1/4"

5' 8"

2'

2' 7"

32'

10' 2 3/4"

33'

30'

24'

6'

35' 6 1/16"

49' 1 1/2"

36'

16'

20' 2 1/16"

29' 7 1/2"

23' 11 7/8"

155'

63'

4.33in L

7.32in L

10.83in H

20.47in H

10.04in W

GAF TimberlineHDZ®
High Definition® Lifetime† Shingles

STAINGUARD PLUS™ ALGAE PROTECTION
25 LIMITED WARRANTY

America's #1-selling shingle just got better — again

With GAF time-release algae-fighting technology and LayerLock® technology, Timberline HDZ® offers everything you can expect from an architectural shingle roof, and more.

Benefits:

- **LayerLock® technology** — mechanically fuses the common bond between overlapping shingle layers

- **Up to 99.9% nailing accuracy** — the StrikeZone® nailing area is so easy to hit that a roofer placed 999 out of 1,000 nails correctly in our test[1]

- **WindProven™ Limited Wind Warranty** — when installed with the required combination of GAF accessories, Timberline HDZ® shingles are eligible for a wind warranty with no maximum wind speed limitation[2]

- **Dura Grip™** sealant pairs with the microgranule surface of the StrikeZone® nailing area, and an asphalt-to-asphalt monolithic bond cures for durability, strength, and exceptional wind-uplift performance

- **25-year StainGuard Plus™ Algae Protection Limited Warranty** against blue-green algae discoloration.[3] Proprietary GAF time-release algae-fighting technology helps protect your shingles from unsightly stains.

- **For the best look** — use TimberTex® premium ridge cap shingles or TimberCrest® premium SBS-modified ridge cap shingles
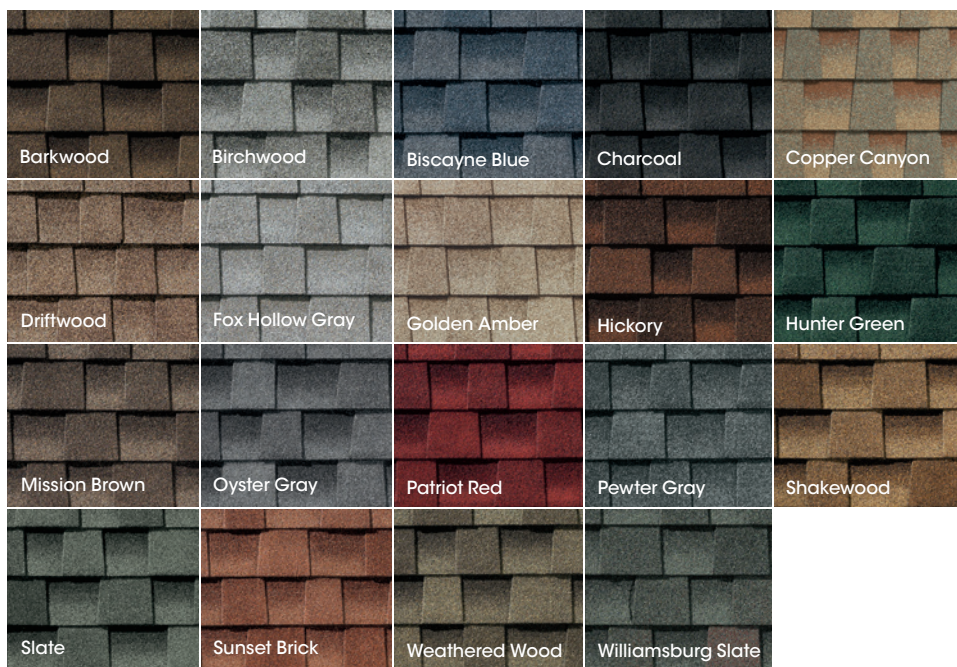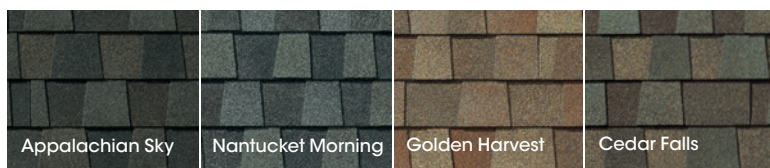
Product details:

Product/System Specifics
- Fiberglass asphalt construction
- **Dimensions (approx.):** 13 ¼" x 39 ⅜" (337 mm x 1,000 mm)
- **Exposure:** 5 ⅝" (143 mm)
- **Bundles/Square:** 3
- **Pieces/Square:** 64
- **StainGuard Plus™ Algae Protection Limited Warranty**[3]
- **Hip/Ridge:** TimberTex®; TimberCrest®; Seal-A-Ridge®; Z®Ridge; Ridglass®[4]
- **Starter:** Pro-Start®; QuickStart®; WeatherBlocker™

Applicable Standards & Protocols:
- Passes UL 2218 Impact-Resistance Test with Class 3 rating
- UL Listed to ANSI/UL 790 Class A
- State of Florida Approved
- Classified by UL in accordance with ICC-ES AC438
- Meets ASTM D7158, Class H
- Meets ASTM D3161, Class F
- Meets ASTM D3018 Type 1
- Meets ASTM D3462[5]
- Miami-Dade County Product Control Approved
- ICC-ES Evaluation Reports ESR-1475 and ESR-3267
- Meets Texas Department of Insurance Requirements
- Rated by the CRRC; Can be used to comply with Title 24 Cool Roof Requirements (some colors)

Colors:

Barkwood	Birchwood	Biscayne Blue	Charcoal	Copper Canyon
Driftwood	Fox Hollow Gray	Golden Amber	Hickory	Hunter Green
Mission Brown	Oyster Gray	Patriot Red	Pewter Gray	Shakewood
Slate	Sunset Brick	Weathered Wood	Williamsburg Slate	

Harvest Blend Colors[5]

Appalachian Sky	Nantucket Morning	Golden Harvest	Cedar Falls

[1] Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence [or eligible second owner(s)] owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime shingles only. See the *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime shingle and at least 3 qualifying GAF accessories. See the *GAF Roofing System Limited Warranty* for complete coverage and restrictions. For installations not eligible for the *GAF Roofing System Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*. Visit gaf.com/LRS for qualifying GAF products.

[1] Results based on study conducted by Home Innovation Research Labs, an independent research lab, comparing installation of Timberline HD® Shingles to Timberline HDZ® Shingles on a 16-square roof deck using standard 4-nail nailing pattern under controlled laboratory conditions. Actual results may vary.

[2] 15-year WindProven® Limited Wind Warranty on GAF shingles with LayerLock® technology requires the use of GAF starter strips, roof deck protection, ridge cap shingles, and leak barrier or attic ventilation. See *GAF Roofing System Limited Warranty* for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the *GAF WindProven™ Limited Warranty*, see the *GAF Shingle & Accessory Limited Warranty*.

[3] 25-year StainGuard Plus™ Algae Protection Limited Warranty against blue-green algae discoloration is available only on products sold in packages bearing the StainGuard Plus™ logo. See *GAF Shingle & Accessory Limited Warranty* for complete coverage and restrictions and qualifying products.

[4] Harvest Blend colors are only available on TimberTex® Ridge Cap Shingles, Seal-A-Ridge® Ridge Cap Shingles, and TimberCrest® Premium SBS-Modified Ridge Cap Shingles.

[5] Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

Note: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

We protect what matters most™

GAF