

8/20/2020

CERTIFICATE OF APPROPRIATENESS

Todd Bergsman /
LL Custom Contracting
1439 E. 11 Mile
Madison Heights, MI, 48317

RE: Application Number 20-6662; 677 W. Canfield; West Canfield Historic District

Dear Todd:

At the regular scheduled meeting that was held on 7/8/2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as 8/20/2020.

Staff finds the work appropriate for the following reasons:

The following work items meet the Secretary of the Interior’s Standards for Rehabilitation Standard 6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

Siding and Trim Replacement – Home

- Front (North) Elevation:
 - Repair and replace wood window moldings, in-kind
 - Dormers: Remove and replace wood shingle molding, flat stock trim, and sill with new, as proposed, to match existing.
 - Replace asphalt shingles with new 6” horizontal siding.
 - Paint trim as proposed.
 - Replace gable trim to match gable trim detail, as proposed.
 - Restore Window surrounds as proposed: replace cap, sides, sills and headers with new smooth wood boards to match existing, paint to match trim. Crowns and plinth blocks to be removed, stripped, reinstalled and painted to match trim.
 - New wood scalloped siding, as proposed.
 - Mitered Corners and “flare out” details to be retained.
 - Front porch repair: Soffits, columns, lattice repair.
 - Railings, stairs and decking to be replaced to current code standards.
 - Deteriorated wooden elements be replaced in-kind.
 - Refinish front door, apply clear coat and stain to match existing.
 - Paint all non-aluminum clad windows D-18, *Dark Reddish Brown*
- Rear (South) Elevation:
 - Gable: Replace gable trim to match gable trim detail, as proposed.
 - Restore Window surrounds as proposed: replace cap, sides, sills casing and headers with new smooth wood boards to match existing, paint to match trim. Cove crown to be replaced with matching 2” wood cove molding. Paint B:19 Black

- New wood scalloped siding in gable, as proposed.
- Replace rotten fascia boards at rear gable to match existing.
- Replace (4) four doors as proposed, stain to match front door
- Paint all non-aluminum clad windows D-18, *Dark Reddish Brown*
- Remove and replace rear decks and railings to conform to current building code. Deck surface to match front porch, painted cedar.

- Right (West) Elevation:
 - Paint all non-aluminum clad windows D-18, *Dark Reddish Brown*
 - New wood scalloped siding, as proposed.
 - Mitered Corners and “flare out” details to be retained.
 - Gable: Replace gable trim to match gable trim detail, as proposed.

- Left (East) Elevation:
 - Paint all non-aluminum clad windows D-18, *Dark Reddish Brown*
 - New wood scalloped siding, as proposed.
 - Mitered Corners and “flare out” details to be retained.
 - Gable: Replace gable trim to match gable trim detail, as proposed.

Please retain this Certificate of Appropriateness for your files. You should now proceed to the City of Detroit Buildings Safety and Engineering Department to obtain a building permit. The Detroit Historic District Commission’s approval and issuance of a Certificate of Appropriateness does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding this letter, please contact me at cagneyb@detroitmi.gov.

For the Commission:



Brendan Cagney
Staff
Detroit Historic District Commission

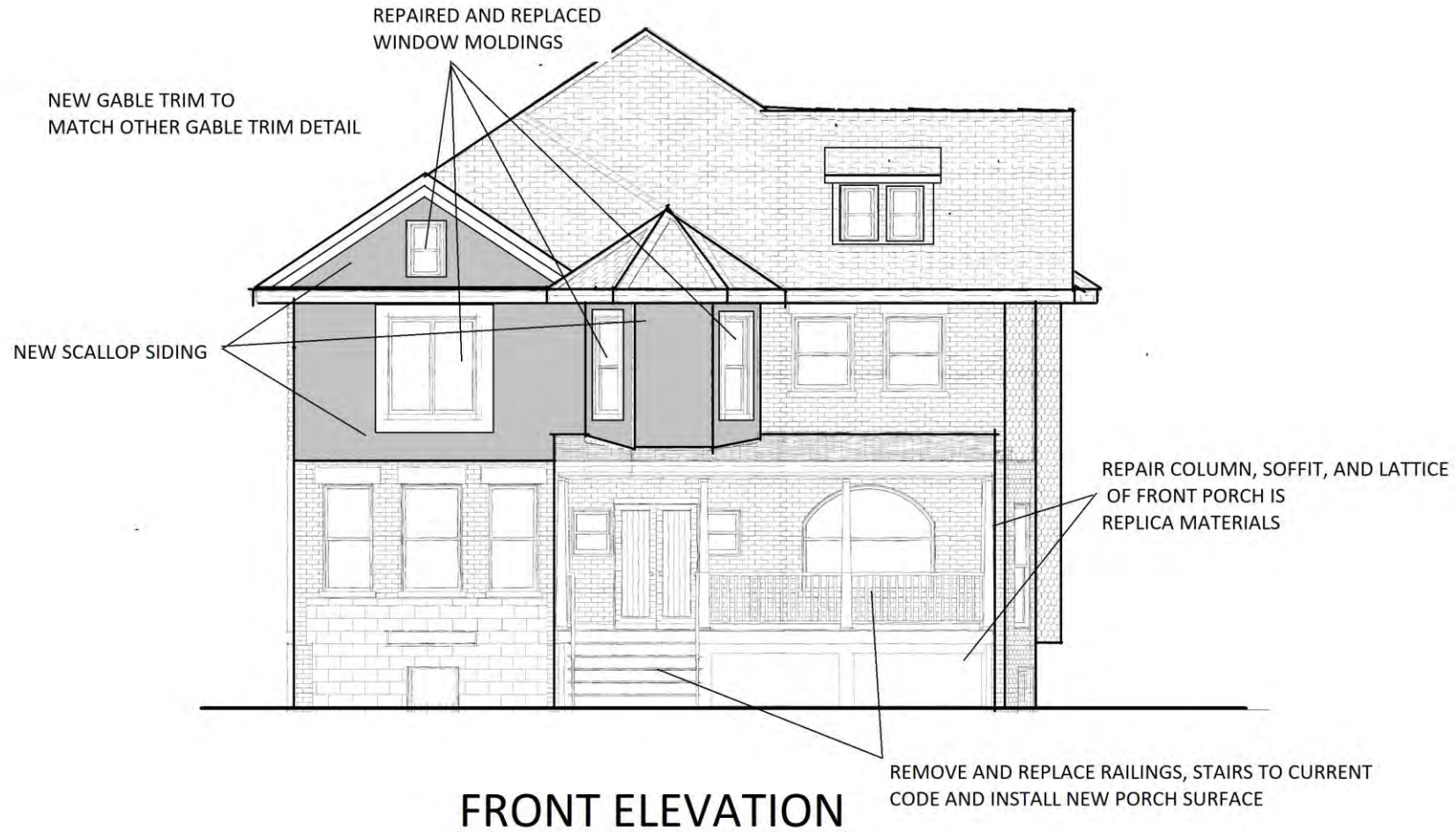
677 W. Canfield



Historical District Committee Restoration Review

677 W. Canfield – Historical Restoration

Front Elevation



Front Elevation (1 of 16):

1. **Front Door** – Keeping existing front door and refinishing clear coat and keeping current stain color.
2. **Windows** – Keeping all existing window units and glass. Non-aluminum clad windows will be painted with a color match to the existing aluminum clad windows (D-18 Dark Reddish Brown).



Front Elevation (2 of 16) – Roof Dormer:



Remove and replace shingle molding (existing = 3.25" x 1.5" thick) with new pine smooth molding and paint trim color. (see next page for profile)

Remove and replace flat stock surround with new 5/4 thick flat stock smooth wood and paint trim color

Remove and replace wood sill with new Cedar wood sill smooth cut to match original Profile and Paint Trim Color

Front Elevation (3 of 16) – Roof Dormer:

Replace asphalt shingles with new 6" horizontal siding



[The Home Depot](#)
[WG 210 5/8 in. x 1-5/8 in. x](#)
[96 in. Primed Finger-Jointed](#)
[Pine Shingle Moulding](#)



Front Elevation (4 of 16) – Siding & Trim:

Remove and replace gable siding with new scallop siding

Remove and re-built with matching profile (see next page) to match rest of home repairs (approx. 20 lf)



Remove and bay siding with new scallop siding (to make consistency with rest of house and remove mismatched bevel cut siding)

Remove and replace wall siding with new scallop siding keep mitered corner and flare out details

Front Elevation (5 of 16) – Siding & Trim:



3.25" molding

3.5" flat board

3.25" molding

3.5" flat board

1.25" cove and extra detail mldg

Front Elevation (6 of 16):



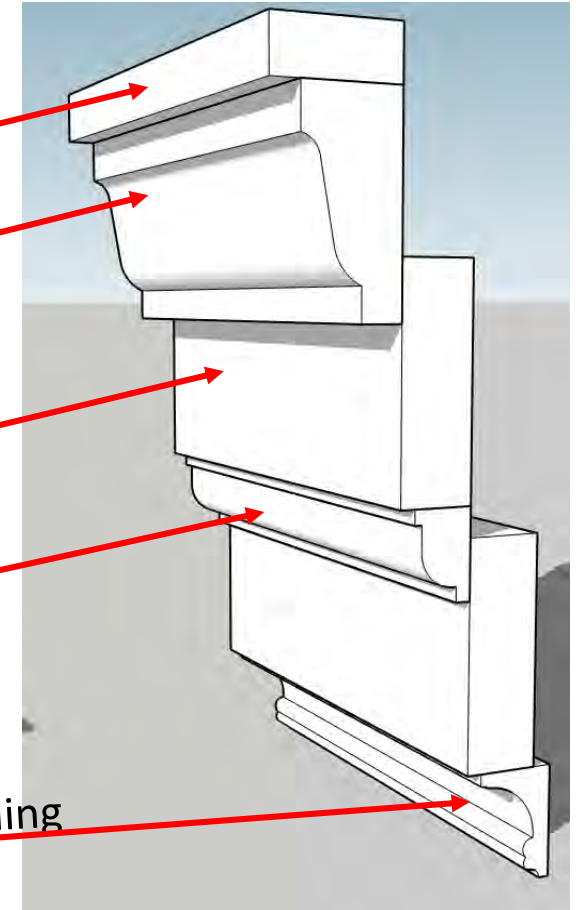
Drip edge trim

3.25" shingle mldg

Flat molding

1.75" barge mldg

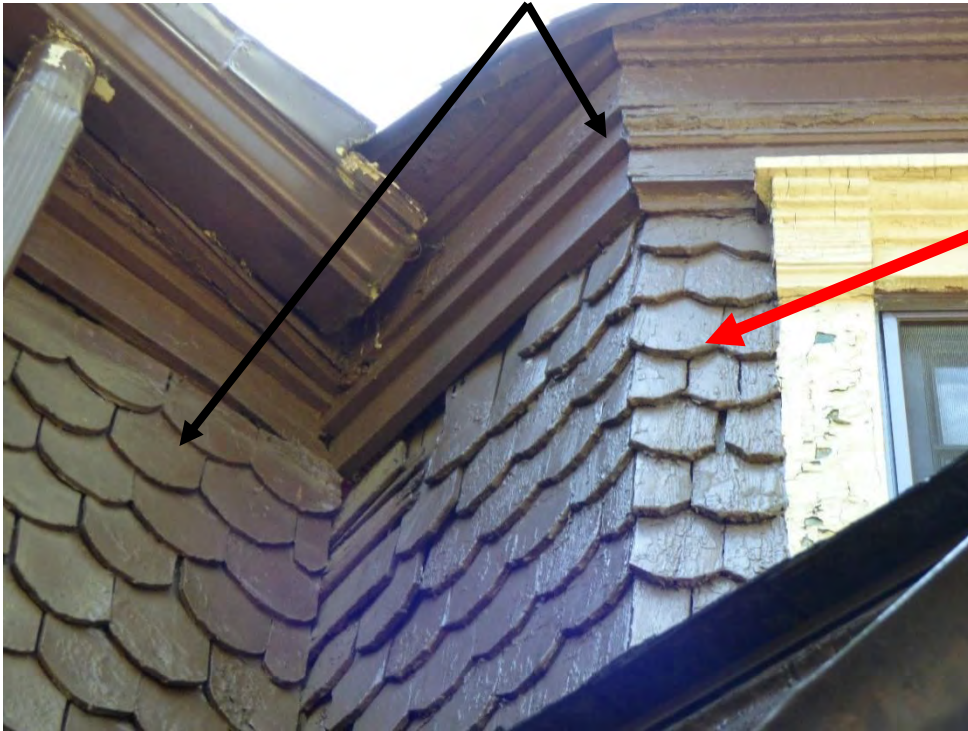
Cove & bead molding



New molding profile

Front Elevation (7 of 16) – Siding:

A mismatched repair made with wider scallops between corner and downspout (this will be fixed with new siding) as well as this mismatched trim (about 3ft) to be repaired with salvaged trim materials



Scallop siding at front bay is different than rest of home. It is a straight bottom with angle cut corners with the same exposure and dimensions as the rest of the shingles. We are proposing to use the same scallop siding on the front bay to keep all the siding consistent.

Front Elevation (8 of 16) – Window Surrounds:



Front Bay

Remove and replace top $\frac{3}{4}$ " thick cap with new $\frac{3}{4}$ " thick smooth wood painted trim color

Remove $5/4 \times 6$ flat stock sides and header and replace with new $5/4 \times 6$ flat stock smooth boards painted trim color.

Remove strip and reinstall crown piece and paint trim color.

Front Elevation (9 of 16) – Window Surrounds:



Front Gable

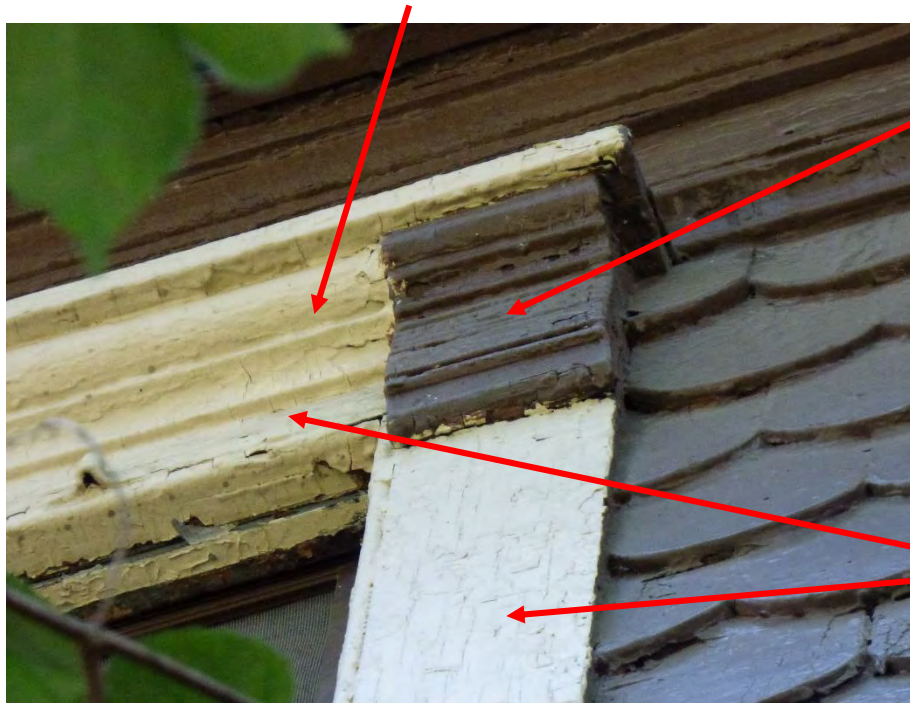


Front Upper Left

Front Elevation (10 of 16) – Window Surrounds:

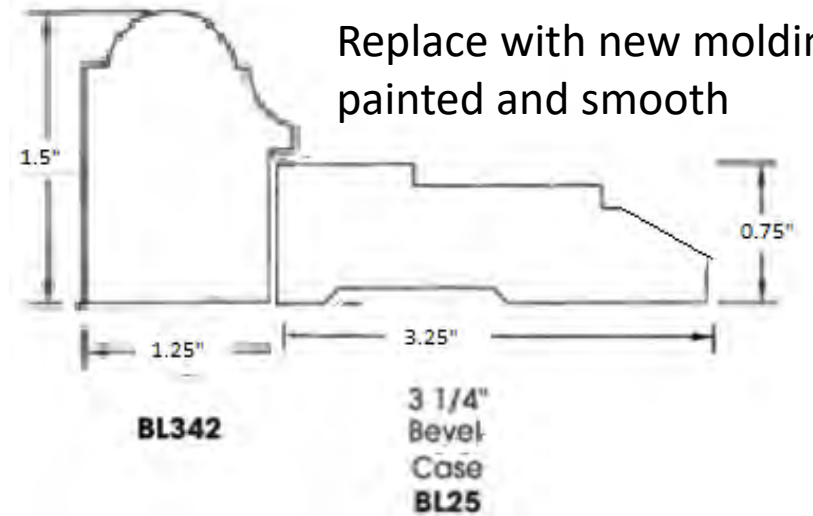
Remove existing $\frac{3}{4}$ " cap with new painted smooth wood (same dimensions)

Remove, strip and replace crown



Bolyard
Lbr –
Back and
Casing

5/4 x 6
with
beaded
edge



Front Elevation (11 of 16) – Window Surrounds:

Remove, strip and reinstall plinth blocks
and paint trim color

Repaired or new smooth cedar sill
painted trim color with matching
profile to existing sill



Front Elevation (12 of 16) – Window Surrounds:



Keep existing wood surround and trim - Repair as necessary and repaint with window HCD Approved color B:18 – Dark Reddish Brown

Front Elevation (13 of 16) – Front Porch:



Rebuild the trim at the gutter line

Repair and rebuild columns

Rebuild railings and balusters

Remove and rebuild stairs to meet current code requirements (salvage and reuse newels)

Rebuild surface where damaged

Rebuild base and lattice work where damaged (all matching dimensions)

Front Elevation (14 of 16) – Front Porch:



Remove and replace existing bead board with matching bead board smooth sheet materials and paint.

Prep and Paint Ceiling

Front Elevation (15 of 16) – Front Porch:

New cedar deck boards painted for entire deck and stair treads to match 1x4 existing profile



Remove and replace damaged wood at corner column with new smooth painted wood products of same dimensions



Remove and replace damaged wood with new smooth painted wood product of same dimensions, about 7LF



Remove and replace damaged wood and rebuilt structure. Rebuilt trim work with smooth 1x materials painted and matching lattice to front of porch

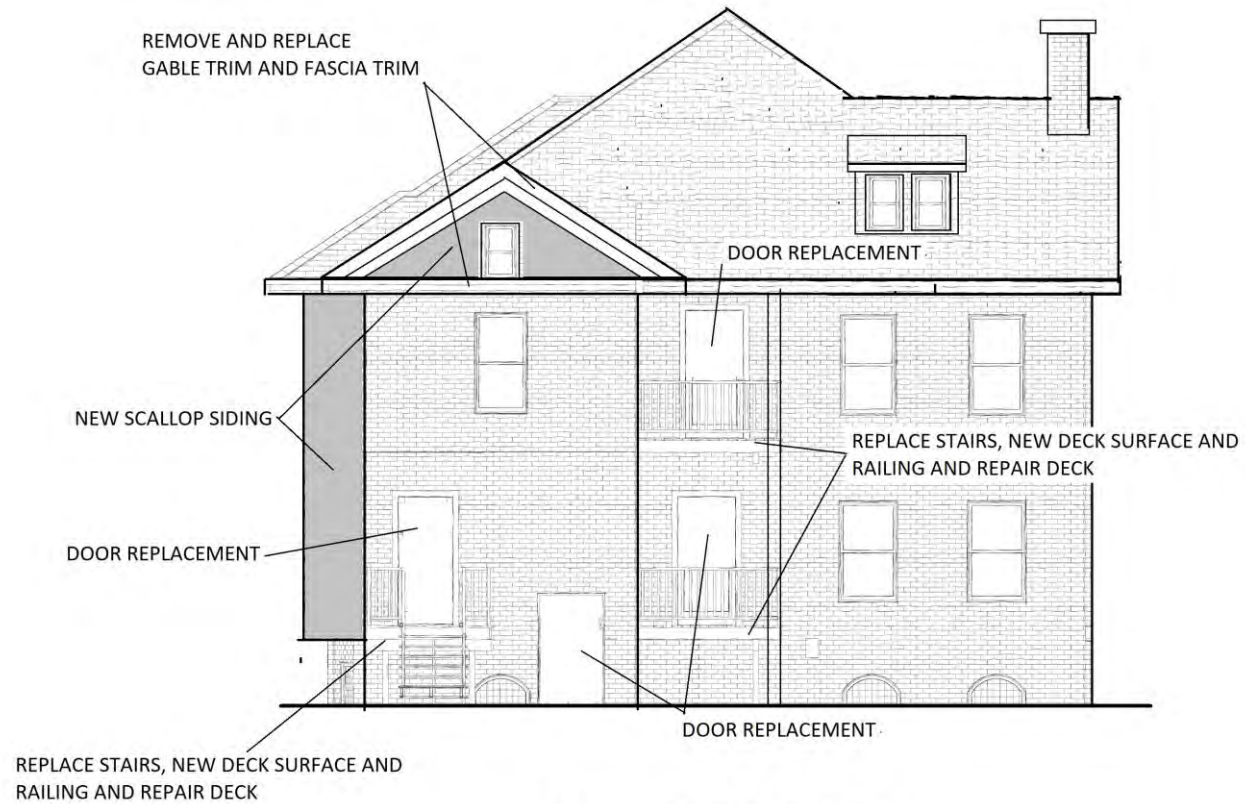
Front Elevation (16 of 16) – Front Porch:



Remove and replace railing and balusters with cedar painted wood matching existing profiles and dimensions, but spacing updated to current building code requirements.

4" minimum spacing

Rear Elevation



REAR ELEVATION

Rear Elevation (1 of 7) :

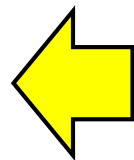
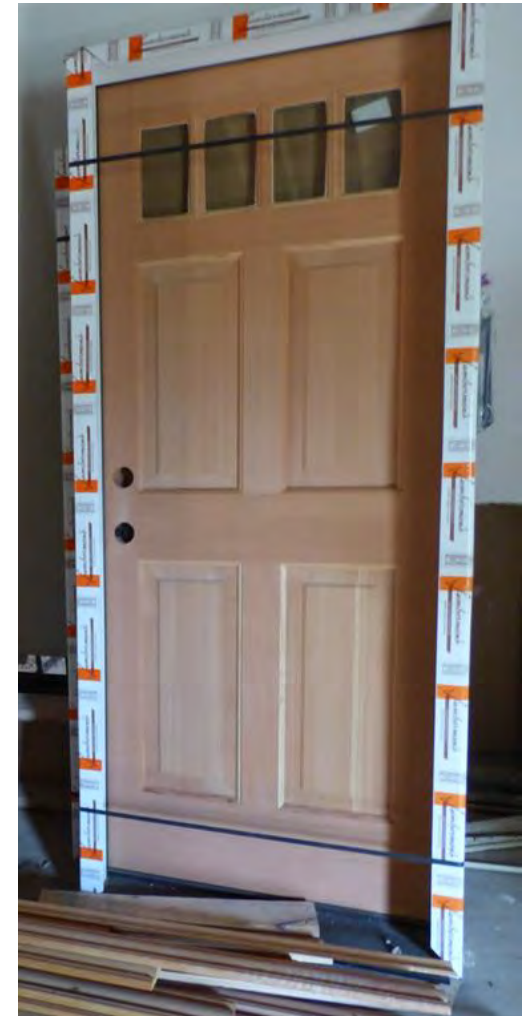
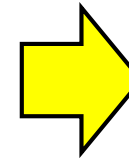
1. **Doors** – Replacing four entry doors on rear with new solid wood doors and stain/finished to match Front Door color and sheen. (labeled to right – see pg. 2 for door image)
2. **Windows** – Keeping all existing window units and glass. Non-aluminum clad windows will be painted with a color match to the existing aluminum clad windows (D-18 Dark Reddish Brown).



Rear Elevation (2 of 7) :



Proposed Rear Door Replacements
< all four >
(Color to Match the Front Door)



Existing Front Door
(color to remain)

Rear Elevation (3 of 7) :

Remove and rebuilt entire gable trim and fascia that are split, rotten or damaged (about 45 lf) see next page for replica detail



Rear Elevation (4 of 7) - Gable Trim:



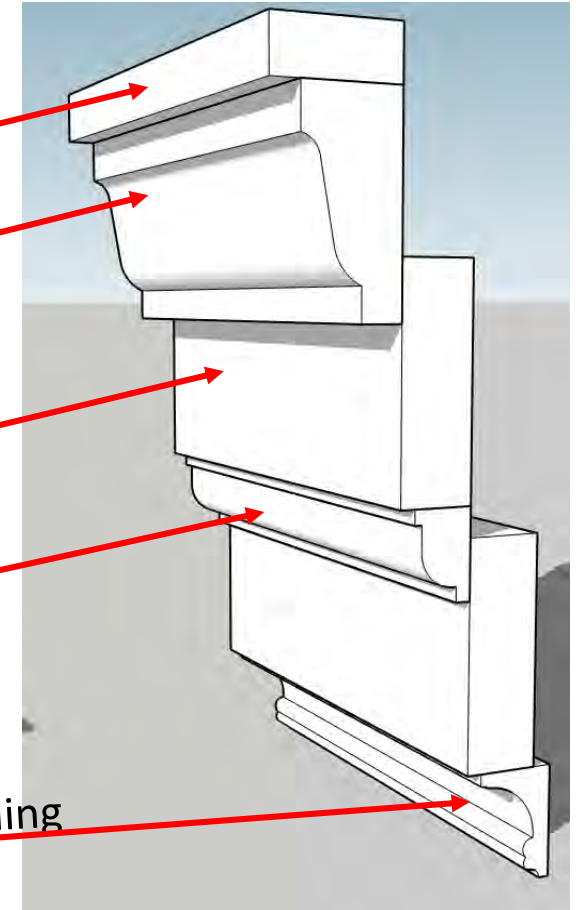
Drip edge trim

3.25" shingle mldg

Flat molding

1.75" barge mldg

Cove & bead molding



New molding profile

Rear Elevation (5 of 7) :

Existing 2" cove crown to be replaced with matching 2" smooth wood cove molding

Existing 5/4x4 casing and header to be replaced with new 5/4x4 flat stock smooth wood painted B:19 Black.



Remove and replace siding with new siding consistent with rest of home replacements

Existing 1.5" thick sill to be replaced with new 1.5" thick beveled washed cedar sill (cut to same profile)

Rotten Fascia Boards

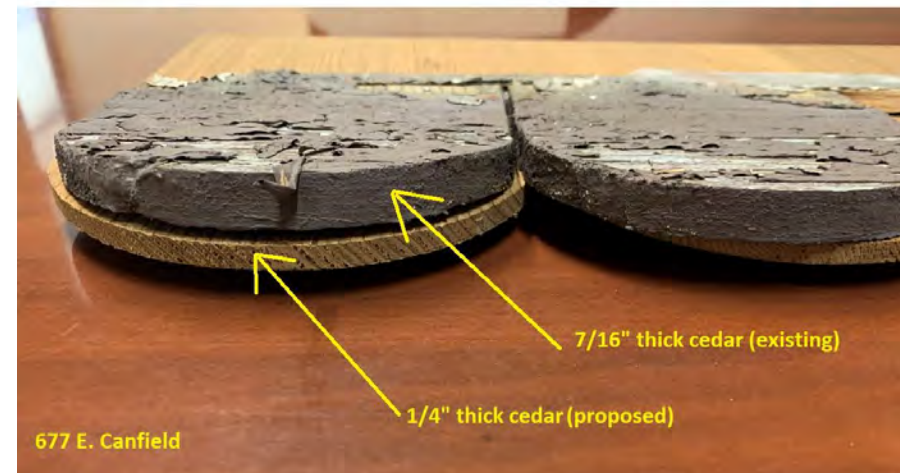
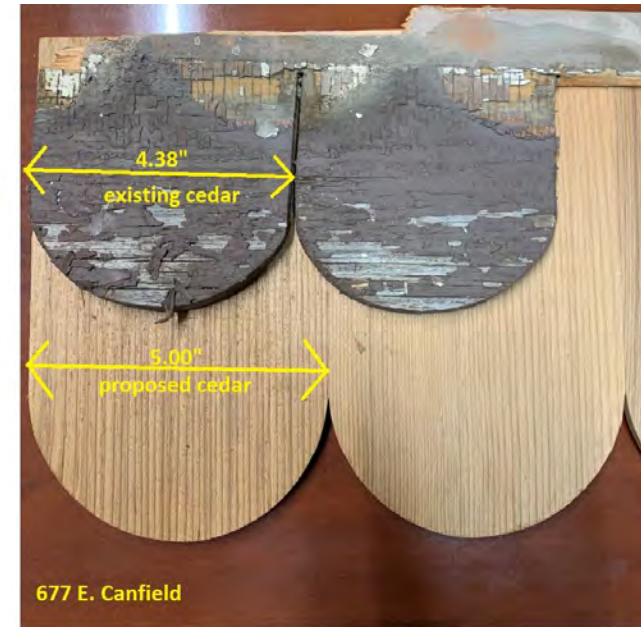
Rear Gable

Rear Elevation (6 of 7) :



Existing painted wood

Proposed: cedar shingle siding >>>



Rear Elevation (7 of 7) :



Remove stairs and railings on both rear decks and rebuilt to current building code. Railing to match front porch railing system out of smooth cedar (painted)



New deck surface to match Front Porch – 1x4 smooth painted cedar

Repair any deteriorated structural members or replace with exact dimensional match.

Right Elevation



Right Elevation (1 of 4):

1. **Windows** – Keeping all existing window units and glass. Non-aluminum clad windows and wood surround windows in brick will be painted with HCD approved color B18 Dark Reddish.
2. **Siding** – On the Bay and the two roof end gables, we propose removing the existing siding and replacing with new scallop siding to match rest of new siding on home for consistency throughout home. There is evidence of splitting and missing pieces throughout these areas. Will recreate the mitred/wrapped corner and flare out details.
3. **Trim** – On the two gable ends, we are proposing to replace the molding profile with the new trim profile on page 2 (there is rotten and splitting boards that need replacement)



Right Elevation (2 of 4):

Remove and replace with new trim gable trim, approx. 11ft long on each side of chimney and siding (some rot and splitting)



Remove and replace with new trim approx. 8ft long on each side of chimney (rotten and deteriorated)

Right Elevation (3 of 4) - Gable Trim:



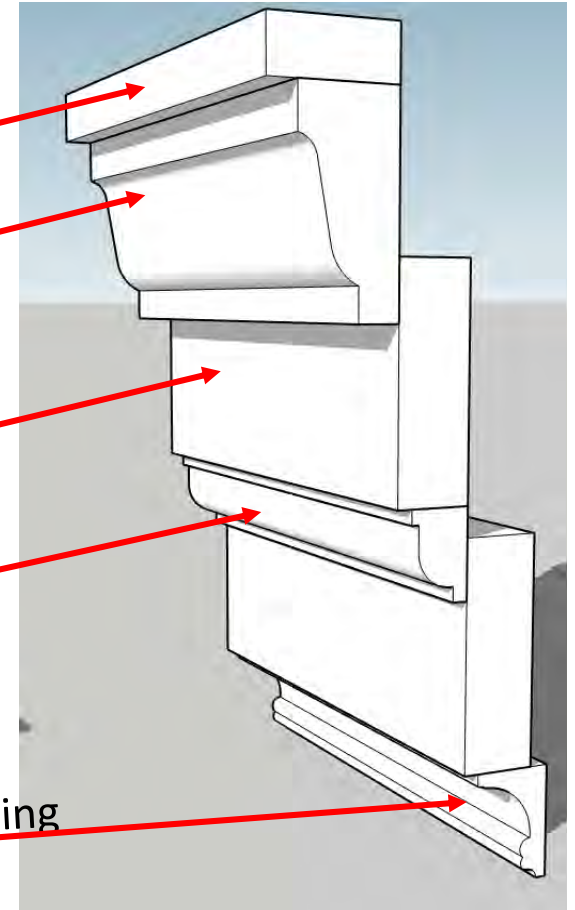
Drip edge trim

3.25" shingle mldg

Flat molding

1.75" barge mldg

Cove & bead molding



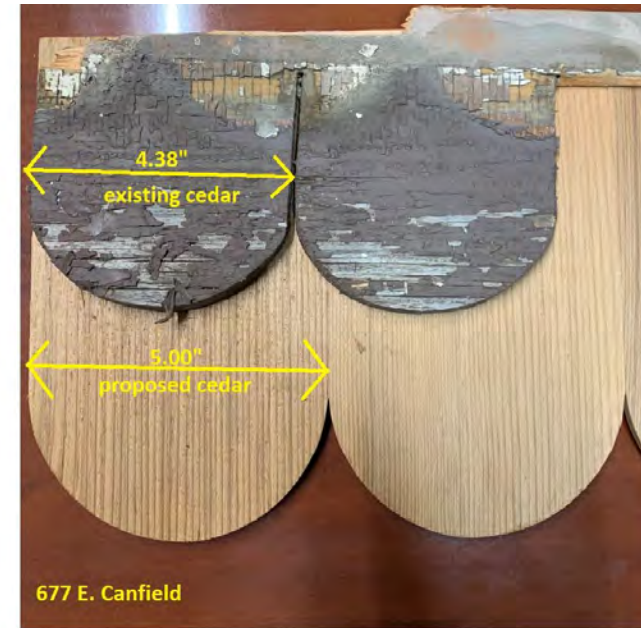
New molding profile

Right Elevation (4 of 4):

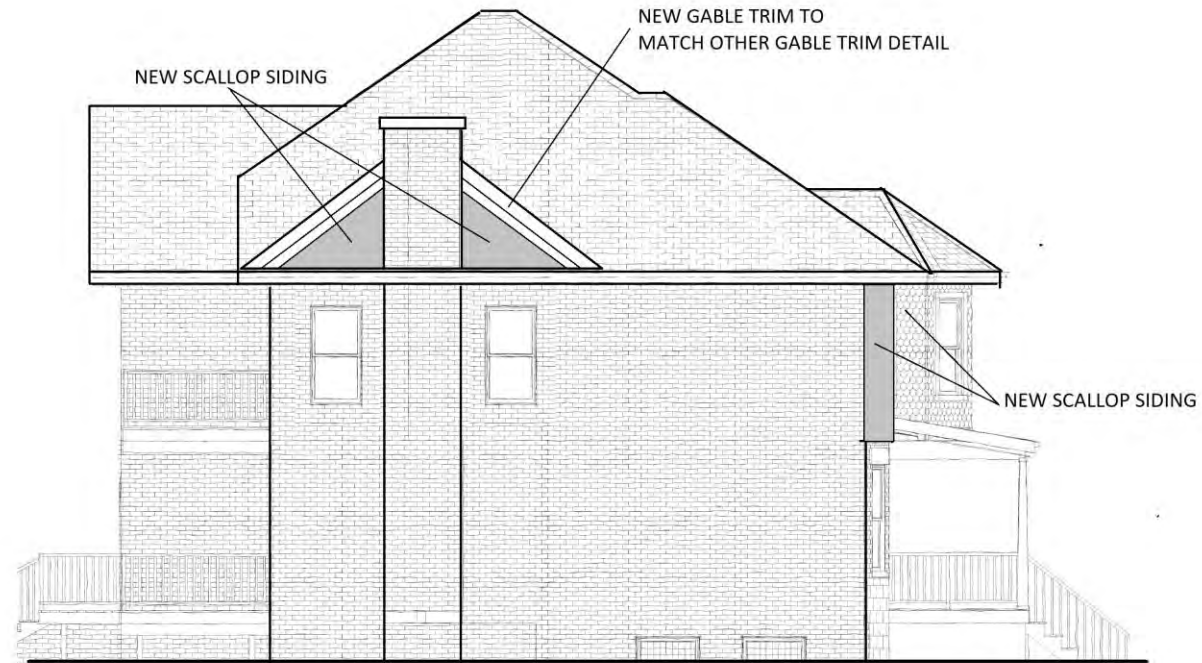


Existing painted wood

Proposed: cedar shingle siding >>>



Left Elevation



LEFT ELEVATION

Left Elevation (1 of 3):

1. **Windows** – Keeping all existing window units and glass. Non-aluminum clad windows and wood surround windows in brick will be painted with HCD approved color B18 Dark Reddish.
2. **Siding** – Remove and Replace Siding with new scallop siding to match rest of new siding for consistency.
3. **Trim** – Remove and place gable trim with new molding stack profile (see pg 2)



Left Elevation (2 of 3) - Gable Trim:



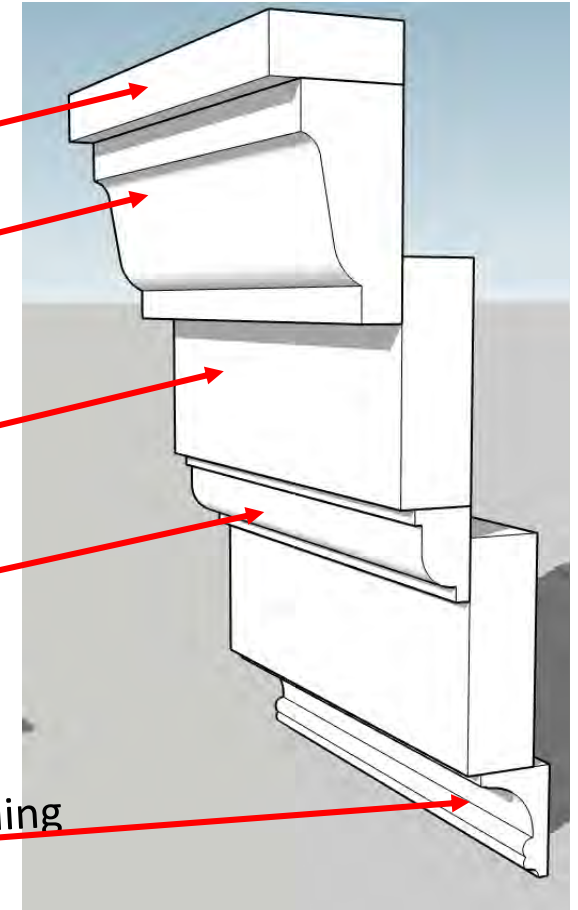
Drip edge trim

3.25" shingle mldg

Flat molding

1.75" barge mldg

Cove & bead molding



New molding profile

Left Elevation (3 of 3) - Siding:



Existing painted wood

Proposed: cedar shingle siding >>>

