



HISTORIC DISTRICT COMMISSION NOTICE OF DENIAL

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Notification Date: 04/17/25

Application Number: HDC2025-00068

APPLICANT & PROPERTY INFORMATION

NAME: Timothy Flintoff Jr.		COMPANY NAME: 4545 Architecture	
ADDRESS: 2761 E. Jefferson Ave, Ste 302	CITY: Detroit	STATE: MI	ZIP: 48207
PROJECT ADDRESS: 708 PALLISTER			
HISTORIC DISTRICT: New Center Area			
SCOPE: Rooftop dormer addition and replacement of original windows			

At the Regular Meeting that was held on 04/09/25, the Detroit Historic District Commission ("DHDC") reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 04/16/25, as it will be inappropriate according to the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

REASON FOR DENIAL:

- The original 2/1 and multi-lite wooden windows were historic and distinctive character-defining features of the property, a key feature of the originally proposed rehabilitation design, and should be reproduced and restored.
- The proposed rooftop addition, or "dormer complex" consisting of large east-west dormers joined together at a higher roofline, is incompatible with the historic scale and massing of the house and its block context, despite the effort to make them more compatible by improving materials and roof forms. They should instead be rebuilt in the smaller, narrower form of the precedent historic front dormer, as the original approved design prescribed, or removed altogether, restoring the original roof.

FAILURE TO MEET STANDARDS:

The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

Failure to meet standards: 2, 5, 6, 9

Corresponding Standard numbered below:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FAILURE TO MEET ELEMENTS OF DESIGN:

Failure to meet Elements of Design: 1, 11, 16

Corresponding design element numbered below:

1. Height.	12. Walls of continuity.
2. Proportion of building's front façades.	13. Relationship of significant landscape features and surface treatments.
3. Proportion of openings within the façade.	14. Relationship of open space to structures.
4. Rhythm of solids to voids in front façade.	15. Scale of façade and façade elements.
5. Rhythm of spacing of buildings on streets.	16. Directional expression of front elevations.
6. Rhythm of entrance and/or porch projections.	17. Rhythm of building setbacks.
7. Relationship of materials.	18. Relationship of lot coverages.
8. Relationship of textures.	19. Degree of complexity within the façade.
9. Relationship of colors.	20. Orientation, vistas, overviews.
10. Relationship of architectural details.	21. Symmetric or asymmetric appearance.
11. Relationship of roof shapes.	22. General environmental character.

If you have any questions regarding the above, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



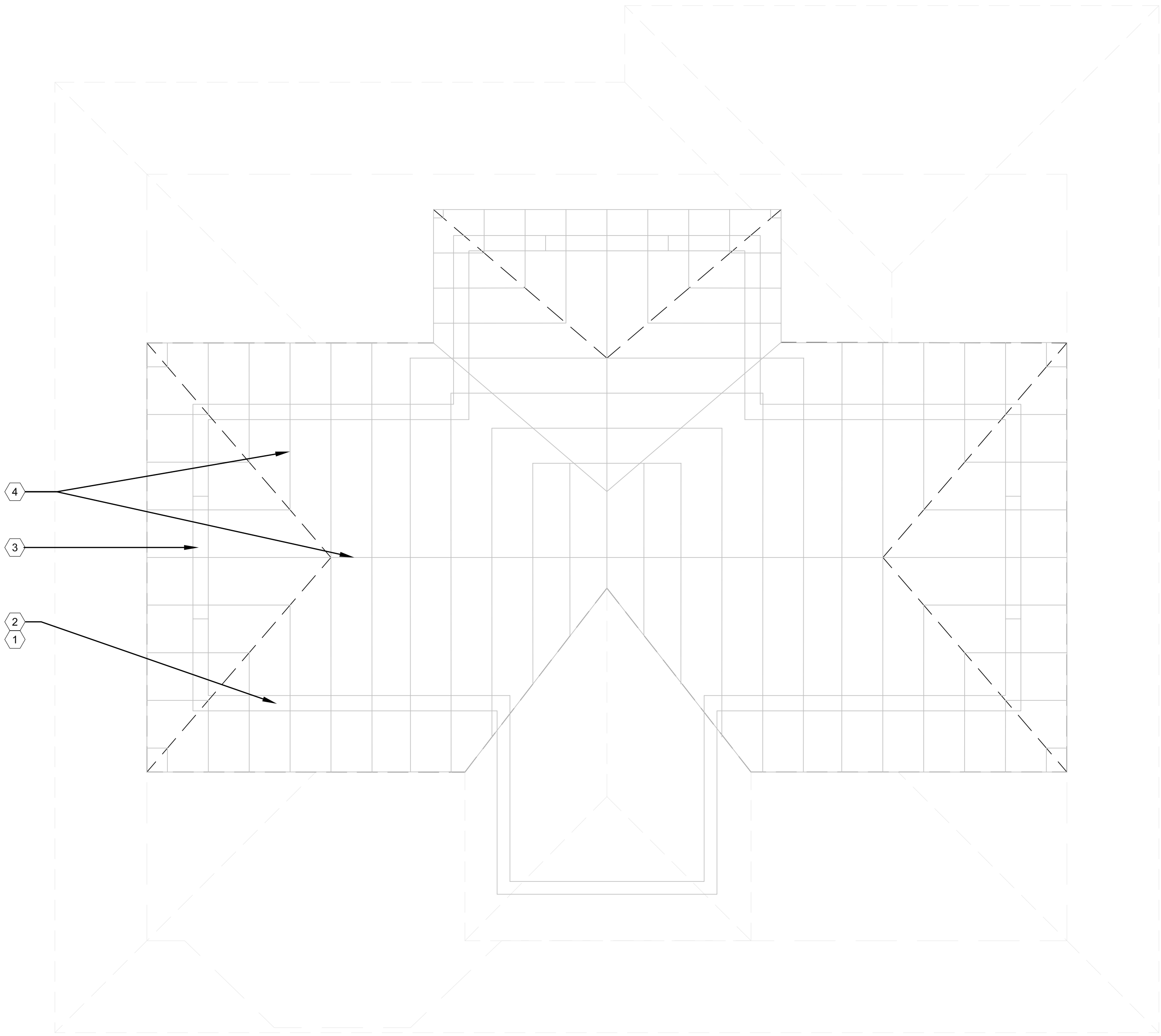
Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250417GL

APPEALS PROCESS

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

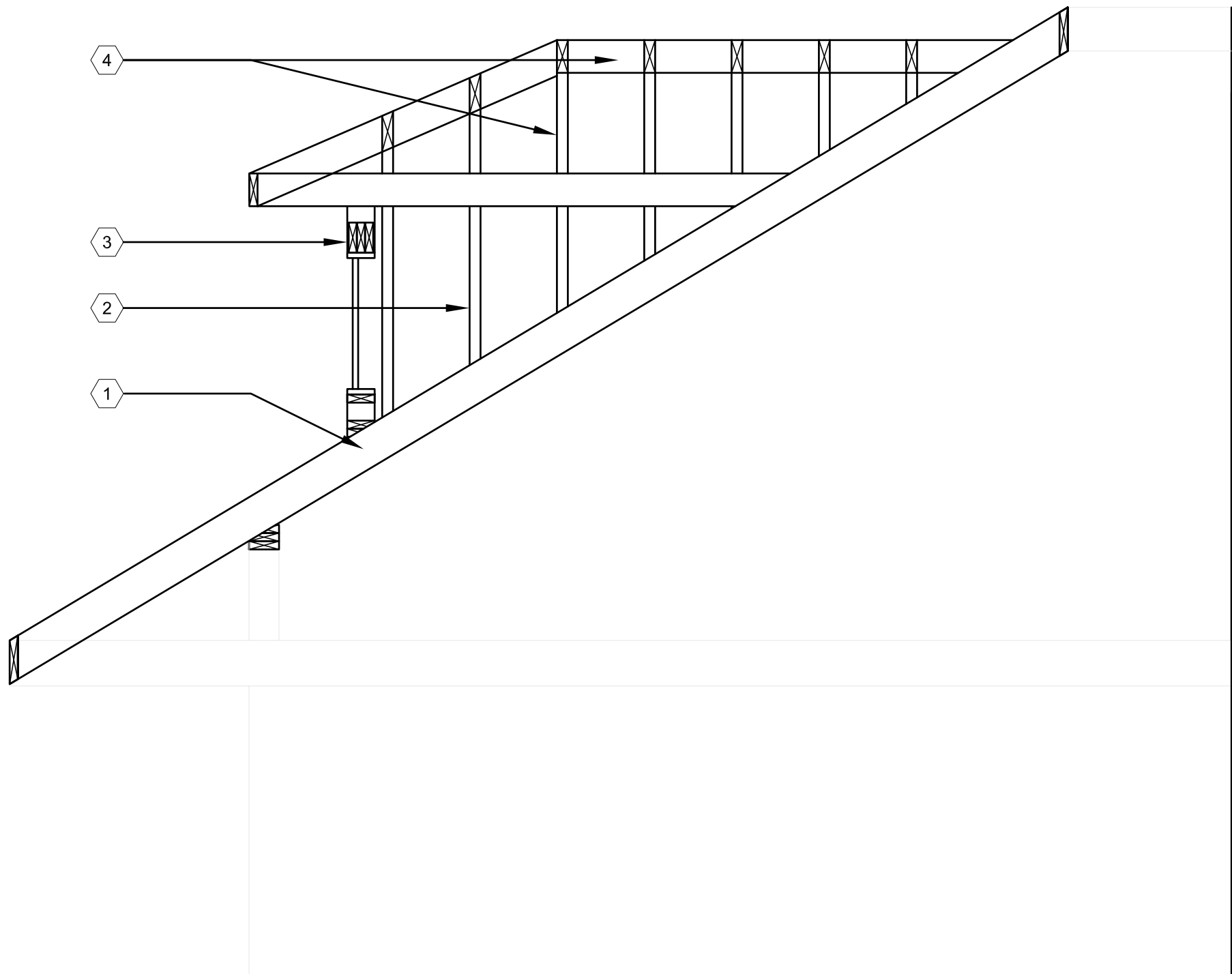
Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909
Phone: 517-335-0665 E-mail: stuckeyj@michigan.gov



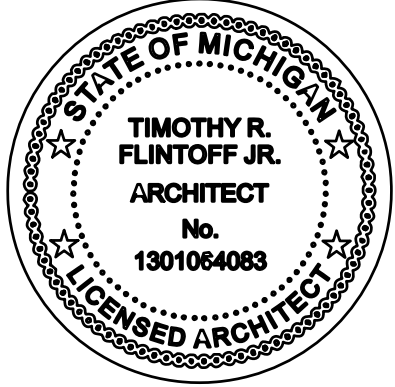
1 DORMER FRAMING PLAN
A4.1 SCALE: 1/2" = 1'-0"

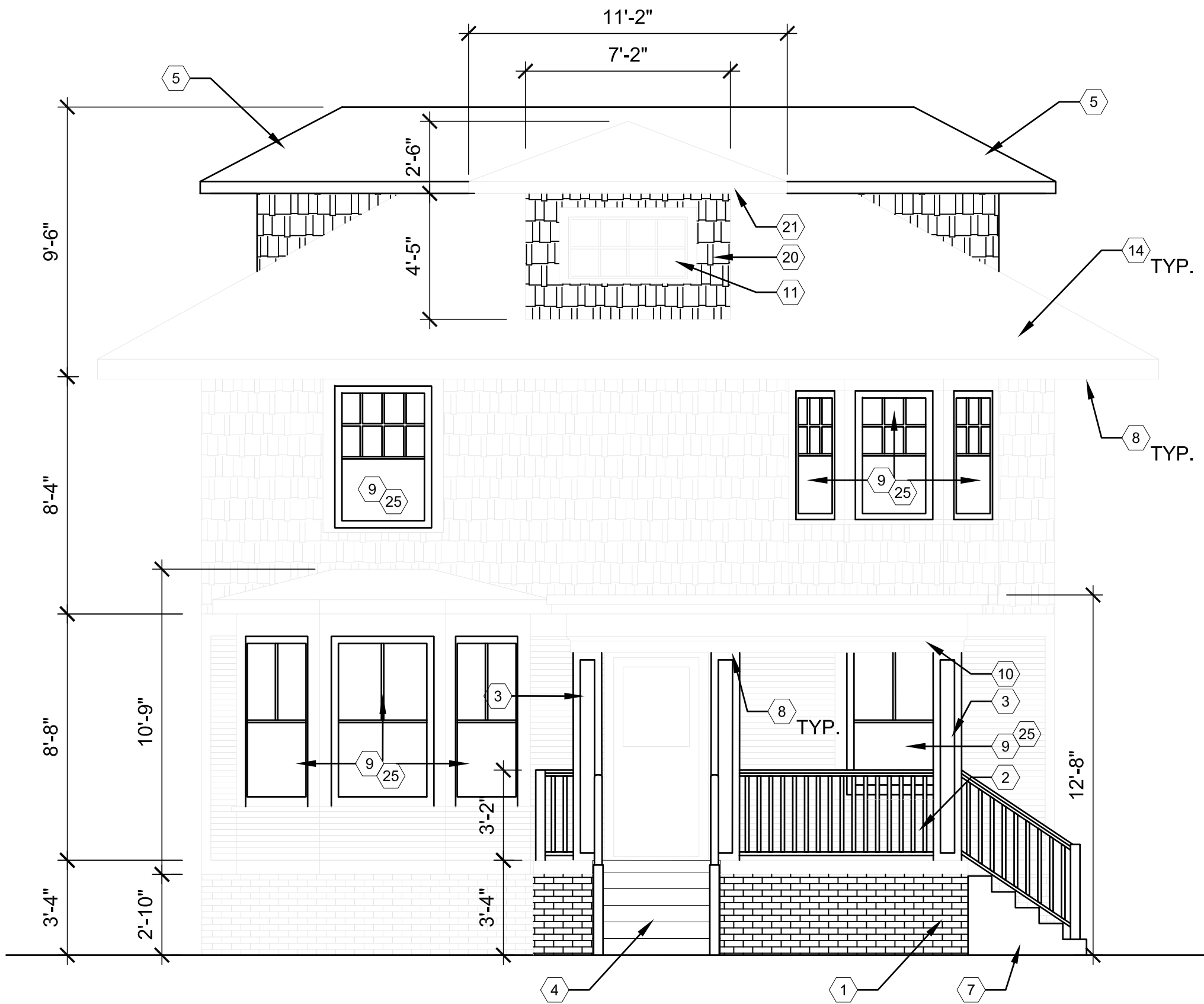
PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)

- 1 SISTER SIMILAR 2x
- 2 2x6 WOOD STUD WALL
- 3 2x6 DOUBLE HEADER
- 4 2x6 RIDGE BEAM AND RAFTERS

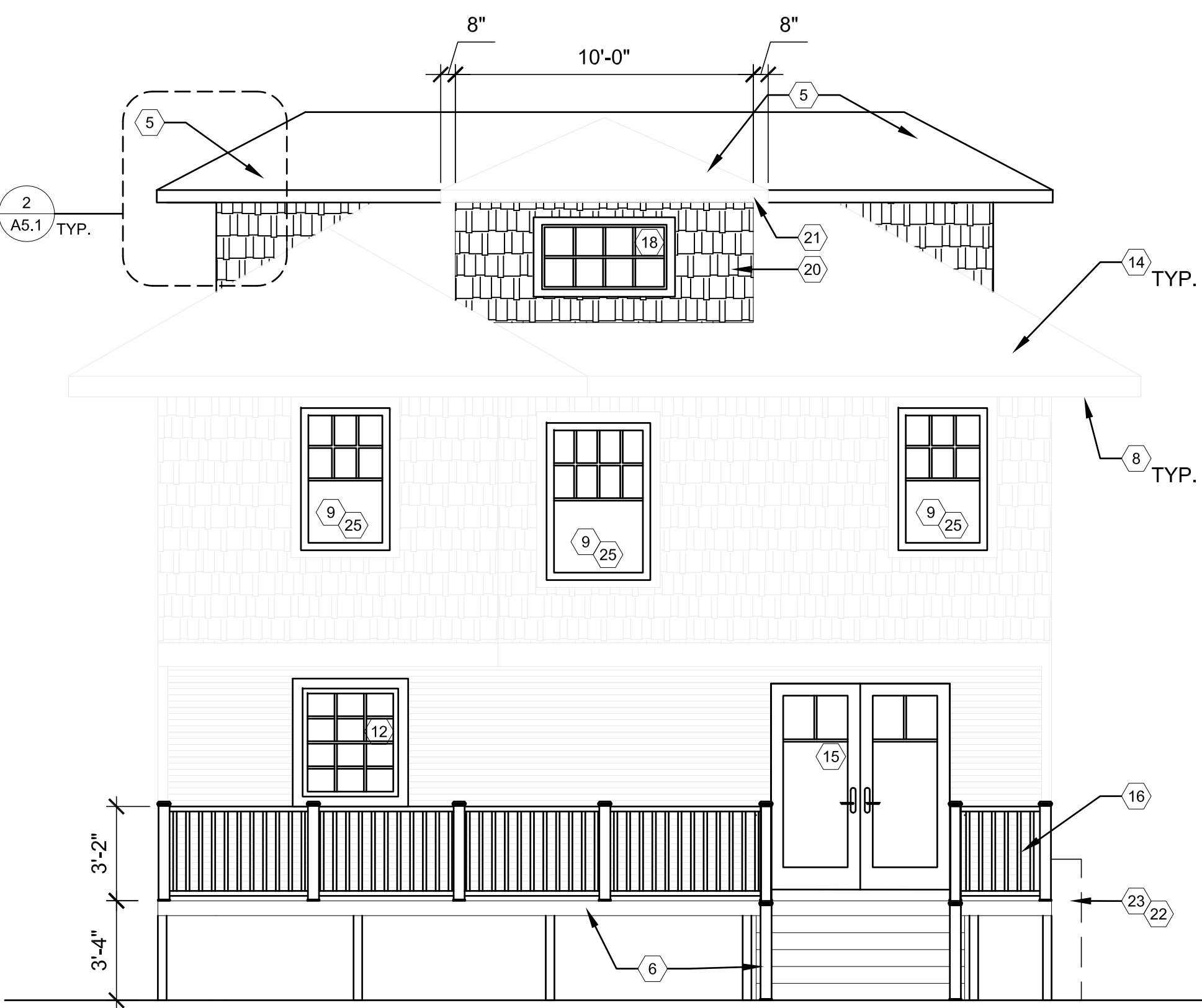


2 DORMER FRAMING SECTION
A4.1 SCALE: 1/2" = 1'-0"

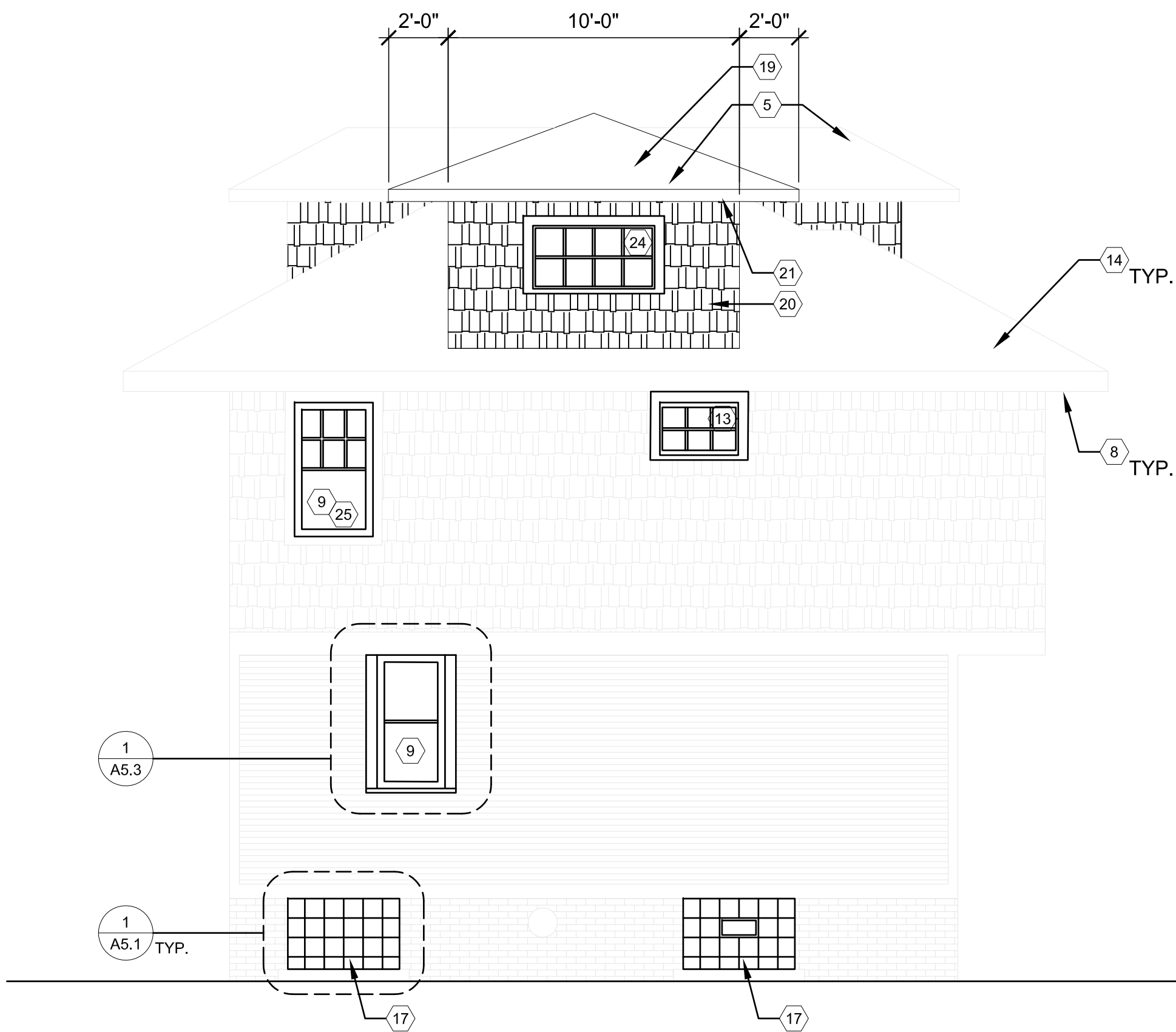
ARCHITECT:
4545 architecture
2761 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM
CONSULTANT:
Project :
708 PALLISTER HDC RENOVATION
Issued for :
HDC SUBMIT 02/18/2025

Drawn by : ANJ
Check by : TRF
Sheet Title : DORMER FRAMING DETAILS
Project No. : 2024001
Sheet No. : A4.1



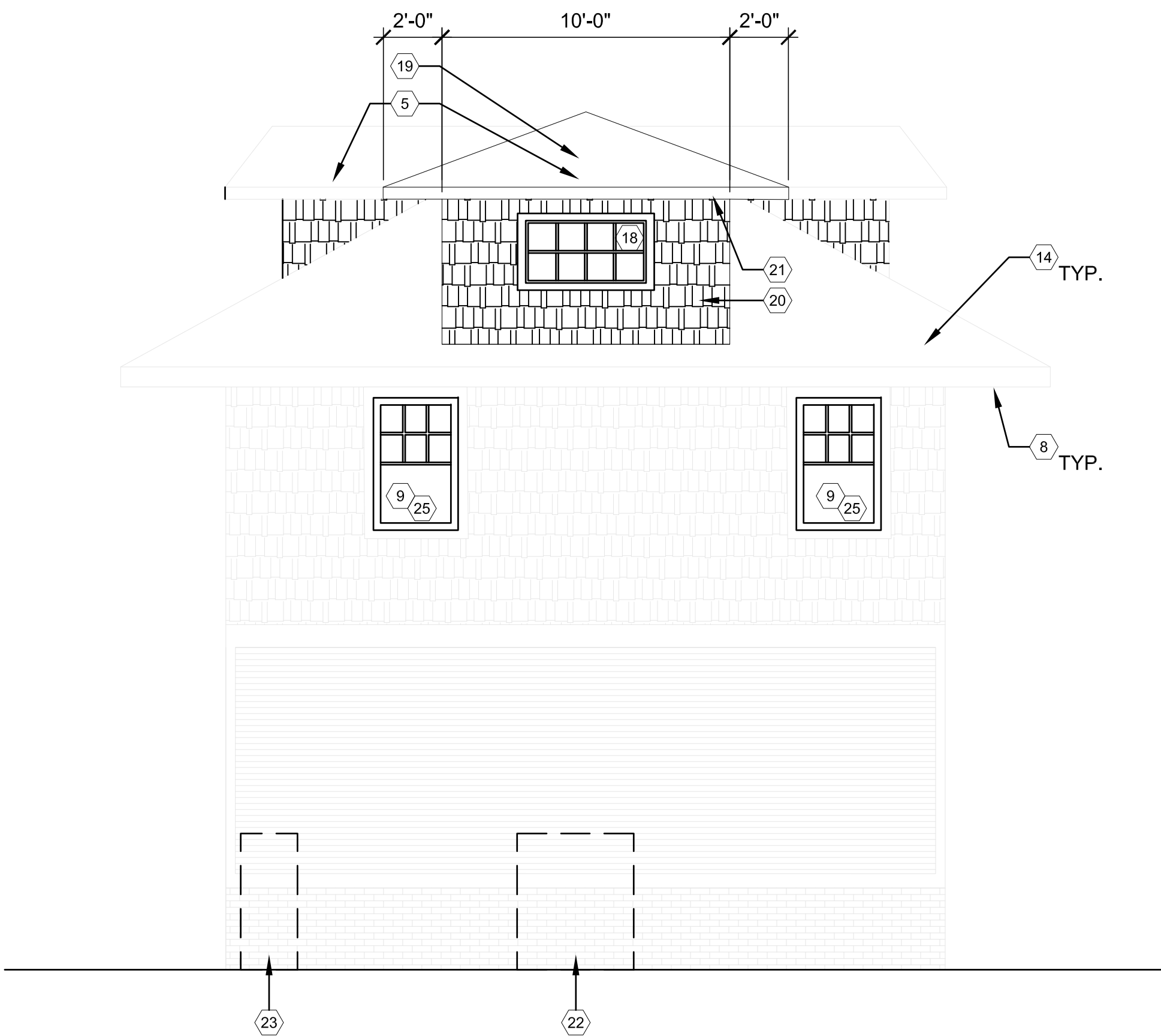
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION
SCALE: 1/4" = 1'-0"

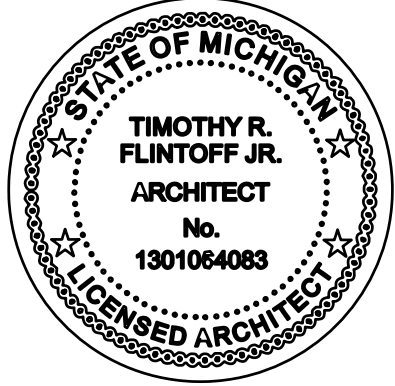
ELEVATION KEY NOTES:

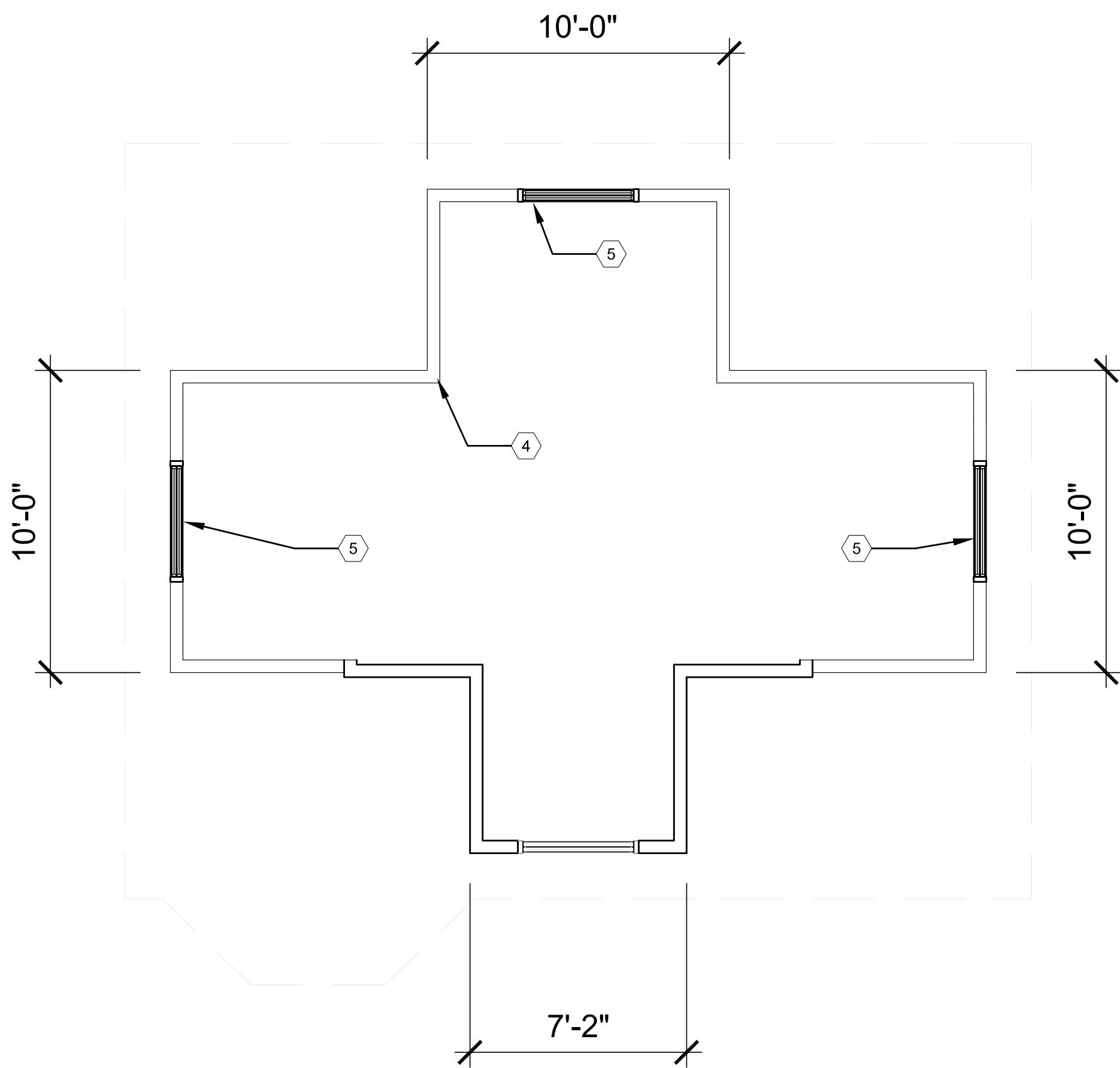
(TYPICAL THIS SHEET ONLY)

- EXISTING MASONRY PORCH; ADDED BRICK VENEER, PAINTED TO MATCH EXISTING;
- WOOD RAILING, MIN. 36" TALL
SEE A5.2 FOR BASIS OF DESIGN
- PINE WRAPPED 4x4 WOOD POSTS, PAINTED WHITE
- NEW MASONRY STAIR
- NEW DORMER; ROOF SHINGLES TO MATCH EXISTING
- NEW BACK DECK AND STAIR; BASIS OF DESIGN: TREX TRANSCEND
COMPOSITE DECKING, COLOR 'SADDLE'
- REPLACE DAMAGED MASONRY STAIR WITH NEW
- SOFFITS TO BE PATCHED & REPAIRED WITH IN-KIND MATERIALS
- EXIST. SINGLE-HUNG WINDOWS REPLACED W/ VINYL-CLAD WOOD SINGLE-HUNG, PAINTED
BLACK; (ALREADY INSTALLED); ANDERSON 400 SERIES
- EXISTING PORCH ROOF TO REMAIN
- EXISTING WINDOW TO BE REPAIRED, REPAINTED (BLACK)
- REPLACE INSTALLED WINDOW WITH: ANDERSON 400 SINGLE HUNG WINDOW IN BLACK,
WITH SIMULATED DIVIDED LITES AS SHOWN
- REPLACE INSTALLED WINDOW WITH: ANDERSON 400 AWING WINDOW IN BLACK,
WITH SIMULATED DIVIDED LITES AS SHOWN
- ROOF TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS; ROOF TO BE SHINGLED WITH
CERTAINTED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK
- REPLACE INSTALLED DOUBLE DOOR WITH: FRENCH DOOR, BASIS OF DESIGN: ANDERSON
E-SERIES HINGED PATIO DOOR IN BLACK WITH 'SHORT FRACTIONAL' GRILLE STYLE.
- COMPOSITE RAILING, MIN. 36" TALL;
SEE A5.2 FOR BASIS OF DESIGN
- REPLACE EXIST. BASEMENT WINDOWS WITH GLASS BLOCK (ALREADY INSTALLED);
RESET GLASS BLOCK TO ENSURE INSTALLATION IS INSET INTO ORIGINAL WINDOW PLANE
- REPLACE INSTALLED WINDOW WITH: ANDERSON 100 CASEMENT WINDOW IN BLACK, WITH
SIMULATED DIVIDED LITES AS SHOWN
- GABLE DORMER ROOF TO BE REPLACED WITH HIP ROOF TO MATCH EXISTING
- INSTALLED COMPOSITE SIDING TO BE REPLACED WITH WOOD SHAKE SIDING, TO MATCH
EXISTING, AND PAINTED TO MATCH EXISTING
- ARTIFICIAL ROOF EAVE COVER(S) TO BE REMOVED; REPLACED WITH WOOD EAVE
- LOCATION OF HVAC UNIT
- LOCATION OF ELECTRIC METER - PLACED BY DTE ENERGY COMPANY
- INSTALL "FAKE" WINDOW (DRYWALL INTERIOR OF WINDOW, PAINT INSIDE FACE OF
DRYWALL WHITE); WINDOW TO BE ANDERSON 100 CASEMENT WINDOW IN BLACK, WITH
SIMULATED DIVIDED LITES AS SHOWN
- SIMULATED DIVIDED LITES TO BE PLACED IN PREVIOUSLY INSTALLED WINDOWS AS SHOWN

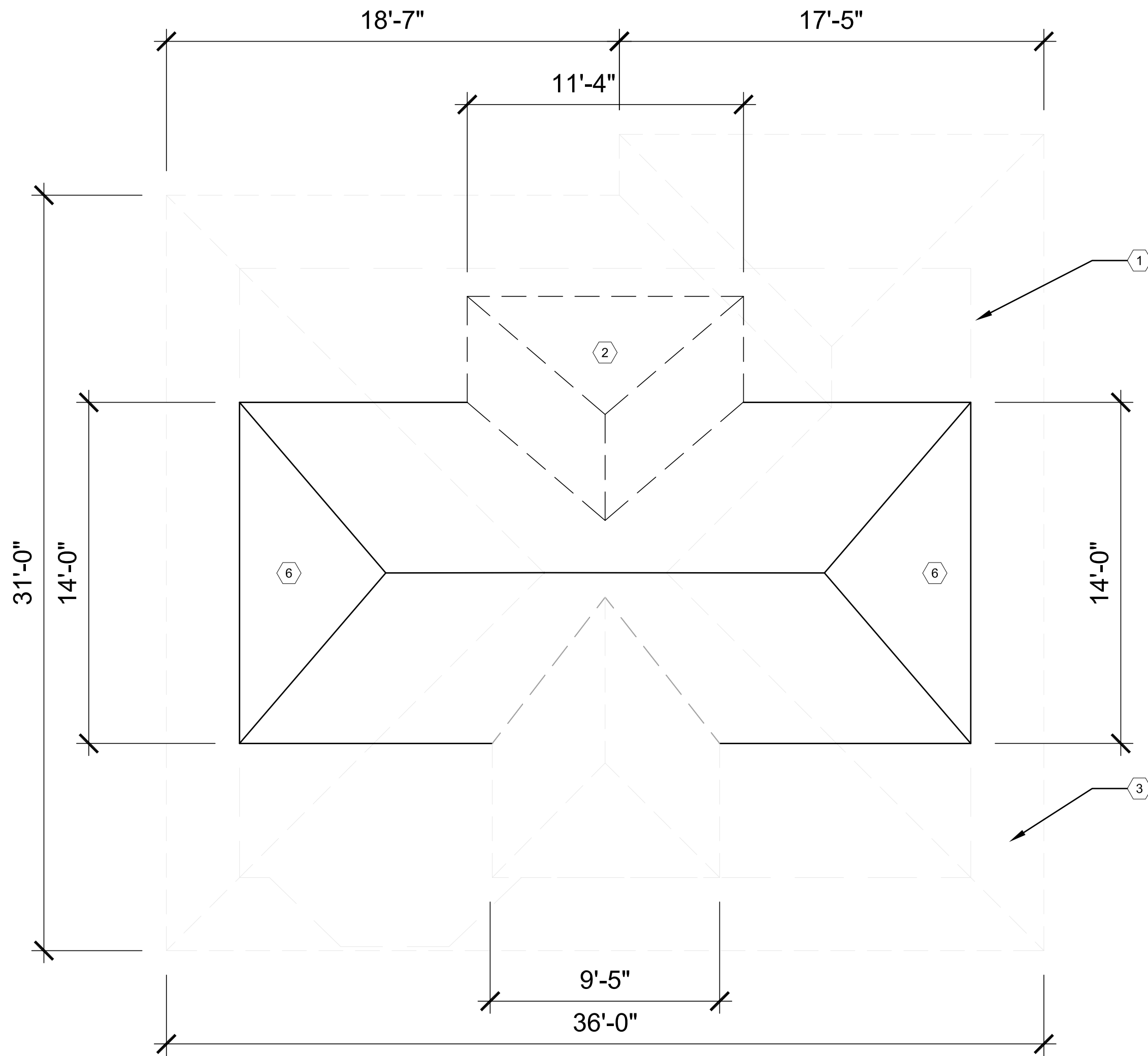
GENERAL NOTE: ROOF, EXTERIOR CLADDING TO BE PATCHED AND REPAIRED AS REQ'D.
ALL REPAIRS TO USE IN-KIND MATERIALS.

HOUSE TO BE PAINTED IN ACCORDANCE WITH HDC COLOR SYSTEM E
ALL SIDING TO BE C:4 YELLOWISH WHITE
ALL TRIM AND SASH TO BE B:19 BLACK
SEE A6.1 FOR COLOR RENDER

ARCHITECT:	4545 architecture
2761 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM	
CONSULTANT:	
Project :	708 PALLISTER HDC RENOVATION
Issued for :	HDC SUBMIT 02/18/2025
	
Drawn by :	ANJ
Check by :	TRF
Sheet Title :	EXTERIOR ELEVATIONS
Project No. :	2024001
Sheet No. :	A3.1



ROOF PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

GENERAL FLOOR PLAN NOTES:

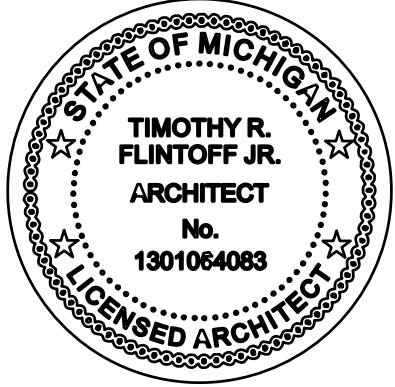
- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

PLAN KEY NOTES:

(TYPICAL THIS SHEET ONLY)

- LINE OF WALLS BELOW
- NEW DORMER ROOF TO REMAIN
- EXISTING ROOF TO BE REPAIRED WITH IN-KIND MATS. AS REQ'D (TYP.) SHINGLES TO BE REPLACED WITH CERTAINEED LANDMARK PRO ROOF SHINGLES IN CINDER BLACK
- FINAL LAYOUT OF INTERIOR KNEE WALLS TO BE DETERMINED BY EXISTING CONDITIONS AND OWNER INTERIOR CONFIGURATIONS, COORDINATE WITH OWNER (WORK COMPLETED)
- NEW WINDOW, SEE ELEVATIONS
- DORMER ROOF TO BE REMOVED, REPLACED WITH COORDINATING GABLE ROOF, SEE ELEVATIONS

GENERAL NOTE: SEE A4.1 FOR ROOF FRAMING PLAN

ARCHITECT:
4545 architecture
2781 E. JEFFERSON AVE STE. 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM
CONSULTANT:
Project :
708 PALLISTER HDC RENOVATION
Issued for :
HDC SUBMIT 02/18/2025

Drawn by : ANJ
Check by : TRF
Sheet Title : 3RD FLOOR AND ROOF PLAN
Project No. : 2024001
Sheet No. : A1.2



PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVE SUITE 808, DETROIT, MI 48226

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00068

Effective Date: 04/16/25

Project Address: 708 PALLISTER

Issued to: Timothy Flintoff Jr.

Historic District: New Center Area

2761 E. Jefferson Ave, Ste 302
Detroit, MI 48207

Description of Work:

- Replace damaged wood at corner of garage and underside of front porch
- Install 3rd wood column and 36" railing at front porch
- Reinstall glass block/window screens at basement windows
- Replace wood trim at top of new east elevation window to restore belt band
- Install aluminum-clad wood French door at rear with 2/1 simulated divided lite
- Install composite decking and 36" railing at rear deck
- Install rear pavers from deck to sidewalk

With the Conditions that:

Rooftop dormer addition and replacement of original windows are EXCLUDED from approval

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

Daniel Rieden
Senior Clerk to the Historic District Commission

PSR: 250417GL

Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.



