

# HDC2023-00050

## APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226

10/17/23

### CERTIFICATE OF APPROPRIATENESS

Edmund Fish  
Peerless Realty LLC  
410 S. Maple Ave.  
Falls Church, VA 22046

**RE: Application Number HDC2023-00050; 603-609 E. Milwaukee; Jam Handy/North End-East Grand Boulevard Historic District  
Project Scope: Erect addition**

Dear Applicant,

At the Regular Meeting that was held on October 11, 2023, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on October 17, 2023, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

- *Erect addition per submitted drawings, documents, and scope of work.*

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or [hdc@detroitmi.gov](mailto:hdc@detroitmi.gov).

For the Commission:



Garrick B. Landsberg, Director



# STORAGE UNIT ADDITION FOR PROJECT PEERLESS

603 E. MILWAUKEE ST.  
DETROIT, MI. 48202

DETROIT HISTORIC DISTRICT COMMISSION





PROJECT PEERLESS

# CURRENT PHOTOGRAPHS

## CURRENT PHOTOGRAPHS

### EAST ELEVATION 1



**This existing block addition on 603 E. Milwaukee will be demolished. This scope of work was approved by the HDC in our Notice of Denial (denial was for other scope of work not including this structure) on 11/16/2021.**

EAST ELEVATION 2



EAST ELEVATION 3





PROJECT PEERLESS

**SCOPE OF WORK**



## **EXISTING CONDITIONS**

603 E. Milwaukee is a corner property in the Jam Handy / North End East Grand Blvd. historic district. It is a brick and steel frame construction. On the east side of the building is a miscellaneous single-story concrete block structure, which currently sits as an addition to the main brick building on the site. We have previously proposed an application to the HDC to demolish the existing concrete block structure, which is still scheduled to occur. This scope of demolition was approved previously by the HDC in a 'Notice of Denial' form (denial was for other scope of work not including this structure) on 11/16/2021.

## **DESCRIPTION OF PROJECT**

We are proposing to construct a new single-story, slab on grade, masonry wall storage addition with an outdoor patio / recreation area on the roof at 603 E. Milwaukee. The new addition and patio will be placed in the location of the existing masonry structure and will be approximately 41'-0" L x 18'-0" W x 19'-0" H. This new addition will be used by the tenants. We are planning to use masonry block, painted black, for the field stone of the façade, and burnished block below to match the existing foundation sill on the building. We are also going to have pressure treated lumber wood stairs stained black, and a painted black metal railing. For reference, please see the following supportive drawings and images later in this document.





**PROJECT PEERLESS**

# **PROPOSED NEW STORAGE ADDITION**

City of Detroit,  
Wayne County, Michigan  
**CONSTRUCTION DOCUMENTS**

Prepared For  
**Ferry Street Ventures, LLC**

PART OF THE NE 1/4 OF SECTION 31,  
CITY OF DETROIT,  
WAYNE COUNTY, MICHIGAN

**Owner**

FERRY STREET VENTURES, LLC  
1520 NORTH JOHNSON STREET  
ARLINGTON, VA 22201  
CONTACT:  
MR. EDMUND J. FISH  
EMAIL: FISH.EDMUNDJ@GMAIL.COM

**Architect**

DS ARCHITECTS, INC  
7300 DIXIE HIGHWAY  
SUITE 600  
CLARKSTON, MI 48346  
CONTACT:  
MR. DEREK SLUPKA, AIA, LEED, AP  
PHONE: (248)605-2030  
EMAIL: DEREK@DSARCHITECTS.COM

**Civil Engineer**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. JASON R. LONGHURST, P.E.  
PHONE: (248) 332-7931  
EMAIL: JLONGHURST@NFE-ENGR.COM

**Landscape Architect**

NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVENUE  
PONTIAC, MICHIGAN 48342  
CONTACT:  
MR. GEORGE OSTROWSKI  
PHONE: (248) 332-7931  
EMAIL: GOSTROWSI@NFE-ENGR.COM



LOCATION MAP

**SHEET INDEX**

C0	Cover Sheet
C1	Boundary and Topographic Survey
C2	Demolition Plan
C3	Engineering Plan
C4	Storm Profile
C5	Soil Erosion Control and Drainage Area Plan
C6	Notes and Details
C7	Notes and Details
C8	Notes and Details
L1	Landscape Plan

**LEGAL DESCRIPTION**

PARCEL 1  
03001776  
603 E MILWAUKEE AVE

LOTS 1 AND 2, SUB OF LOTS 88-95, FRISBIE AND FOXEN'S SUB, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 8, PAGE 78 OF PLATS, WAYNE COUNTY RECORDS.

PARCEL 2  
03001777  
609 E MILWAUKEE AVE

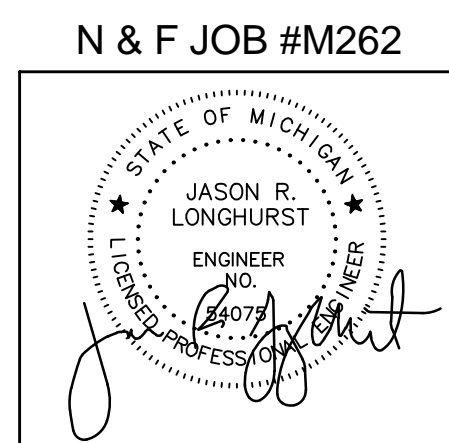
LOT 3, ALSO THE WEST 10' OF LOT 4, SUB OF LOTS 88-95, FRISBIE AND FOXEN'S SUB, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 8, PAGE 78 OF PLATS, WAYNE COUNTY RECORDS.

**REVISIONS:**

2021-12-03	ISSUED FOR OWNER REVIEW
2022-05-11	REVISED PER OWNER
2022-08-18	REVISED PER ROW REVIEW
2022-08-25	REVISED PER ROW REVIEW
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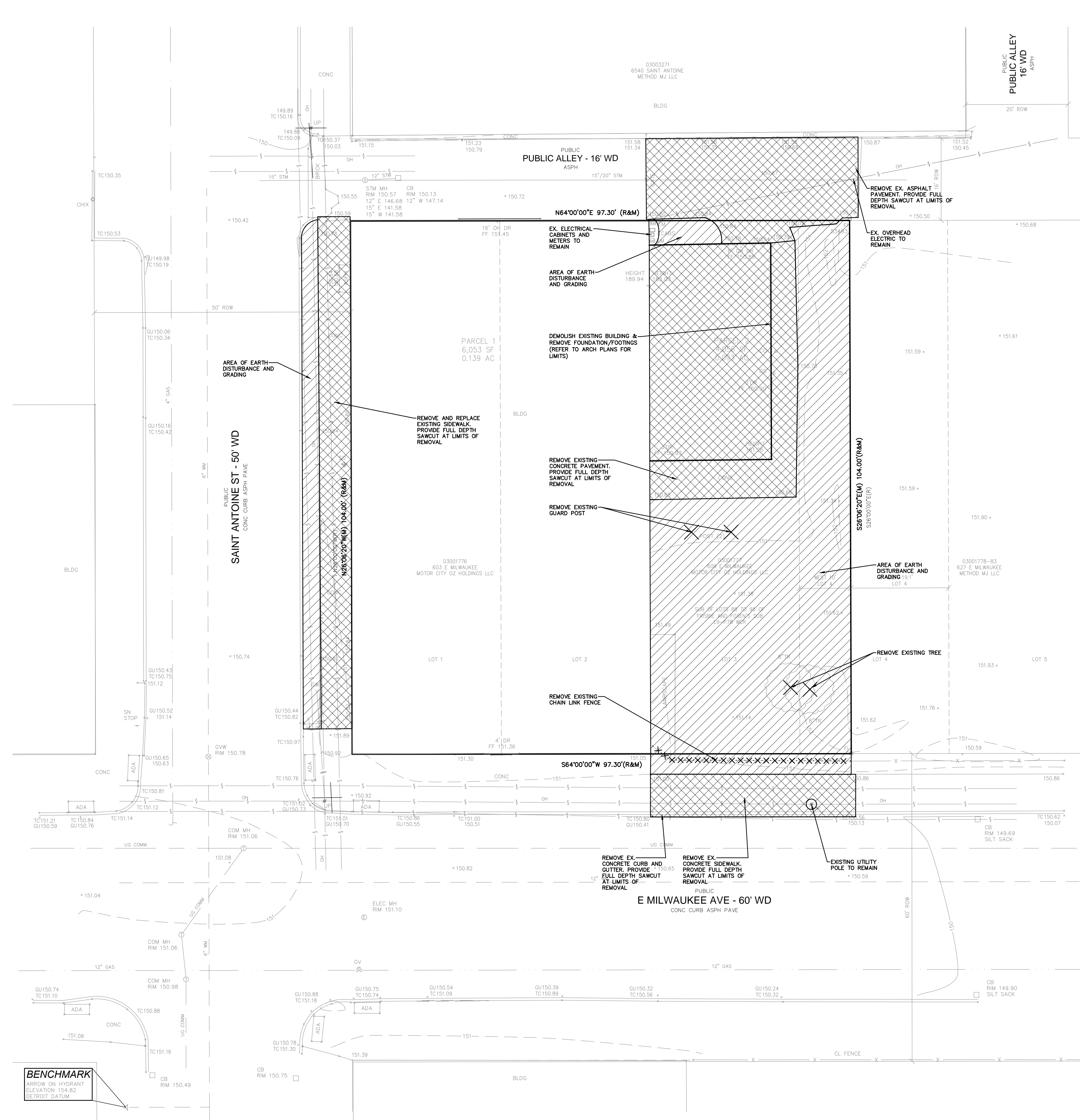
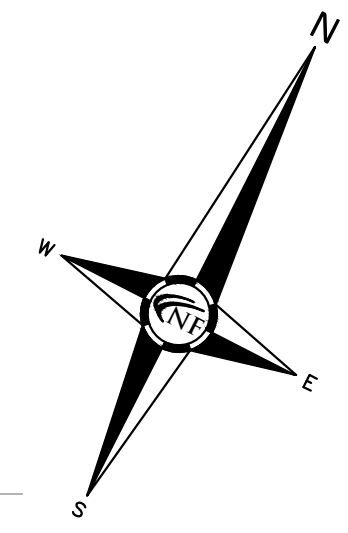
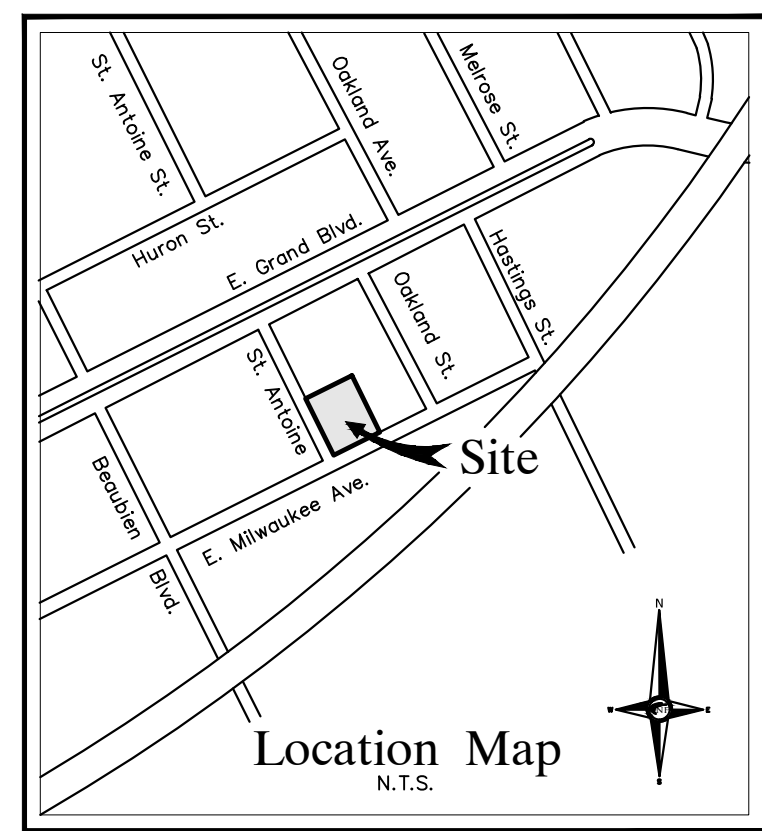
Project Name

**603 E MILWAUKEE AVE  
DETROIT MI.**



N & F JOB #M262  
CIVIL ENGINEERS  
LAND SURVEYORS  
LAND PLANNERS  
NOWAK & FRAUS ENGINEERS  
46777 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM





**DEMOLITION NOTES**  
DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LIKEWISE SHALL ARRANGE FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER, AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE/ACTIVE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.  
\* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANIES ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANY GAS SERVICES SHALL BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT-OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

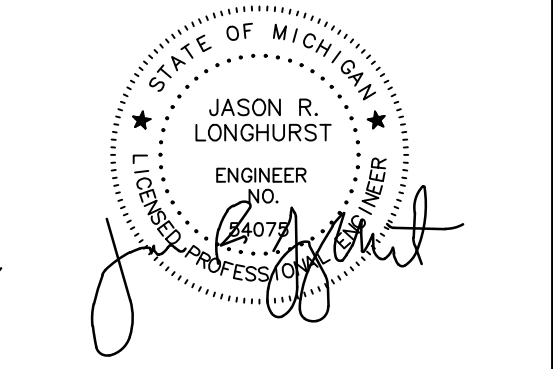
ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.  
ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH DOT CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

SEAL



PROJECT  
603 E Milwaukee Ave  
Detroit, Michigan

CLIENT  
Ferry Street Ventures, LLC  
1520 North Johnson Street  
Arlington, VA 22201

PROJECT LOCATION  
Part of the Northeast 1/4  
of Section 31  
Town 1 South, Range 12  
East  
City of Detroit,  
Wayne County, Michigan

SHEET  
Demolition Plan



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2023-09-11	REVISED PER OWNER
2023-09-28	REVISED PER OWNER

DRAWN BY:  
**L. Gross**

DESIGNED BY:  
**T. Wood**

APPROVED BY:  
**J. Longhurst**

DATE:  
**December 1, 2021**

SCALE: 1" = 10'  
10 5 0 5 10 5

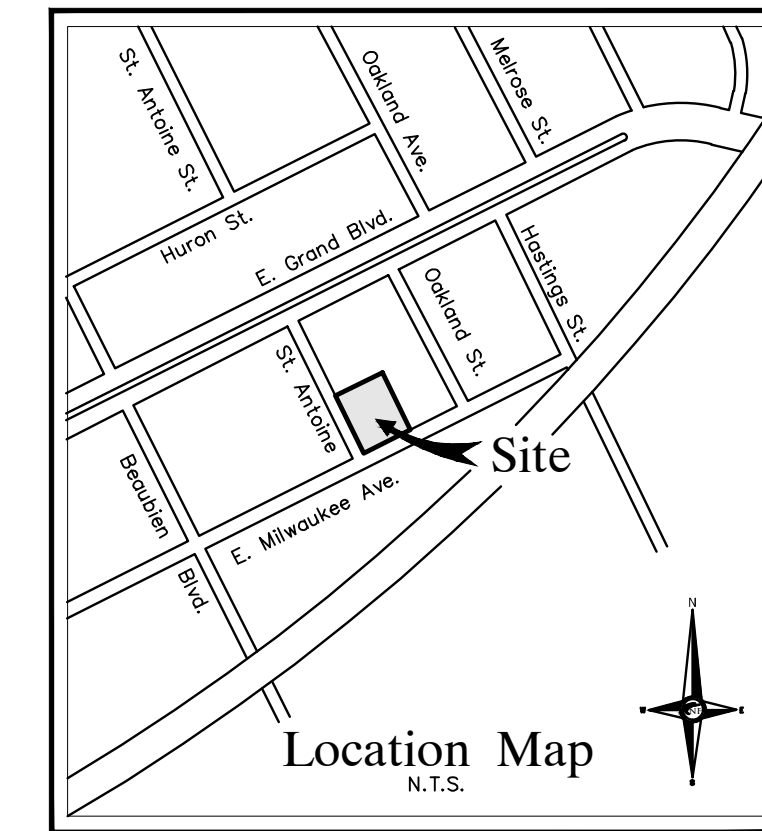
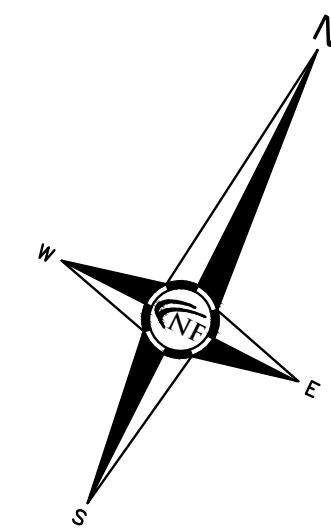
NFE JOB NO. **M262** SHEET NO. **C2**

**LEGEND**

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATER MAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	LIGHT POLE		OVERHEAD LINES
	SIGN		EXISTING GAS MAIN
	EXISTING GAS MAIN		EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED		12" MAPLE TO BE REMOVED
	INDICATES EXISTING TREE TO BE REMOVED		INDICATES AREAS OF PAVEMENT, BUILDINGS, ETC. TO BE REMOVED
	INDICATES AREAS OF EARTH DISTURBANCE AND GRADING		

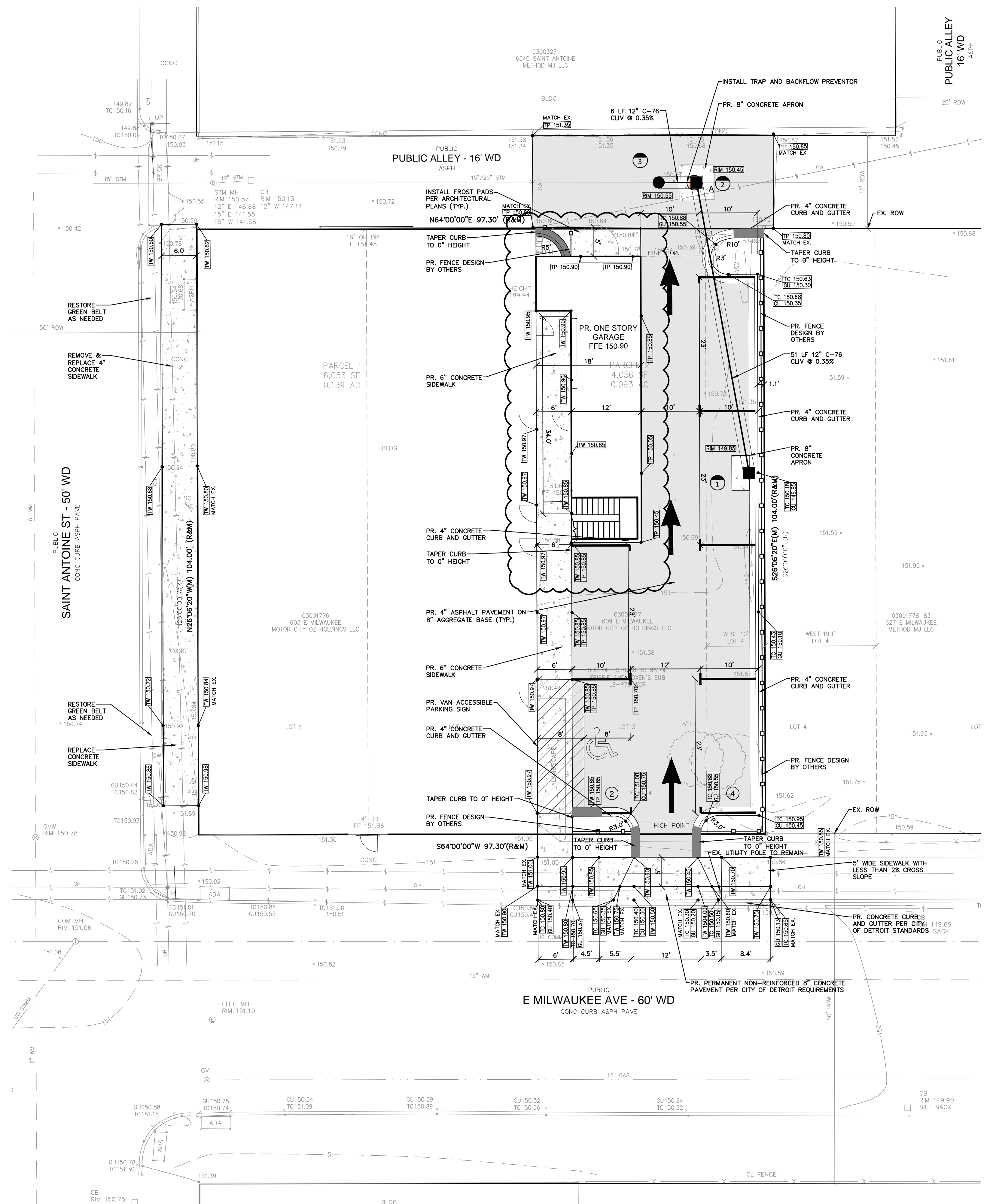
**UTILITY CROSSING SCHEDULE**

A PR. 12" STORM B/P 145.40  
EX. 15" STORM T/P 143.39 V.I.F.  
VERTICAL CLEARANCE 2.11'



**NF ENGINEERS**  
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**FENCING AND LANDSCAPING**

FENCING AND LANDSCAPING WILL BE PART OF A DEFERRED SUBMITTAL.

**ROW SIDEWALK REPLACEMENT NOTE**

RESTORE DAMAGED PUBLIC SIDEWALKS ADJACENT TO THE PROPERTY PER DETAIL C-4452 AS DIRECTED BY THE CITY INSPECTOR.

**UTILITY CROSSING NOTE**

AT LOCATIONS WHERE THERE ARE CROSSING WITH EXISTING UTILITIES AND THEIR DEPTHS ARE UNKNOWN, 18" VERTICAL SEPARATION WILL BE MAINTAINED WHENEVER POSSIBLE. IF THE 18" SEPARATION IS NOT OBTAINABLE, A CONCRETE ENCASEMENT WILL BE INSTALLED AT THE CROSSING.

CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE AND A MINIMUM OF 10" HORIZONTAL SEPARATION BETWEEN UTILITIES WHERE 10" SEPARATION CANNOT BE MAINTAINED, 18" VERTICAL CLEARANCE SHALL BE PROVIDED AND UTILITIES SHALL BE CONSTRUCTED IN SEPARATE TRENCHES.

CONTRACTOR SHALL FIELD VERIFY EXACT DEPTH OF EXISTING PIPE WHERE EXISTING CROSSES PROPOSED, CONTACT ENGINEER IF CONFLICT OCCURS.

**NOTES**

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF DETROIT.

THE DESIGN WORKMANSHIP AND CONSTRUCTION MATERIALS SHALL BE IN GENERAL CONFORMANCE WITH THE CITY OF DETROIT WATER AND SEWAGE DEPARTMENT STORMWATER MANAGEMENT DESIGN MANUAL, LATEST ADDITION.

**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - MDOT HMA 4E1, 20A; SURFACE COURSE - MDOT HMA 5E1, 20A; ASPHALT CEMENT PENETRATION GRADE 58-22, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD;

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKewise ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADI.

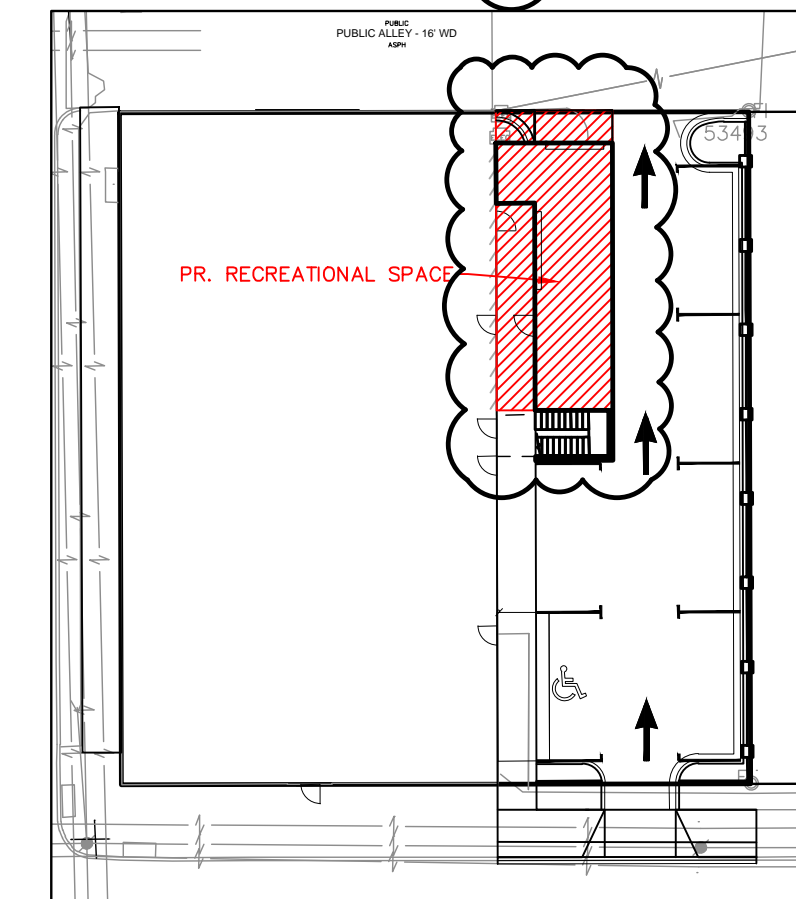
SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

**RECREATIONAL SPACE**

FIRST FLOOR IS A 6,023 S.F. MULTIFAMILY RESIDENTIAL  
SECOND FLOOR IS A 5,732 S.F. SINGLE FAMILY RESIDENTIAL  
TOTAL SQUARE FOOTAGE IS 6,023 + 5,732 = 11,755 S.F.  
REQUIRED RECREATIONAL SPACE AREA IS 0.07 \* 11,755 S.F. = 823 S.F.  
PROVIDED RECREATIONAL SPACE AREA IS 835 S.F.



**RECREATIONAL SPACE RATIO EXHIBIT**

SCALE 1"=30'

**ESTIMATED QUANTITIES**

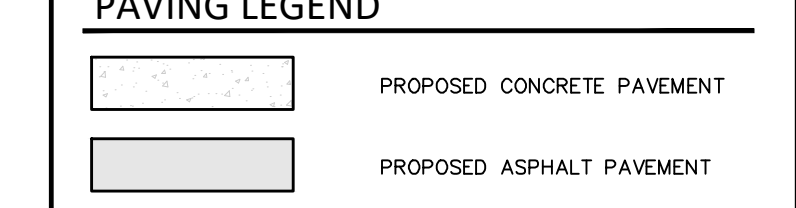
**PAVING**

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" 21AA BASE	335	S.Y.
4" CONCRETE SIDEWALK	600	S.F.
6" CONCRETE SIDEWALK	760	S.F.
8" NON-REINFORCED CONCRETE ROW PAVEMENT	12	S.Y.
4" CONCRETE CURB & GUTTER	205	S.F.
8" CONCRETE APRON	10	S.Y.

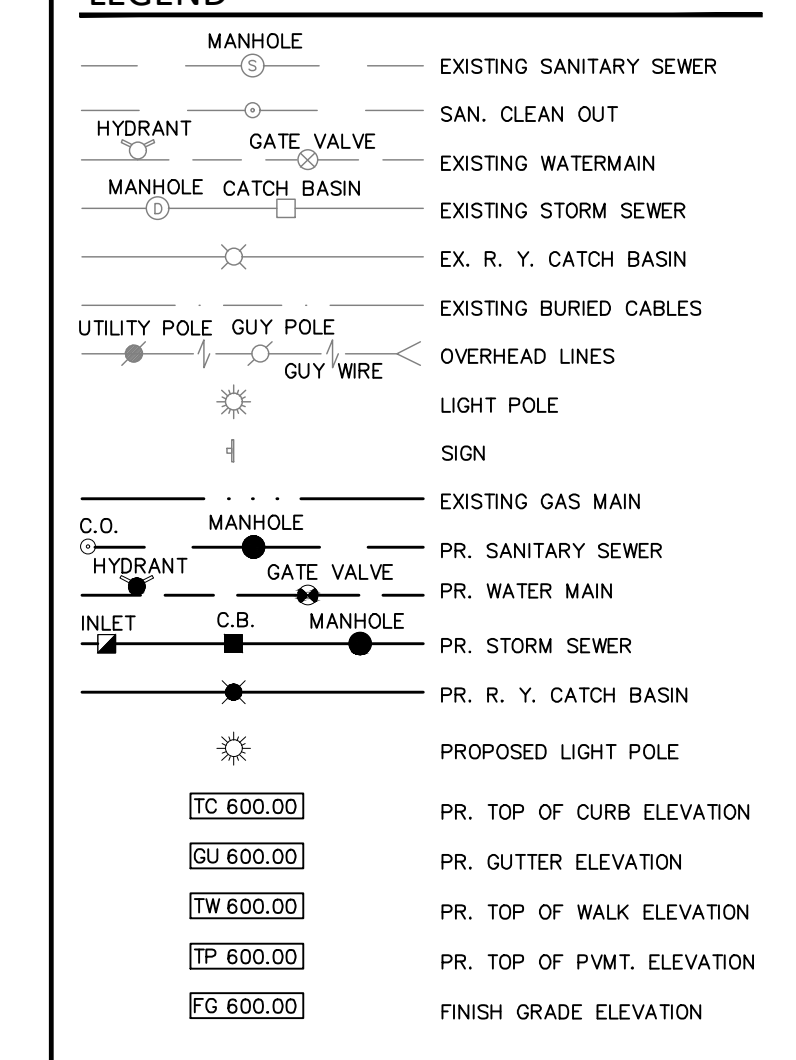
**STORM**

DESCRIPTION	QUANTITY	UNITS
12" DIA. CLIV C-76 STORM SEWER PIPE	60	L.F.
2' DIA. CATCH BASIN (CATCH BASIN A)	1	EA.
4' DIA. CATCH BASIN WITH TRAP AND 2' SUMP (CATCH BASIN B)	1	EA.
BUILD 4' DIA. MANHOLE OVER EX. PIPE	1	EA.

**PAVING LEGEND**



**LEGEND**



**RECREATIONAL SPACE**

SEAL

**PROJECT**  
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Detroit, Michigan

**CLIENT**  
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1520 North Johnson Street  
Arlington, VA 22201

**PROJECT LOCATION**  
Part of the Northeast 1/4  
of Section 31  
Town 1 South, Range 12  
East  
City of Detroit,  
Wayne County, Michigan

**SHEET**  
Engineering Plan



**DATE ISSUED/REVISED**

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**DRAWN BY:**  
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**DESIGNED BY:**  
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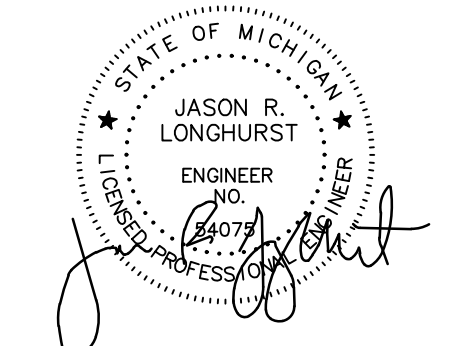
**APPROVED BY:**  
J. Longhurst

**DATE:**  
December 1, 2021

**SCALE:** 1" = 10'

**NFE JOB NO. SHEET NO.**  
M262 C3

SEAL



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SHEET  
Storm Profile



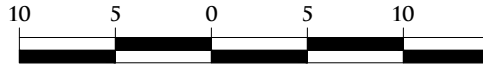
Know what's below  
Call before you dig.

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DRAWN BY:  
A. Panley  
DESIGNED BY:  
A. Panley  
APPROVED BY:  
J. Longhurst

DATE:  
December 1, 2021

SCALE: 1" = 10' / 1" = 1'



NFE JOB NO. M262 SHEET NO. C4

Storm Drainage Structure Schedule	
Structure Name	Structure Details
#1 PR. 2' DIA. CATCH BASIN A PER CITY OF DETROIT DETAILS	PR. RIM 149.85 PR. 12" NW. INV. 145.68
#2 PR. 4' DIA CATCH BASIN B PER CITY OF DETROIT DETAILS INSTALL TIDEFLEX BACKFLOW PREVENTOR AND TRAP ON SW LINE	PR. RIM 150.45 PR. 12" SE. INV. 145.50 PR. 12" SW. INV. 145.40
#3 4' DIA. MANHOLE BUILD OVER EX. 15" STORM SEWER PIPE V.I.F. EX. STORM INV.	PR. RIM 150.55 PR. 12" NE. INV. 145.38 EX. 15" NE. INV. 141.85 EX. 15" SW. INV. 141.85

ITEM	QTY.	DESCRIPTION	MAT'L
1	1	ULTRAFLEX CHECKMATE CHECK VALVE	MUST BE SUPPLIED
2	1	CLAMP	MUST BE SUPPLIED

NOTES:  
1. PIPE INSIDE DIAMETER - MUST BE SUPPLIED (MINIMUM ALLOWABLE PIPE DIAMETER - 9.50 INCHES)  
2. CLAMP INSTALLED IN UPSTREAM OR DOWNSTREAM CUFF DEPENDING ON INSTALLATION ORIENTATION  
3. MAXIMUM ALLOWABLE BACK PRESSURE - 71.0 FEET  
4. IT IS RECOMMENDED TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART

PRELIMINARY DRAWING  
NOT FOR APPROVAL PURPOSES

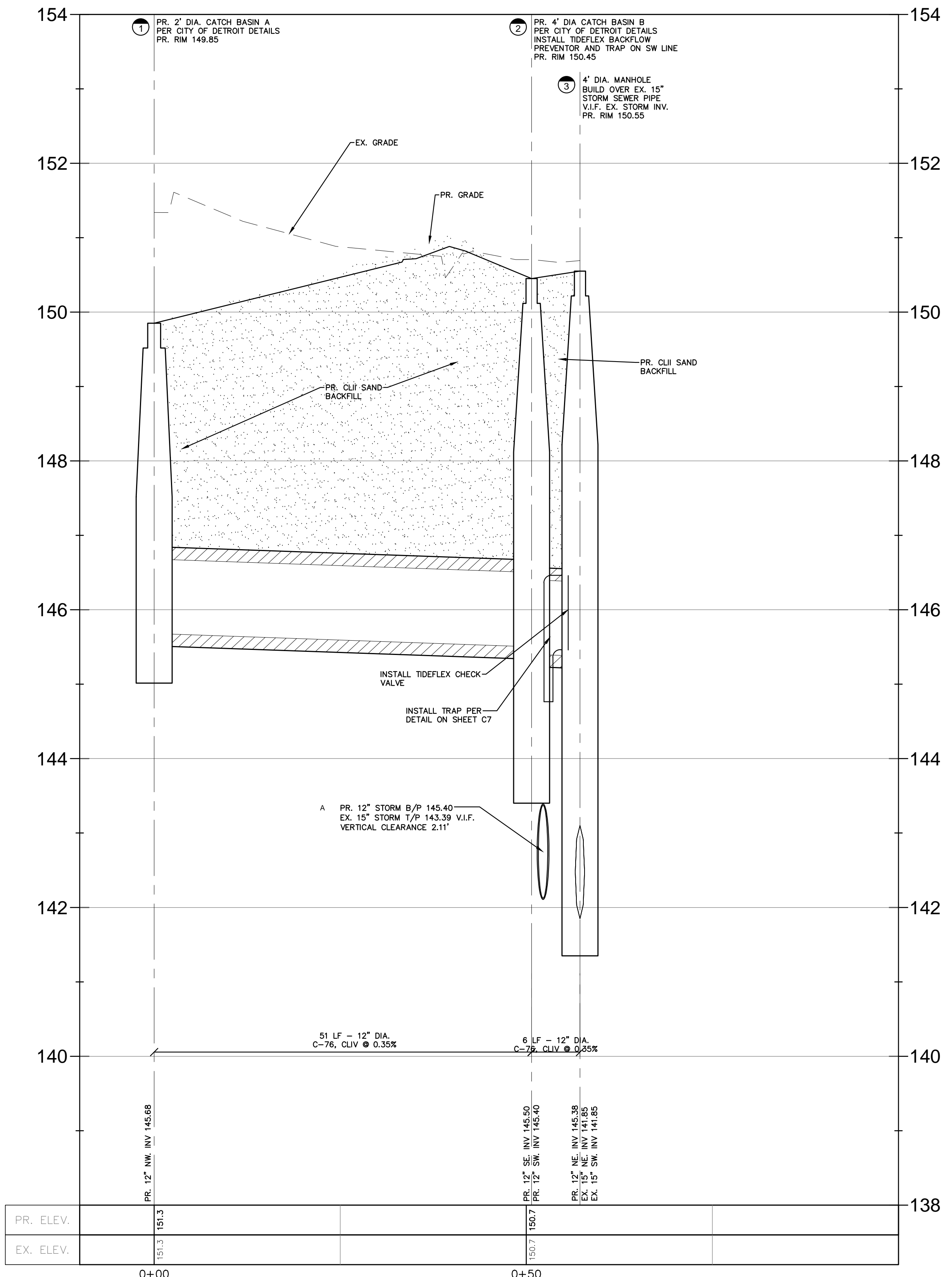
OPPORTUNITY No: XXXXX SALES ORDER No: TXX-XXXX  
600 N. BELL AVE. CARNEGIE, PA. 15106  
info@tideflex.com 412.779.0044 fax 412.779.5410  
A Division of Red Valve Company, Inc.

TT PRODUCT: 10" ULTRAFLEX CHECKMATE CHECK VALVE  
TT PART No: CMCBUF-100-APPROVAL  
DR. BY: TLM DATE: 1-31-17 CHKD. BY: DATE:  
CAD SCALE: FULL REV  
PLOT SCALE: 1 = 1 DWG No: TTS-XXXX

\* PATENT PENDING \*

PROPRIETARY NOTICE  
THIS DOCUMENT CONTAINS PROPRIETARY INFORMATION OF TIDEFLEX TECHNOLOGIES. IT IS LOANED BY TIDEFLEX TECHNOLOGIES, SUBJECT TO THE CONDITIONS THAT IT AND THE INFORMATION EMBODIED THEREIN SHALL BE USED ONLY FOR RECORD AND REFERENCE PURPOSES. IT SHALL NOT BE USED OR CAUSED TO BE USED IN ANY WAY PREJUDICIAL TO THE INTERESTS OF TIDEFLEX TECHNOLOGIES. IT SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR PART, OR DISCLOSED TO ANYONE WITHOUT THE DIRECT WRITTEN PERMISSION OF TIDEFLEX TECHNOLOGIES AND SHALL BE RETURNED UPON REQUEST.

CUSTOMER: XXX  
ORDER No: XXX



**Time of Concentration**  
T min = 5 Minutes  
I = 38.4164 \* (10^0.2082) / ((12.3258 + D)^0.8405)  
n (Conc.) = 0.013  
n (Pvc) = 0.012

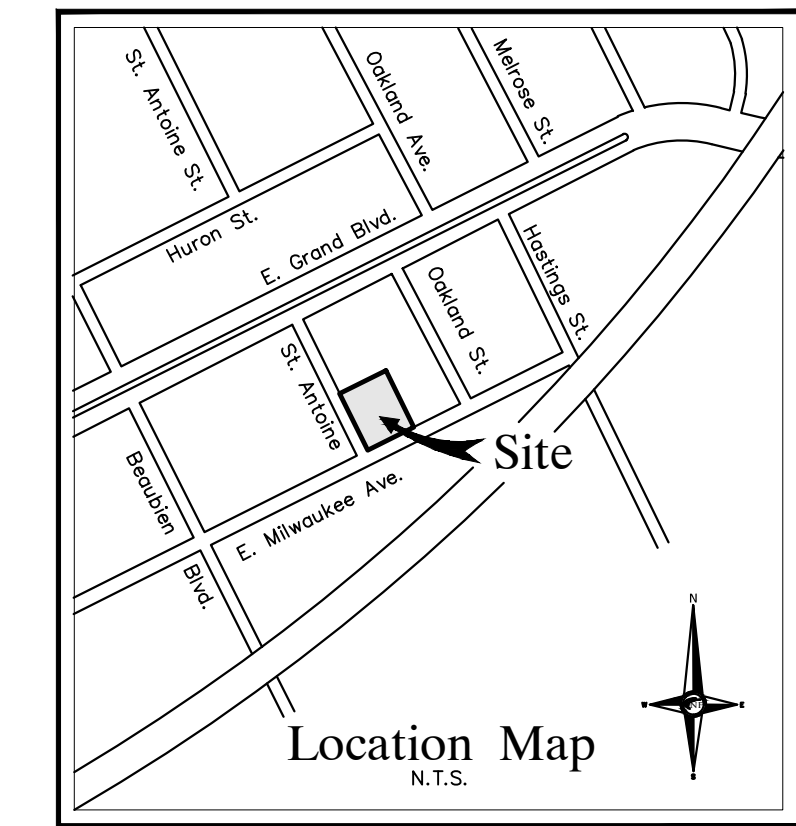
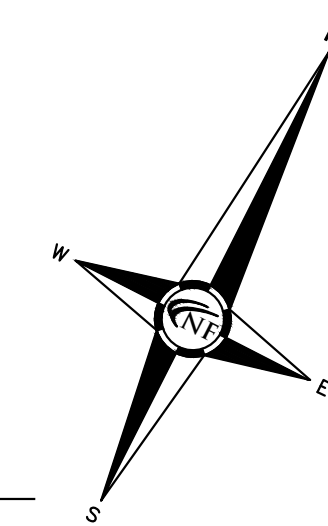
**Manning's Roughness Coefficient**  
Hf = L(Qn / (0.46D^2.67))^2  
Hm = Km(V^2 / 2g)

**Detroit, Wayne County Storm Sewer Calculations**

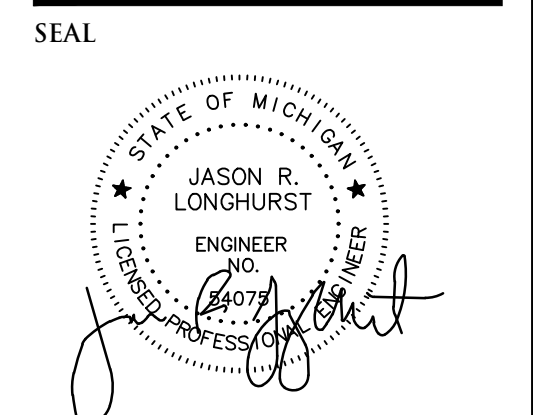
Project No: M262  
Project Name: 603 E Milwaukee Avenue  
Location: Detroit  
Dated: 12/1/2021  
Revised: 11/30/2022

Drainage Area (Location)	From Structure Number	To Structure Number	Drainage Area (Acres)	Runoff Coefficient (C)	Equivalent Area (C * A)	Total Area (Sum C * A)	Time of Concentration (Minutes)	Rainfall Intensity (Inches/Hr.)	Actual Discharge (CFS)	Pipe Size (Inches)	Pipe Slope (% Slope)	Pipe Length (Feet)	Flow Velocity (Ft / Sec)	Time of Flow (Minutes)	Full Pipe Capacity (CFS)	H. G. Elev. Upper End (Feet)	H. G. Elev. Lower End (Feet)	H. G. Slope (% Slope)	Km	Head Loss at Str (Feet)	Head Loss Friction (Feet)	Theoretical Velocity (Ft / Sec)	Rim Elevation (Upper) (Feet)	Change in Elevation (Feet)	Invert Elev. Upper End (Feet)	Invert Elev. Lower End (Feet)	COVER (Feet)	RIM TO HG (Feet)
A	1	2	0.09	0.95	0.086	0.086	5.00	5.64	0.48	12	0.35	51	2.91	0.29	2.28	146.21	146.20	0.02	0.50	0.00	0.01	0.61	149.85	0.18	145.68	145.50	3.00	3.64
	2	3				0.086	5.29	5.57	0.48	12	0.35	6	2.91	0.03	2.28	146.19	146.18	0.02	1.50	0.01	0.00	0.61	150.45	0.02	145.40	145.38	3.88	4.26

CONSTRUCTION SEQUENCE / TIMING SCHEDULE		
1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	SEPTEMBER 2023	
2. MASS GRADE SITE.	OCTOBER 2023	
3. COMMENCE UNDERGROUND UTILITY WORK.	NOVEMBER 2023	
4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	DECEMBER 2023	
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	JANUARY 2024	
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	MARCH 2024	
7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	APRIL 2024	
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	MAY 2024	



NOWAK & FRAUS ENGINEERS  
4677 WOODWARD AVE.  
PONTIAC, MI 48342-5032  
TEL. (248) 332-7931  
FAX. (248) 332-8257  
WWW.NOWAKFRAUS.COM



PROJECT  
603 E Milwaukee Ave  
Detroit, Michigan

CLIENT  
Ferry Street Ventures, LLC  
1520 North Johnson Street  
Arlington, VA 22201

PROJECT LOCATION  
Part of the Northeast 1/4  
of Section 31  
Town 1 South, Range 12  
East  
City of Detroit,  
Wayne County, Michigan

SHEET  
Soil Erosion Control and  
Drainage Area Plan



DATE	ISSUED/REVISED
2021-12-03	ISSUED FOR OWNER REVIEW
2022-05-11	REVISED PER OWNER
2022-08-18	REVISED PER ROW REVIEW
2022-08-25	REVISED PER ROW REVIEW
2022-09-27	REVISED PER ROW REVIEW
2022-10-25	REVISED PER CITY REVIEW
2022-10-26	REVISED PER OWNER
2022-11-30	REVISED PER CITY REVIEW
2023-08-07	REVISED PER OWNER
2023-09-14	REVISED PER OWNER
2023-09-28	REVISED PER OWNER

DRAWN BY:  
**A. Panley**

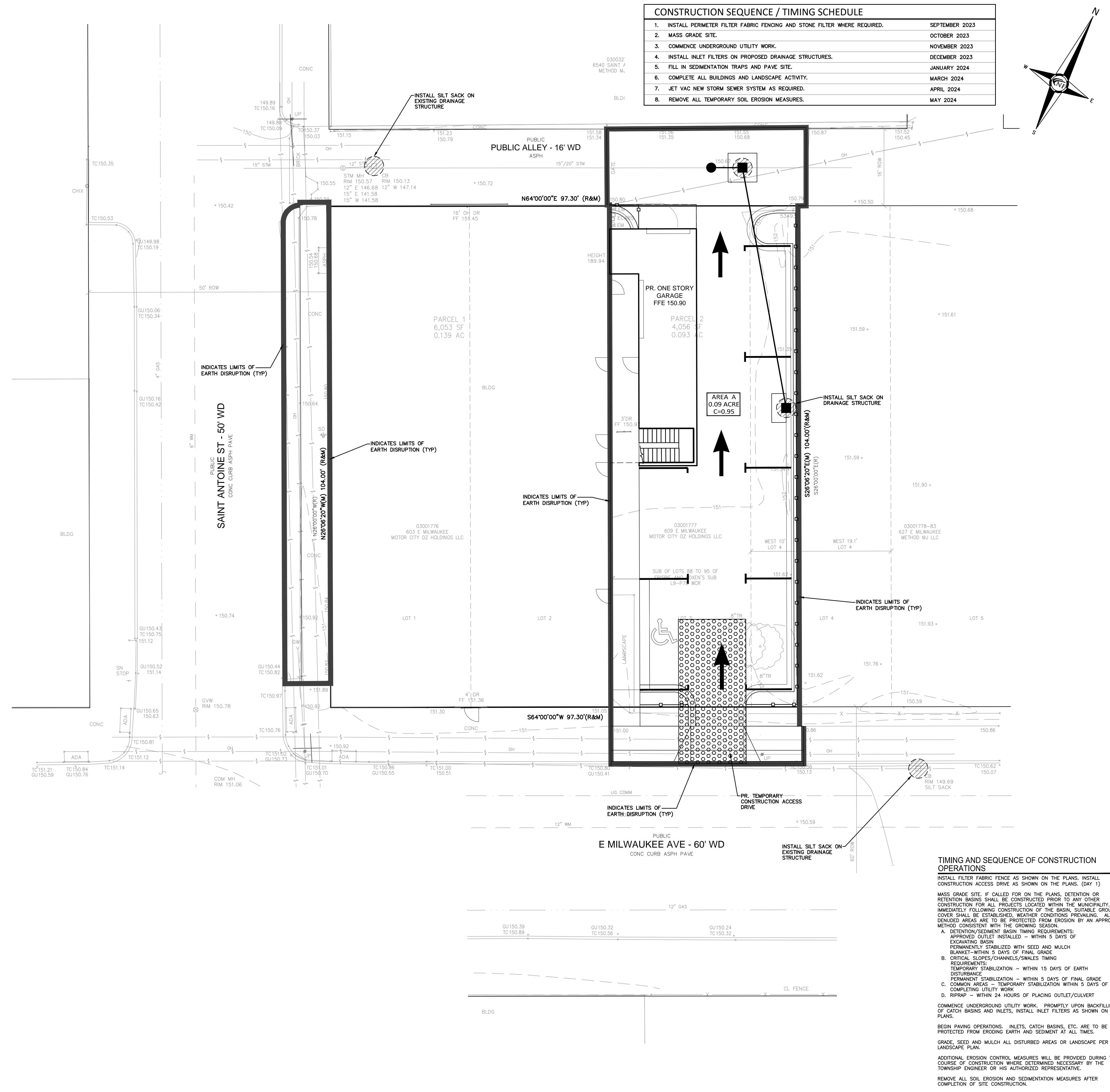
DESIGNED BY:  
**A. Panley**

APPROVED BY:  
**J. Longhurst**

DATE:  
**December 1, 2021**

SCALE: 1" = 10'

NFE JOB NO. **M262** SHEET NO. **C5**



**NOTES AND PERFORMANCE REQUIREMENTS**

ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CANTON TOWNSHIP AND THE WAYNE COUNTY EROSION CONTROL MANUAL.

DAILY INSPECTION SHALL BE MADE BY THE SUBCONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.

EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.

EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENTATION CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.

SUBCONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED. ALL PERMANENT SOIL EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

ALL MUD/DIRT TRACKED ONTO EXISTING CITY/COUNTY ROADS FROM THIS SITE, DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE SUBCONTRACTOR/BUILDER.

MAINTENANCE REQUIREMENTS SHALL BE AS FOLLOWS:  
STREET SCRAPING - DAILY  
STREET SWEEPING - WEEKLY MINIMUM  
STRUCTURAL SEDIMENT CONTROLS - 48 HOURS AFTER STORM EVENT (WEEKLY MINIMUM) SEDIMENT BASIN CLEANOUT - ANNUALLY MINIMUM

RESTORATION REQUIREMENTS AND FINAL INSPECTION REQUIREMENTS SHALL BE AS FOLLOWS:  
DISTURBED EARTH MUST BE PERMANENTLY STABILIZED WITH VEGETATION OR HARD SURFACE  
ACCUMULATED SEDIMENT MUST BE REMOVED FROM STORM SEWER SYSTEM  
REMOVE ALL THE TEMPORARY CONTROLS AFTER GETTING APPROVAL BY THE WAYNE COUNTY SOIL EROSION INSPECTOR.

NOTIFY WAYNE COUNTY SOIL EROSION OFFICE 48 HOURS BEFORE WORK IS TO BEGIN. (734) 326-3936.

**NOTES**

A WAYNE COUNTY SOIL EROSION PERMIT IS REQUIRED FOR THIS PROJECT.

NO WETLANDS OR FLOODPLAINS ARE ON THE SITE.

STORAGE OF TOPSOIL MUST BE INSIDE PROJECT LIMITS.

FOR PAVED INLET PROTECTION, USE WOVEN MONOFILAMENT GEOTEXTILE/ 100 gpm PER SQUARE FT. OR APPROVED EQUAL.

NO SILT FENCE, BURLAP, OR STONE TO BE USED AS FILTERS.

SITE IS APPROXIMATELY ±3.38 MILES FROM THE DETROIT RIVER.

AREA OF DISTURBANCE IS 0.14 ACRES.

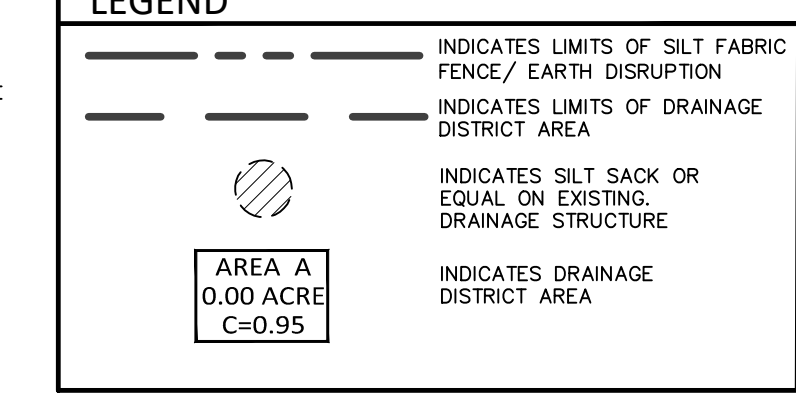
**SOIL DATA**

THIS SITE CONSISTS OF URBAN LAND-RIVERFRONT COMPLEX, DENSE SUBSTRATIUM, 0 TO 4 PERCENT SLOPES, BASED ON DATA PROVIDED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE.

**ESTIMATED QUANTITIES**

DESCRIPTION	QUANTITY	UNITS
TEMPORARY CONSTRUCTION ACCESS DRIVE	50	EA.
SILT SACK OR EQUAL	4	EA.

**LEGEND**



**TIMING AND SEQUENCE OF CONSTRUCTION OPERATIONS**

INSTALL FILTER FABRIC FENCE AS SHOWN ON THE PLANS. INSTALL CONSTRUCTION ACCESS DRIVE AS SHOWN ON THE PLANS. (DAY 1)

MASS GRADE SITE. IF CALLED FOR ON THE PLANS, DETENTION OR RETENTION BASINS SHALL BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION FOR ALL PROJECTS LOCATED WITHIN THE MUNICIPALITY. IMMEDIATELY FOLLOWING CONSTRUCTION OF THE BASIN, SUITABLE GROUND COVER SHALL BE ESTABLISHED, WEATHER CONDITIONS PREVAILING. ALL DENuded AREAS ARE TO BE PROTECTED FROM EROSION BY AN APPROVED METHOD CONSISTENT WITH THE GROWING SEASON.

A. DETENTION/SEDIMENT BASIN TIMING REQUIREMENTS:  
APPROVED OUTLET INSTALLED - WITHIN 5 DAYS OF EXCAVATING BASIN  
PERMANENTLY STABILIZED WITH SEED AND MULCH BLANKET-WITHIN 5 DAYS OF FINAL GRADE

B. CRITICAL SLOPES/CHANNELS/SWALES TIMING REQUIREMENTS:  
TEMPORARY STABILIZATION - WITHIN 15 DAYS OF EARTH DISTURBANCE  
PERMANENT STABILIZATION - WITHIN 5 DAYS OF FINAL GRADE

C. COMMON AREAS - TEMPORARY STABILIZATION WITHIN 5 DAYS OF COMPLETING UTILITY WORK  
D. RIPRAP - WITHIN 24 HOURS OF PLACING OUTLET/CULVERT

COMMENCE UNDERGROUND UTILITY WORK. PROMPTLY UPON BACKFILLING OF CATCH BASINS AND INLETS, INSTALL INLET FILTERS AS SHOWN ON THE PLANS.

BEGIN PAVING OPERATIONS. INLETS, CATCH BASINS, ETC. ARE TO BE PROTECTED FROM ERODING EARTH AND SEDIMENT AT ALL TIMES.

GRADE, SEED AND MULCH ALL DISTURBED AREAS OR LANDSCAPE PER LANDSCAPE PLAN.

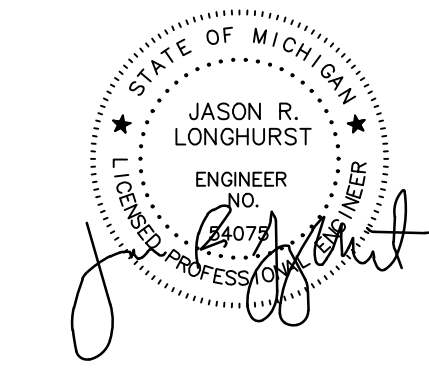
ADDITIONAL EROSION CONTROL MEASURES WILL BE PROVIDED DURING THE COURSE OF CONSTRUCTION WHERE DETERMINED NECESSARY BY THE TOWNSHIP ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.

REMOVE ALL SOIL EROSION AND SEDIMENTATION MEASURES AFTER COMPLETION OF SITE CONSTRUCTION.





SEAL



PROJECT  
603 E Milwaukee Ave  
Detroit, Michigan

CLIENT  
Ferry Street Ventures, LLC  
1520 North Johnson Street  
Arlington, VA 22201

PROJECT LOCATION  
Part of the Northeast 1/4  
of Section 31  
Town 1 South, Range 12  
East  
City of Detroit,  
Wayne County, Michigan

SHEET  
Notes and Details



Know what's below  
Call before you dig.

DATE	ISSUED/REVISED
2021-12-03	ISSUED FOR OWNER REVIEW
2022-05-11	REVISED PER OWNER
2022-08-18	REVISED PER ROW REVIEW
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2022-11-08	REVISED PER CITY REVIEW
2022-11-30	REVISED PER CITY REVIEW
2023-08-07	REVISED PER OWNER
2023-09-11	REVISED PER OWNER
2023-09-28	REVISED PER OWNER

DRAWN BY:  
L. Gross  
DESIGNED BY:  
T. Wood  
APPROVED BY:  
J. Longhurst

DATE:  
December 1, 2021

SCALE: N.T.S.

**ALUMINUM MANHOLE STEP STANDARD DETAILS**  
NO SCALE

NOTES:  
1. MANHOLE STEPS SHALL CONFORM TO THE REQUIREMENTS FOR "ALUMINUM ALLOY EXTRUDED BARS, RODS, SHAPES AND TUBES", A.S.T.M. B201 (CURRENT), ALLOY 6061, TEMPER T-6, OR APPROVED EQUAL.  
2. EITHER THE FLANGED LEG OR PARALLEL LEG STEP MAY BE USED FOR FORMED IN PLACE CONCRETE CONSTRUCTION OR IN PRECAST MANHOLE UNITS.  
3. THE PARALLEL LEG STEP SHALL BE USED IN EXISTING STRUCTURES BY PLACING IN DRILLED HOLES AND GROUTING WITH NON-SHRINK GROUT.

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 4 OF 7

**DETAIL OF TRAP FOR CATCH BASIN "B"**

NOTES:  
SEWER TRAP TO BE OF THE SAME MAT'L. & STRENGTH AS THE OUTLET SEWER PIPE.  
TRAP SHALL BE SUPPORTED BY BLOCKING ON ANY OTHER MEMS UNTIL CATCH BASIN IS COMPLETED AND CONCRETE OR MORTAR AROUND BRICK IS SET. ANY JOINTS BETWEEN THE TRAP AND GROUND UNDERNEATH SHALL BE FILLED WITH GRADE "A" CONCRETE.

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 2 OF 7

**SECTION B-B  
CATCH BASIN "B"**

NOTE "A":  
WALL THICKNESS SHALL BE 8" FROM THE TOP OF STRUCTURE TO A DEPTH OF 15". BELOW 15" THE THICKNESS OF THE WALL SHALL BE 12"

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 2 OF 7

**SECTION A-A  
CATCH BASIN "A"**

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 1 OF 7

**TYPICAL DETAIL AT CROSSING UNDER EXISTING UTILITIES**

NOTES:  
1. ALL MDOT CLASS II GRANULAR MATERIAL, PLACE AND COMPACT (IN MAX. 12" LIFTS) BY "CONTROLLED DENSITY METHOD" TO 98% PER SPECIFICATION 31 23.33.3.10 B OF MAXIMUM UNIT WEIGHT.  
2. WATERMANS CROSSING UNDER SEWERS - WHEN IT IS IMPOSSIBLE TO OBTAIN THE MINIMUM 18-INCH CLEARANCE, REPLACE THE SEWER PIPE (MINIMUM OF 10 FT. ON BOTH SIDES OF WATERMAN) WITH WATER WORKS GRADE 150PSI PRESSURE TESTED TO ENSURE WATER TIGHTNESS.  
3. "W" - SEE TRENCH DETAILS FOR TRENCH WIDTH.  
4. TRENCHING SHALL BE PER OSHA 29 CFR, SUBPART P

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 7 OF 7

**GENERAL NOTES**

- CENTER OF CATCH BASIN SHALL BE 20 INCHES FROM BACK OF CURB.
- ALL SIZES AND FLOW LINES OF PIPES, AND ELEVATIONS FOR TOP AND BOTTOM OF STRUCTURES SHALL BE DETERMINED FROM THE PLANS OR CONSTRUCTION REQUIREMENTS. THE BELL SHALL BE REMOVED FROM THE FIRST LENGTH OF OUTLET PIPE PROJECTING THROUGH THE WALL OF THE STRUCTURE WHEN ANY STRUCTURE IS CONSTRUCTED OF PRECAST CONCRETE OR CONCRETE BLOCK. THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF THE COVER TO GRADE BY THE USE OF MORTAR OR BRICKS AS DIRECTED BY THE ENGINEER.
- A TRAP, AS DETAIL ON SHEET 3 OF 7, SHALL BE PLACED WHERE CALLED FOR IN THE OUTLET SEWER LINE OF CATCH BASINS "B". THIS TRAP SHALL BE SET INTO THE MASONRY WALL AS SHOWN ON THE DETAILS.
- THE MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR PAVING AND RELATED CONSTRUCTION EXCEPT AS NOTED ON THIS SHEET AND ON THE PLANS.
- A PLASTER COAT OF MORTAR 1/2" IN THICKNESS SHALL BE APPLIED TO THE OUTER SURFACE OF THE STRUCTURE AS SHOWN. A 1/2" CEMENT PLASTER COAT SHALL BE PLACED ON THE INSIDE OF ALL SUMPS.
- CONTRACTOR SHALL VERIFY ELEVATIONS OF EXISTING UTILITIES TO ENABLE CONSTRUCTION TO INDICATED ELEVATIONS SHOWN ON DRAWINGS. IF NECESSARY, INVERT ELEVATIONS SHOWN ON THE DRAWINGS MAY BE ALTERED IN THE FIELD TO CLEAR EXISTING UTILITIES. SUCH ALTERATIONS, UPWARD OR DOWNWARD, SHALL BE AT NO CHANGE IN CONTRACT PRICE.
- WHEN PRECAST CONCRETE PIPE SECTIONS ARE USED FOR CATCH BASINS, EITHER A SECTION OF THE INLET AND OUTLET PIPES OR AN OPENING OR EYE FOR THE INLET AND OUTLET PIPES SHALL BE CAST INTO THE WALL OF THE CATCH BASIN PIPE WHEN IT IS BEING MANUFACTURED. EYES IN PRECAST PIPE SECTIONS SHALL BE FURNISHED TO ACCOMMODATE A FLEXIBLE JOINT CONNECTION SUCH AS PRESS-MODE BY PRESS SEAL GASKET CORP. OR RES-SEAL BY SCALES WFG. CORP.
- PAY LIMIT FOR SENERS SHALL BE INSIDE FACES OF STRUCTURES UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE IN (INCHES) UNLESS OTHERWISE NOTED.

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 7 OF 7

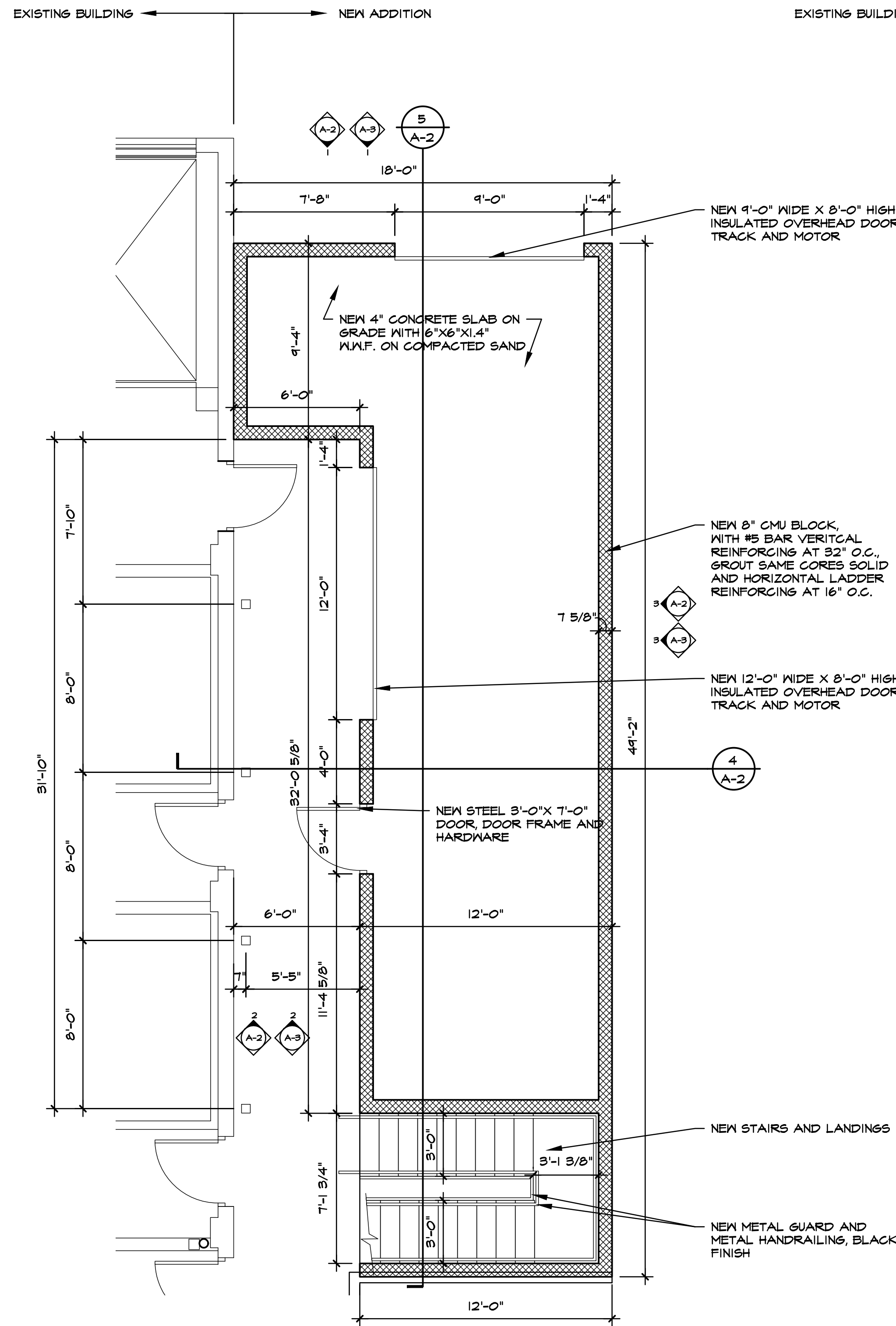
**SECTION G-G**


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DETAIL STANDARD NO. C-5028  
SHEET 6 OF 7

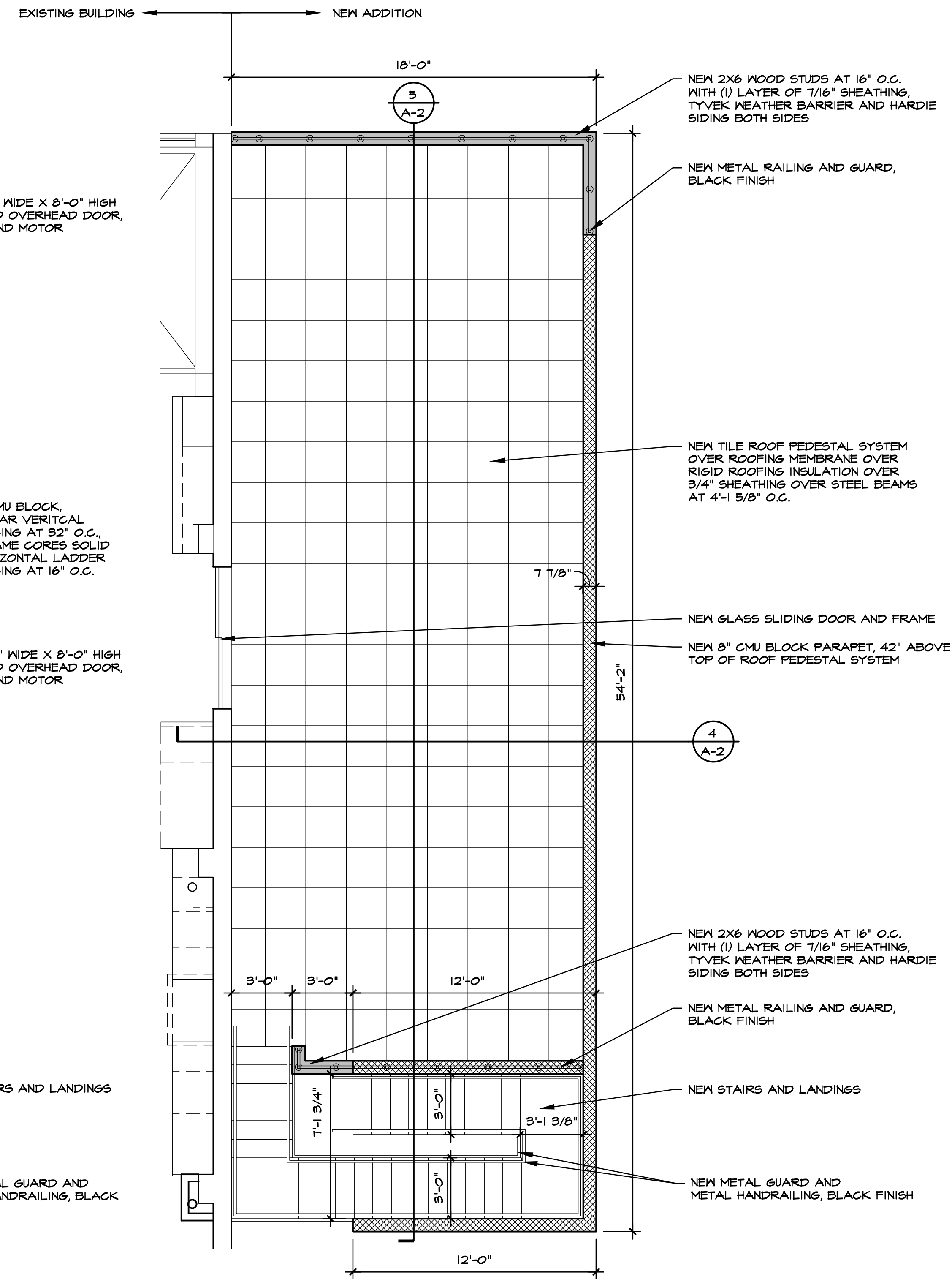
**SECTION D-D**

REVISED DATE (METRIC TO ENGLISH UNIT SYSTEM): DEC. 2002  
DRAWING NO. 35  
DETAIL STANDARD NO. C-5028  
SHEET 5 OF 7





**FLOOR PLAN**   
1/4" = 1'-0"



**ROOF PLAN**   
1/4" = 1'-0"

Seal

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.  
DETROIT, MI 48202

Drawing Title  
**FLOOR PLAN  
ROOF PLAN**

Project Number  
**20-40-159**

Drawn KJM

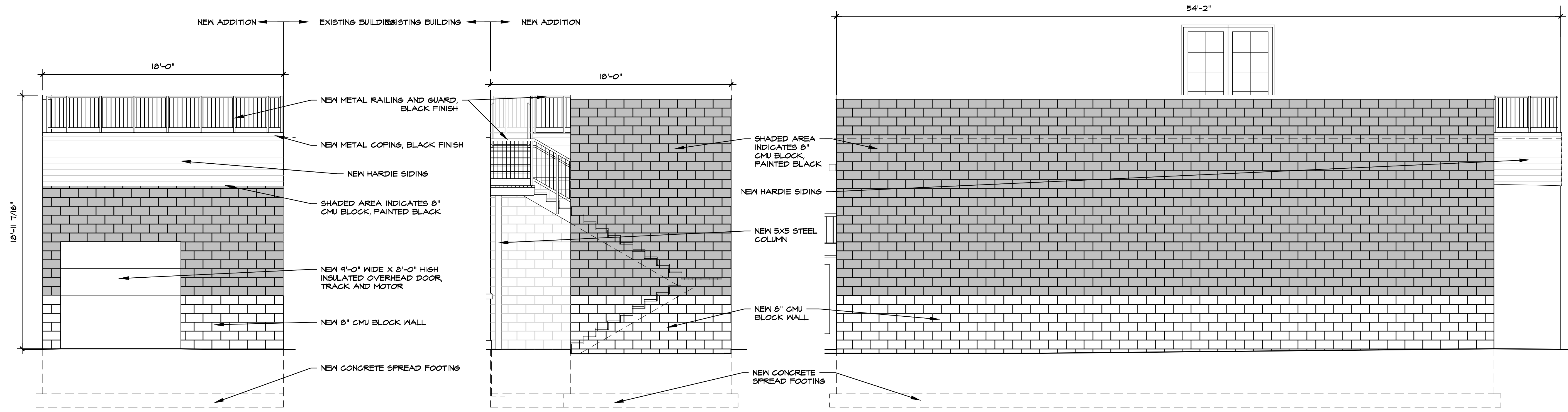
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Scale 1/4" = 1'-0"

Dwg. PEERLESS ADDITION - CDS

Issued for	Date	By
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HDC REVIEW	9-28-23	DJS

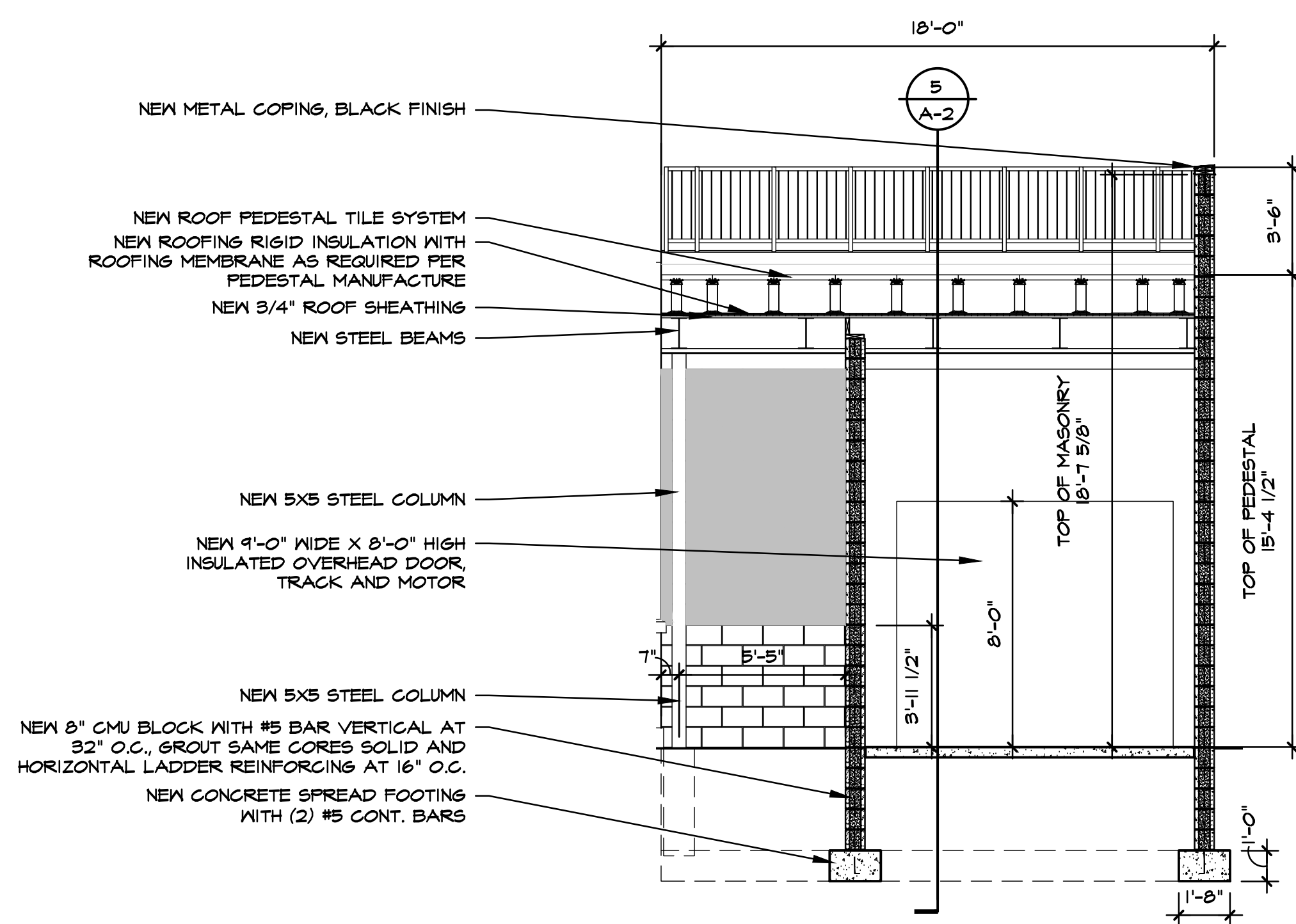
Sheet Number  
**A-1**  
of  
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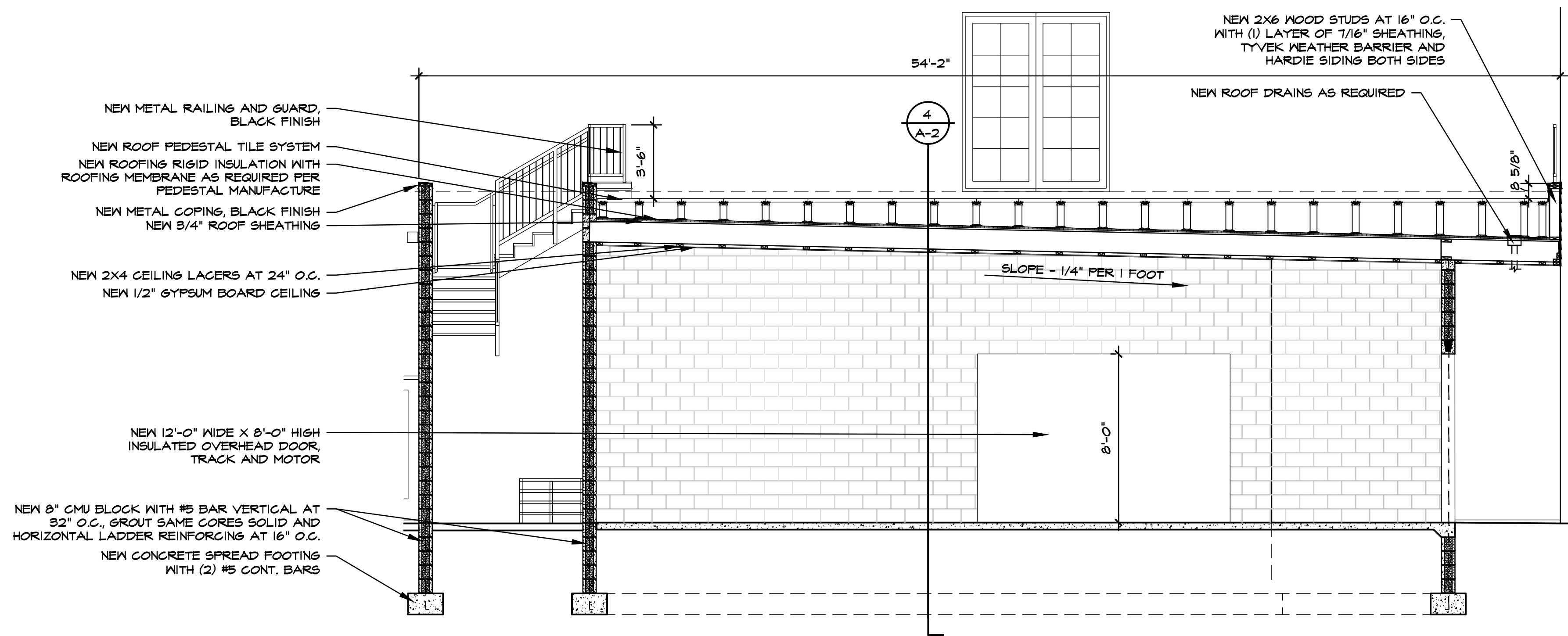
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A-1  
**NORTH ELEVATION**  
1/4" = 1'-0"

**2**  
A-1  
**SOUTH ELEVATION**  
1/4" = 1'-0"

**3**  
A-1  
**EAST ELEVATION**  
1/4" = 1'-0"



**4**  
A-1  
**BUILDING SECTION**  
1/4" = 1'-0"



**5**  
A-1  
**BUILDING SECTION**  
1/4" = 1'-0"

Seal

**PROJECT PEERLESS**

603 E. MILWAUKEE ST.  
DETROIT, MI 48202

Drawing Title  
**ELEVATIONS AND SECTIONS**

Project Number  
**20-40-159**

Drawn  
KJM

Checked  
DJS

Scale  
1/4" = 1'-0"

Dwg  
PEERLESS ADDITION - CDS

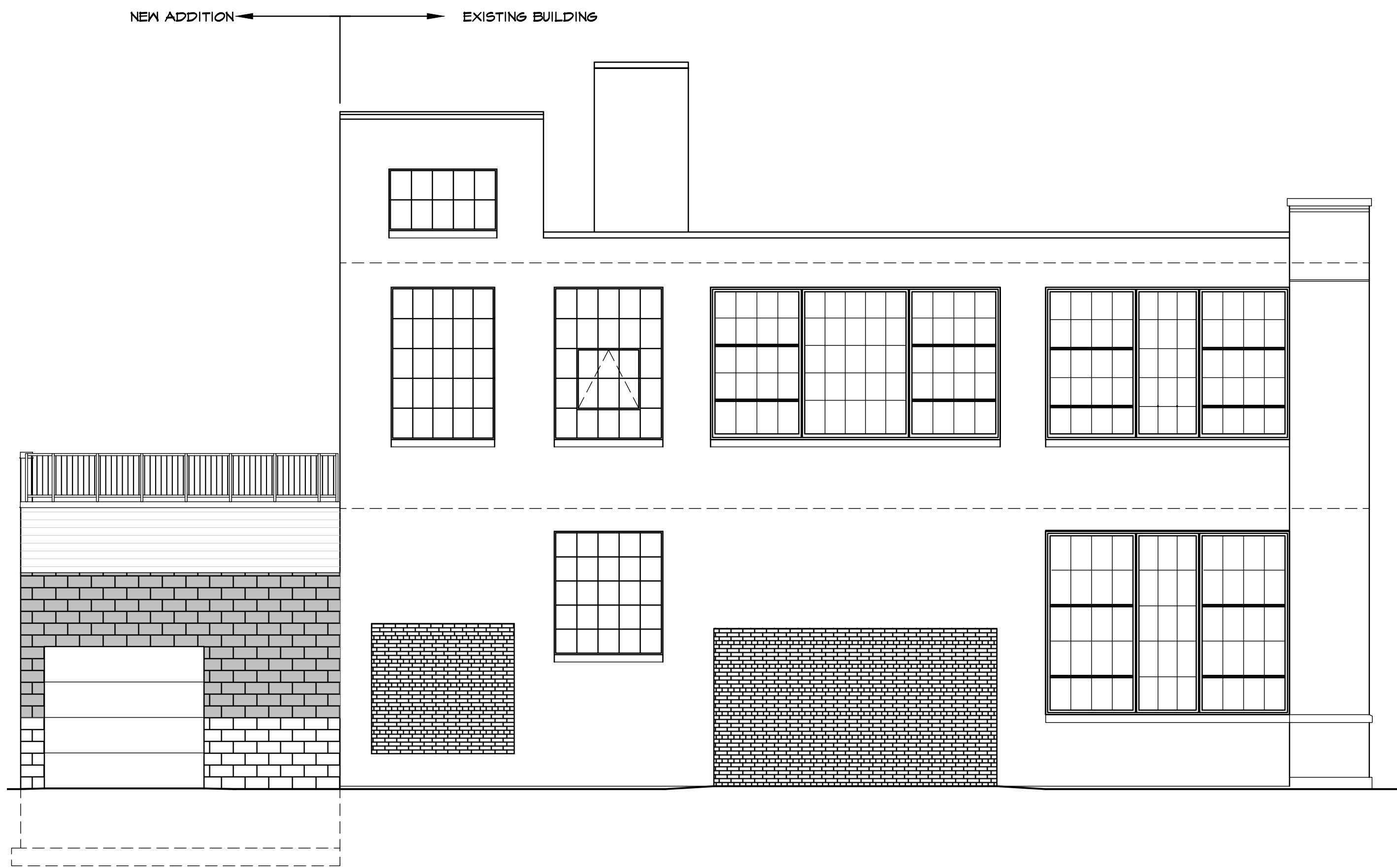
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HDC REVIEW	9-18-23	DJS
HDC REVIEW	9-28-23	DJS

Sheet Number

**A-2**

of

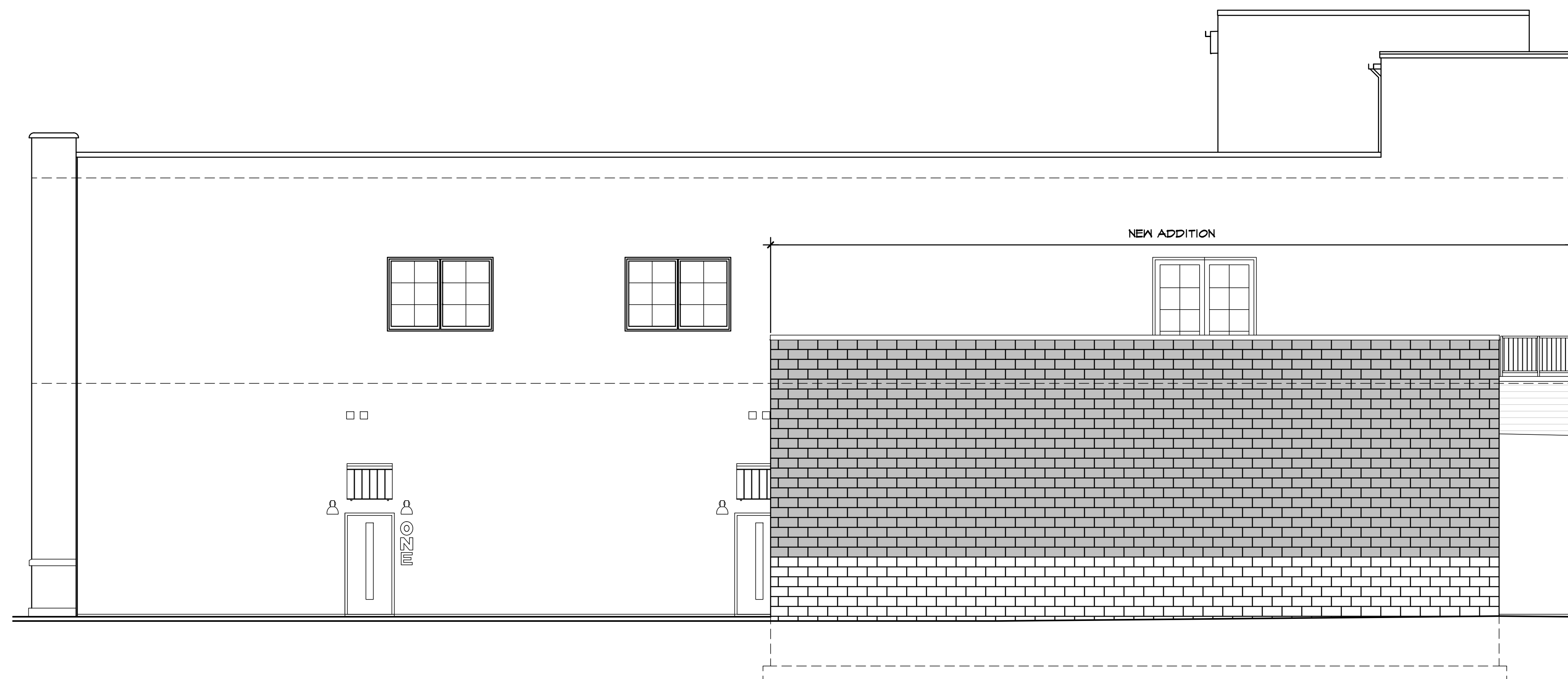
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1 NORTH ELEVATION  
A-1 1/4" = 1'-0"



2 SOUTH ELEVATION  
A-1 1/4" = 1'-0"



3 EAST ELEVATION  
A-1 1/4" = 1'-0"



7300 DIXIE HWY. #600  
CLARKSTON, MI 48346  
PHONE 248.605.2030  
FAX 248.605.2030  
WEB DSARCHITECTS.COM

Seal

Project **PROJECT PEERLESS**

603 E. MILWAUKEE ST.  
DETROIT, MI 48202

Drawing Title  
**ELEVATIONS AND SECTIONS**

Project Number  
**20-40-159**

Drawn KJM

Checked DJS

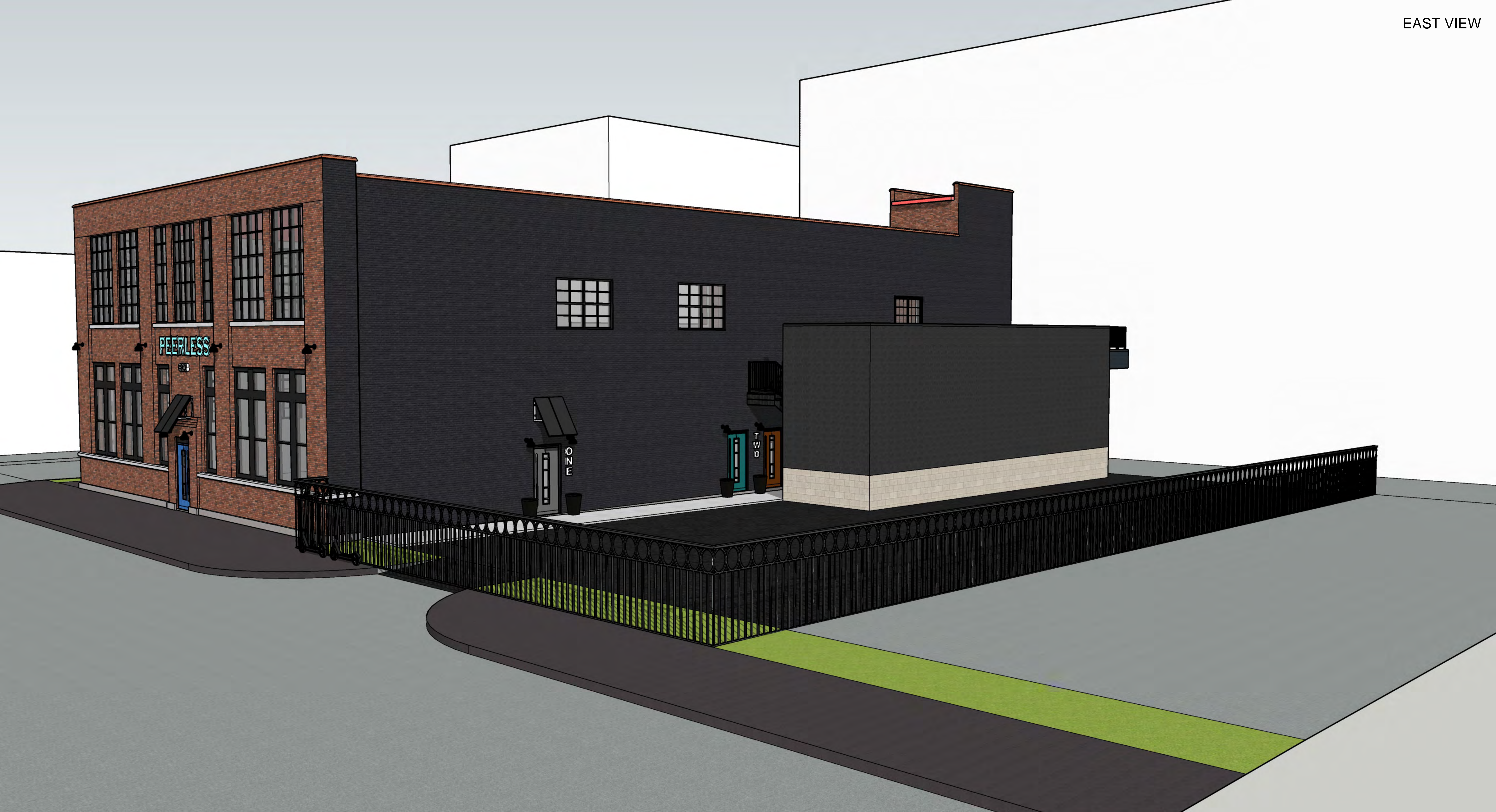
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Dwg. PEERLESS ADDITION - CDS

Issued for	Date	By
HDC REVIEW	9-18-23	DJS
HDC REVIEW	9-28-23	DJS

Sheet Number  
**A-3**  
of  
3













## NEW RAILING AND GUARD INSPIRATION



## NEW TREAD COLOR



Exterior Stair Tread Stain  
Manufacturer: TBD  
Color: Black



EXISTING BUILDING FOUNDATION COLOR



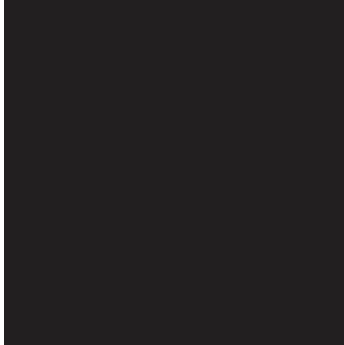
PROPOSED BASE MASONRY BLOCK COLOR



Burnished Block  
Manufacturer: 'Consumers  
Concrete Corporation'  
Color: Flagstone\_S



## FIELD MASONRY BLOCK PAINT COLOR



Masonry Block Paint  
Color System E/F  
B:19 Black  
MS: N 0.5/

## PROPOSED 2<sup>ND</sup> FLOOR EXTERIOR DOOR



2<sup>nd</sup> Floor Sliding Door  
Manufacturer: Quaker Commercial Windows  
Style: M700 Sliding Door  
Color: Black to Match Existing Windows  
Material: Aluminum  
Size: 123" x 96"  
\*\*with mullions



# M700 5" Frame Depth Sliding Door

## M700 SERIES SLIDING DOOR

### FEATURES

- ◇ **Commercial Framing System**
  - 5" main frame
  - 0.070 extruded wall thickness of frame
  - 0.062" extruded wall thickness of sash
  - Frames shipped K.D.
- ◇ **Thermally Enhanced Design**
  - Azon pour and debridge thermal break is ½" wide in all main frame and vent rail extrusions
  - Internal weep system for effective water damage
  - Steel Roller System
  - Mitered panels with heavy-duty corner keys
- ◇ **Integral Nailing Fin**
- ◇ **Glazing**
  - Impact-rated tempered insulated glass
- ◇ **Hardware**
  - Heavy-duty steel rollers operate in stainless steel roller track, making operation easy and smooth
  - D-Loop Handle hardware (interior & exterior)
- ◇ **Screen**
  - Extruded aluminum screen frame with BetterVue™ mesh with WaterShed® technology

### OPTIONS

- ◇ **Available Configurations**
  - Fixed-Active
  - Active-Fixed
- ◇ **Muntin Choices**
  - Internal or simulated divided lites available
- ◇ **Screen**
  - Extruded aluminum screen frame with aluminum wire mesh
  - Extruded aluminum screen frame with sunscreen mesh
  - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
- ◇ **Glazing**
  - Multiple Low-E and argon glazing choices
  - Sound attenuation glazing packages for STC/OITC
- ◇ **Hardware**
  - Premium 2" roller system
  - Flush Handle hardware
- ◇ **Panning & Trim Choices**
  - Structural Transition mulls
  - Wide variety of panning, receptor and trim available

### BENEFITS

- ◇ Meets ASTM 1886 (Large Missile Impact testing)
- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate custom sizes for taller and wider door openings
- ◇ Florida Building Approved FL30496

### PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

	Active-Fixed
Test Size	123" x 96"
NAFS Rating	AW-PG70-SD
Design Pressure	
Air Infiltration	
Water (No Penetration) P.S.F.	
U-Value (ranges based on multiple Low-E/Argon combinations)	0.36 - 0.41
SHGC (ranges based on multiple Low-E/Argon combinations)	0.14 - 0.49
Missile Level	Level D
Wind Zone	Zone 4

Operating Force:

M700 Active-Fixed  
37.3 lbf (initiate motion),  
24.3 lbf (maintain motion),  
<1 lbf (latches)

M700 Fixed-Active-Fixed  
30 lbf (initiate motion),  
22.6 lbf (maintain motion),  
1 lbf (latches)

Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.

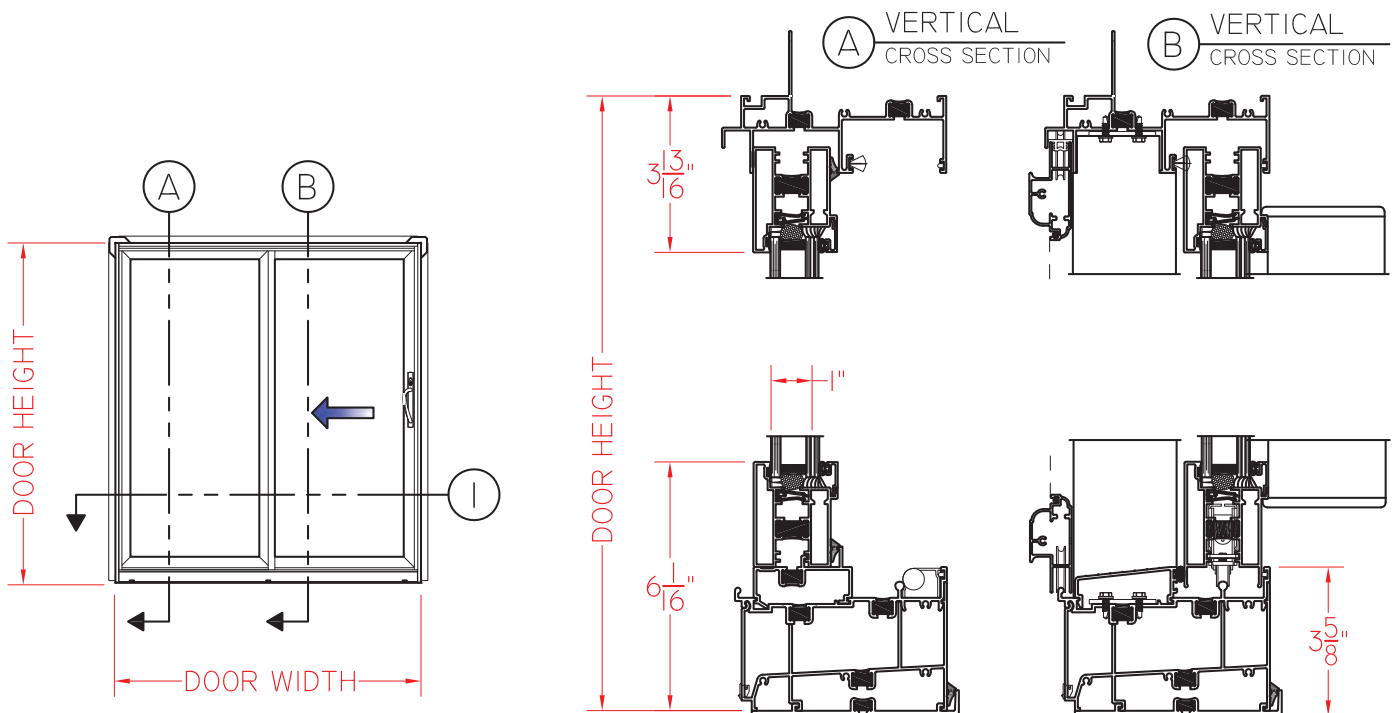
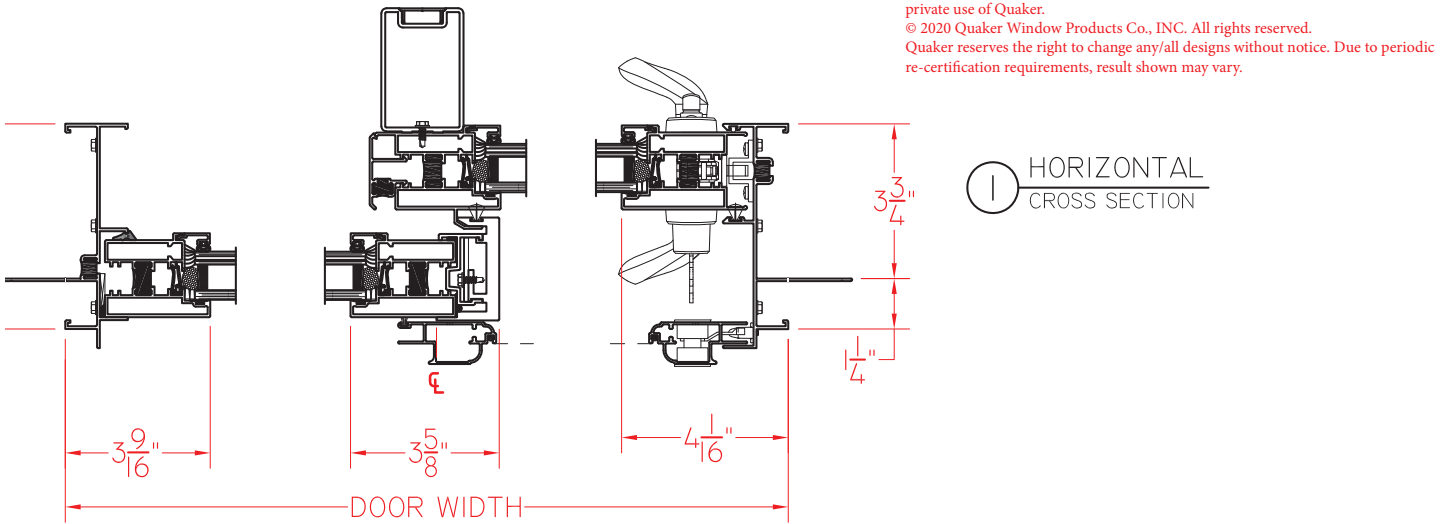




# M700 5" Frame Depth Sliding Door

## M700 SERIES SLIDING DOOR (FIXED/ACTIVE) AS VIEWED FROM EXTERIOR

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ELEVATION SCALE 1/4" = 1'-0"

Our products are tested to the standards of and certified by some of the foremost organizations in the fenestration industry.

