

HISTORIC DISTRICT COMMISSION NOTICE OF DENIAL

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

Notification Date: 04/17/25

Application Number: HDC2025-00068

APPLICANT & PROPERTY INFORMATION						
NAME: Timothy Flintoff Jr.		COMPANY NAME: 4545 Architecture				
ADDRESS: 2761 E. Jefferson Ave, Ste 302	fferson Ave, Ste 302 CITY: Detroit STATE: MI ZIP: 48207					
PROJECT ADDRESS: 708 PALLISTER						
HISTORIC DISTRICT: New Center Area						
SCOPE:						
Rooftop dormer addition and replacement of original wir						
At the Regular Meeting that was held on 04/09/25 above-referenced application. Pursuant to Section		troit Historic District 9(1) of the Michigan				

above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on 04/16/25 , as it will be inappropriate according to the Secretary of Interior's Standards for Rehabilitation and the district's Elements of Design:

REASON FOR DENIAL:

• The original 2/1 and multi-lite wooden windows were historic and distinctive character-defining features of the property, a key feature of the originally proposed rehabilitation design, and should be reproduced and restored.

• The proposed rooftop addition, or "dormer complex" consisting of large east-west dormers joined together at a higher roofline, is incompatible with the historic scale and massing of the house and its block context, despite the effort to make them more compatible by improving materials and roof forms. They should instead be rebuilt in the smaller, narrower form of the precedent historic front dormer, as the original approved design prescribed, or removed altogether, restoring the original roof.

FAILURE TO MEET STANDARDS:

The Standards for Rehabilitation (codified in 36 CFR 67 for use in the Federal Historic Preservation Tax Incentives program) address the most prevalent treatment. "Rehabilitation" is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values."

As stated in the definition, the treatment "rehabilitation" assumes that at least some repair or alteration of the historic building will be needed in order to provide for an efficient contemporary use; however, these repairs and alterations must not damage or destroy materials, features or finishes that are important in defining the building's historic character.

The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

Failure to meet standards: 2, 5, 6, 9

- Corresponding Standard numbered below:
- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
- Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
- 8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

FAILURE TO MEET ELEMENTS OF DESIGN:

Failure to meet Elements of Design: 1, 11, 16

Corresponding design element numbered below:	
1. Height.	12. Walls of continuity.
2. Proportion of building's front façades.	13. Relationship of significant landscape features and surface treatments.
3. Proportion of openings within the façade.	14. Relationship of open space to structures.
4. Rhythm of solids to voids in front façade.	15. Scale of façade and façade elements.
5. Rhythm of spacing of buildings on streets.	16. Directional expression of front elevations.
6. Rhythm of entrance and/or porch projections.	17. Rhythm of building setbacks.
7. Relationship of materials.	18. Relationship of lot coverages.
8. Relationship of textures.	19. Degree of complexity within the façade.
9. Relationship of colors.	20. Orientation, vistas, overviews.
10. Relationship of architectural details.	21. Symmetric or asymmetric appearance.
11. Relationship of roof shapes.	22. General environmental character.

If you have any questions regarding the above, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:

D. Riese

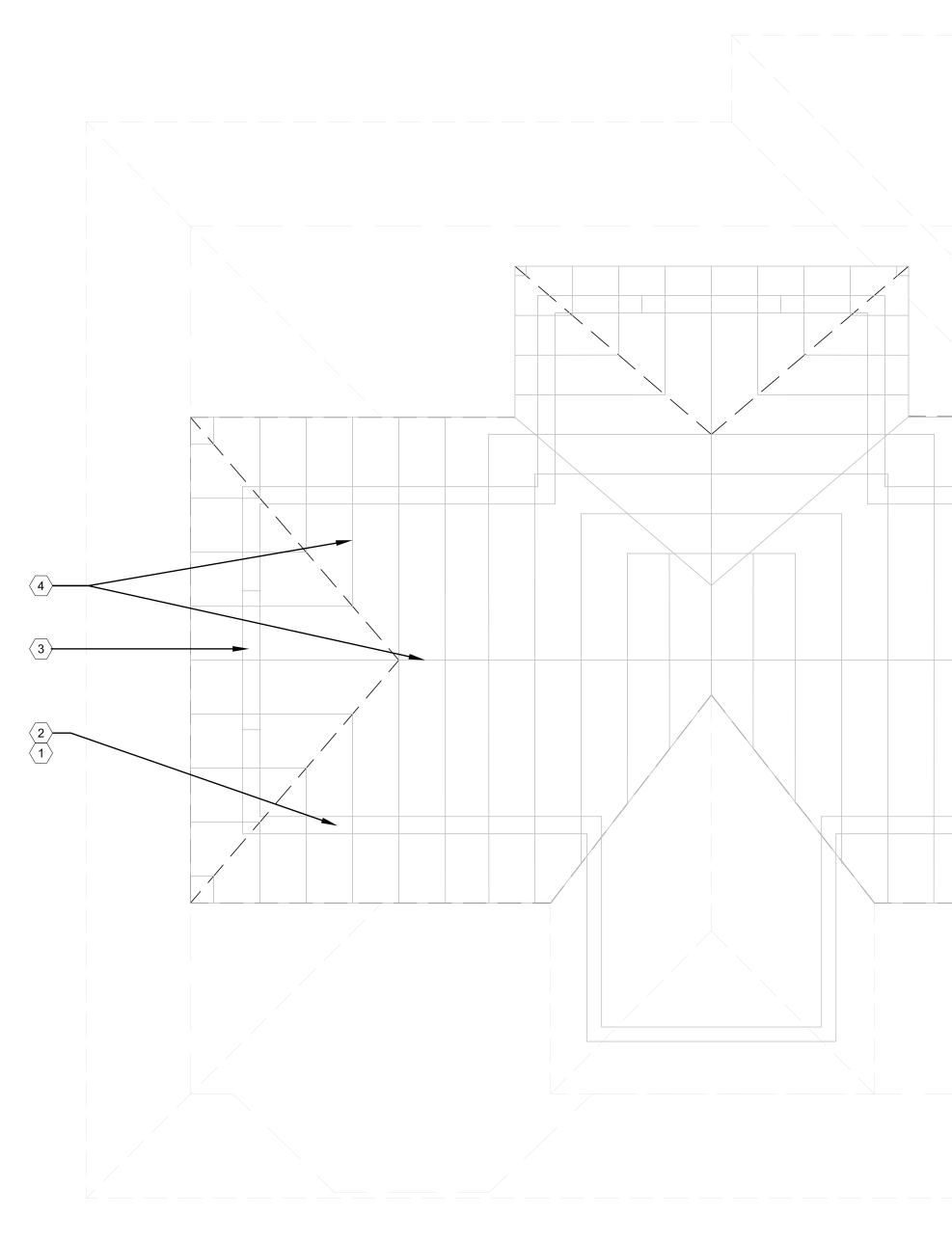
Daniel Rieden Senior Clerk to the Historic District Commission

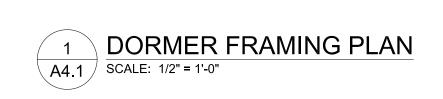
PSR: 250417GL

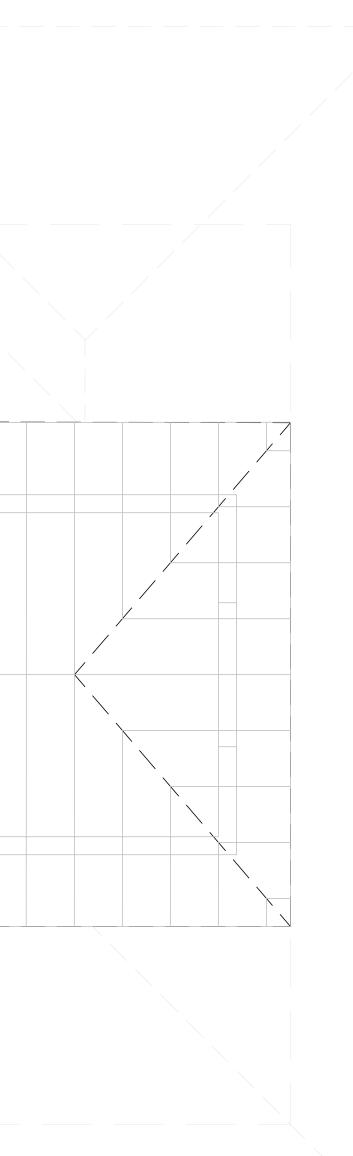
APPEALS PROCESS

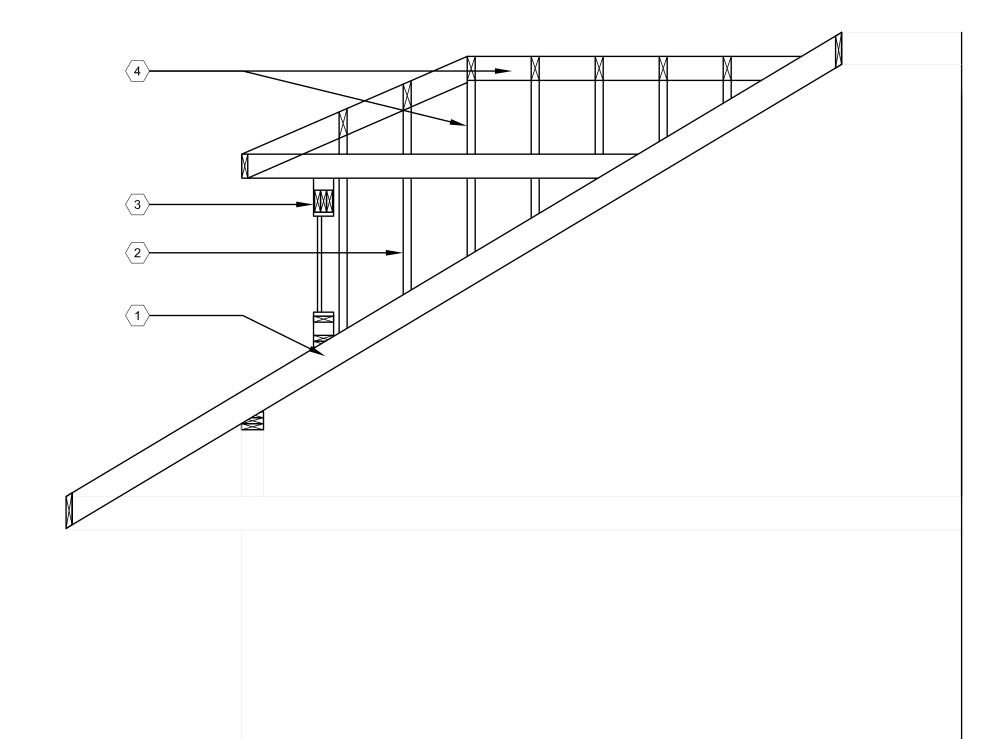
The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General 2nd Floor, G. Mennen Williams Building 525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909 Phone: 517-335-0665 E-mail: stuckeyj@michigan.gov Docusign Envelope ID: 835E5593-4C4E-4F63-8135-79D94EAD7CC1







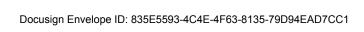


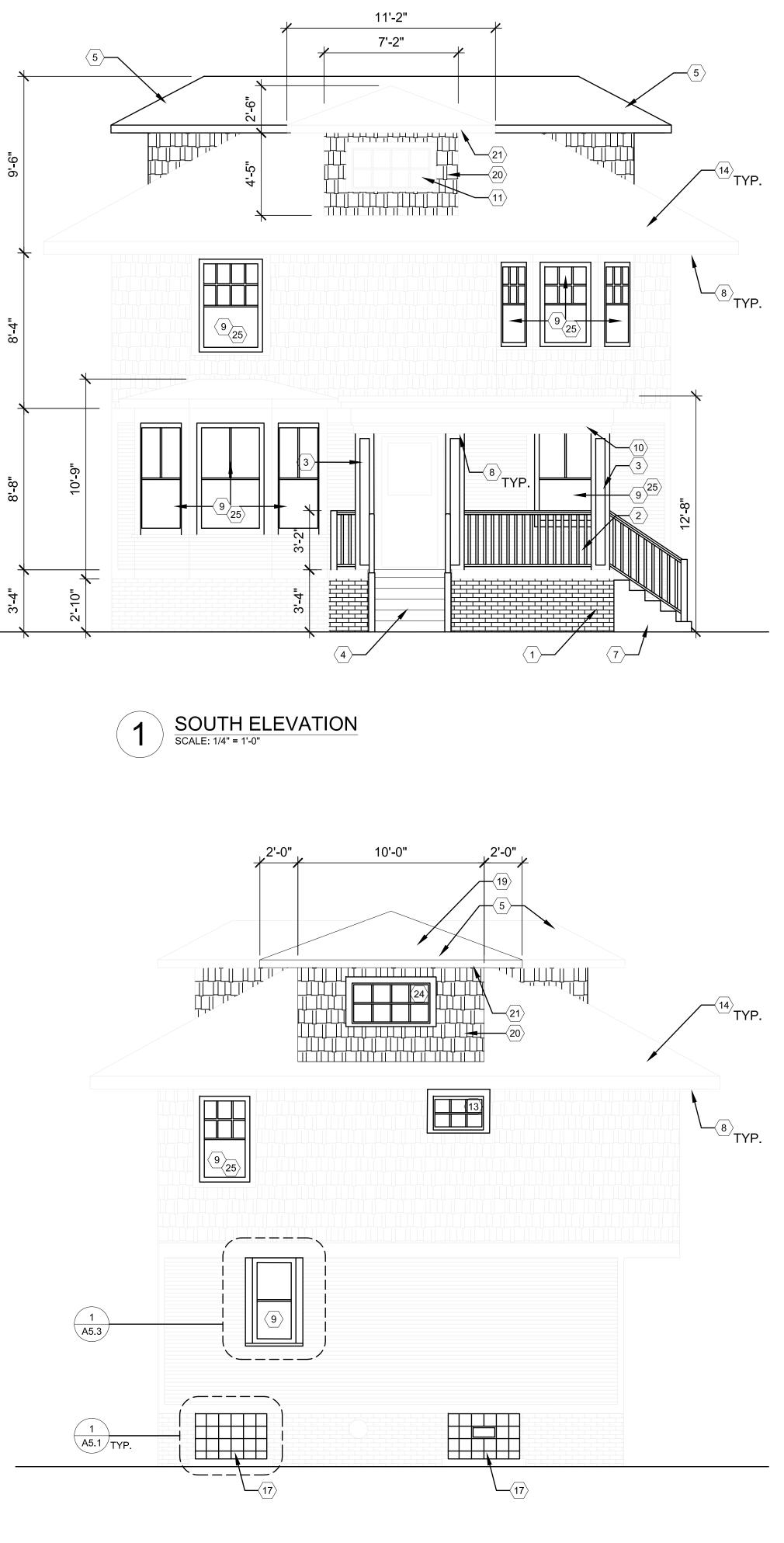
2 A4.1 DORMER FRAMING SECTION SCALE: 1/2" = 1'-0"

ARCHITECT: 4545 architecture 2761 E. JEFFERSON AVE STE 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM CONSULTANT: Project : 708 PALLISTER HDC RENOVATION Issued for : HDC SUBMIT 02/18/2025 TIMOTHY R. FLINTOFF JR. ARCHITECT No. 1301064083 Drawn by : **ANJ** Check by : TRF Sheet Title : DORMER FRAMING DETAILS Project No. : 2024001 Sheet No. : A4.

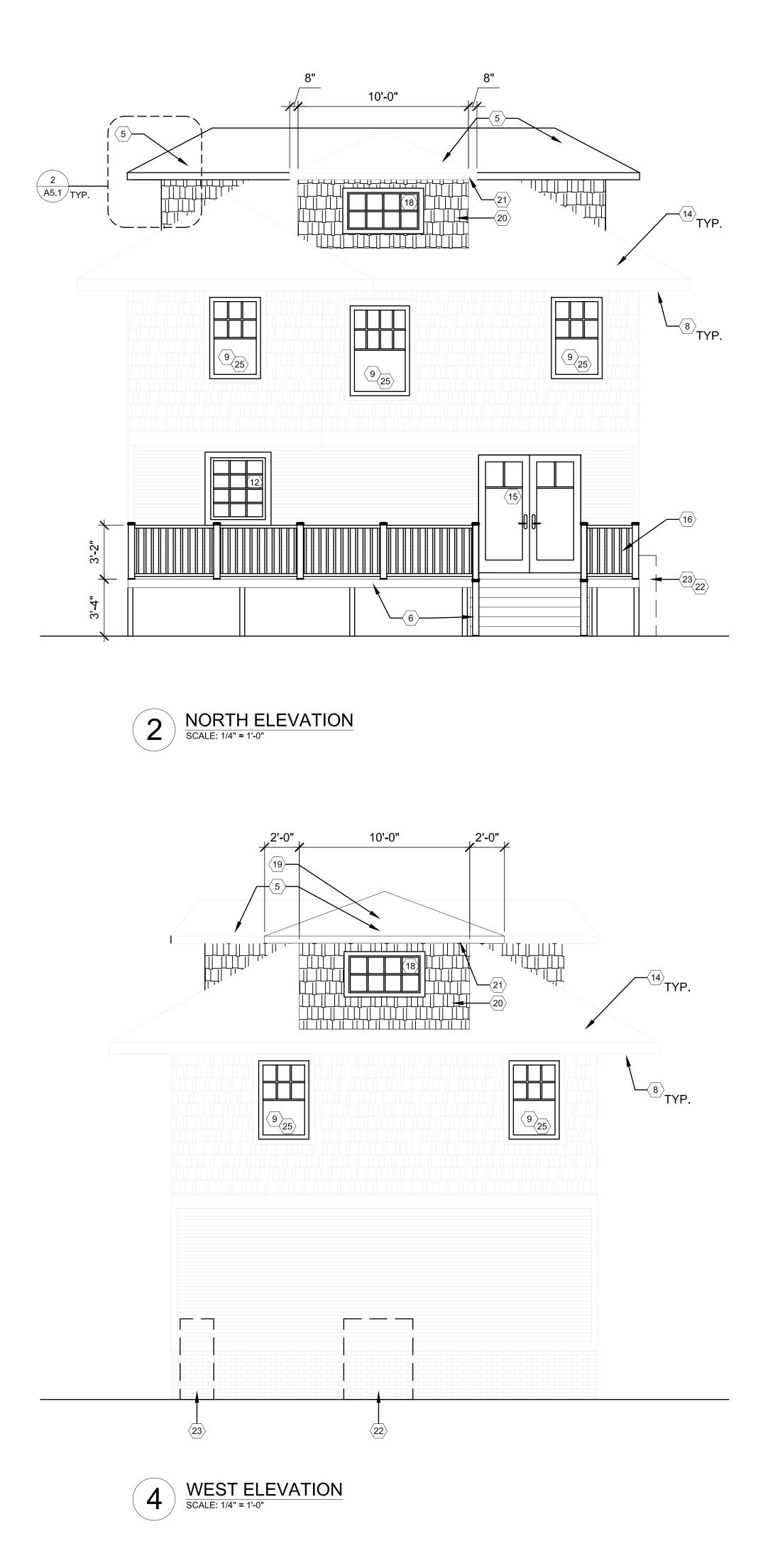
PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- $\left< 1 \right>$ SISTER SIMILAR 2x
- $\left< 2 \right> 2x6$ wood stud wall
- $\langle 3 \rangle$ 2x6 DOUBLE HEADER
- $\overline{4}$ 2x6 RIDGE BEAM AND RAFTERS









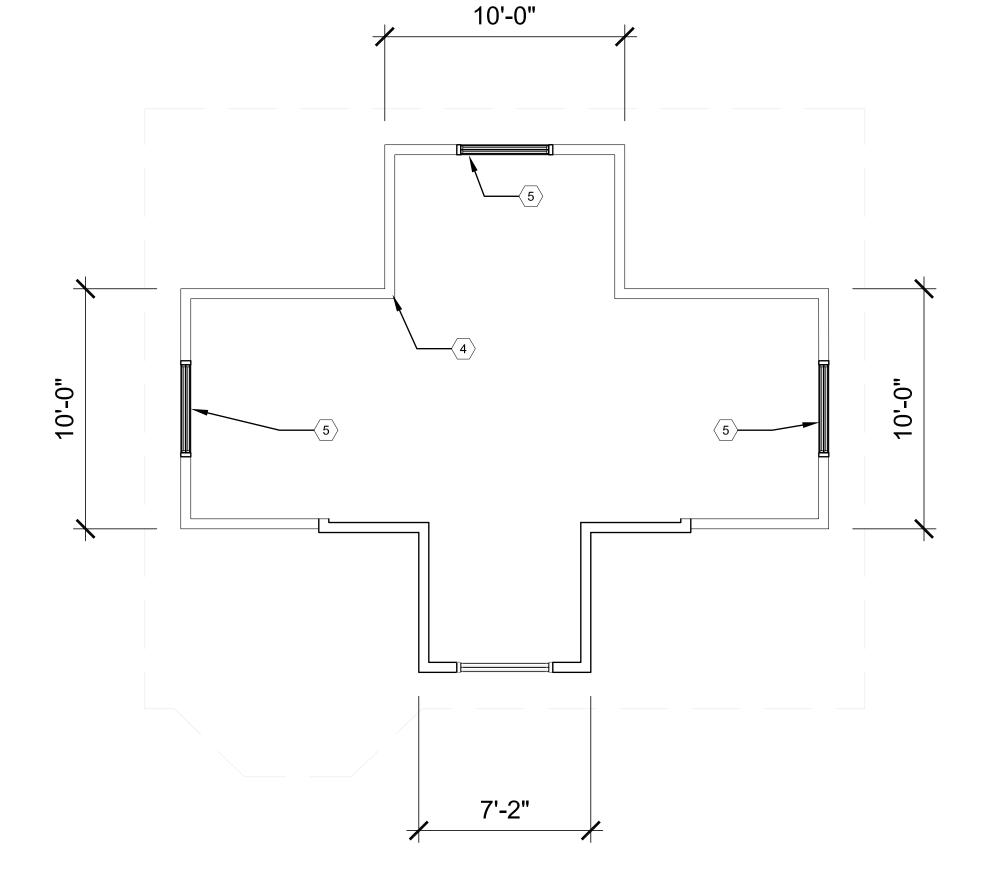
		Γ	ARCHITECT:
EL	EVATION KEY NOTES:		4545 architecture
(TYP	ICAL THIS SHEET ONLY)		2761 E. JEFFERSON AVE STE 302
$\langle 1 \rangle$	EXISTING MASONRY PORCH; ADDED BRICK VENEER, PAINTED TO MATCH EXISTING;		DETROIT, MI 48207 P. 313.454.4545
$\langle 2 \rangle$	WOOD RAILING, MIN. 36" TALL SEE A5.2 FOR BASIS OF DESIGN	-	TIM.FLINTOFF@4545ARCHITECTURE.COM
$\langle 3 \rangle$	PINE WRAPPED 4x4 WOOD POSTS, PAINTED WHITE		CONSULTANT:
$\langle 4 \rangle$	NEW MASONRY STAIR		
5	NEW DORMER; ROOF SHINGLES TO MATCH EXISTING		
6	NEW BACK DECK AND STAIR; BASIS OF DESIGN: TREX TRANSCEND COMPOSITE DECKING, COLOR 'SADDLE'		
$\langle 7 \rangle$	REPLACE DAMAGED MASONRY STAIR WITH NEW		
$\langle 8 \rangle$	SOFFITS TO BE PATCHED & REPAIRED WITH IN-KIND MATERIALS		
9	EXIST. SINGLE-HUNG WINDOWS REPLACED W/ VINYL-CLAD WOOD SINGLE-HUNG, PAINTED BLACK; (ALREADY INSTALLED); ANDERSON 400 SERIES		
(10)	EXISTING PORCH ROOF TO REMAIN		
$\langle 11 \rangle$	EXISTING WINDOW TO BE REPAIRED, REPAINTED (BLACK)		
(12)	REPLACE INSTALLED WINDOW WITH: ANDERSON 400 SINGLE HUNG WINDOW IN BLACK, WITH SIMULATED DIVIDED LITES AS SHOWN		
(13)	REPLACE INSTALLED WINDOW WITH: ANDERSON 400 AWING WINDOW IN BLACK, WITH SIMULATED DIVIDED LITES AS SHOWN		
(14)	ROOF TO BE REPAIRED AS REQ'D USING IN-KIND MATERIALS; ROOF TO BE SHINGLED WITH CERTAINTEED LANDMARK PRO ASPHALT ROOF SHINGLES IN CINDER BLACK		
< <u>15</u> 	REPLACE INSTALLED DOUBLE DOOR WITH: FRENCH DOOR, BASIS OF DESIGN: ANDERSON E-SERIES HINGED PATIO DOOR IN BLACK WITH 'SHORT FRACTIONAL' GRILLE STYLE.		
< <u>16</u> 	COMPOSITE RAILING, MIN, 36" TALL; SEE A5.2 FOR BASIS OF DESIGN		
< <u>17</u> >	REPLACE EXIST. BASEMENT WINDOWS WITH GLASS BLOCK (ALREADY INSTALLED); RESET GLASS BLOCK TO ENSURE INSTALLATION IS INSET INTO ORIGINAL WINDOW PLANE		
(18)	REPLACE INSTALLED WINDOW WITH: ANDERSON 100 CASEMENT WINDOW IN BLACK, WITH SIMULATED DIVIDED LITES AS SHOWN		
(19)	GABLE DORMER ROOF TO BE REPLACED WITH HIP ROOF TO MATCH EXISTING		
(20)	INSTALLED COMPOSITE SIDING TO BE REPLACED WITH WOOD SHAKE SIDING, TO MATCH EXISTING, AND PAINTED TO MATCH EXISTING		Project :
<u>\</u> 21	ARTIFICIAL ROOF EAVE COVER(S) TO BE REMOVED; REPLACED WITH WOOD EAVE		708 PALLISTER HDC RENOVATION
(22)	LOCATION OF HVAC UNIT		
(23)	LOCATION OF ELECTRIC METER - PLACED BY DTE ENERGY COMPANY		
<u>〈24</u> 〉	INSTALL "FAKE" WINDOW (DRYWALL INTERIOR OF WINDOW, PAINT INSIDE FACE OF DRYWALL WHITE); WINDOW TO BE ANDERSON 100 CASEMENT WINDOW IN BLACK, WITH SIMULATED DIVIDED LITES AS SHOWN		
25	SIMULATED DIVIDED LITES TO BE PLACED IN PREVIOUSLY INSTALLED WINDOWS AS SHOWN		
	GENERAL NOTE: ROOF, EXTERIOR CLADDING TO BE PATCHED AND REPAIRED AS REQ'D. ALL REPAIRS TO USE IN-KIND MATERIALS.		
	HOUSE TO BE PAINTED IN ACCORDANCE WITH HDC COLOR SYSTEM E ALL SIDING TO BE C:4 YELLOWISH WHITE		
	ALL TRIM AND SASH TO BE B:19 BLACK SEE A6.1 FOR COLOR RENDER		
			lssued for :
			HDC SUBMIT 02/18/2025
			STATE OF MICHT
			(約本・FLINTOFF JR. 本語) ※ ARCHITECT 第)
			No. 1301064083
		PLLC	
		rchitect, P	222 CD ARO : 550
		₹	Drawn by : ANJ
		Timothy Flintoff	Check by : TRF
		othy I	Sheet Title :
		Ľ L Ľ	EXTERIOR ELEVATIONS

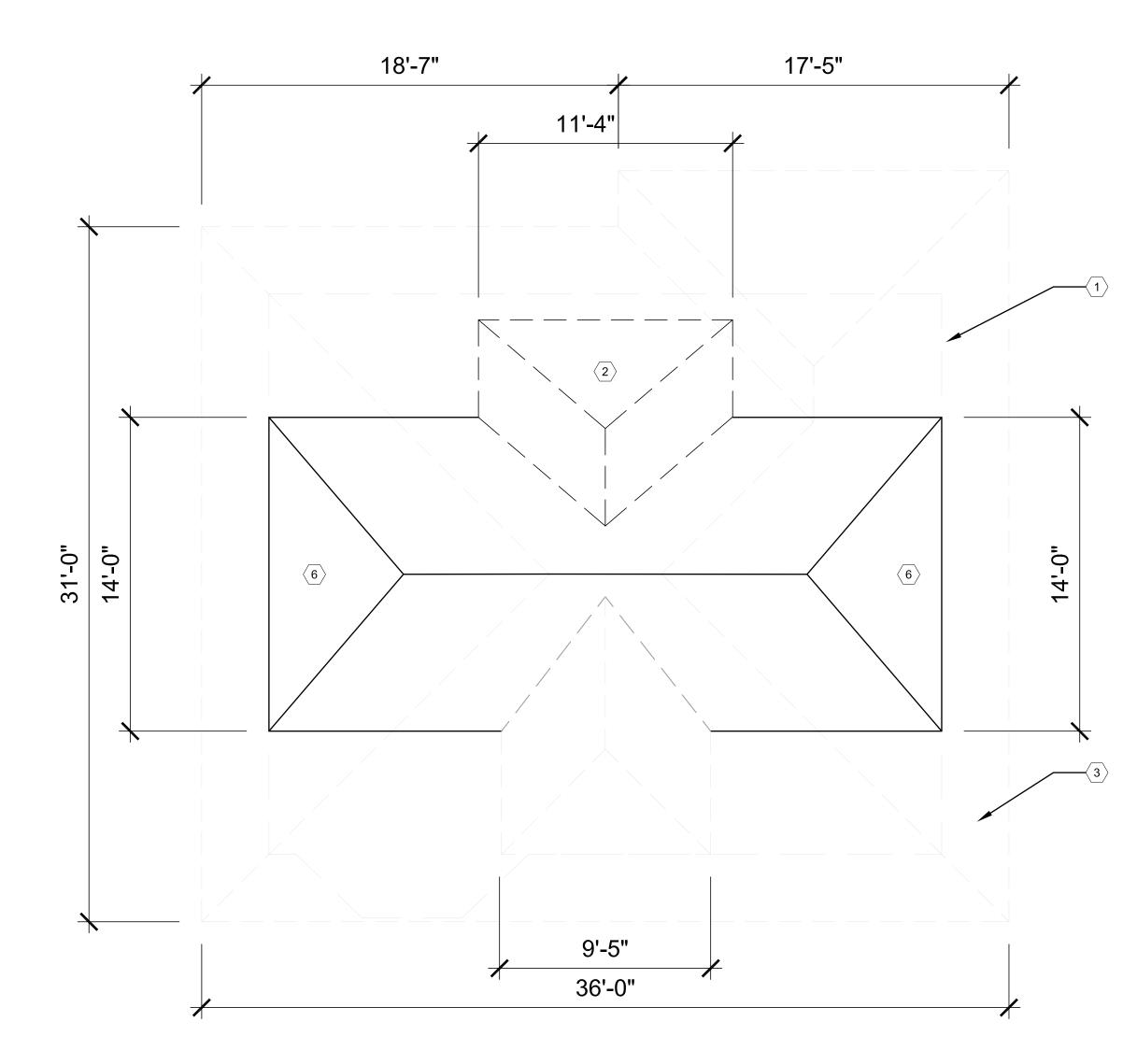
Project No. : **2024001**

Sheet No. :

A3.1









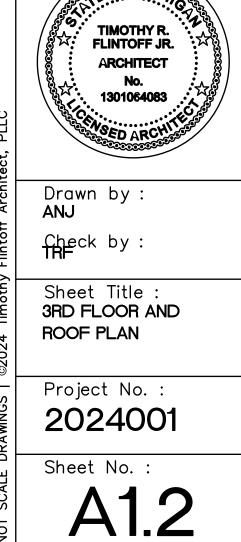
GENERAL FLOOR PLAN NOTE	S:
-------------------------	----

- 1. THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK, COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- 2. ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- 3. WALL THICKNESS' ARE NOMINAL NOT ACTUAL DIMENSIONS. SEE WALL SCHEDULE FOR ACTUAL DIMENSIONS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- 5. PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS WHILE KEEPING FLOOR LEVEL AT WALL BASE CONDITION.

PLAN KEY NOTES:

- (TYPICAL THIS SHEET ONLY)
- 1 LINE OF WALLS BELOW
- 2 NEW DORMER ROOF TO REMAIN
- 3 EXISTING ROOF TO BE REPAIRED WITH IN-KIND MATS. AS REQ'D (TYP.) SHINGLES TO BE REPLACED WITH CERTAINTEED LANDMARK PRO ROOF SHINGLES IN CINDER BLACK
- 4 FINAL LAYOUT OF INTERIOR KNEE WALLS TO BE DETERMINED BY EXISTING CONDITIONS AND OWNER INTERIOR CONFIGURATIONS, COORDINATE WITH OWNER (WORK COMPLETED)
- $\left< 5 \right>$ NEW WINDOW, SEE ELEVATIONS
- $\fbox{6}$ dormer roof to be removed, replaced with coordinating gable roof, see elevations
- GENERAL NOTE: SEE A4.1 FOR ROOF FRAMING PLAN

ARCHITECT: 4545 architecture 2761 E. JEFFERSON AVE STE 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM CONSULTANT: Project : 708 PALLISTER HDC RENOVATION Issued for : HDC SUBMIT 02/18/2025 COF MIC





HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROPRIATENESS

Application Number: HDC2025-00068

Project Address: 708 PALLISTER

Historic District: New Center Area

Description of Work:

- Replace damaged wood at corner of garage and underside of front porch
- Install 3rd wood column and 36" railing at front porch
- Reinstall glass block/window screens at basement windows
- Replace wood trim at top of new east elevation window to restore belt band
- Install aluminum-clad wood French door at rear with 2/1 simulated divided lite
- Install composite decking and 36" railing at rear deck
- Install rear pavers from deck to sidewalk

With the Conditions that:

Rooftop dormer addition and replacement of original windows are EXCLUDED from approval

Effective Date: 04/16/25

Issued to: Timothy Flintoff Jr.

2761 E. Jefferson Ave, Ste 302 Detroit. MI 48207

Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (10) and Sections 21-2-57 and 21-2-73 of the 2019 Detroit City Code, and Detroit Historic District Commission ("DHDC") delegation of administrative authority via Resolutions 97-01, 97-02, 98-01, 20-03, 21-04, and/or 21-07, as applicable, the staff of the DHDC has reviewed the above referenced application and hereby issues a Certificate of Appropriateness ("COA") for the description of work, effective date above, as it meets the Secretary of the Interior's Standards for Rehabilitation and the district's Elements of Design

For the Commission:

V. Riesen

Daniel Rieden



PSR: 250417GL

Senior Clerk to the Historic District Commission

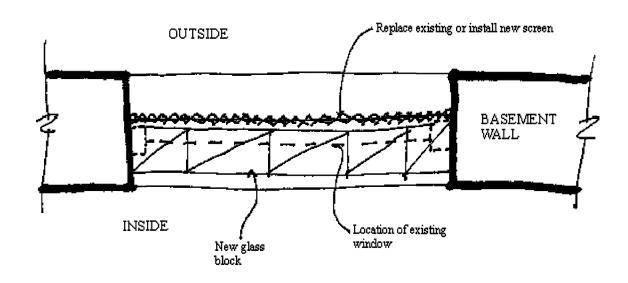
Post this COA at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicable responsibility to comply with any other applicable ordinances or statutes.

Glass Block

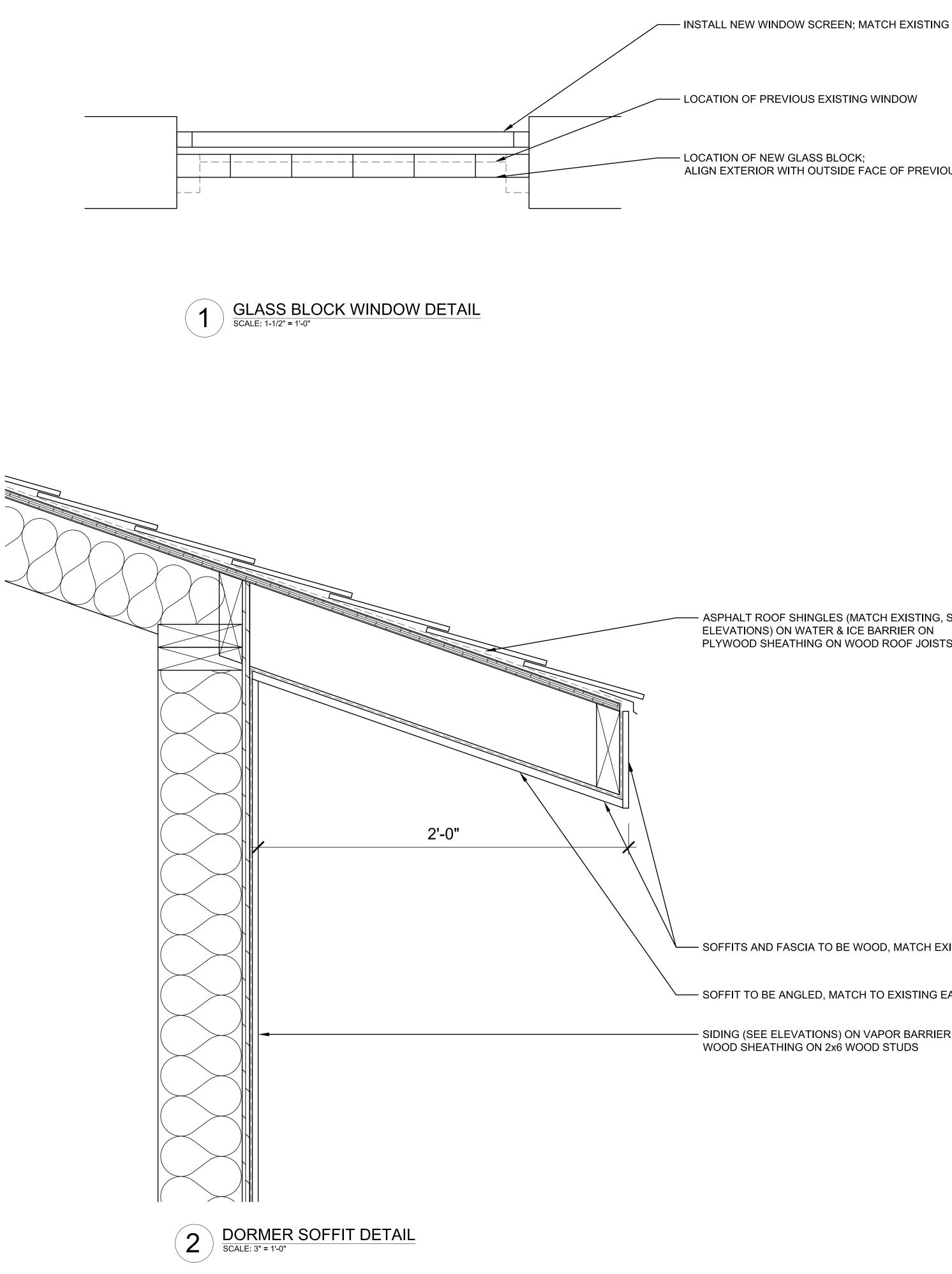
The Detroit Historic District Commission ("Commission") realizes that safety and energy concerns results in the desire to install glass block in basement window openings. While this treatment is not recommended, it may be acceptable provided certain conditions are met.

The installation of glass block in historic districts is work that is regulated by the City of Detroit's Historic District Ordinance No. 161-H. Any proposal for the installation of glass block in a historic district shall meet the following applicable conditions:

- A. The glass block shall be located at the same plane as the existing historic window, set back from the face of the building wall.
- B. The glass block shall be covered with the historic screen placed back in the window or with a new screen.
- C. Glass block will only be permitted in basement window openings.
- D. Openings with glass block that are on the front or visible from a side street shall be screened with foundation plantings that cover the windows.
- E. All glass block installations require a permit and Commission approval
- F. See the drawing below for more information.







	4545 architecture 2761 E. JEFFERSON AVE STE 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM
	Project : 708 PALLISTER HDC RENOVATION
	lssued for : HDC SUBMIT 02/18/2025
Flintoff Architect, PLLC	Drawn by : ANJ Check by :
DO NOT SCALE DRAWINGS ©2024 Timothy Flintoff	Sheet Title : DETAIL DRAWINGS Project No. : 2024001
O NOT SCALE DF	Sheet No. : A5.1

- LOCATION OF PREVIOUS EXISTING WINDOW

- LOCATION OF NEW GLASS BLOCK; ALIGN EXTERIOR WITH OUTSIDE FACE OF PREVIOUS WINDOW

– ASPHALT ROOF SHINGLES (MATCH EXISTING, SEE ELEVATIONS) ON WATER & ICE BARRIER ON PLYWOOD SHEATHING ON WOOD ROOF JOISTS

SOFFITS AND FASCIA TO BE WOOD, MATCH EXISTING

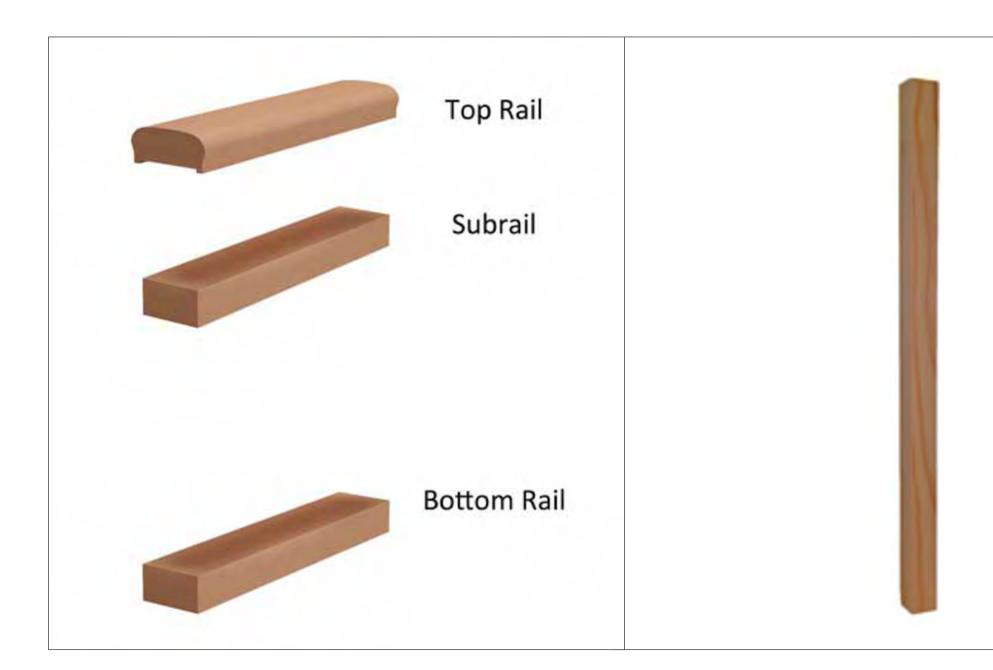
— SOFFIT TO BE ANGLED, MATCH TO EXISTING EAVES

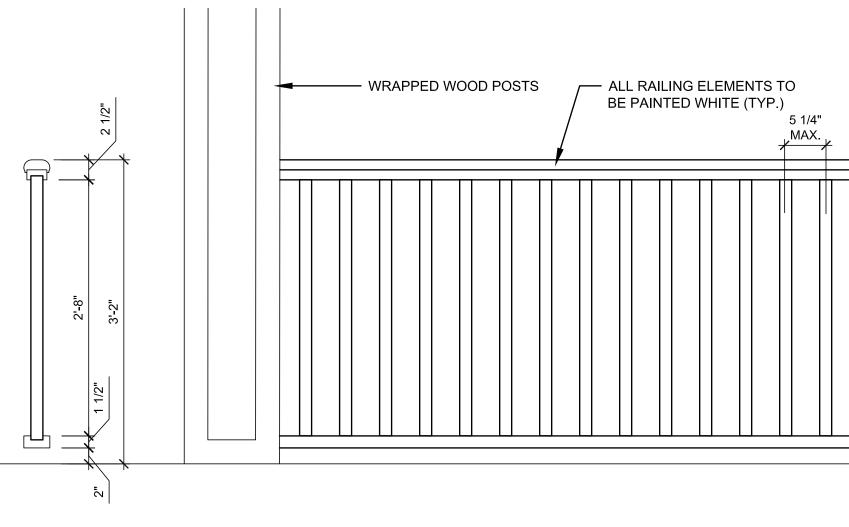
SIDING (SEE ELEVATIONS) ON VAPOR BARRIER ON WOOD SHEATHING ON 2x6 WOOD STUDS

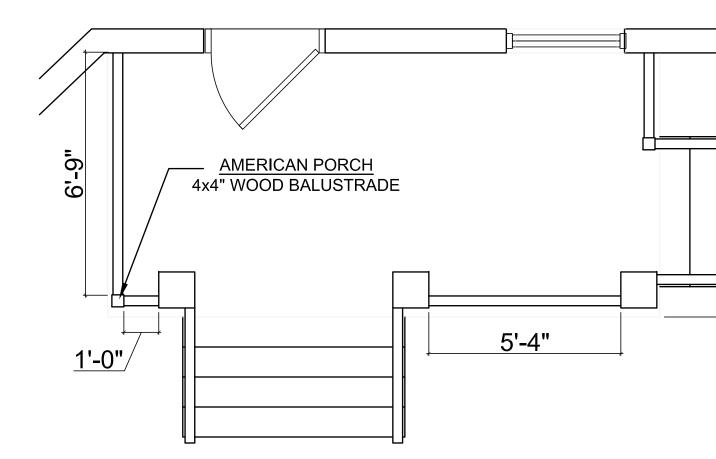
FRONT PORCH RAILING

AMERICAN PORCH 4" 3 PC.PORCH RAIL SYSTEM, CEDAR WITH BOTTOM RAIL

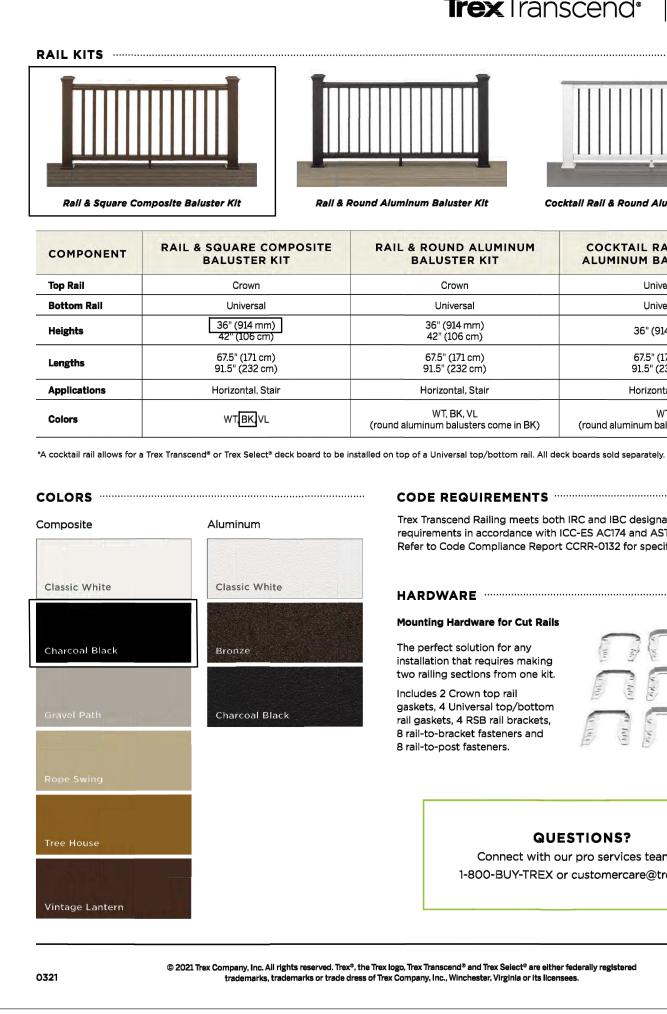
AMERICAN PORCH 1-5/8" SQUARE BALUSTER, CEDAR 32" LENGTH

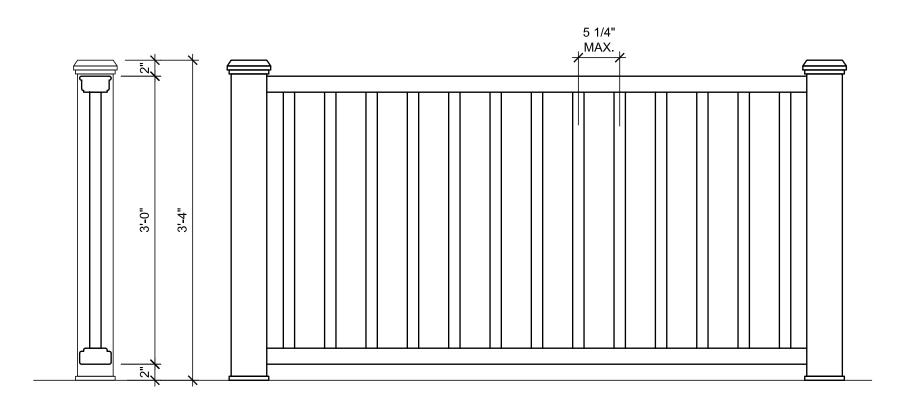


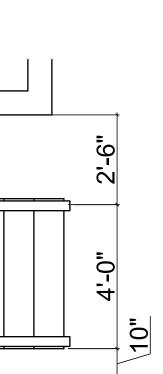




REAR DECK RAILING







TrexTranscend[®]

T	П	11	1	II.	П	Π	

Cocktail Rail & Round Aluminum Baluster Kit

Trex

OUND ALUMINUM	COCKTAIL RAIL & ROUND ALUMINUM BALUSTER KIT*
Crown	Universal
Universal	Universal
36" (914 mm) 42" (106 cm)	36" (914 mm)
67.5" (171 cm) 91.5" (232 cm)	67.5" (171 cm) 91.5" (232 cm)
lorizontal, Stair	Horizontal, Stair
WT, BK, VL num balusters come in BK)	WT (round aluminum balusters come in BK)

CODE REQUIREMENTS

Trex Transcend Railing meets both IRC and IBC designated requirements in accordance with ICC-ES AC174 and ASTM D7032. Refer to Code Compliance Report CCRR-0132 for specific details.

HARDWARE

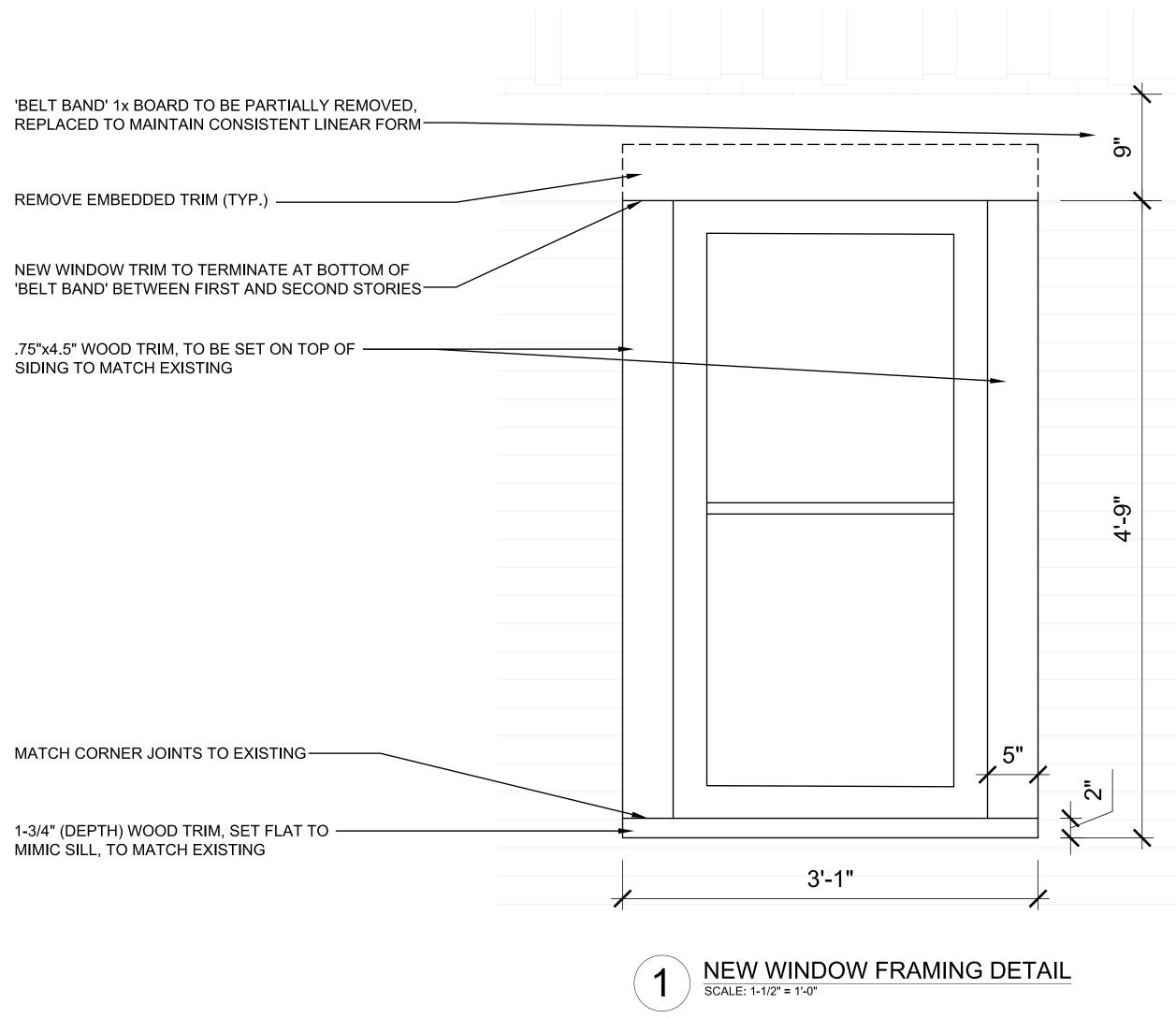
Mounting Hardware for Cut Rails The perfect solution for any installation that requires making two railing sections from one kit. Includes 2 Crown top rail gaskets, 4 Universal top/bottom W. rail gaskets, 4 RSB rail brackets, 8 rail-to-bracket fasteners and 8 rail-to-post fasteners.

QUESTIONS? Connect with our pro services team at 1-800-BUY-TREX or customercare@trex.com

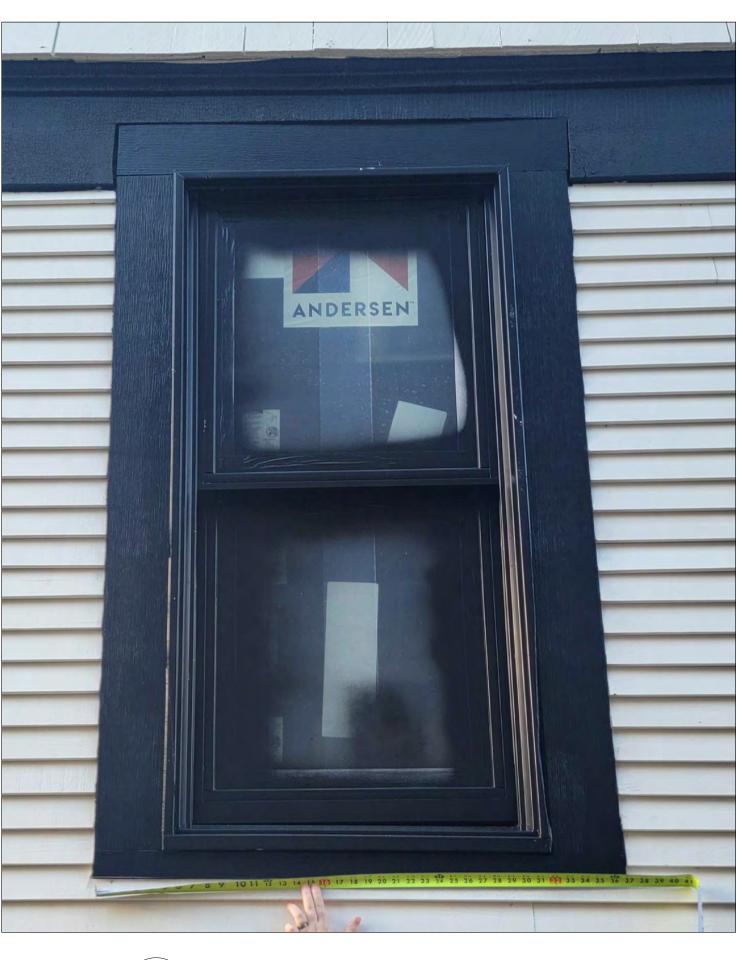
TRLTTCHDOC2021

ſ	ARCHITECT:
	4545 architecture
	2761 E. JEFFERSON AVE STE 302 DETROIT, MI 48207
-	P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM
	CONSULTANT:
	Project ·
-	Project : 708 PALLISTER
	HDC RENOVATION
-	
	lssued for :
	HDC SUBMIT 02/18/2025
	E OF MICANO
	「 ダム・ TIMOTHY R. 、 、 、 、 、 、 、 、 、 、 、 、 、
	1301064083 · · · · · · · · · · · · · · · · · · ·
itect, I	10000000000000000000000000000000000000
f Arch	Drawn by : ANJ
Flintof	Check by : TRF
nothy	Sheet Title :
24 Tin	RAILING DETAILS
©20	Project No. :
NOT SCALE DRAWINGS ©2024 Timothy Flintoff Architect, PLLC	2024001
E DRA	Sheet No. :
T SCAL	Δ52
No.	

NOT SCA





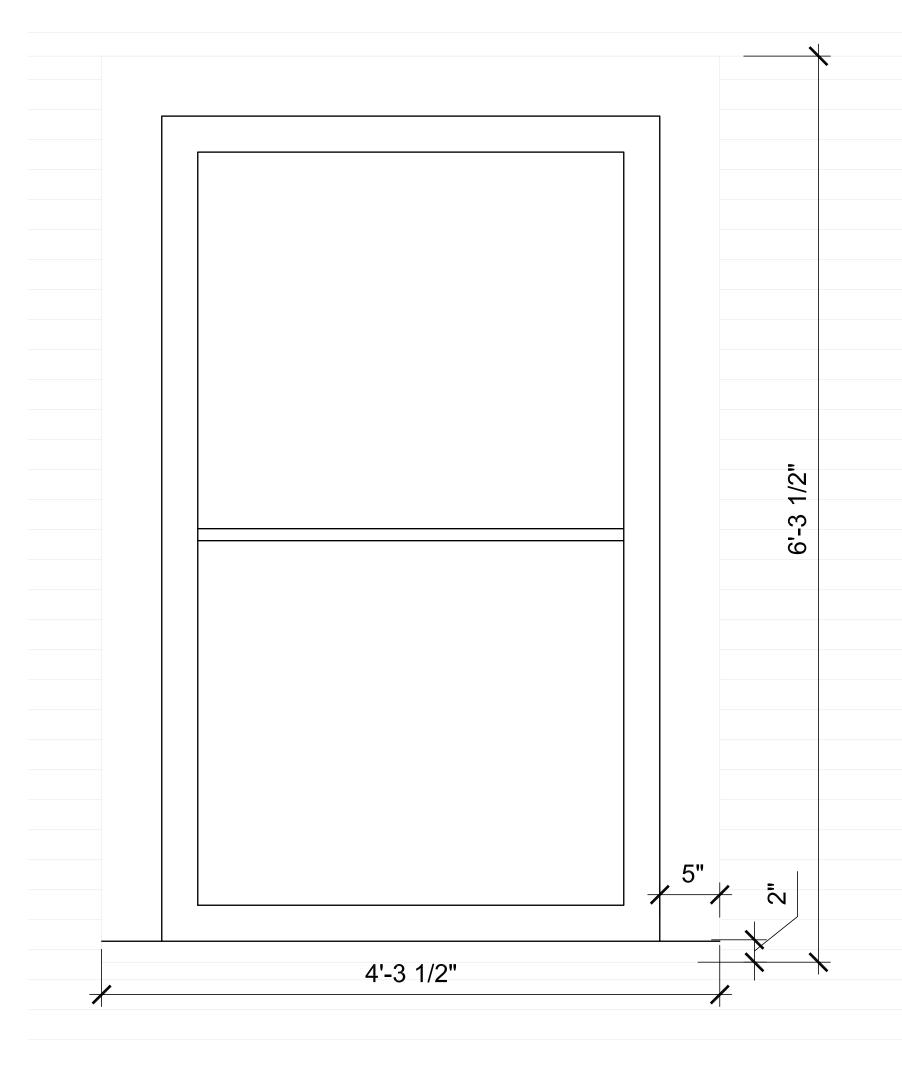




PREVIOUS WINDOW FRAMING DETAIL (INFILLED WINDOW AT EAST ELEVATION)



NEW WINDOW PHOTO TAKEN NOVEMBER 26, 2024





FRONT ELEVATION EXISTING WINDOW FRAMING DETAIL SCALE: 1-1/2" = 1'-0"





ARCHITECT: 4545 architecture 2761 E. JEFFERSON AVE STE 302 DETROIT, MI 48207 P. 313.454.4545 TIM.FLINTOFF@4545ARCHITECTURE.COM CONSULTANT: Project : 708 PALLISTER HDC RENOVATION lssued for : HDC SUBMIT 02/18/2025 TIMOTHY R. FLINTOFF JR ARCHITECT 30106408 Drawn by : **ANJ** Check by : TRF Sheet Title : WINDOW TRIM DETAILS Project No. : 2024001 Sheet No. : A5.3