#### **APPLICATIONS NOT SUBJECT TO PUBLIC HEARING**

• 1180 VINEWOOD STREET

**Hubbard Farms Historic District** 

Rehabilitate building

**Interested Party: Robert Merchal** 

Commissioner Williams made a motion to issue a COA for the rehabilitation of the building and the establishment of a new parking lot as per the submitted drawings because the work meets Secretary of the Interior's Standard for Rehabilitation Standard Number 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

...with the following conditions:

- Any new concrete must be tinted grey, composed of an exposed aggregate, or finished with a clear curing compound
- The applicant submit a detailed final site plan to staff for approval prior to the issuance of the permit.

Commissioner Hosey – SUPPORT

Ayes - 4

Nay - 0

**MOTION CARRIED** 

# VINEWOOD APARTMENTS

# TONY PA

1180 Vinewood St. Detroit, MI 48216

#### **GENERAL CONDITION NOTES:**

ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE

CONSTRUCTION TO ENSURE THAT FROST DOES NOT PENETRATE BELOW FOOTINGS. MEASURES INCLUDE THICK STRAW BEDS, TARPING AND TEMPORARY HEAT AT ANY AREAS OF EXCAVATION

ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, RULES AND REGULATIONS

ASSUMED SOIL PRESSURE IS 2,500 PSF - VERIFY CAPACITY BEFORE COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT IF LESS THAN THIS VALUE IS FOUND. OWNER SHALL BE RESPONSIBLE TO RETAIN A LICENSED SOIL ENGINEER FOR BORING AND RECOMMENDED DESIGN DATA.

ARCHITECTURAL DOCUMENTS ESTABLISH THAT FIRST (MAIN) FINISH FLOOR LEVEL = 100.00'. FOR COORDINATION OF CIVIL DOCUMENTS: ARCHITECTURAL 100.00' = CIVIL ENGINEERS VALUE AND INTERPOLATION SHALL BE

EXTERIOR DIMENSIONS ARE MEASURED FROM SHEATHING TO SHEATHING. WINDOWS AND DOORS ARE DIMENSIONED TO CENTERS. U.N.O. OR WHERE C.M.U. DIMENSIONS ARE USED.

INTERIOR DIMENSIONS ARE MEASURED FACE OF STUD WALL TO FACE OF STUD WALLS. INTERIOR DOORS AND CASED OPENINGS ARE TO BE MIN. 6" OFF WALLS FOR TRIM ALLOWANCE U.N.O.

## **COLOR SYSTEM B**

**B15 - DARK GRAYISH YELLOW** B6 - MODERATE BROWN **B18 - DARK REDDISH BROWN** CORNICE B6 - MODERATE BROWN

FIRE ALARM: [F] 907.2.9; GROUP R-2, Exception: A

fire alarm system is not required in buildings not

over two stories in height where all dwelling units

separated from each other and public or common

dwelling unit has an exit directly to a public way,

areas by at least one-hour fire partitions and each

and contiguous attic and crawl spaces are

exit court or yard.



### PROJECT DESCRIPTION

**GENERAL PROJECT DESCRIPTION:** 

This document set depicts the renovation of an existing 4unit aparmtent building into a 5 unit apartment building. All units will have separate entrees. The existing zoning is R-2. The scope of work consist of demolition of exterior non-conforming stairs, interior partitions, & damaged floor areas. The restoration of exterior siding. The re-building of exterior staircases. The replacement of damaged floors and structural elements. The construction of new wood and gyp board partitions and the replacement of windows. New electrical, plumbing, and mechanical systems will be installed.

NO.	DESCRIPTION	DATE
001	OWNER REVIEW	8/8/17

# WALL LEGEND BRICK WOOD STUD CMU CONCRETE NEW CONSTRUCTION **EXISTING**

SHEET LIST					
SHEET NUMBER	SHEET NAME				
A 1.0	COVER SHEET W/CODE DATA, INFO, MAP, ETC.				
A-1.1	SITE PLAN				
A-1.2	1.2 DEMOLITION PLANS				
A-1.3	PROPOSED FOUNDATION & FIRST FLOOR PLANS				
A-1.4	PROPOSED SECOND FLOOR & LOFT PLANS				
A-1.5	ENLARGED FLOOR PLANS				
A-2.0	EXTERIOR ELEVATIONS				
A-2.1	A-2.1 EXTERIOR ELEVATIONS				
A-2.2	SECTIONS				
A-4.1	ELECTRICAL PLANS				

### **CODE INFORMATION**

**APPLICABLE CODES:** MICHIGAN BUILDING CODE 2015 MICHIGAN MECHANICAL CODE 2015

ICC/ANSI A 117.7

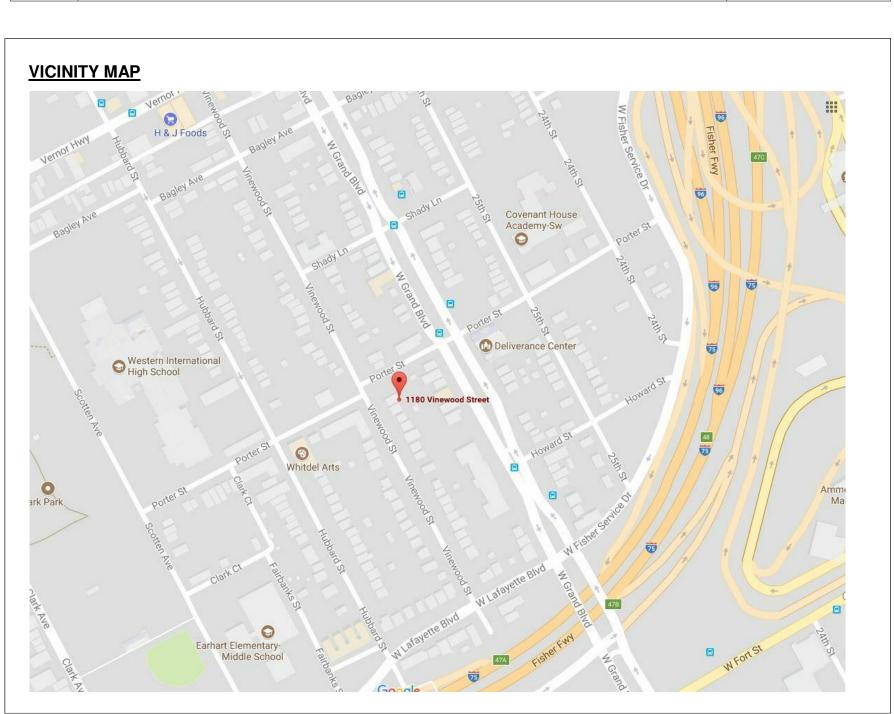
- MICHIGAN PLUMBING CODE 2015 MICHIGAN ELECTRICAL CODE Pt8 2014 NATIONAL ELECTRICAL CODE 2014
- MICHIGAN UNIFORM ENERGY CODE 2015; WITH AMMENDMENTS NFPA 1, UNIFORM FIRE CODE 2012
- LOCAL ENFORCEMENT AUTHORITY:
- CITY OF DETROOIT, MICHIGAN
- **GENERAL PROJECT AND CODE DATA:** Building area - 2,882 s.f.
- Use Group R-2 (310) Construction Type – V-B (Table 601)
- FIRE RESISTANCE RATINGS (TABLE 601) exception 'e', (1) hr reduction Structural frame = 0 hr= 0 hr Bearing Walls (ext) (0) hr = 0 hrBearing Walls (int) (0) hr = 0 hr (0) hr Nonbearing walls/part.
- OCCUPANT LOAD: (TABLE 1004.1.1)
- Residential = 200 gross 2,882/200 = 15

Floor Construction Roof Construction

Egress width (1005.1) with sprinkler; =  $.2 \times 15 = 3$ "; provided throughout to exit doors Exit access travel distance (Table 1016.1) 250 ft. allowed; less than 212 ft. provided

= 0 hr

- Accessible means of egress (Section 1007) exception 1 "...not reg'd in alteration...", two
- Number of exits (Table 1019.1) 2 req'd; three provided

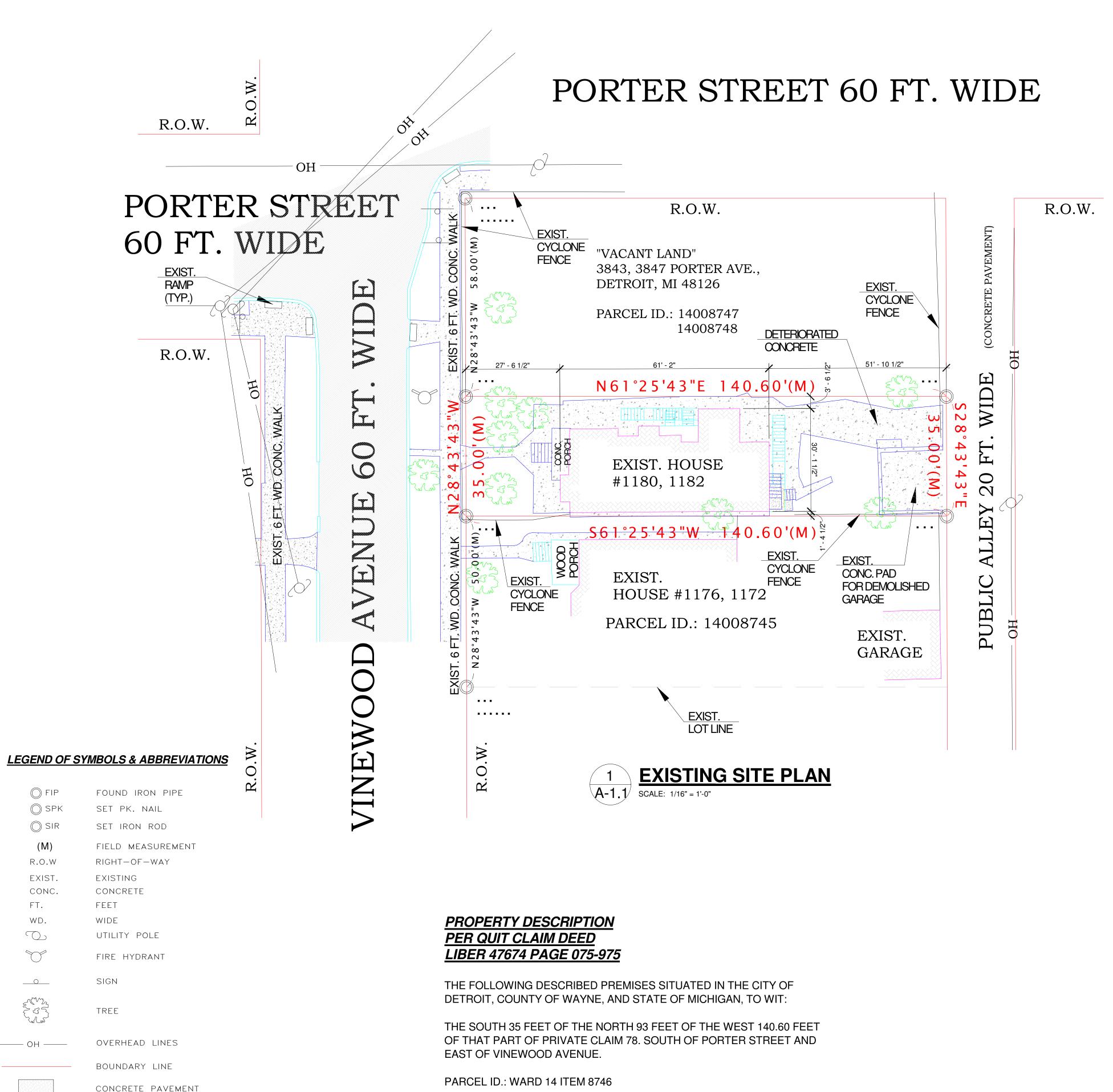


GENERAL SYMBOLS					
	SECTION WITH SECTION NUMBER & NAME				
	DETAIL WITH DETAIL NUMBER & NAME				
	WINDOW TYPE				
	DOOR TYPE				
	LEVEL WITH NAME & HEIGHT				
	REVISION				
	NORTH DESIGNATION				

<u>ABREVIATIONS</u>	
ACT AFF BD BLKG CMU CONC DET EA EL EQ EXIST EXT FF GB GYP HM INSUL INT	ACOUSTICAL CEILING TILE ABOVE FINISH FLOOR BOARD BLOCKING CONCRETE MASONRY UNIT CONCRETE DETAIL EACH ELEVATION EQUAL EXISTING EXTERIOR FINISH FLOOR GYPSUM HOLLOW METAL INSULATION INTERIOR MATERIAI
MTL	METAL
MFR O.C.	MANUFACTURER ON CENTER
SIM TYP	SIMILAR TYPICAL

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COMMONLY KNOWN AS:

1180, 1182 VINEWOOD AVENUE, WAYNE COUNTY, DETROIT, MI 48216

R.O.W

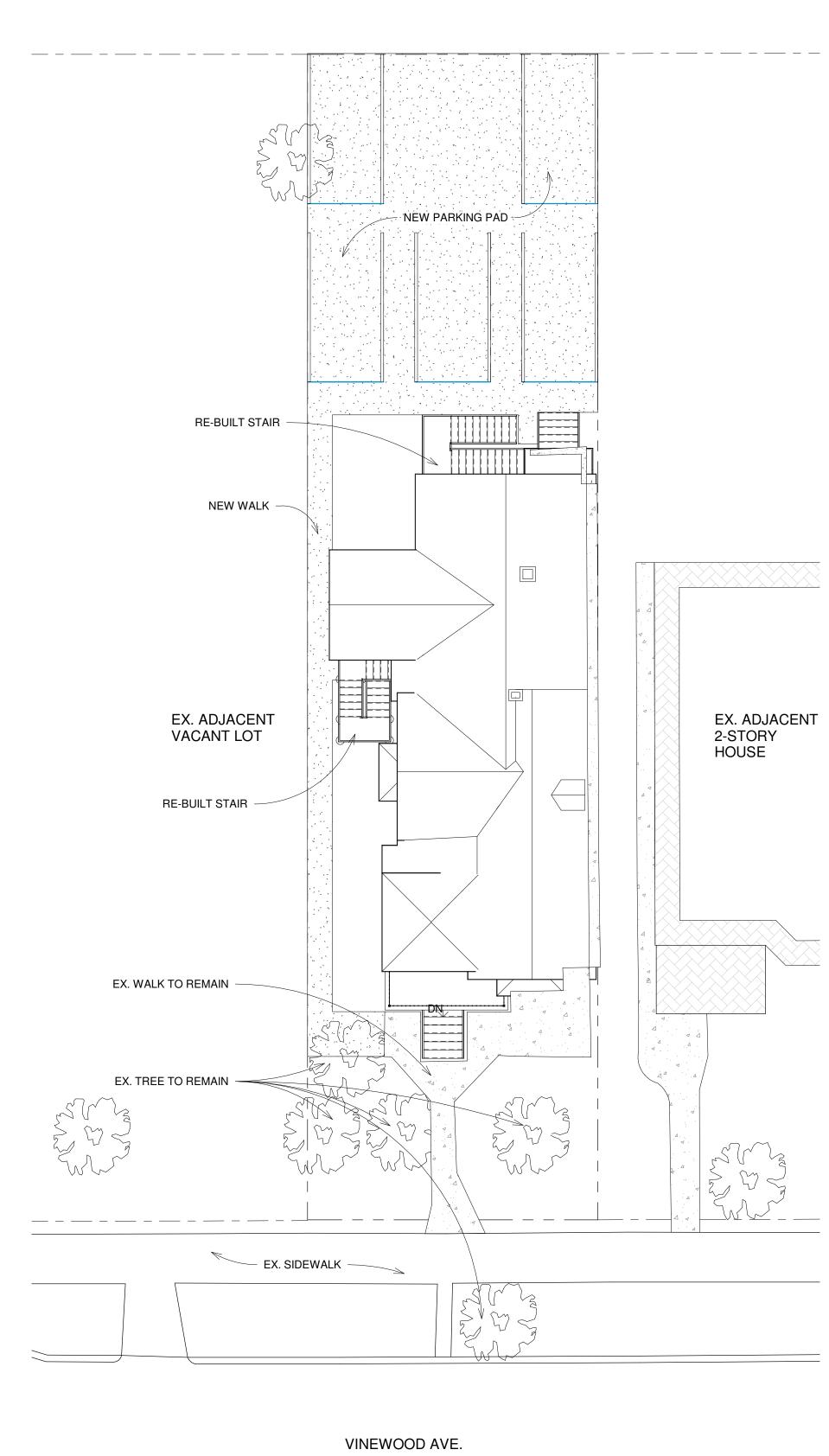
EXIST.

CONC.

FT.

WD.

ASPHALT PAVEMENT





of U.S. COPYRIGHT LAWS and will be subject to civil damages NO. DESCRIPTION DATE

A-1.1

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#### **DEMOLITION NOTES:**

Regulatory Requirements:

Comply with governing EPA notification regulations before starting demolition. Comply with hauling and disposal regulations of authorities having jurisdiction. Obtain and pay for all permits required. Where toxic substances are suspected to be present, particularly lead paint and asbestos, a certified removal entity shall be retained and follow governing agency guidelines for removal and disposal.

- As part of the project scope, the Contractor shall prepare all drawings, documents, and applications and shall obtain all government agency approvals and permits required for demolition activities.

- Conduct demolition operations and remove materials to ensure minimum interference with roads, streets, walks, and other adjacent occupied and utilized

- Do not close or obstruct streets, walks, or other adjacent occupied or utilized facilities without permission from authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations. - Conduct demolition operations to prevent injury to people and damage to adjacent buildings and facilities to remain. Ensure safe passage of people around demolition

- Erect temporary protection, such as walks, fences, railings, canopies, and covered passageways, where required by authorities having jurisdiction. - Maintain temporary protection to people at exterior areas of the existing building

where decorative medallion removal work is being done. - Protect existing site improvements, appurtenances, and landscaping that are

designated to remain in place. - Provide and maintain interior and exterior shoring, bracing, or structural support to preserve stability and prevent movement, settlement, or collapse of buildings to be

demolished and adjacent buildings to remain. - Strengthen or add new supports when required during progress of demolition. - Verify that utilities have been disconnected and capped.

- Survey existing conditions and correlate with requirements indicated to determine extent of demolition and recycling required. - Survey condition of the building to determine whether removing any element might

result in a structural deficiency or unplanned collapse of any portion of the structure or adjacent structures during demolition. - Retain a licensed and qualified structural engineer to provide analysis, including

calculations, necessary to ensure the safe execution of the demolition work. Bearing walls, structural steel, concrete foundations and supported slabs with structural framing shall not be altered without a field investigation by the architect or a structural engineer.

- Demolition drawings indicate general areas of demolition only. Extent of removal of existing construction materials to be determined by field investigation and coordination with architectural, mechanical, electrical, and plumbing documents. Existing mechanical, plumbing, and electrical to be relocated per drawings, coordinate with contractors as required. - Coordinate removal of existing items with proposed framing details, interior elevations, and details. Provide temporary structural support as required prior to structural demolition.

- Patch and repair existing materials to remain as required where removal of existing construction or where requirements of new construction necessitates cutting or altering existing materials. Existing walls, floors, and ceiling to remain intact as is indicated on drawings. Coordinate with architectural, mechanical, plumbing, and electrical documents. - All demolition work shall attempt to salvage adjacent areas and re-usable

materials to the extents possible. Verify Owner's intent to reuse or store any building components prior to disposal. Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain property of owner, demolished materials shall become the Contractor's property and shall be removed, recycled, or disposed from Project site in an appropriate and legal manner. - Every attempt shall be made by the demolition contractor to separate building

materials into recyclable content. - Locate demolition equipment throughout the building and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or

- Remove structural framing members and lower to ground by method suitable to avoid free fall and to prevent ground impact or dust generation. Disposal Practices and Hauling:

- Legally transport and dispose of materials that cannot be delivered to a source-

separated or mixed recycling facility to a transfer station or disposal facility that can legally accept the materials for the purpose of disposal. - Use a permitted waste hauler or Contractor's trucking services and personnel. To confirm valid permitted status of waste haulers, contact the appropriate waste

management agency. - Become familiar with the conditions for acceptance of new construction, excavation and demolition materials at recycling facilities, prior to delivering

- Deliver to facilities that can legally accept new construction, excavation and demolition materials for purpose of re-use, recycling, composting, or disposal. - Do not burn, bury or otherwise dispose of rubbish and waste materials on project

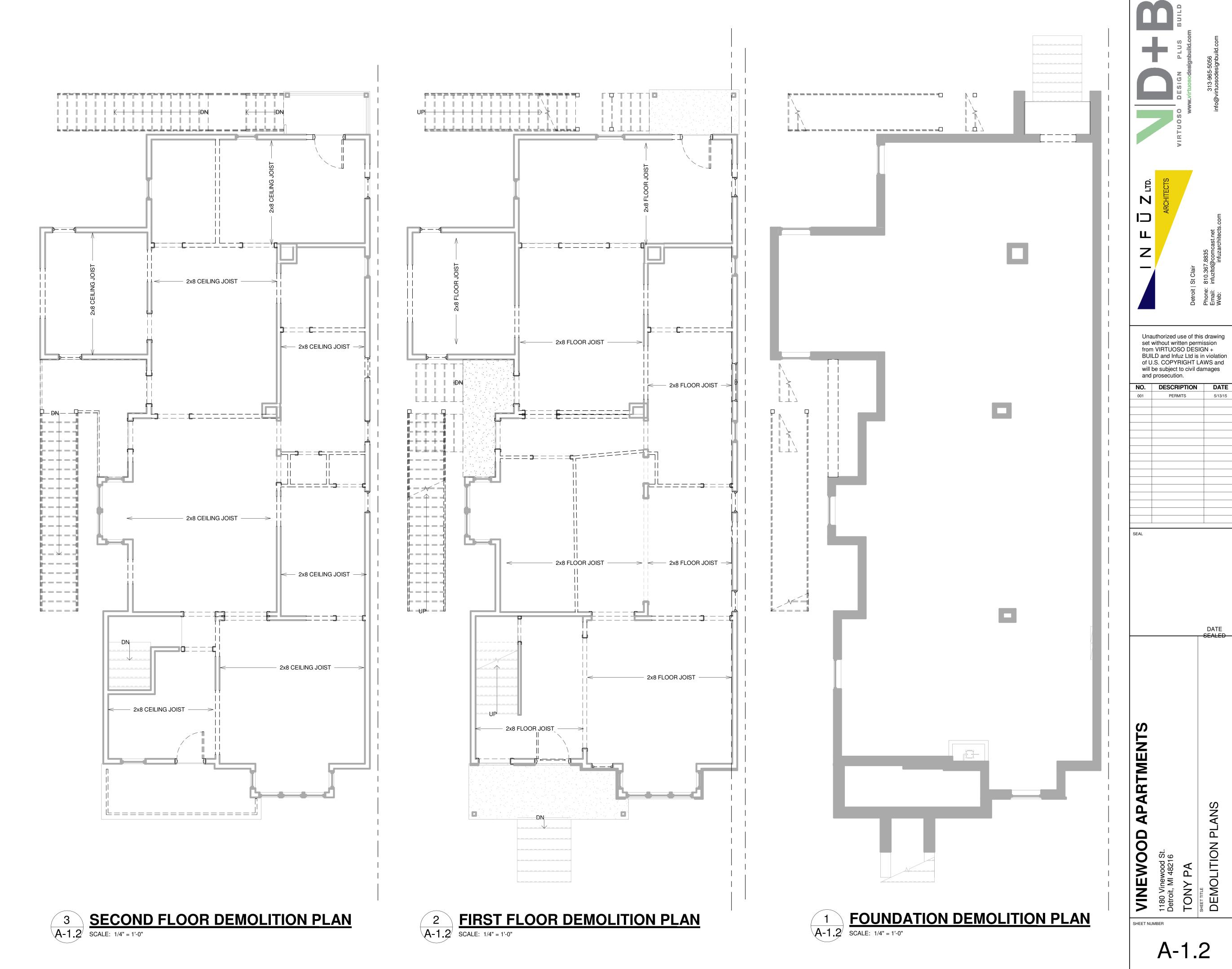
- Demolish concrete and masonry in sizes that will be suitable for acceptance at recycling or disposal facilities. Electrical Demolition:

- Safety-related work practices shall be employed to prevent electric shock or electrical contacts, when work is performed near or on equipment or circuits which are or may be energized. Live parts shall be de-energized before work commences on them. Only qualified electrician may work on energized circuits or equipment. - The circuits and equipment to be worked on shall be disconnected from all electric energy sources. Electric equipment or circuits which have been de-energized shall be locked out or tagged or both.

- A qualified electrician shall use test equipment (volt-ohm meter, etc.) and shall verify that the circuit and equipment are de-energized. If the circuit is over 600 volts, the test equipment shall be checked for proper operation immediately before and immediately after this test. - Stored electric energy which might endanger personnel shall be released.

Capacitors shall be discharged and high capacitance elements shall be shortcircuited and grounded, if the stored electric energy might endanger personnel. - A qualified electrician shall conduct tests and visual inspections to verify that all tools, electrical jumpers, shorts, grounds, and other such devices have been removed, so that the circuits and equipment can be safety energized.

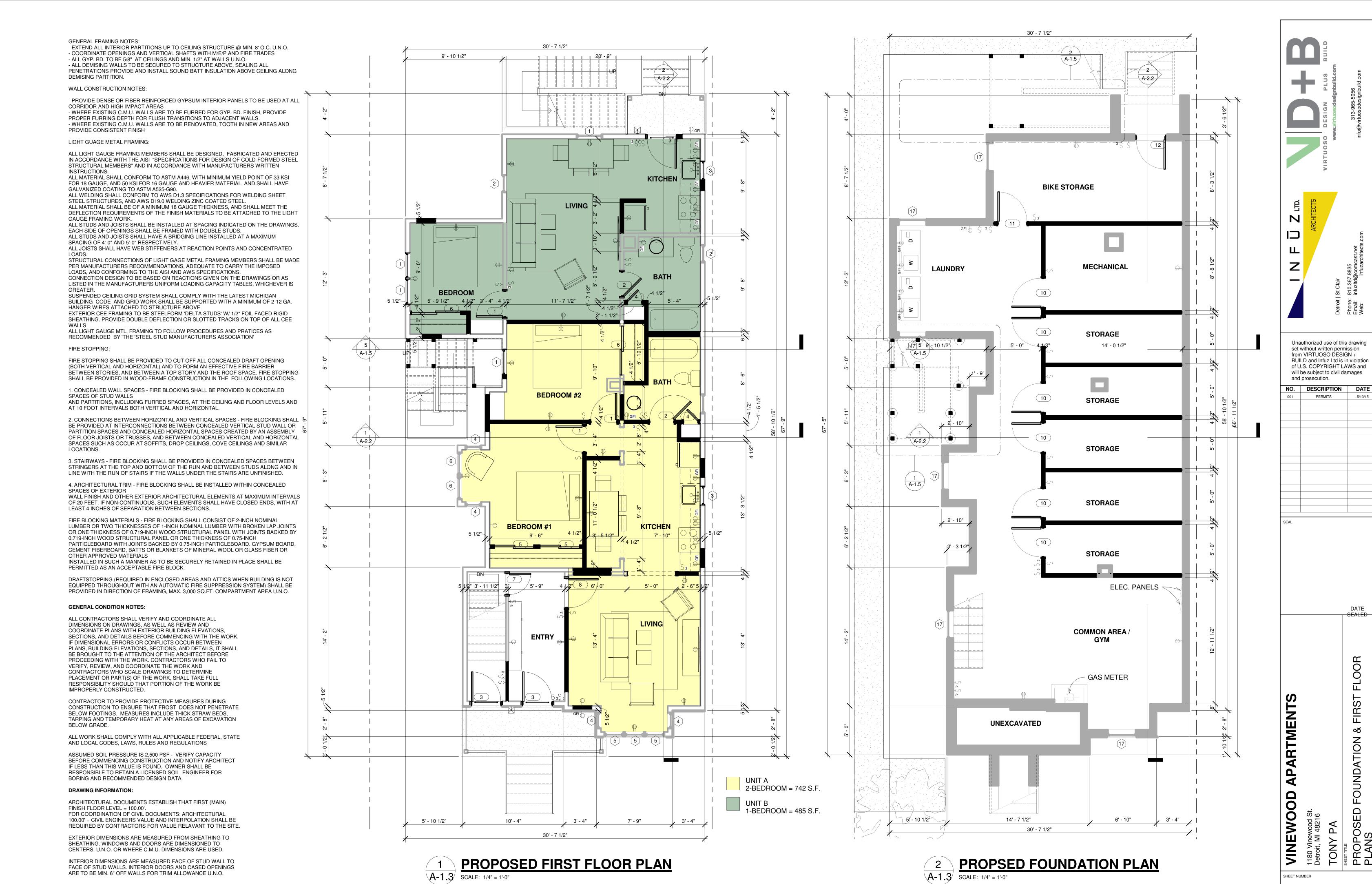
- All gas to be shut off to areas of demolition by a qualified contractor. Test for leaks prior to commencing work. - Where applicable, provide new shut off valves where piping reaches area of



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DEMOLITION



FACE OF STUD WALLS. INTERIOR DOORS AND CASED OPENINGS ARE TO BE MIN. 6" OFF WALLS FOR TRIM ALLOWANCE U.N.O.

**A-1** 

DATE

**FIRST** 

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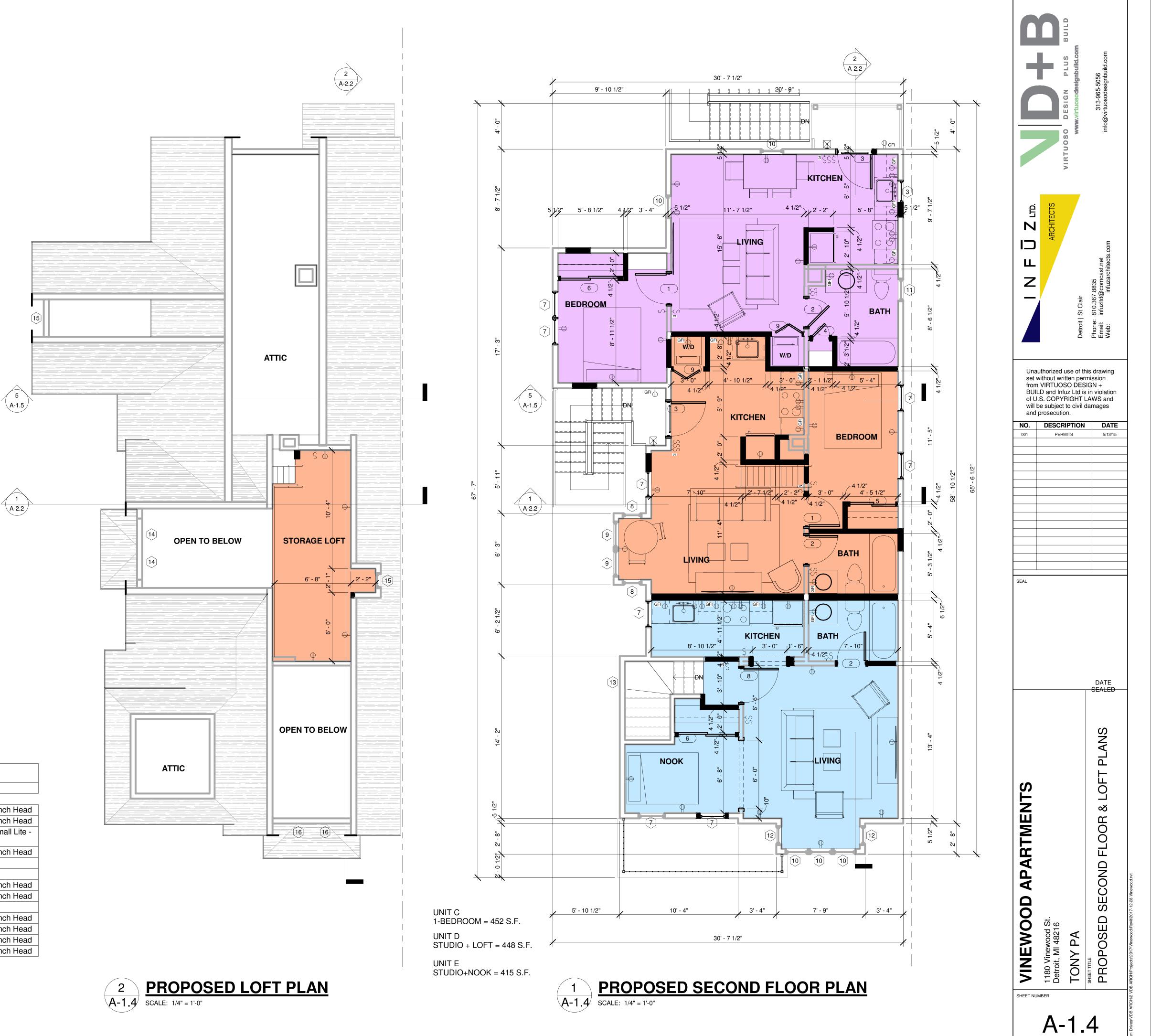
OUNDATION

ED

PROPOSE PLANS

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NEW DOOR SCHEDULE							
Mark	Count	Height	Width	Comments	Family		
1	5	6' - 8"	2' - 8"		_Dr - Sgl - Flsh - HM - 4inch Head		
2	5	6' - 8"	2' - 6"		_Dr - Sgl - Flsh - HM - 4inch Head		
3	5	6' - 8"	3' - 0"		_Dr - Sgl - Flsh - HM - Small Lite - 2inch Head		
4	3	6' - 8"	1' - 6"		_Dr - Sgl - Flsh - HM - 4inch Head		
5	3	6' - 8"	4' - 0"		Sliding-Closet		
6	4	6' - 8"	5' - 0"		Sliding-Closet		
7	1	6' - 2"	2' - 2"		_Dr - Sgl - Flsh - HM - 4inch Head		
8	2	6' - 8"	3' - 0"		_Dr - Sgl - Flsh - HM - 4inch Head		
9	2	6' - 8"	2' - 8"		Bifold-2 Panel		
10	6	6' - 8"	3' - 0"		_Dr - Sgl - Flsh - HM - 2inch Head		
11	1	6' - 8"	3' - 0"		_Dr - Sgl - Flsh - HM - 2inch Head		
12	1	6' - 8"	3' - 0"		_Dr - Sgl - Flsh - HM - 2inch Head		
13	1	6' - 8"	2' - 8"		Dr - Sql - Flsh - HM - 4inch Head		



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