

3/14/23

NOTICE OF DENIAL

David M. Zanley
Hamilton Anderson Associates
1435 Randolph Street, Suite 200
Detroit, MI 48226

RE: Application Number 23-8238; 2200 East Atwater (2600) St.; Aretha Franklin Amphitheater/ Chene Park Historic District

Dear Applicant,

At the Regular Meeting that was held on March 8, 2023, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on March 14, 2023, as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

- ***The removal of the concrete pylons (#2, #5, #7, #11) per the applicant’s landscape plan.***

The Commission's reason for denial is that the proposed work will destroy architectural features that characterize the property.

- The pylons are integrated elements in the composition of the historic landscape and are contributing to the rhythm of and patterns of distinctive concrete features that are repeated and represented throughout the park, which are evident in from the largest architectural features down to the cylindrical break wall features, which together create a legible pattern language that as a whole is a key site design element.
- The materiality of the striated concrete at each pylon is characteristic of the architecture of this period and is also a distinct character defining feature..

Therefore, this work fails to meet the Secretary of the Interior’s Standards, specifically Standards:

- 2) ***The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.***
- 5) ***Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.***
- 6) ***Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.***

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable. Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street, P.O. Box 30754, Lansing, MI 48909
Phone: 517-335-0665 E-mail: stuckeyj@michigan.gov

If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.
For the Commission:



Daniel Rieden, Staff
Detroit Historic District Commission

DHDC 23-8238

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

3/14/23

CERTIFICATE OF APPROPRIATENESS

David M. Zanley
Hamilton Anderson Associates
1435 Randolph Street, Suite 200
Detroit, MI 48226

RE: Application Number 23-8238; 2200 East Atwater (2600) St.; Aretha Franklin Amphitheater/ Chene Park Historic District

Dear Applicant,

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- ***Refurbishment of existing signs located at seating areas and original historic signs cast in walls as marked in attached drawings and specifications.***
- ***Removal of signs as indicated in the site plan – except for the 4 existing concrete pylons indicated on the site plan as (#2, #5, #7, #11), which shall remain in their current location.***
- ***Removal of all dead, damaged and invasive plant and landscape material as indicated in the attached drawings and details.***
- ***Installation of new signs, new plant and landscape material as indicated in the attached drawings, details, and specifications.***

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Daniel Rieden
Staff
Detroit Historic District Commission

Detroit Historic District Commission

Signage Guidelines and Landscape Assessment & Planting Plan Submission

Hamilton Anderson Associates, February 13, 2023

ARETHA FRANKLIN AMPHITHEATER/CHENE PARK HISTORIC DISTRICT

Table of Contents:

- Completed Detroit HDC Project Review Request

- Detailed Scope of Work
 1. Signage Guidelines Package Scope of Work.
 2. Landscape Recommendations & Planting Plan Package Scope of Work.

- Signage Guidelines Package 02-13-2023
 1. Narrative description of signage guidelines, Summary of required approvals and existing signage conditions.
 2. Existing site plan, photographs and scope of work related to existing signage and site conditions.
 3. Annotated drawings describing all proposed sign types; including colors, materials, size and proposed typical graphics.

- Landscape Recommendations 12-29-2022
 1. Context Plan with relevant code information.
 2. Detailed, annotated site plans with photographs indicating existing plant material conditions throughout site.
 3. General assessment of existing planting material and recommendations for maintenance, replacement and improvements.

- Landscape Documents:
 - Landscape Recommendations Package:
 - Existing Landscape Assessment and Corrective Action.
 - Landscape Planting Plan Package:
 - CS.1 Cover Sheet
 - L1.1.0 General Notes
 - L1.1.1 Specifications
 - LD1.1.1 Site Demolition Plan
 - L6.1.0 Planting Plan – Overall
 - L6.1.1 Planting Plan – Enlarged
 - L6.1.2 Planting Plan – Enlarged
 - L9.1.1 Planting Details

End of Table of Contents.

Detroit Historic District Commission

Signage Guidelines and Landscape Assessment & Planting Plan Package Submission

Hamilton Anderson Associates, February 13, 2023

ARETHA FRANKLIN AMPHITHEATER/CHENE PARK HISTORIC DISTRICT

Detailed Scope of Work

Signage Guidelines Package Scope of Work:

- Owner and/or Contractor to engage qualified, professional sign vendor to provide final sign design and details.
- Sign vendor to submit for, and acquire all required City of Detroit permits and approvals.
- Determine final locations and quantities of signs.
- All work to be per attached Sign Guidelines, dated 02-13-2023.
- Refurbish existing pylon signs as indicated in the Sign Guidelines.
- Refurbish existing seating specific signage as indicated in the Sign Guidelines.
- Remove existing non-original signage as indicated in the Sign Guidelines.
- Fabricate and install new signage in strict adherence with Sign Guidelines, especially as indicated in Proposed Sign Types.

Landscape Recommendations & Planting Plan Package Scope of Work:

- Remove all dead, damaged and invasive plant and landscape material as indicated on the landscape documents.
- Install new plant and landscape material as indicated on the landscape documents.
- Provide maintenance activities as indicated on the landscape documents.
- Provide restoration as indicated on the landscape documents to all impacted areas.
- All work to be per attached Landscape Recommendations Package, dated 12-29-2022 and Landscape Planting Plan Package.

End of Detailed Scope of Work.

From: [Barry Burton](#)
To: [Jake Hamilton](#); [Marie Haener-Patti](#); [Dan Rieden](#)
Cc: [Melissa Cox](#); [David Zanley](#)
Subject: Re: AFT Site visit
Date: Friday, February 24, 2023 4:42:35 PM

I had on my mind to suggest that you take a look at a few more plants including:

For evergreens and screening: Green Giant Arborvitae I forgot to put in the report but it would also add diversity to the evergreen stock and it's quite affordable too. It really does grow fast.

And, have you seen the newer cultivars in the proven winner series for smoke bush, namely winecraft gold and winecraft black? You might like those to go with the hosta you are proposing in the area on the east side of the amphitheater. This of course, is just a suggestion like many of the other plants I thought you'd might to take a look at.

Talk to you soon and it's great to work with you.

Barry Burton
Project Manager
City of Detroit, General Services Department
Landscape Design Unit

From: Jake Hamilton <jhamilton@hamilton-anderson.com>
Sent: Friday, February 24, 2023 2:23 PM
To: Barry Burton <burtonb@detroitmi.gov>; Marie Haener-Patti <Marie.Haener-Patti@detroitmi.gov>; Dan Rieden <riedenda@detroitmi.gov>
Cc: Melissa Cox <mcox@hamilton-anderson.com>; David Zanley <dzanley@Hamilton-Anderson.com>
Subject: [EXTERNAL] RE: AFT Site visit

Thank you for this great response, Barry. I'll be sure to incorporate much of this into the revised plan. I will have this ready first thing Monday morning.

Jake Hamilton
Landscape Architect II
313 887 6275 d
313 964 0270 p

From: Barry Burton <burtonb@detroitmi.gov>
Sent: Friday, February 24, 2023 1:55 PM
To: Jake Hamilton <jhamilton@hamilton-anderson.com>; Marie Haener-Patti <Marie.Haener-Patti@detroitmi.gov>; Dan Rieden <riedenda@detroitmi.gov>
Cc: Melissa Cox <mcox@hamilton-anderson.com>; David Zanley <dzanley@Hamilton-Anderson.com>

Subject: Re: AFT Site visit

Here is the site assessment and landscape review. I'm available to answer any questions you may have.

Barry Burton
Project Manager
City of Detroit, General Services Department
Landscape Design Unit

From: Jake Hamilton <jhamilton@hamilton-anderson.com>

Sent: Friday, February 24, 2023 11:10 AM

To: Marie Haener-Patti <Marie.Haener-Patti@detroitmi.gov>; Barry Burton <burtonb@detroitmi.gov>

Cc: Melissa Cox <mcox@hamilton-anderson.com>; David Zanley <dzanley@Hamilton-Anderson.com>

Subject: [EXTERNAL] AFT Site visit

Hi Marie and Barry,

During our site visit yesterday, Barry, you mentioned that there was a document produced with recommendations about specific plants. Can one of you please forward that to me? Thank you!

Jake Hamilton
Landscape Architect II
313 887 6275 d
313 964 0270 p

HamiltonAnderson
1435 Randolph Street, Ste. 200, Detroit, MI 48226 313 964 0170 f
www.hamilton-anderson.com (-> urldefense.com)

Aretha Franklin Park

Site Assessment and Landscape Review For Plans Submitted By Hamilton Anderson Associates Inc.

General Services Department, Landscape Design Unit

Barry Burton, Project Manager Horticulture and Landscape Design

Part One: Site Assessment

1. We toured the grounds to identify diseased and dying plant material.
 - a. On the West side of the theater, nearly all of the Austrian Pine tree were displaying signs of medium to advanced infestations of diplodia blight. A fungus that is deadly and very communicable. There were also sign of Austrian pines that were growing in relatively small planting areas (bounded by concrete wall near the river) that the crowns have reached a size that is unsustainable. One had fallen over in a recent windstorm. We recommend removals and replacement for these pines as well.
 - b. Moving north towards Atwater, on the west side of the path there are approximately 12 colorado blue spruce infested with needle cast disease. A fungus that is also deadly. The dead branches have been trimmed up which ruined the purpose of these trees for screening and the disease, also a deadly communicable fungus, is moving up to the tops of these spruce trees. We recommend demolition and replacements, and the new plans call for Norway Spruce (abies) which is much more resistant to needle cast.
 - c. Concerning replacements, we recommend that the irrigation system operate during daylight hours to keep these diseases at bay for future plantings. The problem with these diseases is relatable to too much water on the branches that which is very accommodating to fungal spores. It should also be noted that this problem exists all over southeast Michigan.
 - d. Moving east parallel to Atwater a very large cottonwood tree was identified and due to its proximity to heavily used pedestrian areas and

- the fact that it drops large branches during wind events, it is slated for removal. We recommend a more suitable shade tree for this location.
- e. Looking up the steep hill at this location, a large stand of Austrian Pine (approx.. 10) were originally slated for removal. There is very little sign of disease on these trees and as the more severely diseased trees are slated for removal. We recommend preserving these trees.
 - f. Moving further east, near the stairs that start at the ground level at the location of the former ice skate rental facility there is a large stand of viburnum and mulberries. The viburnum are 50% dead and we recommend removal and replacement with ornamental shrubs which is called out in the current plan.
 - g. There is a remnant tree trunk of a very large willow in this area and we recommend its removal and a new tree (preferably not a willow) be planted in its place.
 - h. Moving south toward the Detroit River, there are numerous weed trees such as mulberries and shrubs which have reached the end of their life expectancy. The current plan calls for removal and replacement of these shrubs and we recommend approval as the new material is in keeping with the original design intent.
 - i. Across the site there are large stands of burning bush and mulberries, the burning bush is considered invasive and the mulberries are nuisance trees. We recommend complete removal of these plants throughout the site.
 - j. Along the east side of the amphitheater near the Detroit river there is one large bradford pear, also identified as an invasive tree in this region. It is covering some mature crabapples and we recommend its removal and a class one prune for the crabapples, (we also recommend a class one pruning for all crabapples and applicable trees on site). The increase in sunlight for the crabapples should result in a satisfactory rejuvenation.
 - k. Within the amphitheater, there are several trees not surviving well as they are growing under the canopy. We discussed installing new plant material which will thrive in these conditions including American dogwood "Appalachian spring", a disease resistant dogwood. In one location a dying tree is slated for removal and the replacement material

will look very nice as it included smoke tree with chartreuse and yellow hosta.

Conclusion on Site Assessment

- a. The most extensive area for demolition of trees is on the west side of the amphitheater. It is recommended to complete these removals in order to stop diseases and pests from spreading any further. We also recommend beefing up the evergreen replacement plan and diversifying the species selection which, in addition to changes in the landscape management (irrigation) should prevent this kind of problem from happening again.
- b. On the north and east side of the amphitheater, the removals are mainly dead and dying shrubs with a few trees slated for demolition and the transformation with new plants will be very attractive, especially as the design is in keeping with the original design and actually has some improvements due to newer available cultivars of plants.

Part 2 Design Review for the Newly Created Landscape Plan

1. Overall Design
 - a. The design is excellent. It's going to be transformational while respecting the original design.
2. Plant List: There are a few issues with the plant selections.
 - A. Trees
 1. Would it be possible to diversify the evergreen tree selections? Pinus cembra, Pinus "vanderwolf" would add a little more variety. And they seem quite resistant to disease. Report from my favorite nursery in Ohio is that Norway Spruce are getting hit with needle cast disease but they are easy to work with just as long as the irrigation systems don't come on too early in the morning where the water just sits inviting the spores to infect Norway Spruce. Also consider chaemacyparis nootkatensis as part of the replacement plan.
 - B. Tree quantities
 1. As quite a few trees, over a dozen are slated for removal on the east side of the theater, please consider more replacements, closer to one for one in the new plan.

2. Shrubs

1. Boxwood blight is just about to blow up in southeast Michigan. It's causing big problems already in southern Canada and it has shown up in Grosse Pointe (there goes half of my residential portfolio). A good sub would be *Ilex crenata* if you can find it grown as a hedge. We have found that *deutzia* works well too. Here is it at LaSalle Gardens. In the foreground you can see boxwood, but in the background, the capsule shaped beds are lined with *Deutzia 'Yuki pink'*. We trim it once a year and it gives us the same effect as boxwood and if trimmed right after it's done blooming, we'll get flowers the following spring.



2. For the Annabelle hydrangea, the cultivar “incrediball” is far more sturdy than the straight species.
3. Could other varieties of hydrangea get mixed into the fold? I find that oakleaf hydrangea blooms very close to Annabelle in early summer. Perhaps adding Hyd. Paniculate “vanilla strawberry” will extend the bloom time and it has several color displays from white, to pink, to auburn. There are endless cultivars of hydrangea available these days which are very attractive including the giant “Limelight” its smaller version “little lime” and the entire “city lights” series.
4. Gro low sumac is also, like boxwood, suffering from blight. It’s really starting to show up in southeast Michigan now. We have a large stand of on Jefferson near Alter and we will need to remove it either this year or next as it’s fading. There is an excellent dwarf viburnum called “lil ditty” that performs better but doesn’t spread as vigorously. Another suggestion would be artemisia “silver mound” or weigela “wine and roses”. Deutzia (unpruned) might also work.
5. I applaud bringing in Lindera! Great butterfly plant
6. Would you consider using both red and yellow twig dogwood? If they are visible from the street during winter, I find that red twig looks great on a sunny day in winter and how many of those do we have? Yellow twig stands out in cloudy weather. I would not recommend a mix of one by one but in large clusters.
7. How about another viburnum mixed into the fold if possible. The tomentosum “shasta” looks like we’d like a dogwood tree (if it were a shrub) that we’d like to see but with all the other suggestions for a larger mix of a specie, if it works with the design, then it would be nice to see another variety.
8. There is a shrub that blooms so very early that people think it’s May when it’s early April. It’s not easy to find but if there is a place for it within the public view for early April, Rhododendron mucronulatum “Cornell Pink” is just that shrub. It’s native to the border between Mongolia and Siberia so it’s quite hardy. Why we don’t use more of it in ornamental gardens escapes me, but it is a little brittle to work with but once in the ground it’s a show stopper. Planted with a little protection from the walls or hills of this landscape would be a perfect

home for it. It's deciduous so it doesn't suffer from leaf desiccation like other rhododendrons.

3. Perennials

1. I have found that the public is not crazy about ornamental grasses as much as we designers are. I had to rip all of them out (approaching nearly a thousand) at Bristol Park and along Livernois due to negative public responses. I'd be happy to work with you directly on reductions of grasses in favor of some plants that get a good response. These include Hibiscus M. "berry awesome" "midnight marvel" and "ballet slippers are just as low maintenance and have huge flowers in the early second half of summer. While I'm not suggesting no ornamental grasses I'm suggesting some companion plantings which would include crocosmia "lucifer", berberis "sunjoy citrus" and Buddleia "miss molly" and "lo and behold pink micro chip". All of these have performed very well at Erma Henderson Park just a few miles away off Jefferson and Burns.
2. I can't wait to see 595 creeping phlox blooming in early May!

4. Ground Cover

1. What a great and creative use of groundcovers. I hope you won't mind if you see that combo popping up at a few other parks where we are developing gardens.

Thank you for the opportunity for me to provide some input.



PURPOSE

This report is intended to provide conceptual designs and guidelines for new signage throughout the Aretha Franklin Amphitheater site. The new signage is intended to use updated branding and wayfinding that will help users navigate through the various site amenities and facilities. Because the entire AFT site is a registered Detroit Historic District, the signage must be sensitive to the history and character of the existing building and site conditions. Also included in this report will be a summary of required agency approvals and a brief assessment of existing signage. This report will focus on establishing appropriate signage character and sign types, and will not establish all final sign locations. This report will be presented in four sections; Sign Guidelines, Summary of Approvals, Existing Conditions and Proposed Signage Types. Also included for reference is the Detroit HDC “Signs & Awnings Guidelines”.

SIGNAGE GUIDELINES

- All proposed signage is subject to Detroit Historic District Commission and City of Detroit BSEED review, approval and permitting.
- Proposed signage to reflect current branding, including naming, colors, logos and style.
- Proposed signage to reflect the Detroit HDC “Signs & Awnings Guidelines” as closely as possible, while updating and strengthening the overall signage package. Key elements include;
 1. Recognize the scale, massing, style, materials and colors of the building and the district,
 2. Size and shape must fit within the building design, not obscure architectural elements and be consistent with the character of the historic district.
 3. Wayfinding signs not mounted on buildings to be ground, monumental or pylon sign.
- All signage shall be professionally designed, manufactured and installed by others under separate contract.
- Signage shall be of a durable material that matches and/or is harmonious with existing building materials, including colors and textures. Font for all new signage to match existing cast metal signs in concrete walls.
- Signage shall be of a size and scale appropriate to its location and intended function;
 1. Pedestrian Large-scale, Identifiable by pedestrians from afar.
 2. Pedestrian Small-scale, Identifiable by pedestrians on nearby sidewalk
 3. Pedestrian Informational, Barrier free, menu information, etc., provided for adjacent pedestrians.
- Proposed Sign Types;
 1. Pylon wayfinding signs. Design to be respectful of existing historic pylon signs.
 2. Building mounted flat signs.
 3. Projecting blade signs.
 4. Door and/or wall mounted barrier free and identification signage.
- Prohibited Sign Types
 1. Roof mounted signs
 2. Light box signs
 3. Any sign that is deemed incompatible with the existing historic architectural character.
 4. Any sign that restricts or obstructs ingress or egress from a required door or other required exit way.
 5. Any sign that restricts or obstructs a window, door or other opening for providing light or air, or interferes with proper functioning of the building.

SUMMARY OF APPROVALS

Beyond owner/client approval, there are two levels of approval required: Detroit Historic District Commission approval and City of Detroit BSEED approval/permit.

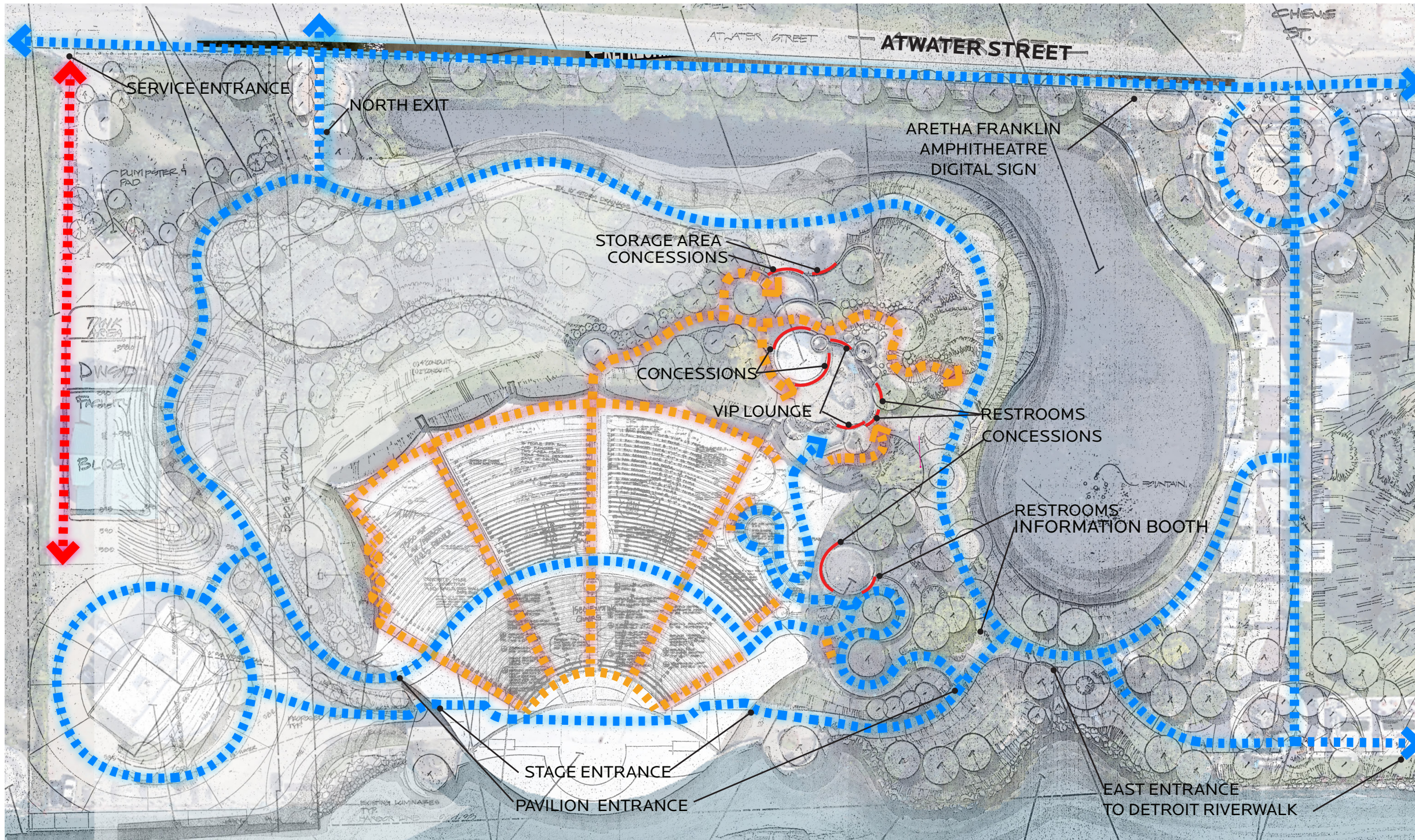
1. Detroit Historic District Commission will require full review and approval of proposed signage. The approval may be handled by HDC staff administratively, or may require full board approval. This will be determined by HDC, after the application is submitted and the scope of work is assessed by HDC staff. Approval will be contingent upon sensitivity to the existing condition and adherence to the Detroit HDC “Signs & Awnings Guidelines”, attached at end of this document for reference. The submission will include the required Project Review Request and appropriate back up drawings and photographs to explain existing and proposed conditions.
2. Owner to contract directly with selected signage vendor/installer. The signage vendor/installer will be required to submit a complete permit application with appropriate back up information to City of Detroit BSEED for approval. Back up information may include sign drawings, locations, material specifications and mounting details. Architectural and structural elements of signage, such as concrete pylons and foundations, to be provided by HAA under a separate scope and package. For specific information and complete requirements, see Detroit Municipal Code-Part IV City Code, Chapter 4 Advertising and Signs. For information detailing permit submittal requirements, see Sec. 4-4-19..

For information included in the Detroit Municipal Code that is specific to the overall Aretha Franklin Amphitheater Historic District, see Chapter 21, Sec. 21-2-243.

EXISTING SIGNAGE

There are multiple types of existing signage throughout the site which are past their useful life. They are in generally poor condition, and no longer serve their original purpose. It has become necessary to utilize portable signage for basic user navigation. Some existing signage is original to the project, but is in poor condition. Some has been added over time, and does not appropriately match the character of the architecture. None of the existing signage incorporates the current branding, style, logo's, etc.

- Existing concrete pylon wayfinding signs are original to the project, but they are in poor condition, they don't contain the correct information and may not be optimally located. The lighting/electrical for the existing pylon signs are no longer in use and should be terminated back to source if not already completed.
- Existing restroom and venue signage consist of painted and applied flat metal signage. They are not appropriate to the character of the existing architecture and do not reflect the necessary updated branding.
- Existing cast metal signage imbedded in the concrete walls are original to the project and have historical significance. Although they will not be part of the overall signage scheme, they will be essential for HDC approval and will remain.



LEGEND

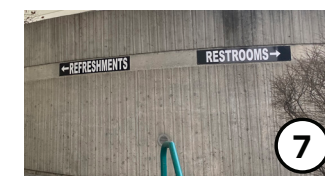
	ADA ACCESSIBLE
	NON-ADA AC
	SERVICE VEHICLE ACCESS

Photos 1-4: Existing pylon signs. Concrete pylon to be cleaned and refurbished. Signage to be removed and replaced with smooth concrete cap.

Photos 5-8: Existing signage not original to the site to be removed.

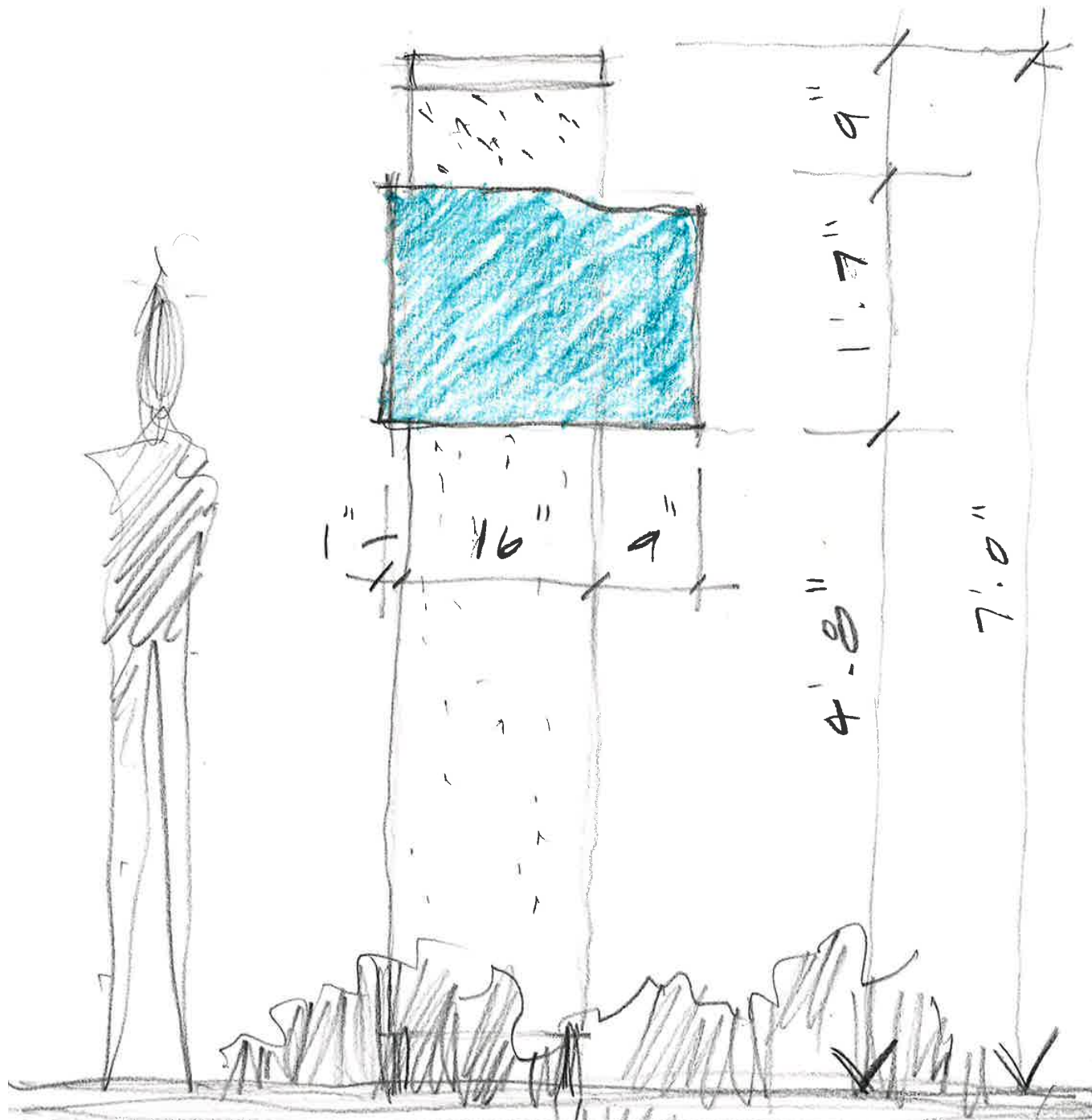
Photo 9: Existing cast metal signage inset in concrete walls (including dedication plaque) to remain

Photo 10: Existing seating specific signage to be refurbished as required.



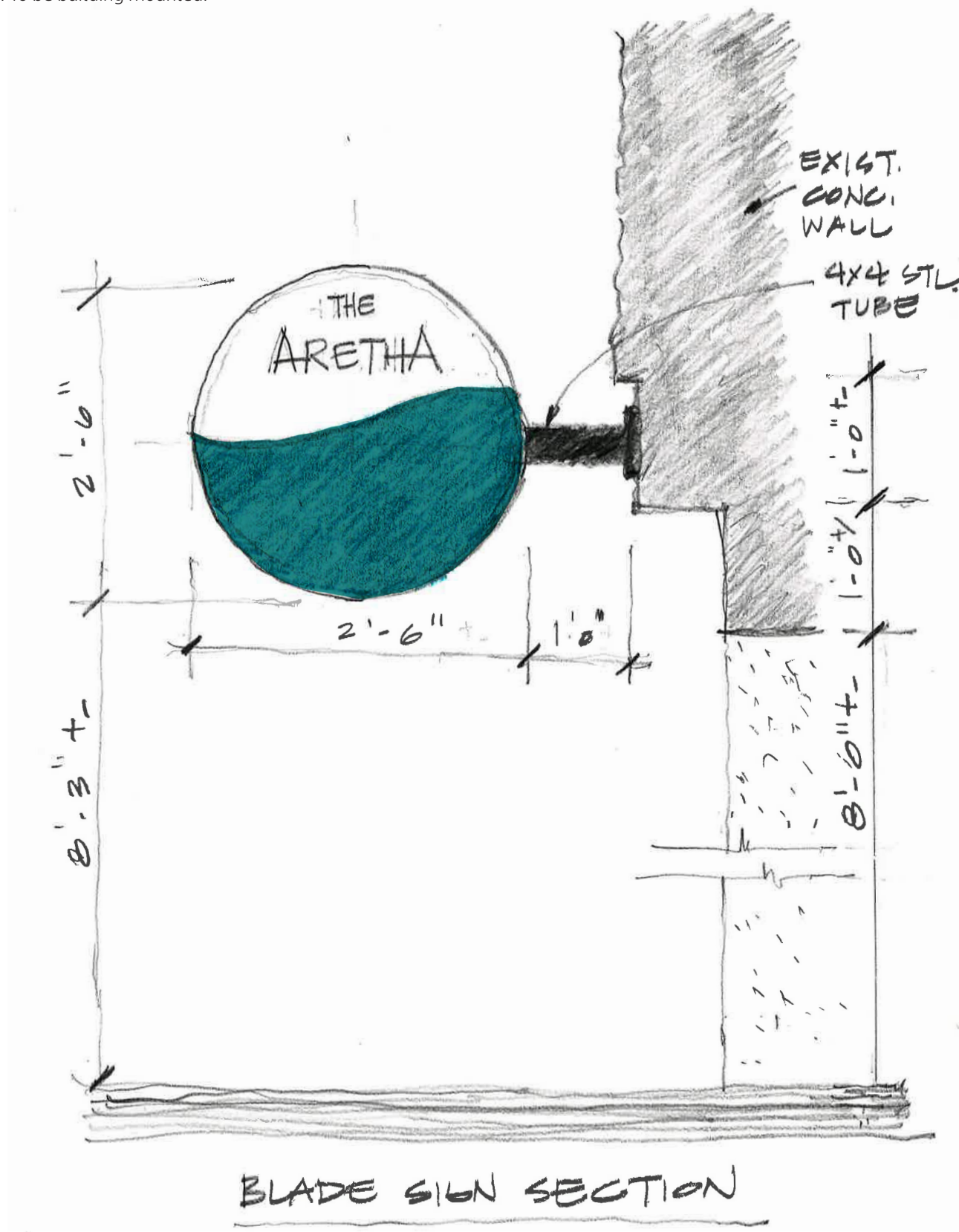
PROPOSED SIGNAGE TYPES:

Pylon Wayfinding Signs – To be used throughout the site for all user navigation and barrier free routes. To be ground mounted. Can be pedestrian large-scale and small-scale as required.



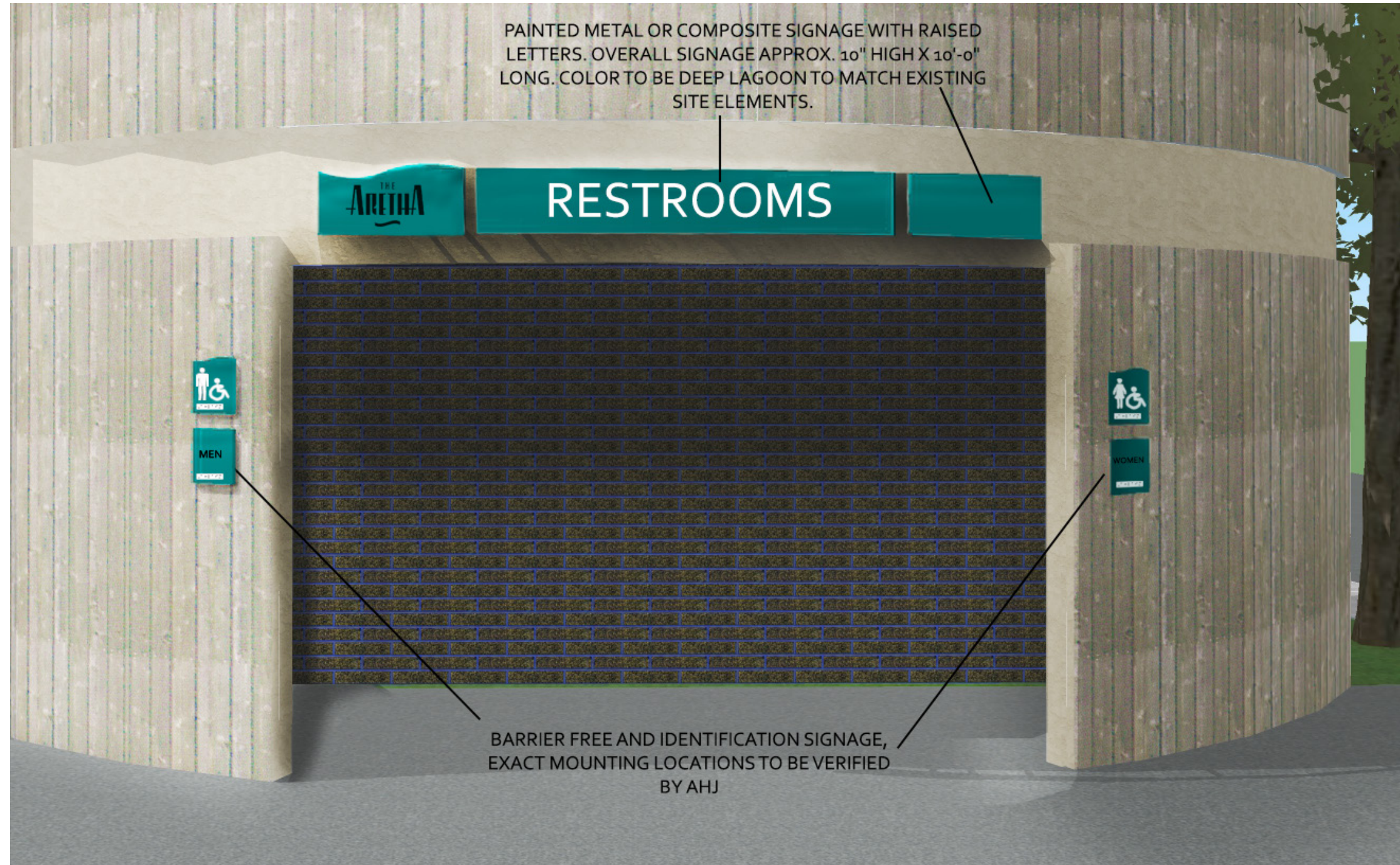
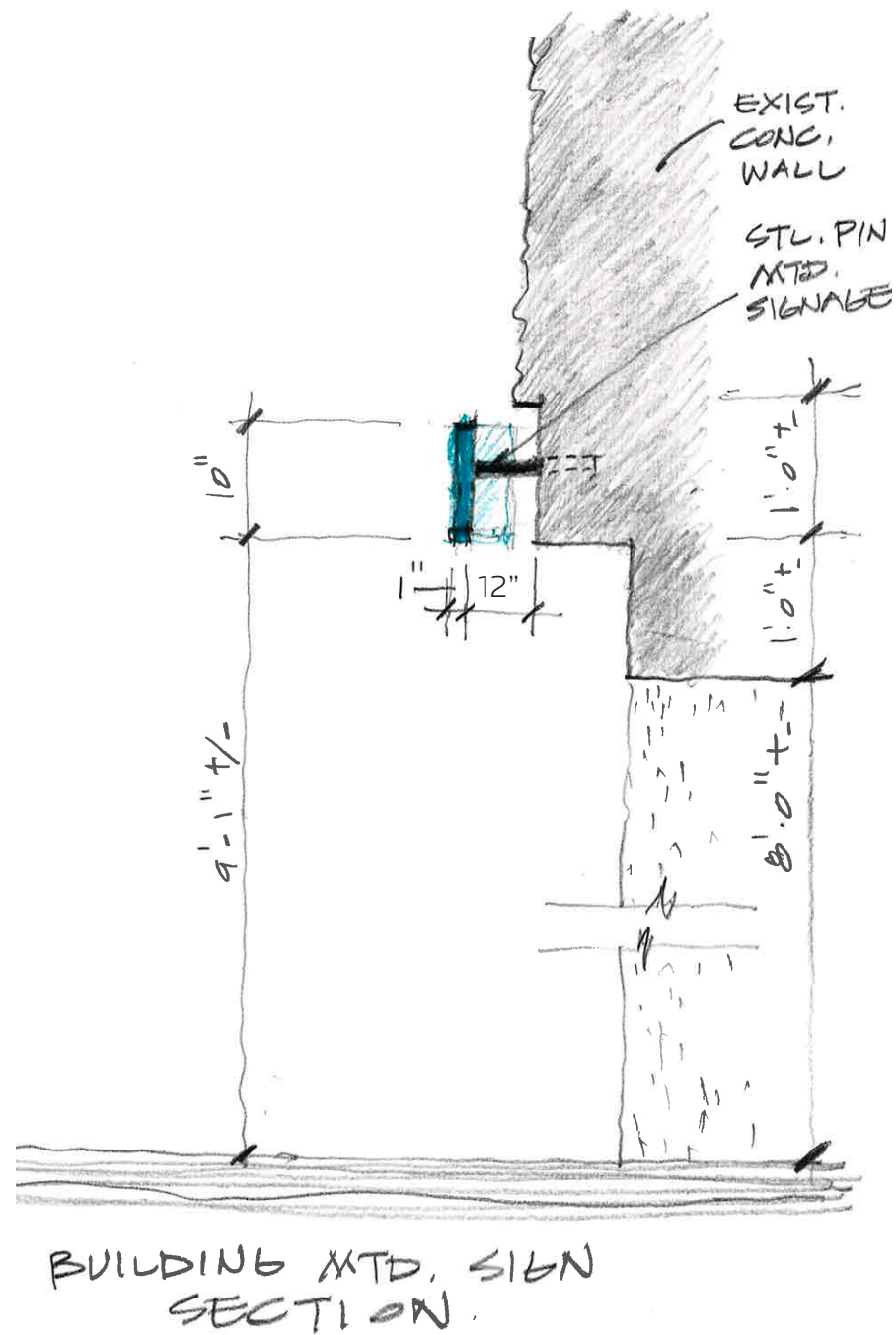
PROPOSED SIGNAGE TYPES:

Venue Blade Signs – To be used at branded concession venues as applicable. To be building mounted.



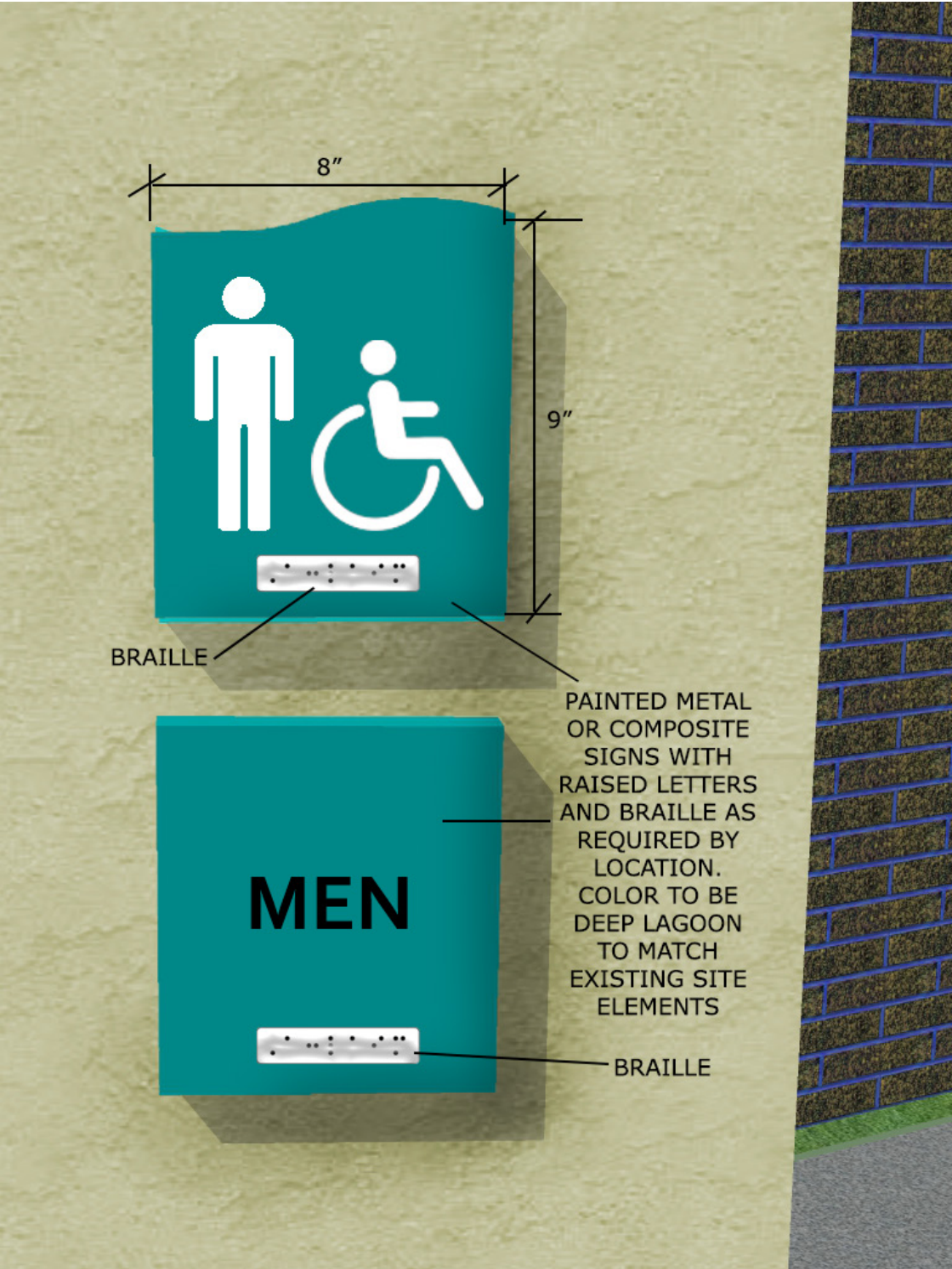
PROPOSED SIGNAGE TYPES:

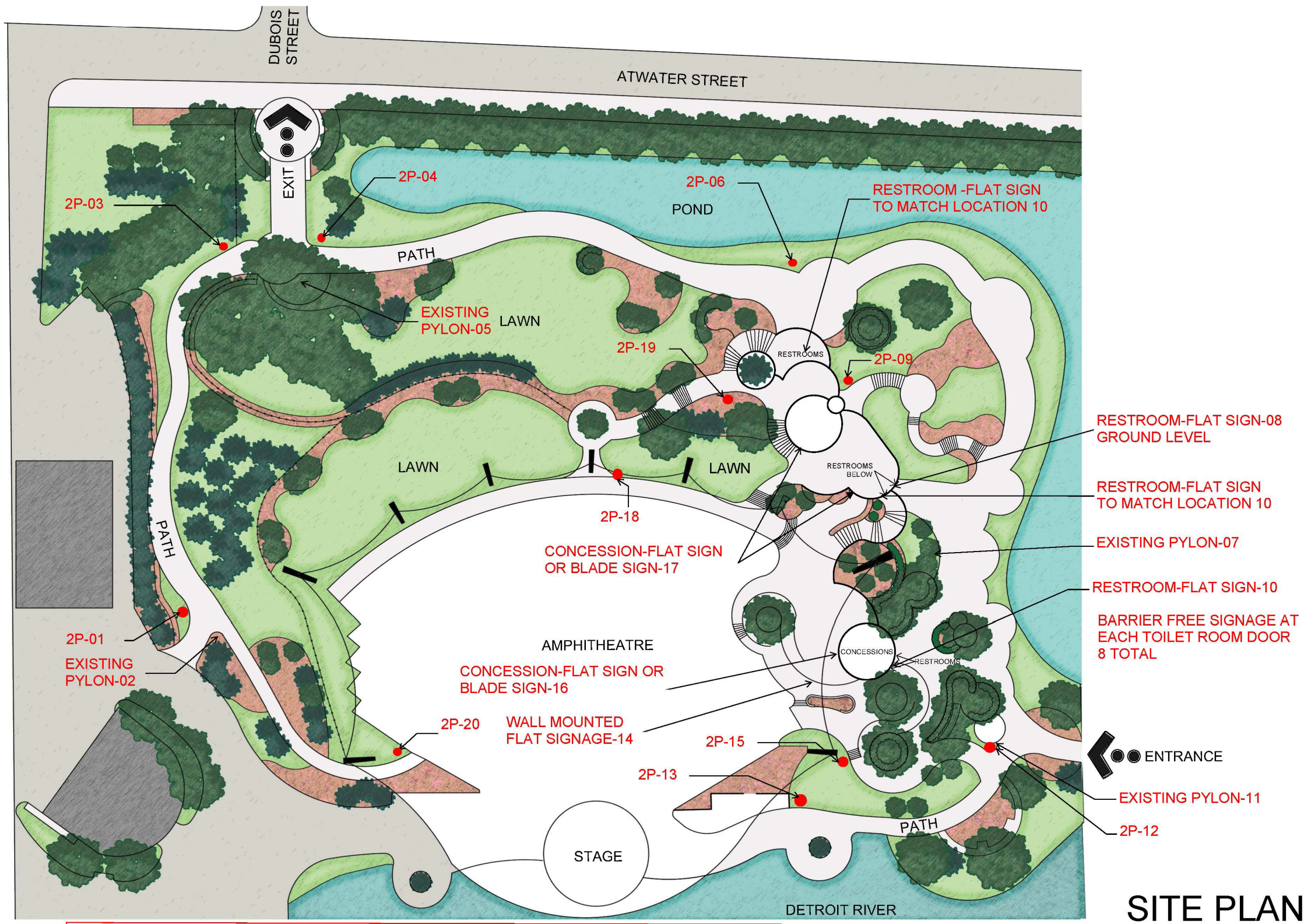
Venue and Facilities Building Mounted Flat Signs – To be used for venue and facilities wayfinding and pedestrian large-scale identification.



PROPOSED SIGNAGE TYPES:

Door and/or Building Wall Mounted Barrier Free and Room/Area Identification Signs – To be used per code requirements and as determined for building and grounds operations. To be pedestrian informational scale.

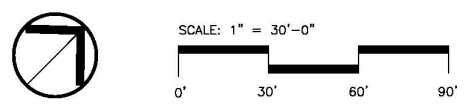




- RESTROOM-FLAT SIGN-08 GROUND LEVEL
- RESTROOM-FLAT SIGN TO MATCH LOCATION 10
- EXISTING PYLON-07
- RESTROOM-FLAT SIGN-10
- BARRIER FREE SIGNAGE AT EACH TOILET ROOM DOOR 8 TOTAL
- ENTRANCE
- EXISTING PYLON-11
- 2P-12

SITE PLAN - SIGNAGE

<p>2P-XX -----TWO SIDED PYLON TYPE SIGN-LOCATION NUMBER. 11 TOTAL PROPOSED. 4 TOTAL PYLON SIGNS REMOVED.</p>	<p>RESTROOMS ----- FLAT SIGN TYPE OVER OPENING 4 TOTAL PROPOSED 2 TOTAL FLAT SIGNS REMOVED</p>
<p>CONCESSIONS-----FLAT SIGN TYPE OR BLADE SIGN TYPE OVER OPENING. 3 TOTAL PROPOSED. 9 TOTAL FLAT SIGN TYPE REMOVED. (INCLUDING 6 VIP LOUNGE SIGNS)</p>	<p>WALL MOUNTED SIGNS---FLAT SIGN TYPE, LOCATION 14 2 TOTAL PROPOSED 2 TOTAL REMOVED</p>





PROPOSED PYLON SIGN
LOCATION 01



EXISTING PYLON
SIGN TO BE
REMOVED
LOCATION 02



PROPOSED PYLON SIGN
LOCATION 03

PROPOSED PYLON
SIGN LOCATION 04

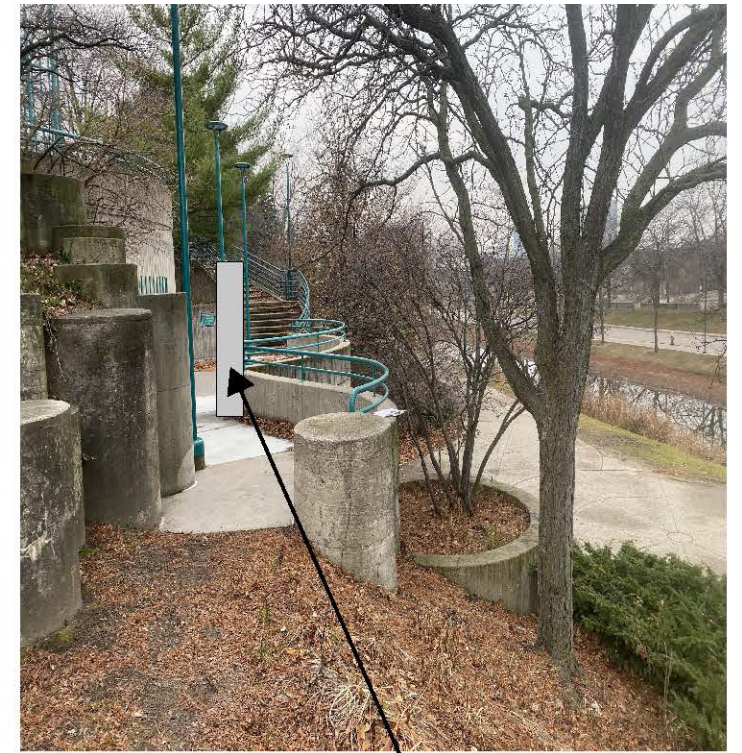
EXISTING PYLON
SIGN TO BE
REMOVED.
LOCATION 05





PROPOSED PYLON
SIGN LOCATION 06

EXISTING PYLON
SIGN TO BE
REMOVED
LOCATION 07



PROPOSED PYLON
SIGN LOCATION 09

REMOVE EXISTING
SIGNAGE

PROPOSED BUILDING
MOUNTED FLAT SIGN. SEE
SIGN TYPES. APPROX. 10'-0"
LONG X 10" HIGH.
LOCATION 08



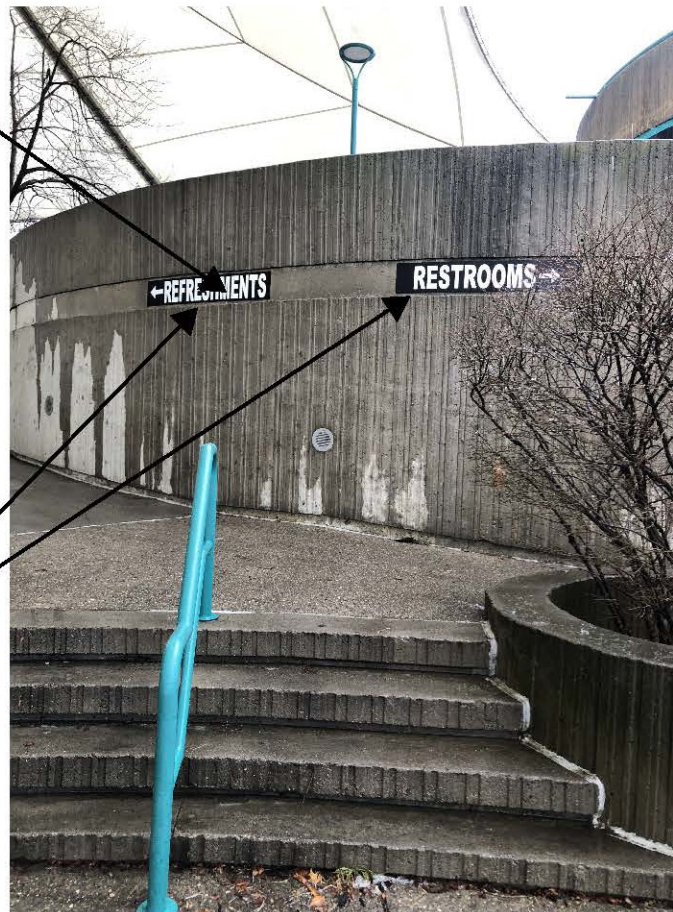
REMOVE
EXISTING
SIGNAGE





REMOVE EXISTING SIGNAGE

PROPOSED BUILDING MOUNTED FLAT SIGNS . SEE SIGN TYPES. APPROX 10'-0" LONG X 10" HIGH. LOCATION 10 LOCATION 14

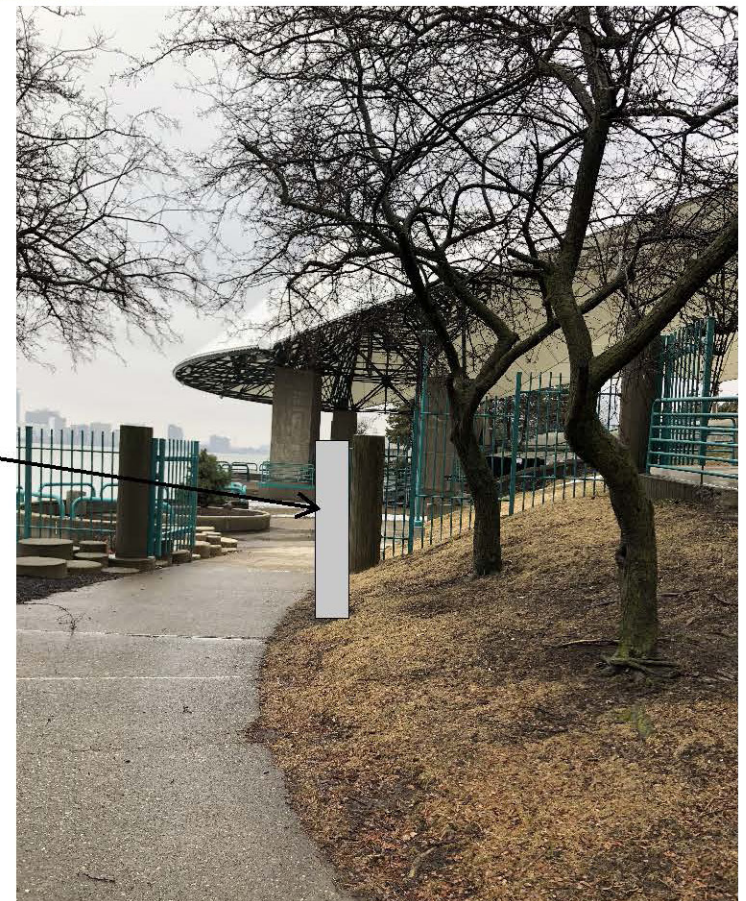


PROPOSED PYLON SIGN LOCATION 12

EXISTING PYLON SIGN TO BE REMOVED LOCATION 11



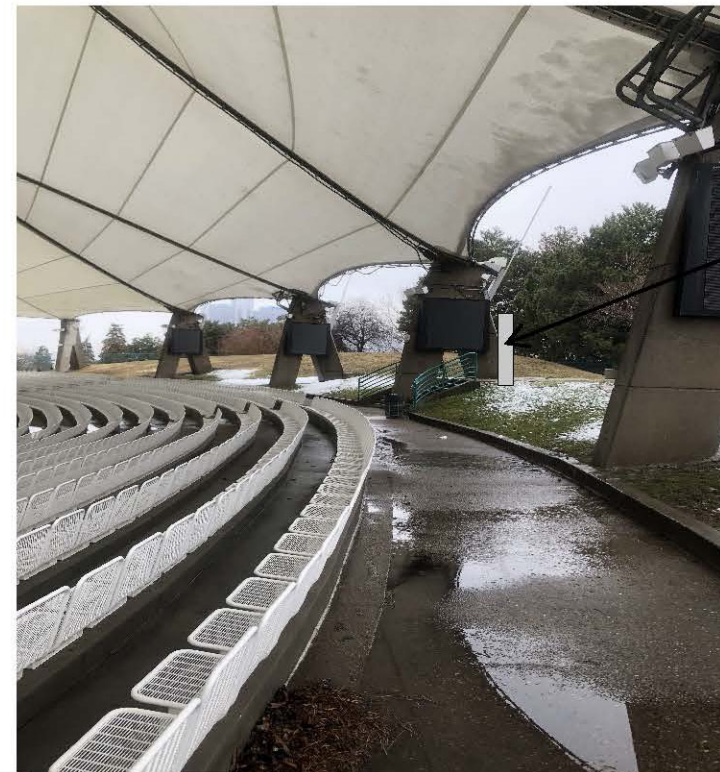
PROPOSED PYLON SIGN LOCATION 13





REMOVE EXISTING SIGNAGE, REMOVE NON-ORIGINAL PAINT ON BUILDING.

PROPOSED BUILDING MOUNTED FLAT SIGN OR BLADE SIGN. SEE SIGN TYPES. LOCATION 16.



PROPOSED PYLON SIGN LOCATION 18.



REMOVE EXISTING SIGNAGE

PROPOSED BUILDING MOUNTED FLAT SIGN OR BLADE SIGN . SEE SIGN TYPES. LOCATION 17

REMOVE EXISTING SIGNAGE

PROPOSED PYLON SIGN LOCATION 19.





REMOVE EXISTING SIGNAGE

PROPOSED BUILDING MOUNTED FLAT SIGN OR BLADE SIGN. SEE SIGN TYPES. LOCATION 17



PROPOSED PYLON SIGN LOCATION 20



ALL EXISTING ORIGINAL SIGNAGE CAST IN BUILDING WALLS TO REMAIN.



Signs & Awning Guidelines



“Signs often become so important to a community that they are valued long after their role as commercial markers has ceased. They become landmarks, loved because they have been visible at certain street corners--or from many vantage points across the city--for a long time. Such signs are valued for their familiarity, their beauty, their humor, their size, or even their grotesqueness. In these cases, signs transcend their conventional role as vehicles of information, as identifiers of something else. When signs reach this stage, they accumulate rich layers of meaning. They no longer merely advertise, but are valued in and of themselves. They become icons.”

Signs as Icons, “The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

The cultural significance of signs combined with their often transitory nature makes the preservation of historic signs fraught with questions, problems, and paradoxes. If the common practice in every period has been to change signs with regularity, when and how should historic signs be kept? If the business is changing hands, how can historic signs be reused? The subject is an important one, and offers opportunities to save elements that convey the texture of daily life from the past.

“The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

SIGNS

Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic signs

Purpose of signage:

- To indicate the original occupants and the area’s past. Even with a change in business, retaining historic signage as part of the community memory is desirable
- To identify current businesses and stores

Guidelines

1. Preserve historic signage when possible
2. Restore signs only when the original has lost its visibility through age, damage, or excessive/inappropriate cleaning
3. Create attractive commercial signs that promote business, both pedestrian and vehicular, but are free of visual clutter



4. Require that new signage compliment the historic integrity of the building and community. Signs must relate to the building(s) they serve
5. Signs shall be restricted to those which identify the name of the establishment and/or the primary business or service provided within.
6. Advertising related to businesses or services not provided on the premises shall be prohibited unless, with the approval of the Commission, such advertising is deemed historically appropriate.
7. Signage should make an attempt to recognize the stylistic features and characteristics of the historical districts in their materials and graphics
8. Signage should recognize the scale, massing, style, materials and colors of the building and the district

Common elements of historic signage include:

- Painted facades and fascia signs
- Material inlaid into the buildings façade
- Hanging signs and older neon signs
- Gold leaf or gilded lettering in storefront windows



Signs Mounted on Buildings

Size

Signage must fit within the building design and its storefront and be historically compatible with the site and context; must be compatible with building; and must not obscure architectural elements.

Shape

Shape of sign must be consistent with the character of the historic district in which the signage is located.

Materials

- Material inlaid or carved into the buildings façade should be retained
- Sign materials should be compatible with the design theme and use of materials on the building where the sign is to be placed.
- Painted wood and metal are preferred materials for the signs.
- Metal signs, wood signs, glass signs, and signs painted on masonry are permitted.

Position

- Locate signage above the storefront opening so that it does not conceal architectural details and features
- Signs should be located where architectural features or details suggest a location, size, or shape for the sign
- Signs should be placed on buildings consistent with sign location on adjacent buildings
- Limit the number of projecting signs
- In pedestrian areas, orient signs to sidewalk instead of motorists.

- The bottom of hanging signs should maintain at least a 10 foot pedestrian clearance from the sidewalk.
- Signs on canopies should be twelve (12) inches away from the end edges of such canopies.
- Maintain a physical separation between individual store signs so that it is clear that the sign relates to a particular store below

Illumination

- Consider if the sign needs to be lighted
- Use external or halo lighting to illuminate building and/or storefront signage
- Lighting should fit within the building design and its storefront and be architecturally compatible with the site and context
- With internally illuminated channel letters, limit raceways depth behind letter to five (5) inches (2 inches when using LED light source)

Typeface/Legibility

- Use cast or fabricated metal dimensional graphics – letters and logos – in lieu of plastic or vinyl dimensional graphics
- Use a minimum of ½ deep metal dimensional graphics – letters and logos.
- Selected materials should contribute to the legibility of the sign
- Avoid faddish or bizarre typefaces
- Avoid hard to read typefaces and symbols
- Limit the number of lettering styles



Color

- Sign colors should complement the colors used on the structures and the project as a whole
- Sign colors should reflect the color system appropriate to the period of the building
- Limit the total number of colors used in any one sign

Signs not mounted on buildings (commercial development or multi-tenants identification) should reference the following guidelines:

1. Use a *ground or monumental* sign not to exceed six-feet in height including the base
2. Provide a sign base of masonry, granite, or concrete with an architectural finish. A metal base on grade is prohibited unless it is 12 inches above grade
3. Include landscaping around the base of ground and monument signs
4. Limit commercial development identification signage to a maximum of two signs (double face) when development is on two major streets, not to exceed 150 square foot of signage
5. For *pylon* signs, limit height to a maximum of (12) twelve foot in height above grade including its base and post. Limit post width to 12 inch face.

6. Provide professionally made signage, including design, material, painting and construction.
7. Use signage materials that are architecturally appropriate to the historic character of the neighborhood

AWNINGS\CANOPIES

Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic awnings and canopies

Purpose of awning

- Awnings and canopies provide protection form the elements, expand floor space, provide unity of appearance, and create a decorative backdrop for identification.

Guidelines

1. Design awnings and canopies so as not to conceal building features such as pilasters or windows.
2. Use color schemes to coordinate with building façade colors
3. Use simple and triangular shape awnings with valance face not to exceed ten (10) inches
4. Install into mortar joints – no fastening into brick, stone or arch details.

Standards

1. Locate awnings, canopies and marquees and their supporting structure at a minimum of eight (8) feet, six (6) inches above public sidewalk
2. Project awnings and canopies not more than one half the width of the sidewalk and not more than 10 feet, six inches.
3. Project awnings and canopy material such as metal, glass, or woven fabric.
4. Limit signage on awning to the valance area (e.g., front fascia of the awning, not the sloped area.) Include business name, address, logo, or business “slogan,” but not to exceed 40% of the awning valance surface area. Product advertising is unacceptable.
5. Limit the signage area of awnings and canopies to tat allowed per Section 61-140292(5) of the City of Detroit Zoning Ordinance.
6. Use external lighting to illuminate awnings. Internally illuminated awnings are unacceptable.



7. Use awnings to define individual storefront openings. Continuous awnings along blank walls or awnings located at upper floor windows are unacceptable.
8. Use exposed awning design with open ends and no ceiling.

Other

The awning may be attached either just below the storefront cornice or between the transom and display windows (allowing light into the store while shading merchandise and pedestrians from the sun.)

The awning should fit within the storefront opening; i.e., should not cover the piers or space above the cornice. Aluminum awnings or canopies generally detract from the historic character and should not be erected.

New coverings for existing – previously approved – awnings may be administratively approved by the coordinator if the colors, content, placement of printing and materials are appropriate.

"... signs (and awnings) convey the texture of daily life from the past."

Variance to the above guidelines may be granted by the Historic District Commission.

The Historic District Commission reserves all rights to amend and/or update this policy statement. Any questions pertaining to this policy shall be directed to the Historic District Commission, 65 Cadillac Square, Suite 1300, Detroit, Michigan 48226, telephone (313) 224-06536

Use these guidelines in conjunction with the City of Detroit Zoning Ordinance: Signs – Article VI and Awnings-Article XIV General Development Standards

Adopted: August 13, 2008
Effective: August 13, 2008
Revised: May 12, 2010 and November 13, 2013



Section 57-2-1 - Definitions:

- Place shall include any park, parkway, park lot, grass plot, golf course, playground, recreation area, open place or square or other property under the control of the recreation department

Section 54-2-4 - Permit required to trim, spray, etc. Trees; exception.

- No person shall prune, cut, molest, break, deface, destroy, spray, repair or do surgery work upon any tree or part thereof or any manner interfere with, disturb or injure any tree, shrub or plant upon the public highways or places of the city; nor shall any chemical be used for the control of insects or other diseases or for any other reason; nor shall any person permit any chemical, either solids or fluids, to seep, drain or be emptied on or about any tree, shrub or plant growing upon any public highway or place within the city, without first obtaining a permit from the recreation department

Section 57-2-8 - Trimming of branches overhanging streets.

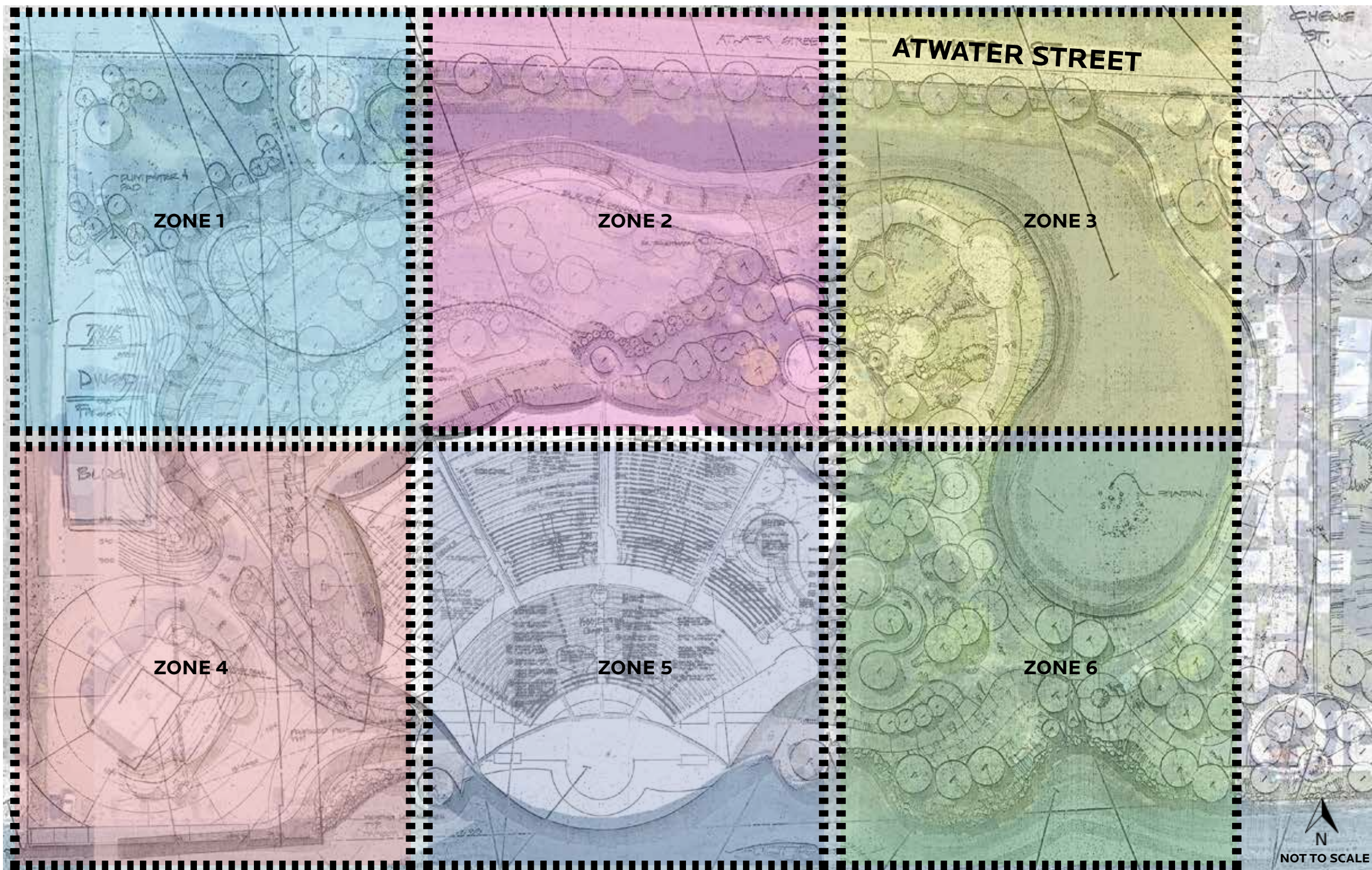
- Every owner of any tree, shrub or plant overhanging the streets or highways within the city shall trim the branches so that they shall not obstruct the light from any street lamp or obstruct the view of any street intersection, and so that there shall be a clear space of (10) feet above the surface of the street or sidewalk. Such owners shall remove all dead, diseased or dangerous trees, broken or decayed limbs which may be considered a menace to the safety of the public

Section 57-2-18 - Permit required for planting of trees and shrubs

- It shall be unlawful for any person to plant any trees, shrubs or any other plant in any public highway with the city, either for himself or for anyone else, until he has secured a written permit therefor from the recreation department, which permit shall be complied with in strict accordance with the rules and regulations prescribed. The application for such permit shall designate the locations and species of trees shrubs, or plants to be planted and the method proposed to be followed. The recreation department shall have the authority to refuse the granting of such permits when such planting is likely to create a public danger or a nuisance.

Section 57-2-18 - Permit required for planting of trees and shrubs

- It shall be the duty of the recreation department to remove or cause to be removed all trees, shrubs, or plants planted upon the public highways and public places within the city when, in its judgment, such removal shall be beneficial to the peace, health, and safety of the public, for public improvements or where such trees, shrubs, or plants detrimental to the growth of adjacent trees, but in such cases where, in the judgment of the recreation department, there exists the necessity of replacing these trees, shrubs, or plants the cost thereof shall be at the expense of the abutting property owner, either by direct payment of such amount to the city treasurer or by assessment as provided by this article. The cost for such removals shall be from funds provided therefor from general taxation.



LEGEND

■■■■■■■■ ZONES

On December 7th, 2022, Hamilton Anderson Associates performed a site inventory and analysis on the existing conditions of the landscape within the Aretha Franklin Amphitheatre property. Photos and descriptions of the landscape conditions have been compiled in this document and recommendations have been provided for landscape improvements.

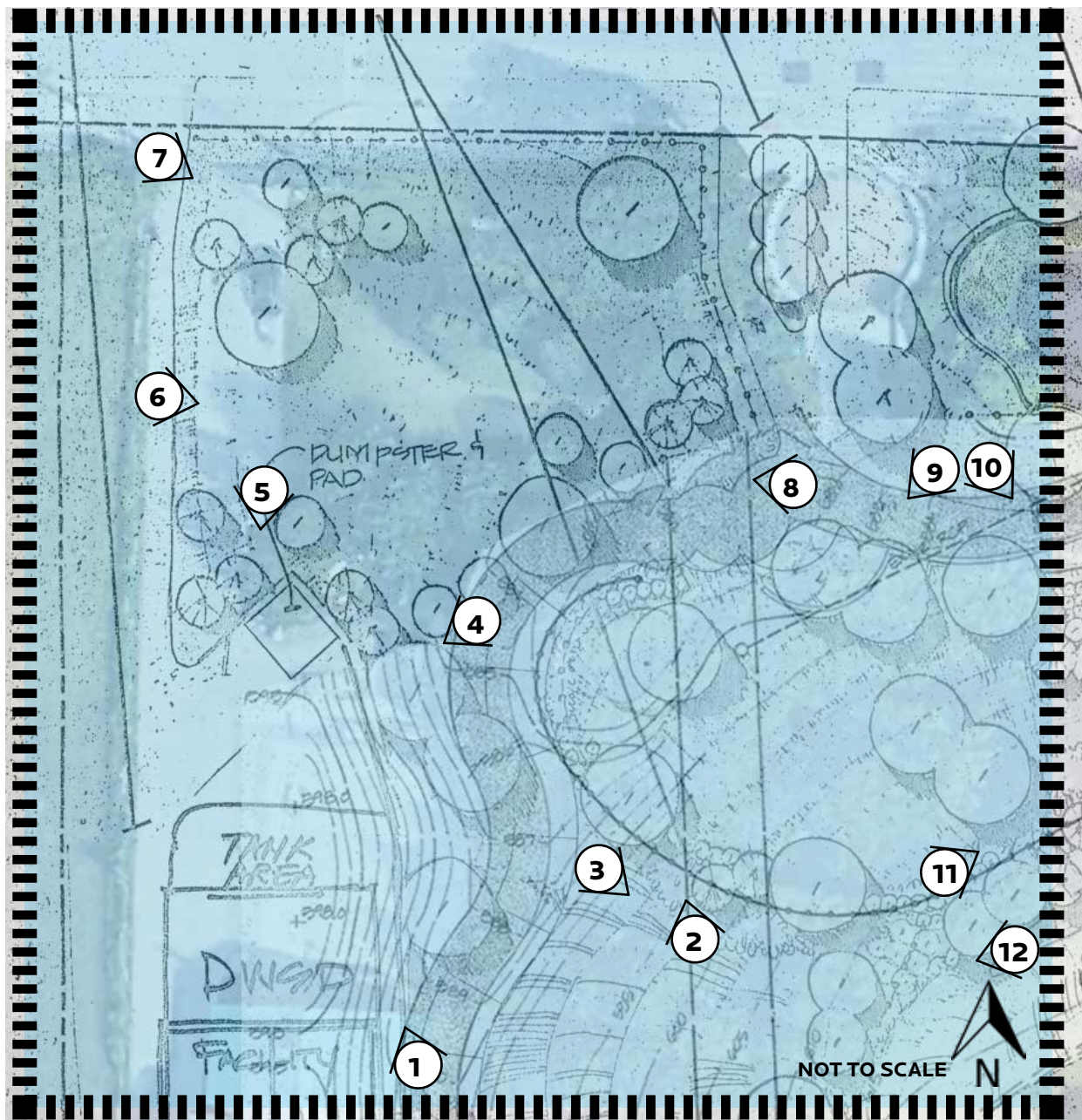
Historic District Requirements

Chapter 21- History

Division 5. Designated Districts

Section 21-2-243 - Aretha Franklin

Amphitheatre/Chene Park Historic District



(5) Overgrown Austrian Pines and (1) White Pine no longer provide screening. Consider removing, replace with Norway Spruce or approved equivalent



Burning Bush is overgrown and suffocated by vines. Remove shrubs and replace with smaller non-invasive shrubs. Remove stumps and weeds from bed, add topsoil, perennials, and mulch



Competition in the interior of the Austrian Pine stand has caused dieback; Prune dead branches. Reseed lawn with shade fescue variety. Shrubs along fence are overgrown; Consider pruning or replacing. Re-install metal landscape edging



(2) Overgrown Blue Spruce trees; Consider replacing with Norway Spruce or approved variety



(3) Overgrown Austrian Pines. Consider removing, replace with Blue Spruce or equivalent. Remove volunteer shrubs along wall. Reseed lawn



Blue Spruce and Norway Maple in this location are in good condition; no action needed. Consider reseeding lawn



Prune (3) Crabapple trees (suckering growth), and consider screening mechanical unit with shrubs. Large Siberian Elm and Blue Spruce in good condition.



Mature Austrian Pines and Norway Maple are in good condition. Consider reseeding lawn



(3) Mature Cottonwood trees and (1) Red Oak Tree in good condition. Consider planting row of evergreen shrubs along top of retaining wall



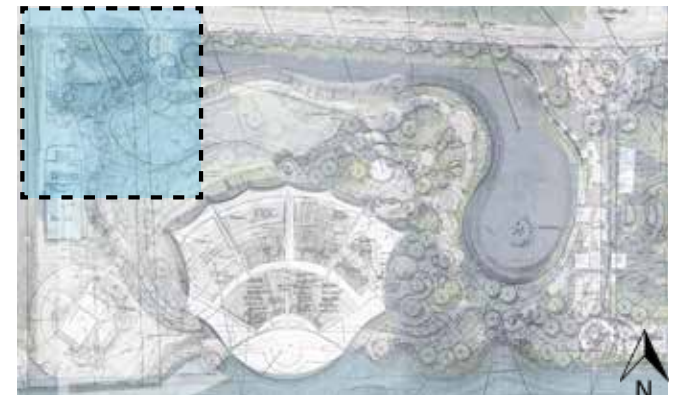
(1) Red Oak in good condition. Remove shrubs in planting bed. Consider replacing Blue Spruce trees due to overgrowth and dieback. Reseed lawn



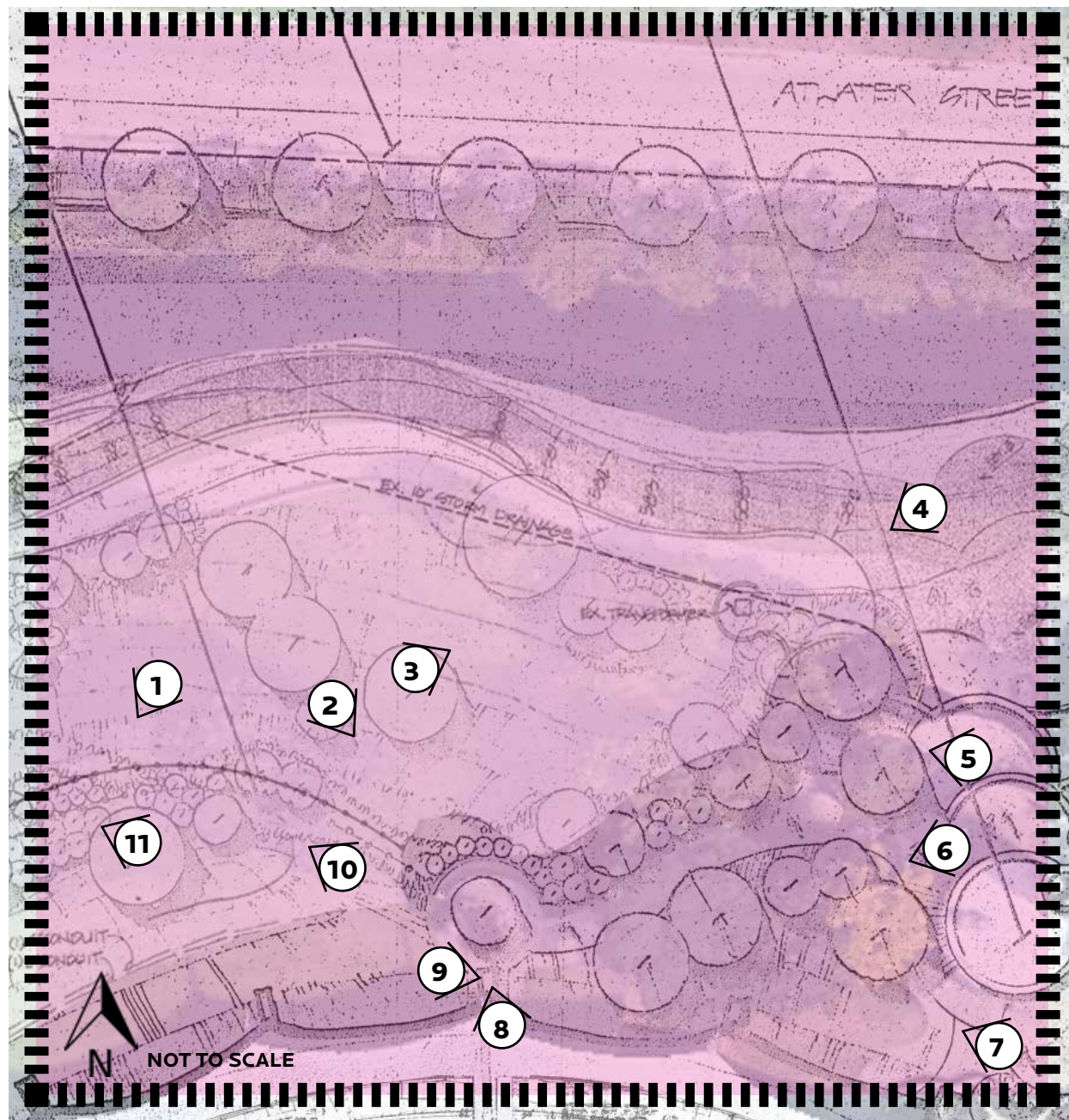
Reinstall landscape edging



Remove all invasive shrubs here. Reset landscape edging, add topsoil, mulch, and new shrubs along fence



LOCATION MAP



1 Remove volunteer pear saplings, prune suckers on mature trees. Prune overgrown shrubs along fence



2 Prune suckers on Crabapple tree. Austrian Pines are in fair condition (mild competition with each other). Reinstall landscape edging atop hill



3 Prune suckers of ornamental tree, remove unhealthy Redbud tree and replace with same species. Consider pruning the Burning Bush shrubs or replace with non-invasive species



4 Beech tree is in good condition but crowded by Burning Bush and small ornamental tree. We suggest removing the burning bush and small tree to showcase Beech. Plant new columnar evergreens along foundation



5 White Pine in good condition. Prune branches overhanging steps. Weed bed, mulch, and plant with annuals in growing season



6 Shrubs are overgrown, prune back to reduce size; especially the shrub growing into the sidewalk



7 Shrubs are overgrown, prune back to reduce size. Reinstall landscape edging. Red Oak and Austrian Pine in good condition, but prune any dead limbs



8 (1) American Beech in fair condition. Monitor for dead limbs in growing season



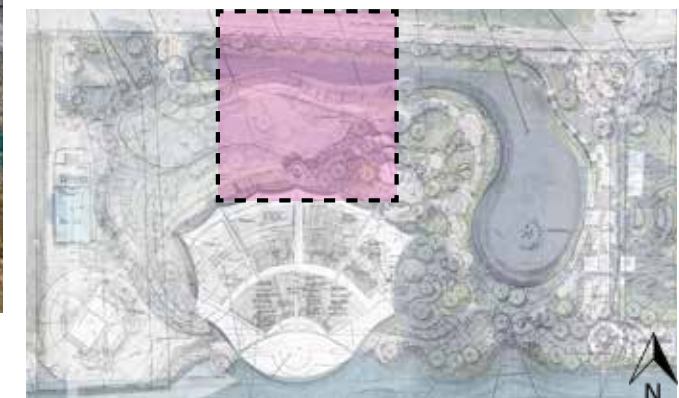
9 Grass area to be reseeded; typical of the lawn areas



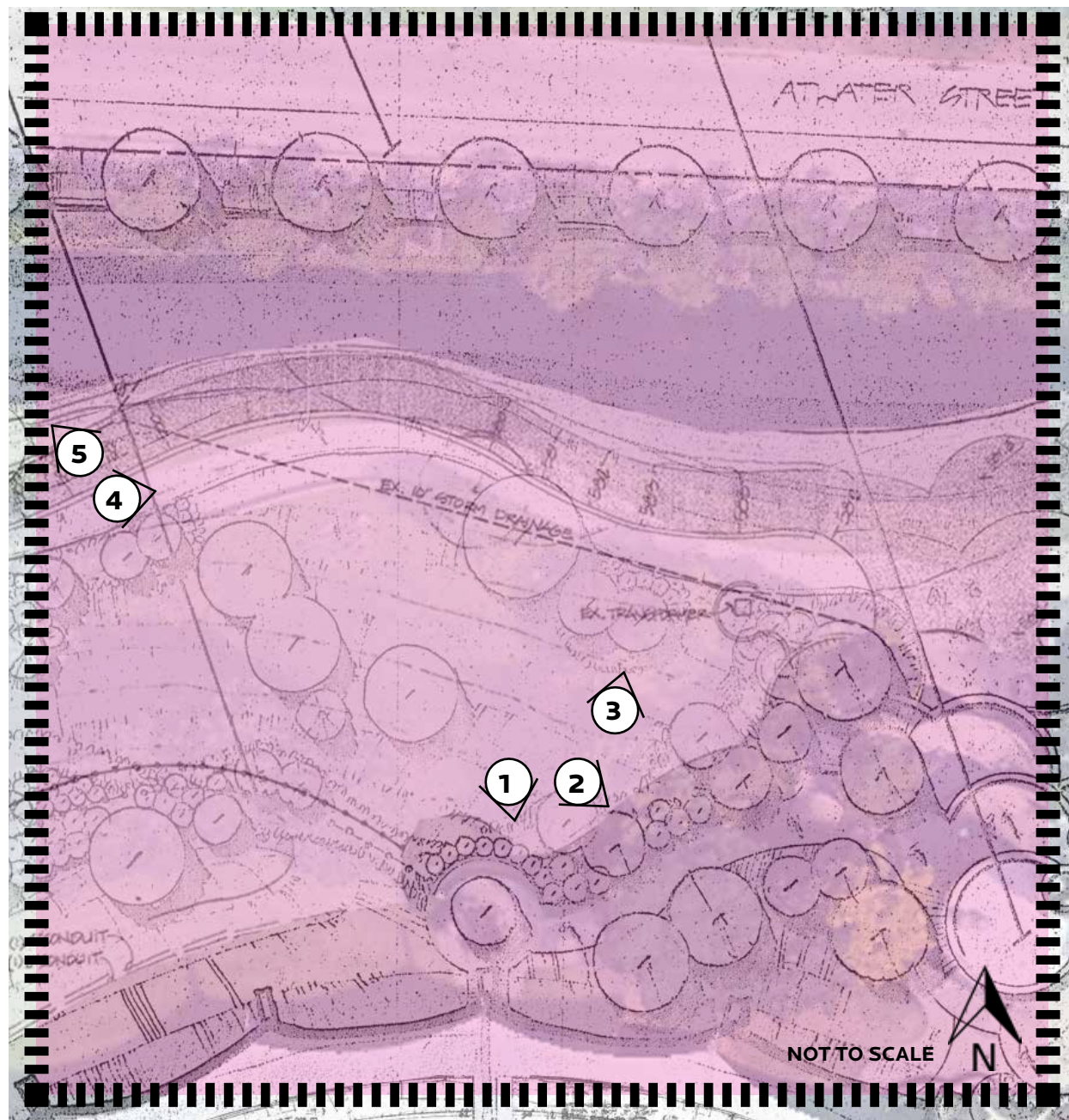
10 Austrian Pines in fair condition (competition). Reset landscape edging, remove weeds, add landscape fabric, topsoil and mulch, and add shrubs/perennials



11 Prune Crabapple suckers, remove invasive shrubs, reset landscape edging, remove weeds. Add topsoil, and mulch beds



LOCATION MAP



1
Pear tree in fair condition; prune suckers. Remove pear tree stump and suckers, remove weeds, and prune yew shrubs. Reset landscape edging and add topsoil and mulch



2
Shrubs are overgrown, prune to reduce size. Remove invasive honeysuckle in these beds. Reset landscape edging, add topsoil and mulch. Prune lower limbs of Pear Trees, and prune suckers from Hawthorn Trees



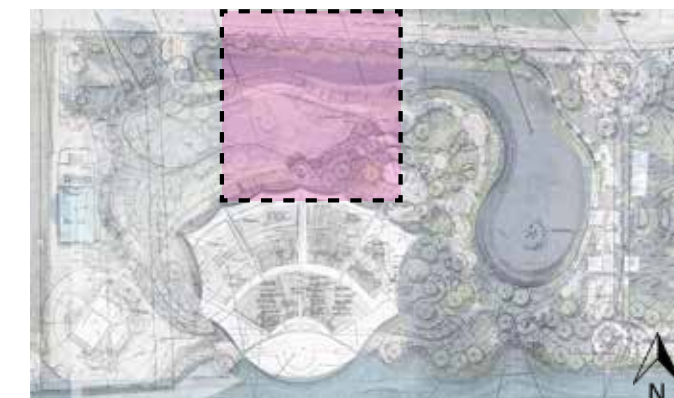
3
Remove (1) Redbud Tree. Replace with same species. Prune shrubs in this bed to reduce size. Add topsoil and mulch to bed



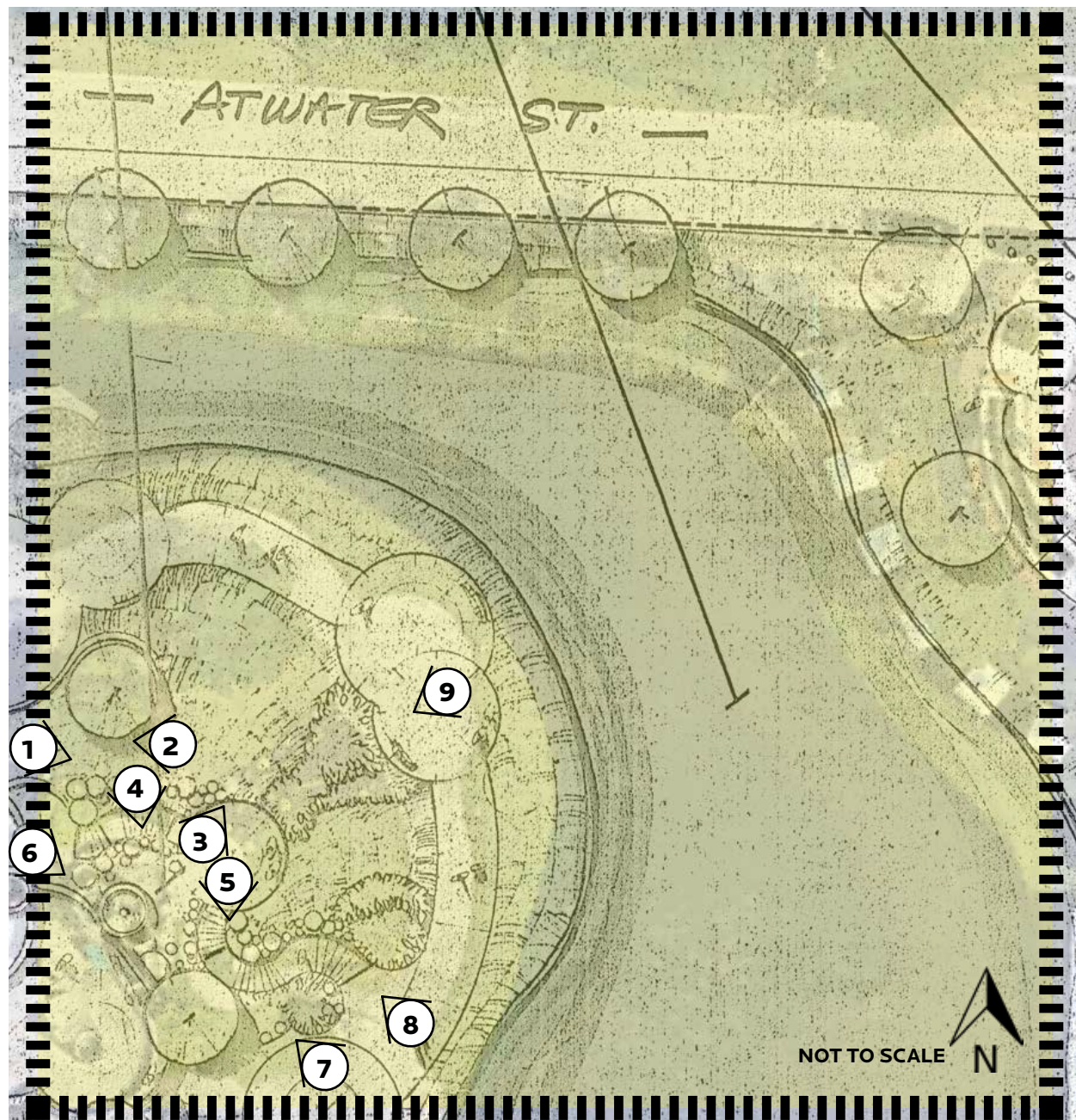
4
Remove stump and reseed



5
Remove stump and reseed



LOCATION MAP



Prune branches of ornamental tree that are against wall, and prune suckers. Add mulch for aesthetics



(1) Honeylocust tree and ornamental tree in planter are in good condition. Reset landscape edging, remove weeds from planing beds, add landscape fabric, topsoil, mulch, and ground cover. Reseed grass area leading up to sidewalk



Remove herbaceous weeds, add new mulch where it is necessary



Add evergreen shrubs such as juniper to match planters under pavilion



Remove invasive euonymus vines, replace with non-invasive, native ground cover. Trim English Ivy back, and reseed lawn area where needed



Remove weeds from planters, add landscape fabric, topsoil, and mulch. Plant new shrubs such as Juniper or Hydrangea



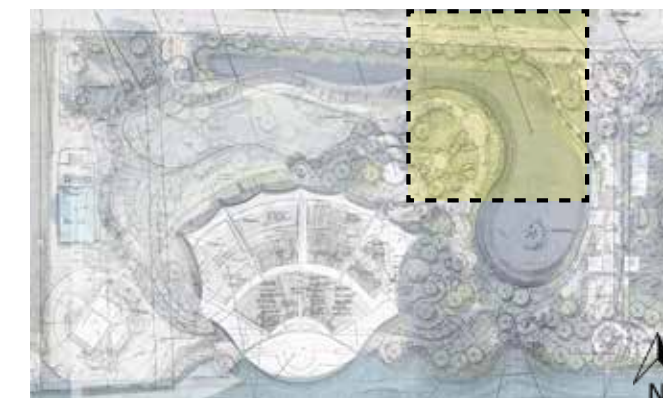
Reset landscape edging, clean up landscape beds, remove euonymus vines, and reseed lawn where necessary



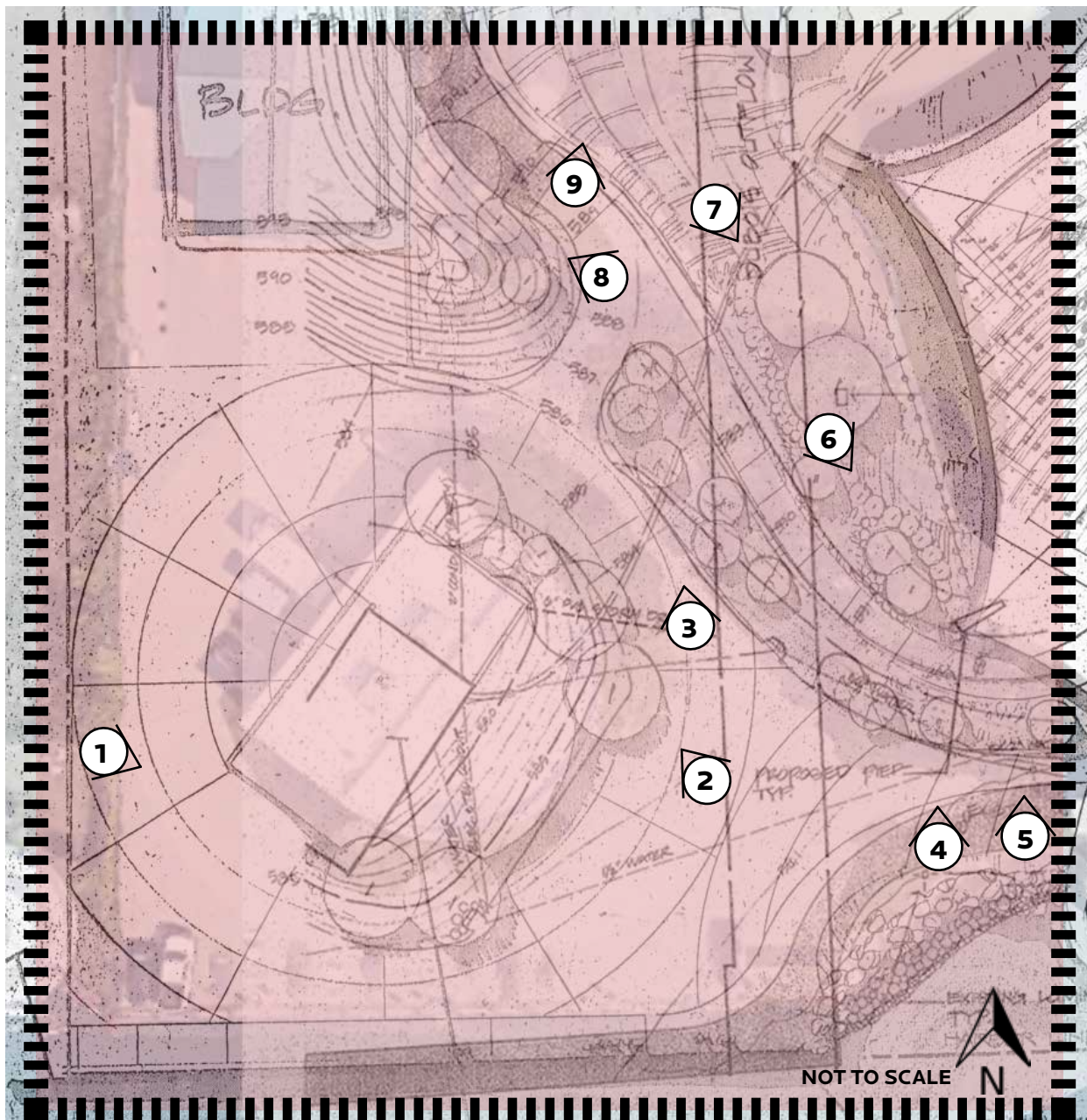
Remove weeds from landscape beds, reset landscape edging



Remove weeds from landscape beds, reset landscape edging



LOCATION MAP



1 Fill landscape area with topsoil and reseed. Prune Honeylocust branches away from building



2 Fill landscape area with topsoil and reseed. Prune honeylocust branches away from building



3 (3) Austrian Pines are in fair condition; prune dead limbs. Consider removing overgrown shrubs and replacing with perennials or new shrubs. Grind stump, re-install landscape edging and remove grass from planter bed



4 (5) Austrian Pines are in good condition, though overgrown and block views of the river from pavilion seating. If removed, provide large massings of shrubs such as oak leaf hydrangea along with perennial plantings near drive



5 Plant shrubs in bare landscape bed; consider juniper. Stones can be used throughout area as outcropping



6 (3) Prune dead branches of Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



7 Remove (2) invasive boxelder trees, prune suckers of (3) crabapples and prune dead branches on (3) Austrian Pine trees. Reinstall landscape edging and add topsoil with ground cover or perennials



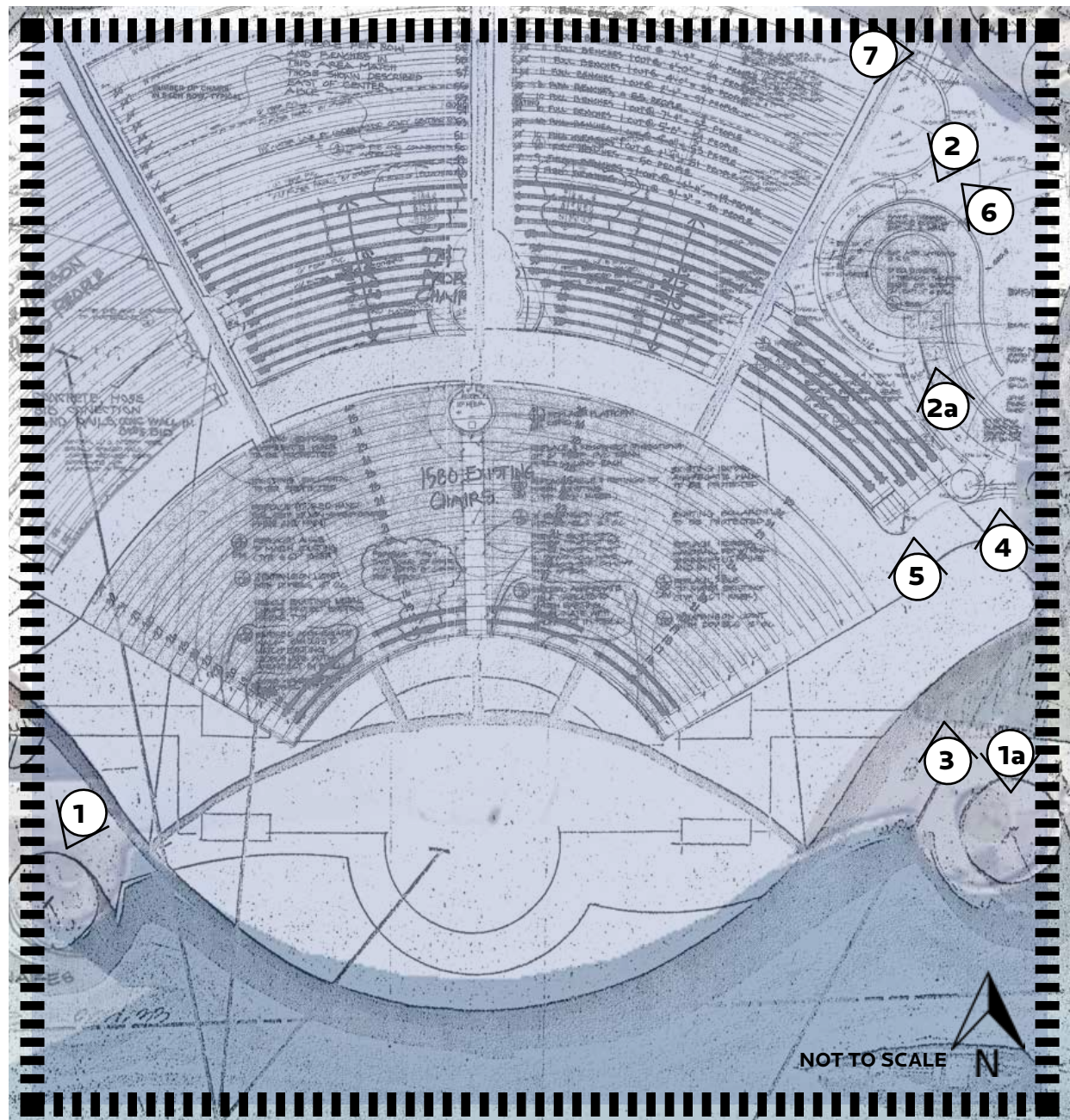
8 (5) Colorado Blue Spruce trees are in poor condition. Consider removing and replacing with Norway Spruce or approved variety. Opportunity to use new spruce to screen building and parking area



9 Austrian Pines, Blue Spruce, and White Pine are in poor condition. Area may be cleared for future building. If trees remain, prune dead limbs. Remove invasive white mulberry. Red Maple at north end of stand to remain



LOCATION MAP



1
Add new White Fir tree to match planter on east side of pavilion



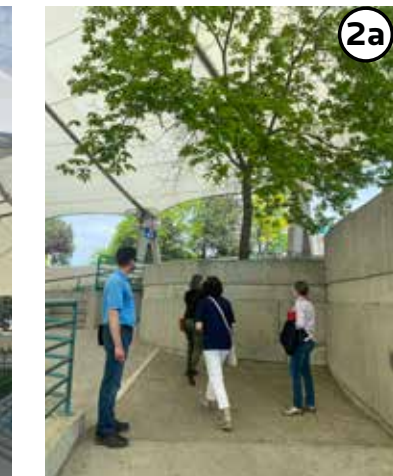
1a
White Fir in good condition; plant same species and size in planter to the west of the pavilion



2
Prune dead limbs in canopy of Red Oak tree, see picture to the right for reference



2a
Oak trees should be pruned when dormant, this image identifies a dead leader



2a
This photo shows more dead limbs that should be pruned



3
Define planting bed edge with metal landscape edging; provide plant material in bed



4
Burning Bush in good condition, though overgrown. It is considered invasive and should be replaced with a native variety. If it is kept, consider pruning when dormant to reduce size



5
Juniper shrubs in good condition



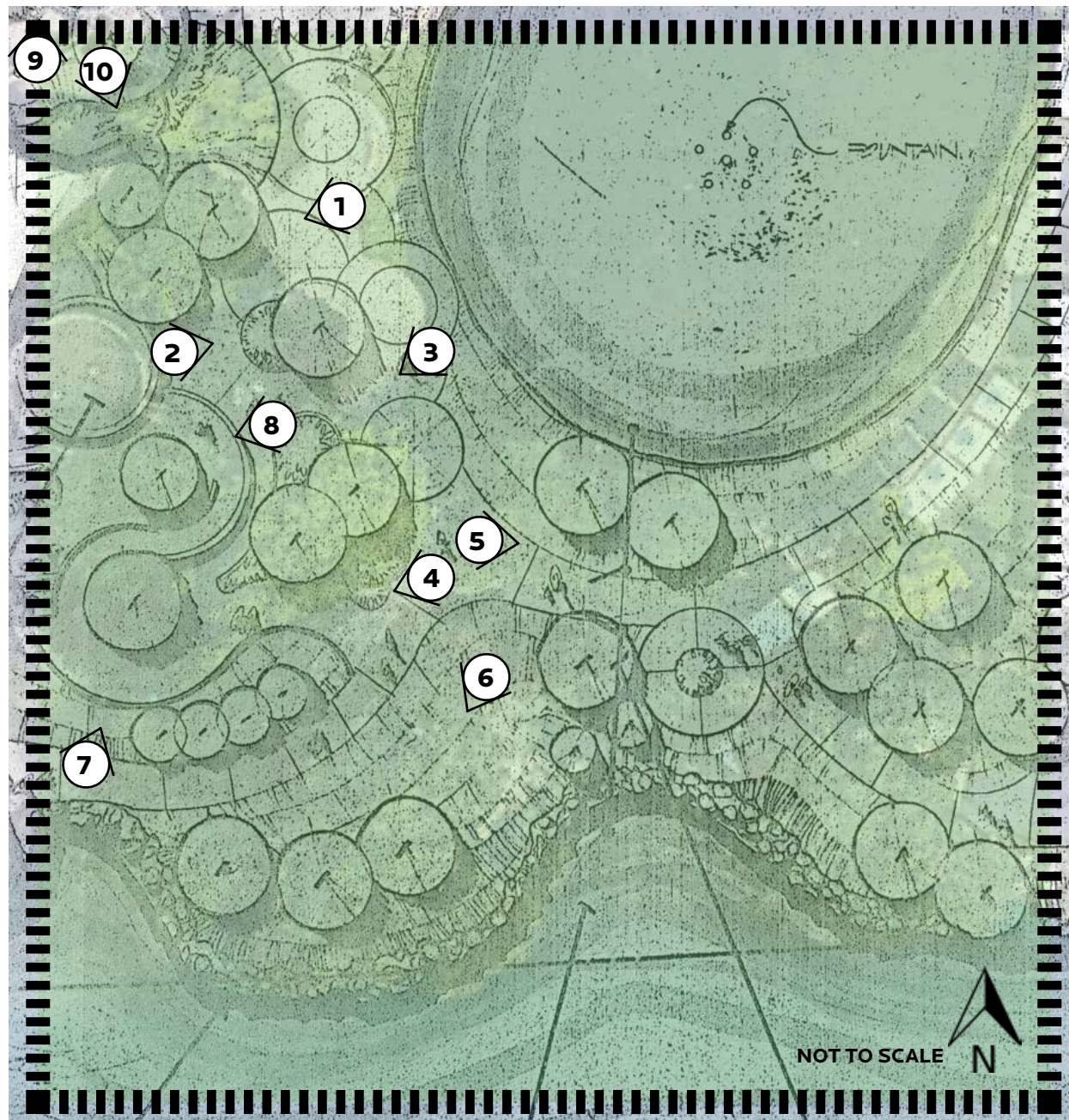
6
English Ivy is overgrown, prune back to reveal seatwall



7
Remove grass from bed, plant new juniper shrubs and add mulch.



LOCATION MAP



(2) Norway Maple trees and yew shrubs in good condition. Deciduous shrubs are overgrown, consider pruning back to reduce size. Also consider resetting the landscape edging



Yew shrubs are in poor condition; it is recommended to remove stunted shrubs and replace with similar variety. Deciduous shrub is in good condition but overgrown; consider pruning back to reduce size



(2) Red Oaks and (1) Pear Tree in fair condition due to interior competition; prune dead limbs. Yew shrubs in good condition, though several are dead and need replacement. Deciduous shrubs in good condition but overgrown; consider pruning to reduce size



(2) Crabapple trees under Pear tree are suppressed and in poor health. Recommend removing Pear tree limbs that overhang the sidewalk and crabapples, or removing crabapples and replacing with a row of shrubs



(1) Honeylocust (left) in good condition. (1) Scotch Pine (Right) in fair condition, prune any dieback. (2) Hydrangea shrubs along walk in good condition; consider planting more to form an attractive border along walk



(1) Scotch Pine in poor condition from suppression. Consider removing and replacing with ornamental tree that is tolerant to shade. Reseed lawn area. Other trees south of walk are in good condition



(1) American Beech and Yew shrubs are in good condition



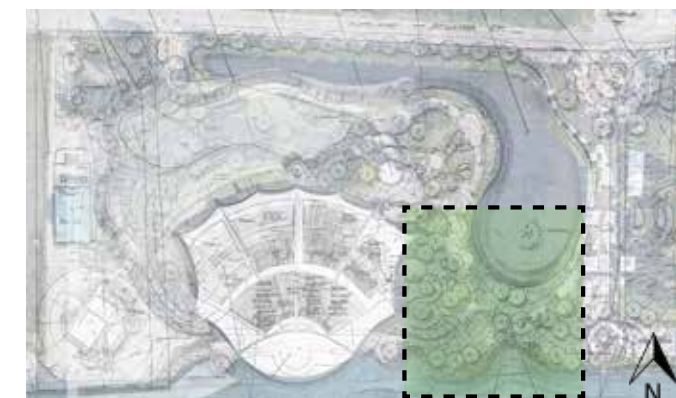
(1) Honeylocust in good condition



Consider sider adding juniper shrubs and mulch



Shrubs vastly overgrown, prune back significantly to reduce size



LOCATION MAP

AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

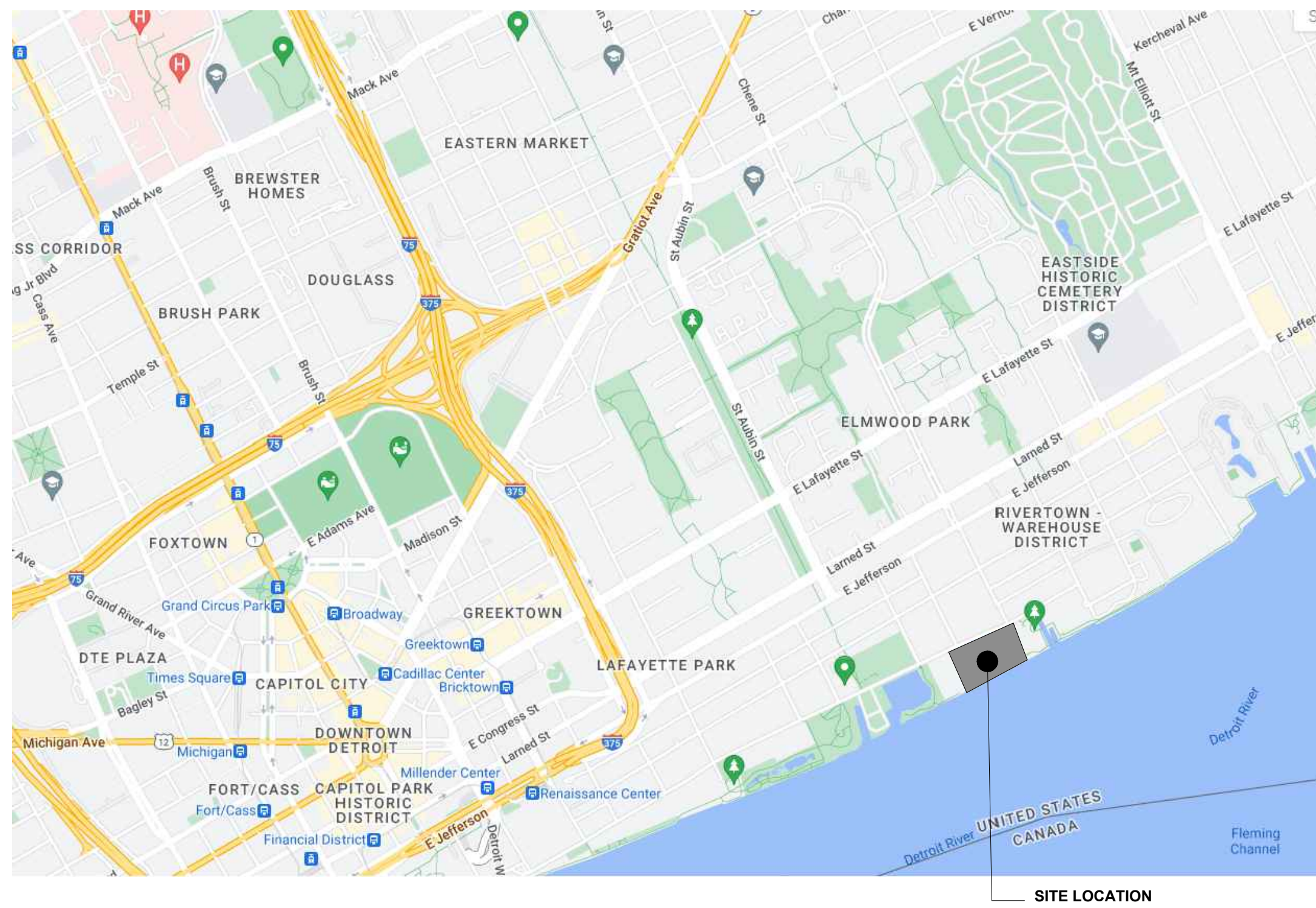
2600 ATWATER ST., DETROIT MI, MICHIGAN 48207
HDC REVISED SUBMISSION - 27 FEBRUARY 2023

HAMILTON ANDERSON PROJECT NUMBER: 2022022.01

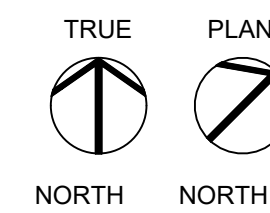
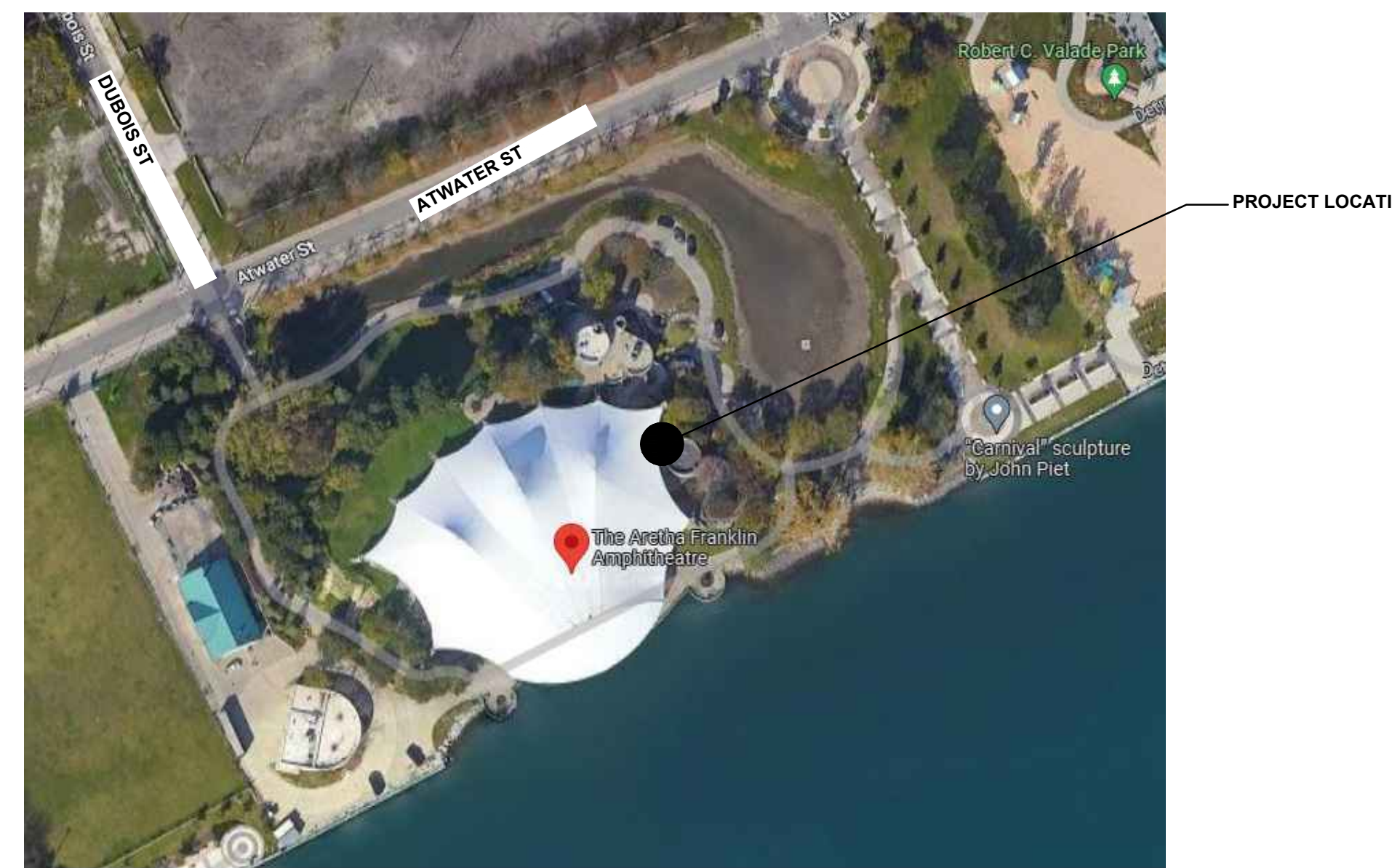
HamiltonAnderson
architecture landscape architecture urban design

Hamilton Anderson Associates, Inc
1435 Randolph Suite 200
Detroit, Michigan 48226
p 313 964 0270 f 313 964 0170
www.hamilton-anderson.com

LOCATION MAP:



SITE MAP:



DRAWING INDEX:

SHEET #	SHEET DESCRIPTION	SHEET ISSUE DESCRIPTION	SHEET ISSUE DATE
CS.1	COVER SHEET	HDC REV. SUBMISSION	02/27/2023
L1.1.0	GENERAL NOTES	HDC SUBMISSION	02/13/2023
L1.1.1	SPECIFICATIONS	HDC SUBMISSION	02/13/2023
LD1.1.1	SITE DEMOLITION PLAN	HDC SUBMISSION	02/27/2023
L6.0.0	ILLUSTRATIVE PLAN	HDC SUBMISSION	02/15/2023
L6.1.0	PLANTING PLAN - OVERALL	HDC REV. SUBMISSION	02/27/2023
L6.1.1	PLANTING PLAN - ENLARGED	HDC REV. SUBMISSION	02/27/2023
L6.1.2	PLANTING PLAN - ENLARGED	HDC REV. SUBMISSION	02/27/2023
L9.1.1	PLANTING DETAILS	HDC REV. SUBMISSION	02/27/2023

NOT FOR CONSTRUCTION

SYMBOLS LEGEND

PLAN ENLARGEMENT / SECTION / DETAIL TITLE

DETAIL IDENTIFICATION NUMBER (SAME NUMBER ON SHEET WHERE DRAWN OR REFERENCED)



DRAWING TITLE

SCALE: 1 1/2"=1'-0"

SHEET IDENTIFICATION NUMBER (INDICATES SHEET NUMBER WHERE DETAIL CALLOUT IS DRAWN)

SECTION CUT NOTATION

SECTION IDENTIFICATION NUMBER

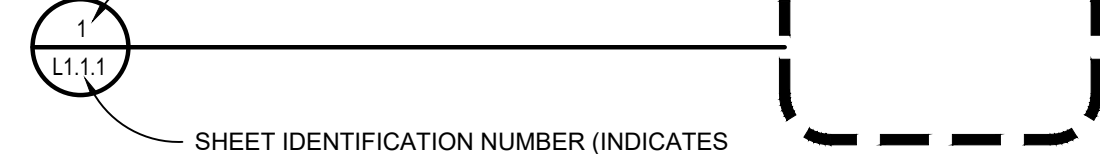


SECTION CUT LINE

SHEET IDENTIFICATION NUMBER (INDICATES SHEET NUMBER WHERE SECTION IS DRAWN)

PLAN / SECTION ENLARGEMENT NOTATION

ENLARGEMENT IDENTIFICATION NUMBER

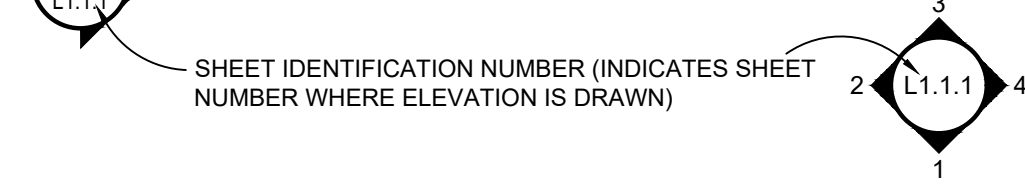


SHEET IDENTIFICATION NUMBER (INDICATES SHEET NUMBER WHERE ENLARGEMENT IS DRAWN)

ELEVATION NOTATION

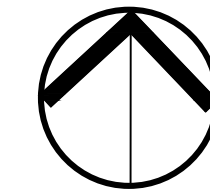
ELEVATION IDENTIFICATION NUMBER(S) (SAME LETTER ON SHEET WHERE DRAWN OR REFERENCED)

INDICATES DIRECTION OF VIEW OR MULTIPLE VIEWS



SHEET IDENTIFICATION NUMBER (INDICATES SHEET NUMBER WHERE ELEVATION IS DRAWN)

NORTH INDICATION



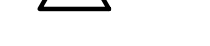
ADDENDUM NOTATION

ADDENDUM NUMBER

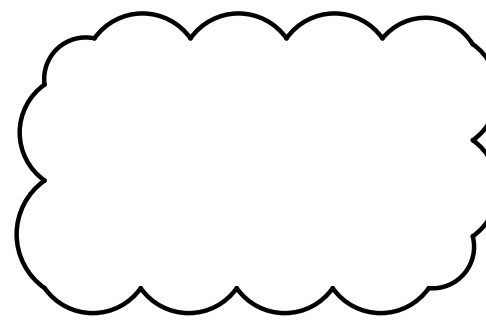


BULLETIN NOTATION

BULLETIN NUMBER



REVISION NOTATION



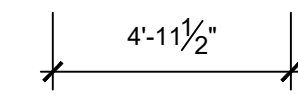
DRAWING NOTATION

SPECIFICATION SECTION RELATING TO MATERIAL DESCRIPTION AND METHODS OF CONSTRUCTION

321400 UNIT PAVER TYPE 1

MATERIAL NOTATION AND INFORMATION

DIMENSION LINE NOTATION



NOTE: DO NOT SCALE DRAWINGS

NOTE: THIS LIST DEFINES THE TYPICAL NOTATION FORMAT. THOUGH NOTATIONS WITHIN DRAWINGS MAY DIFFER FROM NOTATIONS INCLUDED ABOVE. CONTRACTOR TO CLARIFY ANYTHING UNCLEAR WITH LANDSCAPE ARCHITECT. ANY NOTATION THAT IS UNCLEAR AND NOT INCLUDED WITHIN THIS LIST SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

GENERAL NOTES

- THE DRAWINGS AND SPECIFICATIONS DESCRIBE IN GENERAL THE QUALITY AND CHARACTER OF THE MATERIALS, SHAPE AND CONFIGURATION OF IMPROVEMENTS AND THE DESIGN INTENT OF THE COMPLETED, INSTALLED WORK OF THIS SPECIFIC PROJECT AND ONLY THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION COORDINATION, EQUIPMENT, METHODS AND MATERIALS REQUIRED FOR SUCCESSFUL COMPLETION OF THE PROJECT, WHETHER OR NOT MENTIONED IN THE SPECIFICATIONS OR SHOWN IN THE DRAWINGS. THIS INCLUDES BUT IS NOT LIMITED TO THE QUALITY OF WORKMANSHIP AND MATERIALS REQUIRED FOR EXECUTION OF THESE DOCUMENTS AND ALL WORK OR MATERIALS SUPPLIED BY ANY SUBCONTRACTORS.
- CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND UNDERSTANDING CONTRACT DOCUMENTS FOR THE PROJECT, INCLUDING BUT NOT LIMITED TO THE PROJECT MANUAL AND PROJECT DRAWINGS. PROJECT MANUAL CONTAINS MATERIAL DESCRIPTIONS AND DETAILED INSTRUCTION NOT INCLUDED IN THE DRAWINGS. CONTRACTOR TO NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- CONTRACTOR SHALL PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED IN KIND AT NO ADDITIONAL COST TO THE OWNER. BARRICADES, SIGNS, LIGHTS, ETC., REQUIRED FOR THE PROTECTION OF PUBLIC, PERSONNEL, PROPERTY AND MATERIAL SHALL BE PROVIDED FOR AND MAINTAINED DURING CONSTRUCTION BY THE CONTRACTOR AND SHALL CONFORM TO ALL GOVERNING CODES, ORDINANCES AND REGULATIONS.
- CONTRACTOR SHALL PROVIDE ALL TOOLS, TRANSPORTATION, UTILITIES, TEMPORARY FACILITIES, AND OTHER SERVICES AS NECESSARY FOR PROPER EXECUTION OF THE WORK, AND SHALL ASSUME FULL RESPONSIBILITY FOR PROTECTION AND SAFEKEEPING OF THESE ELEMENTS DURING CONSTRUCTION, UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT IN ADVANCE FOR APPROVAL OF THE MATERIAL STORAGE AREA AT THE JOB SITE.
- CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING STREETS, SURROUNDING LANDSCAPE, AND OTHER IMPROVEMENT WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC. AND TO AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPE, LOW SPOTS, OR HAZARDOUS CONDITIONS.
- ALL EXISTING UTILITIES AND UTILITY COVERS SHALL BE PROTECTED UNLESS NOTED OTHERWISE ON THE DRAWINGS. PROVIDE ADEQUATE COVER FOR THE PROTECTION OF ALL PROPOSED AND EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY DIFFERENCES IN LOCATIONS OF EXISTING UTILITIES FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- ALL EXISTING TREES SHALL BE PROTECTED UNLESS NOTED OTHERWISE IN DRAWINGS. PROVIDE TREE PROTECTION FENCING AS SHOWN IN THE DRAWINGS AND DESCRIBED IN SPECIFICATIONS. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DIFFERENCES IN LOCATIONS OF EXISTING TREES AND VEGETATION FROM THAT SHOWN, OR ANY CONFLICTS WITH THE DESIGN BEFORE CONTINUING WORK IN THAT AREA.
- ANY REVISIONS OR ADDITIONAL WORK REQUIRED AS A RESULT OF FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. WORK PERFORMED BY THE CONTRACTOR WITHOUT WRITTEN AUTHORIZATION SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR WHO SHALL BEAR ALL COSTS ATTRIBUTABLE THERETO. ANY AND ALL REVISIONS SHALL BE IN WRITTEN CHANGE ORDER FORM AND APPROVED AND AUTHORIZED BY THE OWNER BEFORE BEGINNING WORK.

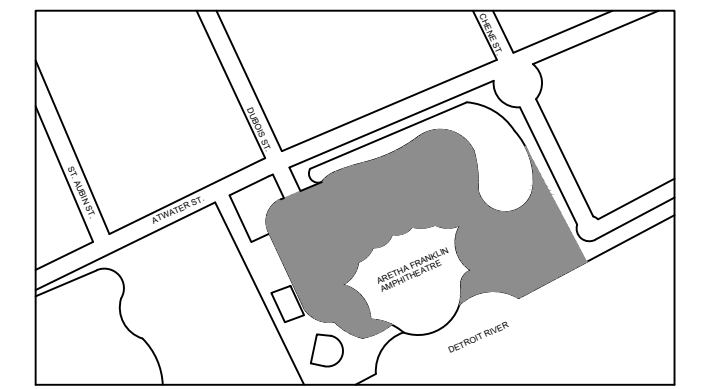
TABLE OF ABBREVIATIONS

APPROX	APPROXIMATE	N	NORTH
ARCH	ARCHITECT	NIC	NOT IN CONTRACT
AVG	AVERAGE	NO	NUMBER
B&B	BALLED AND BURLAPPED	NOM	NOMINAL
BC	BOTTOM OF CURB	NTS	NOT TO SCALE
BLDNG	BUILDING	OC	ON CENTER
BM	BENCHMARK	OD	OUTSIDE DIAMETER
BOC	BACK OF CURB	OPCI	OWNER PROVIDED, CONTRACTOR INSTALLED
BR	BOTTOM OF RAMP	PAV	PAVING
BS	BOTTOM OF STAIR	PC	POINT OF CURVATURE
BW	BOTTOM OF WALL	PE	POLYURETHANE
BYD	BEYOND	PI	POINT OF INTERSECTION
CAL	CALIPER	PL	PROPERTY LINE
CB	CATCH BASIN	PT	POINT OF TANGENCY
CF	CUBIC FEET	PVC	POLYVINYL CHLORIDE
CIP	CENTERLINE	QTY	QUANTITY
CL	CLEARANCE	R	RADIUS
CLR	CENTIMETER	REF	REFERENCE
CM	CLEAN OUT	REINF	REINFORCED(D)
CO	CONCRETE	REQD	REQUIRED
CONC	CONTINUOUS	REV	REVISION, REVISED
CONT	CUBIC YARD	ROW	RIGHT OF WAY
CY	DEGREE	S	SOUTH
DEG	DEMOLISH, DEMOLITION	SAN	SANITARY
DEMO	DIAMETER	SD	STORM DRAIN
DIA	DIMENSION	SF	SQUARE FOOT (FEET)
DIM	DETAIL	SHT	SHEET
DTL	DRAWING	SIM	SIMILAR
DWG	EAST	SPECS	SPECIFICATIONS
E	EACH	ST	STORM SEWER
EA	ELEVATION	SY	SQUARE YARDS
EL	ENGINEER	STA	STATION
ENG	EQUAL, EQUIDISTANT	STD	STANDARD
EQ	ESTIMATE	SYM	SYMMETRICAL
EST	EACH WAY	T&B	TOP AND BOTTOM
E.W.	EXISTING	TC	TOP OF CURB
EXIST	EXPANSION, EXPOSED	TF	TOP OF FOOTING
EXP	FINISHED FLOOR ELEVATION	TH	THICK
FFE	FLOW LINE	TOPO	TOPOGRAPHY
FG	FACE OF CURB	TR	TOP OF RAMP
FL	FACE OF CURB	TS	TOP OF STEP
FOC	FOOT, FEET	TW	TOP OF WALL
FT	FOOTING	TYP	TYPICAL
FTG	GAUGE	VAR	VARIES
GA	GENERAL	VOL	VOLUME
GEN	GRADE ELEVATION	W	WITH
GR	HORIZONTAL	W/O	WITHOUT
HORIZ	HIGH POINT	WT	WEIGHT
HP	HEIGHT	WL	WATER LEVEL
HT	INSIDE DIAMETER	WWF	WELDED WIRE FABRIC
ID	INVERT ELEVATION	YD	YARD
INV	INCHES	@	AT
IN	INCLUDE(D)		
INCL	JOINT		
JT	LINEAR FEET		
LF	LOW POINT		
LP	MANUFACTURER		
MANUF	MANIMUM		
MAX	MANHOLE		
MH	MINIMUM		
MIN	MISCELLANEOUS		
MISC			

NOTE: LIST IS NON-EXHAUSTIVE. ANY NOTATION THAT IS UNCLEAR AND NOT INCLUDED WITHIN THIS LIST SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

Hamilton Anderson Associates, Inc
1435 Randolph Suite 200
Detroit, Michigan 48226
p 313 964 0270 f 313 964 0170
www.hamilton-anderson.com

Client
City of Detroit GSD
115 Erksine St.
Detroit, MI 48201



HDC SUBMISSION 02-13-2023

Project AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title GENERAL NOTES

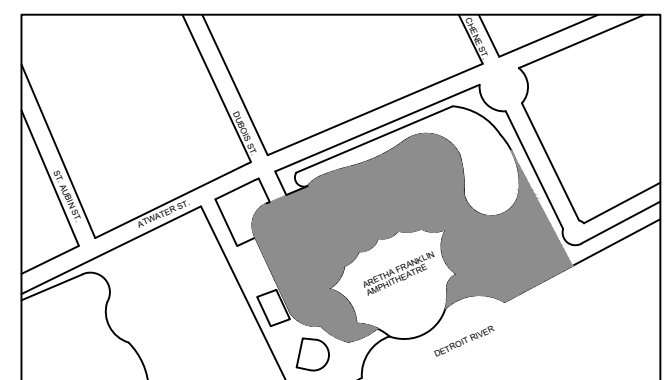
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Drawn By: NC Approved By: MC
Scale:
Seal:

Signature: _____
Drawing No:

L1.1.0

NOT FOR CONSTRUCTION





Project
AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
SPECIFICATIONS

Project Number: 2020022.01

Drawn By: NC Approved By: DZ

Scale:

Seal:

Signature:

Drawing No:

L1.1.1

Table with 2 columns: Section Name and Description. Includes sections for SOIL PREPARATION, CONSTRUCTION, and PLANTING. Section 18.10 describes the final planting plan, including plant selection, spacing, and maintenance requirements.

Table with 2 columns: Section Name and Description. Includes sections for TURF AND GRASSES, FIELD CONDITIONS, and CONSTRUCTION. Section 18.10 describes the final planting plan, including plant selection, spacing, and maintenance requirements.

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Table with 2 columns: Section Name and Description. Includes sections for CLEANING AND PROTECTION, MAINTENANCE, and PLANTING. Section 18.10 describes the final planting plan, including plant selection, spacing, and maintenance requirements.

NOT FOR CONSTRUCTION

DUBOIS STREET

ATWATER STREET

POND

TURF

TURF

AMPHITHEATRE

STAGE

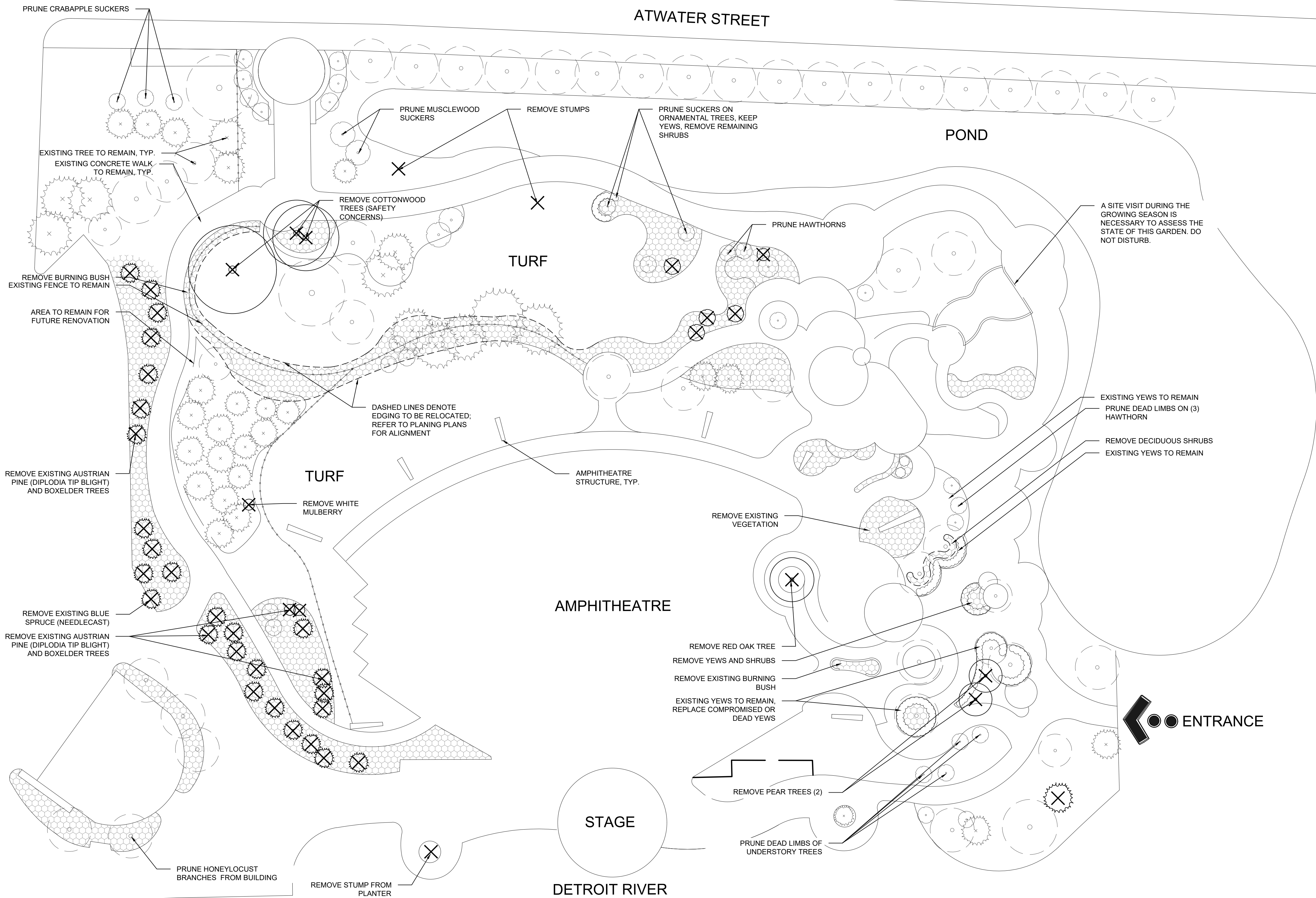
DETROIT RIVER

LEGEND

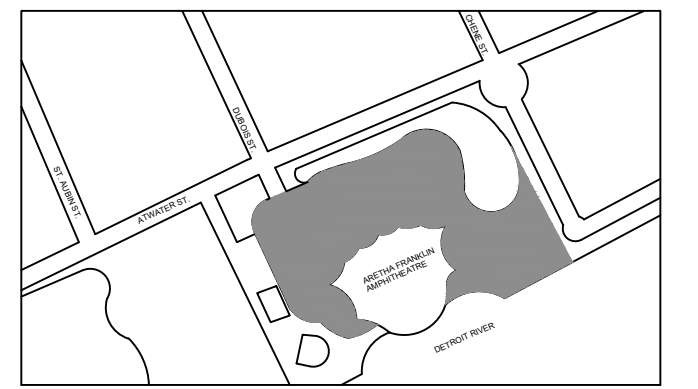
- PROJECT LIMITS
- PROPERTY LINE
- EXISTING PLANTING BEDS TO BE EXCAVATED, INCLUDING SHRUBS UNLESS NOTED OTHERWISE
- EXISTING TREE TO REMAIN
- DEMOLITION TREE

NOTES

1.



Client
City of Detroit GSD
115 Erksine St.
Detroit, MI 48201



HDC REVISION	02-27-2023
HDC SUBMISSION	02-13-2023

Project
AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
SITE DEMOLITION PLAN

Project Number: 2020022.01

Drawn By: JRH Approved By: MC

Scale: 1 INCH = 30 FEET

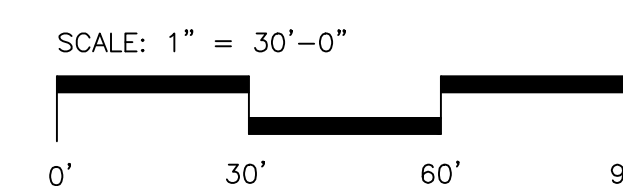
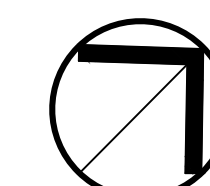
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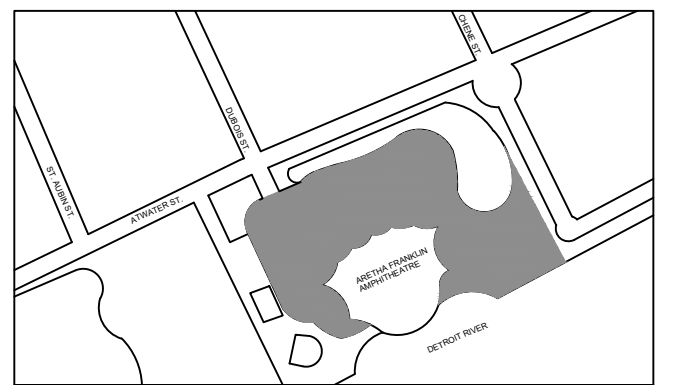
NOT FOR CONSTRUCTION

Signature: _____

Drawing No:

LD1.1.1





OWNER REVIEW 02-15-2023

Project
**AFA - LANDSCAPE
ASSESSMENT &
PLANTING PLANS**

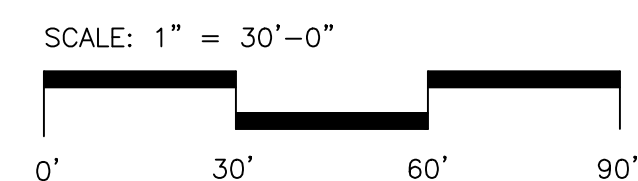
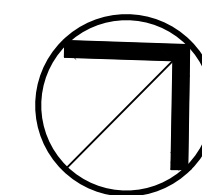
Drawing Title
ILLUSTRATIVE PLAN

Project Number: 2020022.01
Drawn By: JRH Approved By: MC
Scale: 1 INCH = 30 FEET
Seal:

NOT FOR CONSTRUCTION

Signature: _____
Drawing No:

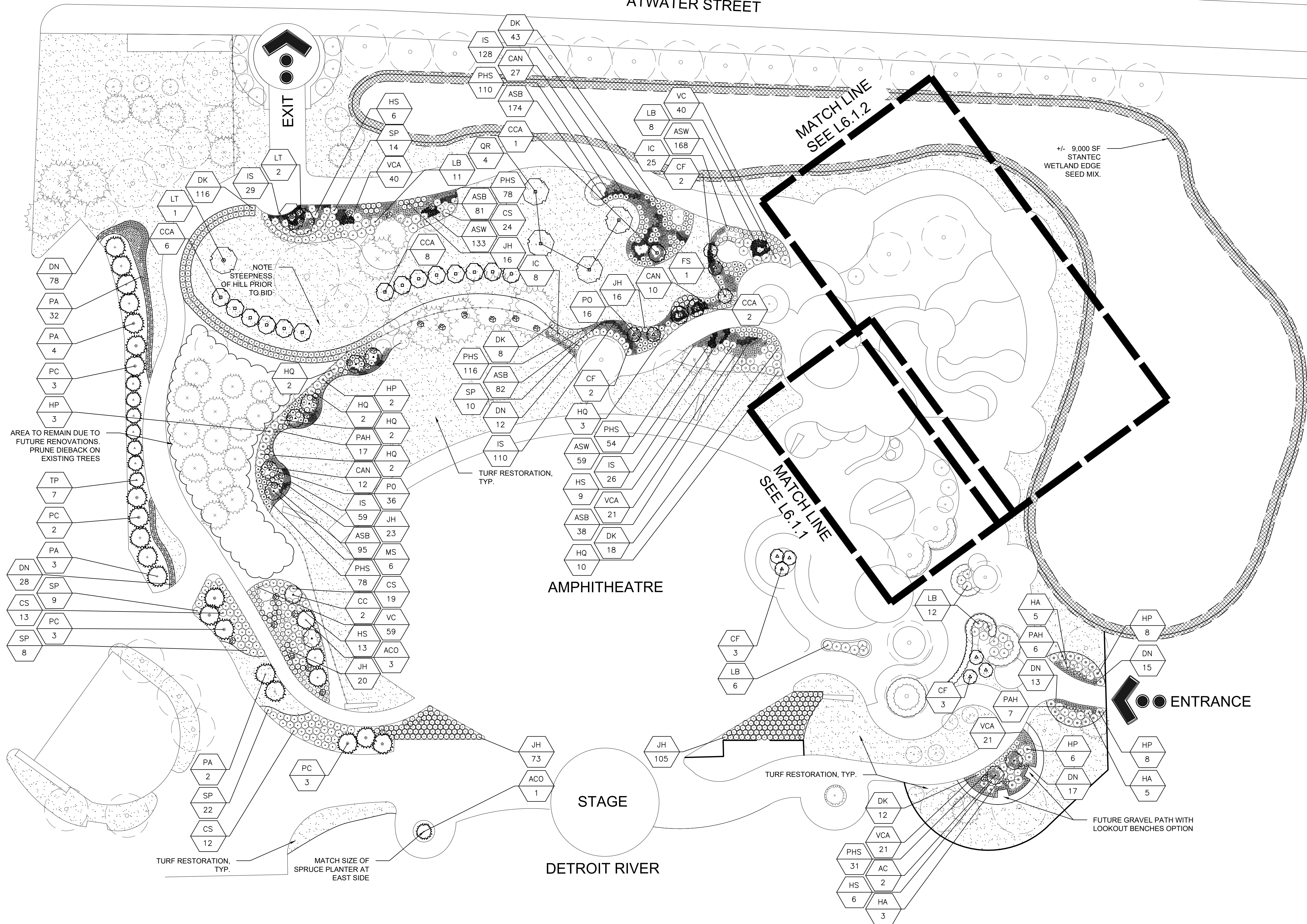
L6.0.0



Know what's below.
Call before you dig.

DUBOIS STREET

ATWATER STREET



LEGEND

- — — — — PROJECT LIMITS
- - - - - PROPERTY LINE
- EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH
- PROPOSED BOULDER OUTCROPPING
- EXISTING TREE TO REMAIN
- SHADE TREE
- EVERGREEN TREE

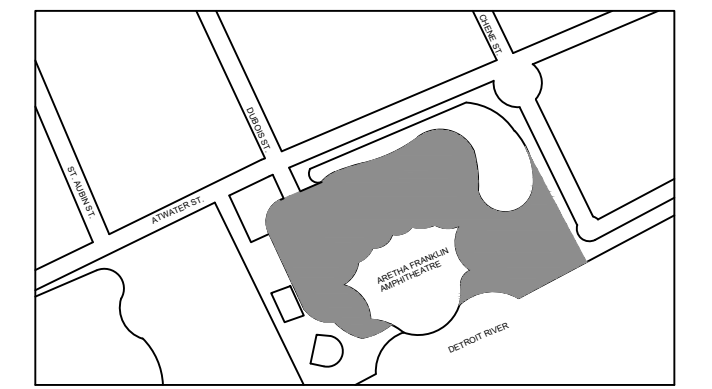
NOTES

1. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF PLANTINGS.
2. PLANT QUANTITIES TO BE VERIFIED BY CONTRACTOR.
3. ALL DISTURBED AREAS TO BE SEEDDED WITH HYDROMULCH OVER 4" OF TOPSOIL.
4. REFER TO PLANT DETAILS SHEET L9.1.1 FOR PLANT LIST

IRRIGATION DESIGN-BUILD NOTES

1. IRRIGATION SYSTEM TO BE A DESIGN-BUILD RETROFIT OF THE EXISTING SYSTEM. INFORMATION REGARDING THE EXISTING SYSTEM IS AVAILABLE FROM THE OWNER.
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Client
City of Detroit GSD
115 Erskine St.
Detroit, MI 48201



HDC REVISION	02-27-2023
HDC SUBMISSION	02-13-2023

Project
AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
PLANTING PLAN - OVERALL - OVERALL

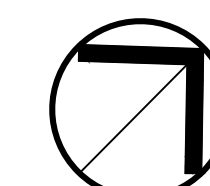
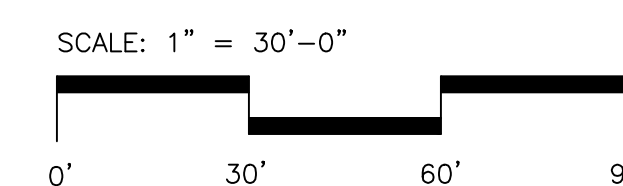
Project Number: 2020022.01
Drawn By: JRH Approved By: MC
Scale: 1 INCH = 30 FEET

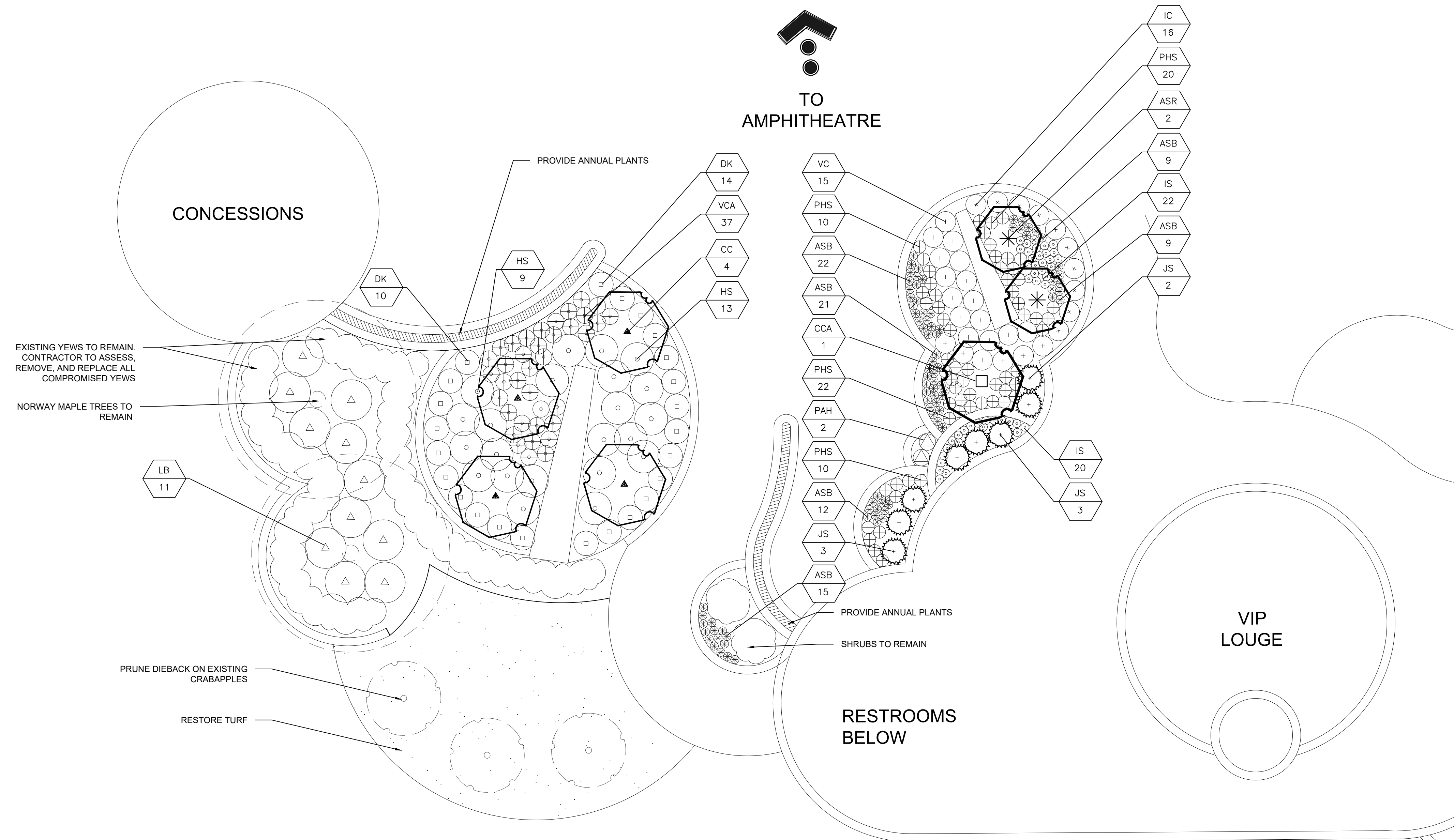
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Signature: _____

Drawing No:

L6.1.0

NOT FOR CONSTRUCTION





LEGEND

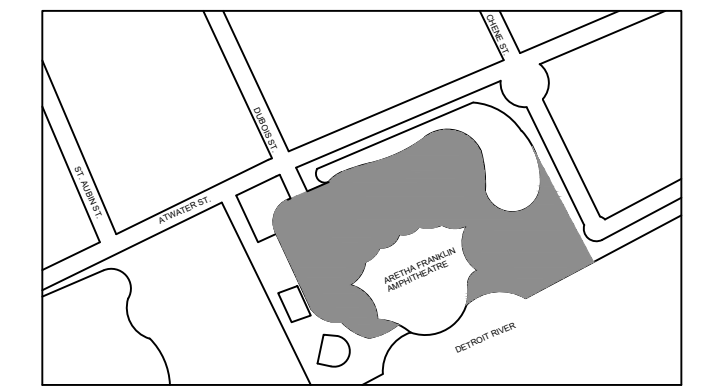
- PROJECT LIMITS
- - - PROPERTY LINE
- [Pattern] EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH
- [Symbol] PROPOSED BOULDER OUTCROPPING
- [Symbol] EXISTING TREE TO REMAIN
- [Symbol] SHADE TREE
- [Symbol] EVERGREEN TREE

NOTES

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HDC REVISION	02-27-2023
HDC SUBMISSION	02-13-2023

Project
AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
PLANTING PLAN - ENLARGED

Project Number: 2020022.01

Drawn By: JRH Approved By: MC

Scale: 1/8" = 1'-0"

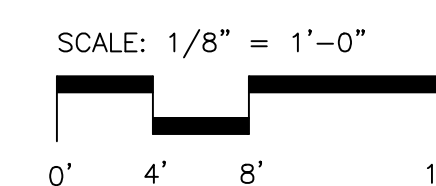
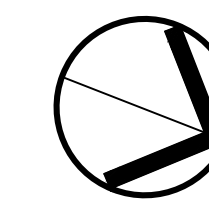
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Signature: _____

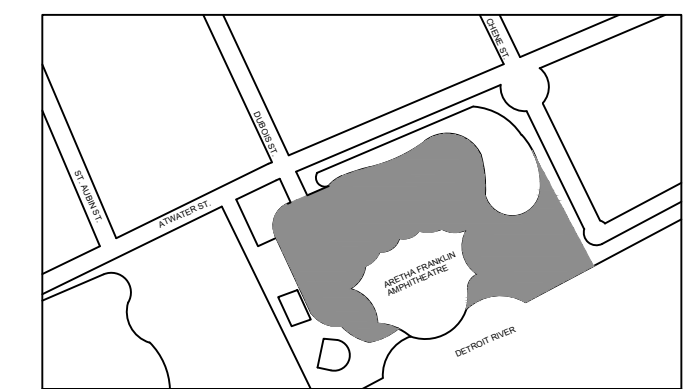
Drawing No:

L6.1.1

NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.



LEGEND

- — — — — PROJECT LIMITS
- - - - - PROPERTY LINE
- EXISTING PLANTING BEDS TO RECEIVE MINIMUM 4" DEPTH BROWN PINEBARK MULCH
- PROPOSED BOULDER OUTCROPPING
- EXISTING TREE TO REMAIN
- SHADE TREE
- EVERGREEN TREE

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HDC REVISION	02-27-2023
HDC SUBMISSION	02-13-2023

Project
AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
PLANTING PLAN - ENLARGED

Project Number: 2020022.01

Drawn By: JRH Approved By: MC

Scale: 1/8" = 1'-0"

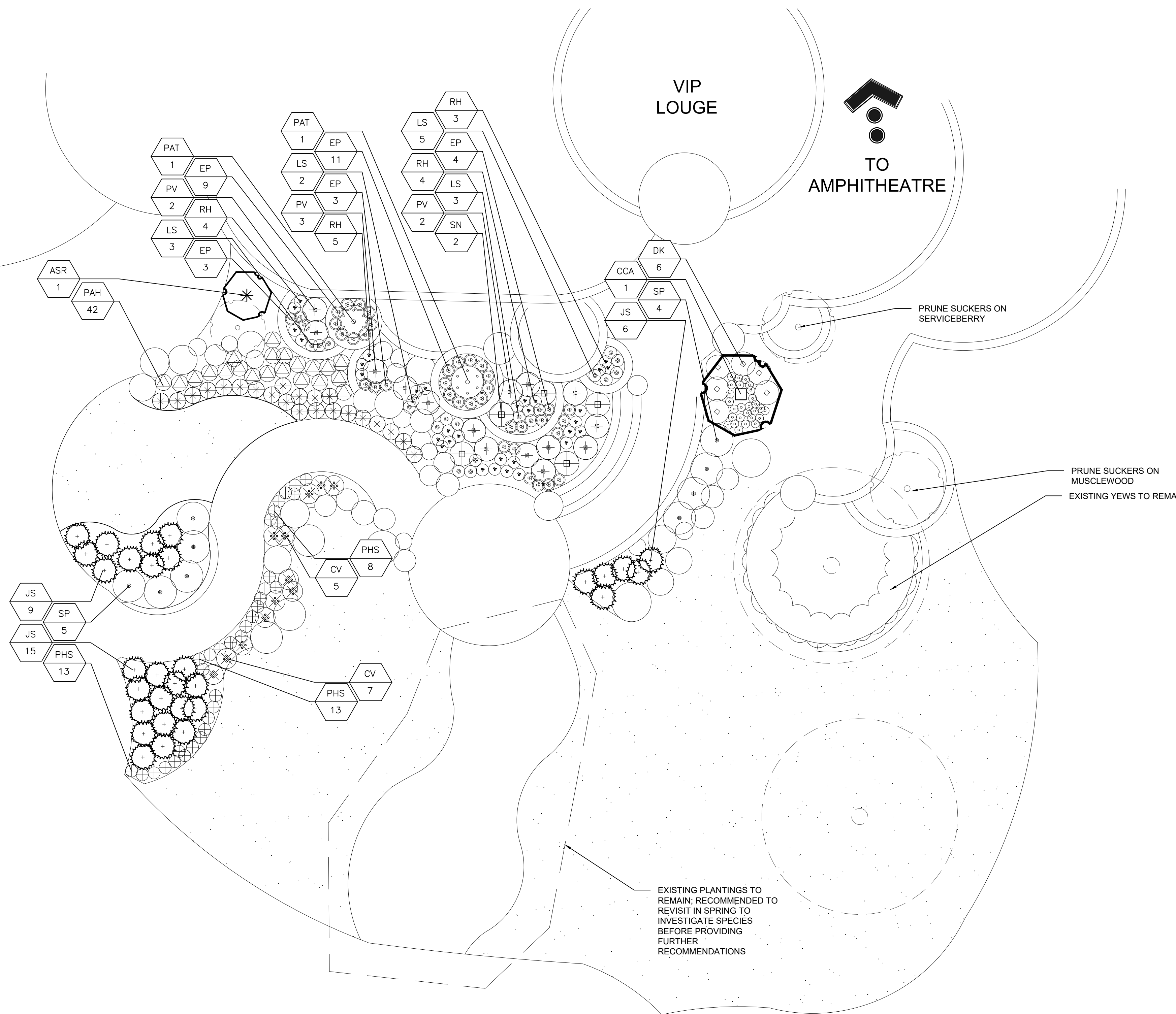
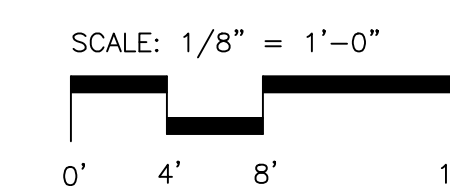
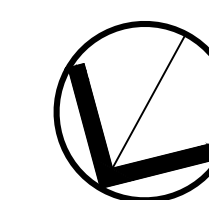
Seal:

Signature: _____

Drawing No: _____

L6.1.2

NOT FOR CONSTRUCTION



PLANT LIST				
CODE	QTY.	MATERIAL AND SIZE	COMMENTS	SIZE

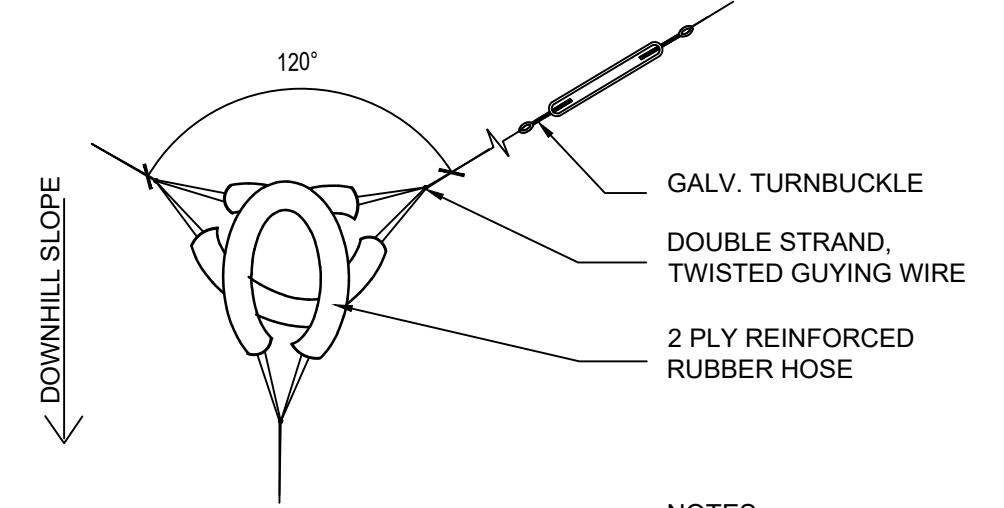
TREES				
AC	2	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE' SERVICEBERRY 'AUTUMN BRILLIANCE'	B&B'	SIZE
ACO	4	ABIES CONCOLOR WHITE SPRUCE	B&B	8' HT.
ASR	3	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	B&B	1.5" CAL.
CC	6	COTINUS COGGYRIA SMOKETREE	CONTAINER	#7 CONT.
CCA	19	CERCIS CANADENSIS EASTERN REDBUD	B&B	1.5" CAL.
CF	10	CORNUS FLORIDA FLORIDA DOGWOOD	B&B	1.5" CAL.
FS	1	FAGUS SYLVATICA TRI-COLORED BEECH	B&B	2" CAL.
LT	3	LIRIODENDRON TULIPIFERA TULIP TREE	B&B	2.5" CAL.
MS	6	MALUS 'ADAMS' ADAMS CRABAPPLE	B&B	1.5" CAL.
PA	9	PICEA ABIES NORWAY SPRUCE	B&B	8' HT
PC	11	PINUS CEMBRA 'VANDERWOLF' VALDERWOLF PINE	B&B	8' HT
QR	4	QUERCUS RUBRA NORTHERN RED OAK	B&B	2.5" CAL.
TP	7	THUJA PLICATA 'GREEN GIANT' GREEN GIANT ARBORVITAE	B&B	8' HT

SHRUBS				
CAN	49	CEANOTHUS AMERICANUS NEW JERSEY TEA	36" O.C.	#3 CONT.
CS	68	CORNUS SERICEA REDTWIG DOGWOOD	36" O.C.	#3 CONT.
DK	227	DIERVILLA X 'KODIAK ORANGE' KODIAK ORANGE BUSH HONEYSUCKLE	36" O.C.	#3 CONT.
DN	185	DEUTZIA 'YUKI CHERRY BLOSSOM' 'YUKI CHERRY BLOSSOM DEUTZIA'	24" O.C.	#3 CONT.
HA	13	HYDRANGEA ANNABELLE ANNABELLE HYDRANGEA 'INCREDIBALL'	48" O.C.	#3 CONT.
HP	27	HYDRANGEA PANICULATA 'VANILLA STRAWBERRY' HYDRANGEA VANILLA STRAWBERRY	48" O.C.	#3 CONT.
HQ	21	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	48" O.C.	#3 CONT.
IC	51	ILEX CRENATA 'HELLER' HELLER HOLLY	36" O.C.	#3 CONT.
JH	253	JUNIPERUS HORIZONTALIS CREEPING JUNIPER	36" O.C.	#3 CONT.
JS	38	JUNIPERUS SQUAMATA 'BLUE STAR' BLUE STAR JUNIPER	36" O.C.	#3 CONT.
LB	48	LINDERA BENZOIN SPICEBUSH	72" O.C.	#5 CONT.
PO	52	PHYSOCARPUS OPULIFOLIUS NINEBARK	36" O.C.	#3 CONT.
SP	72	SYRINGA PUBESCENS 'MISS KIM' MISS KIM LILAC	36" O.C.	#3 CONT.
VC	114	VIBURNUM CARLESII 'SMVCB' SPICE BABY SPICEBUSHKOREAN SPICE VIBURNUM 'SPICE BABY'	36" O.C.	#3 CONT.
VCA	140	VIBURNUM CASSINOIDES 'LIL DITTY' 'LIL DITTY' VIBURNUM	24" O.C.	#3 CONT.

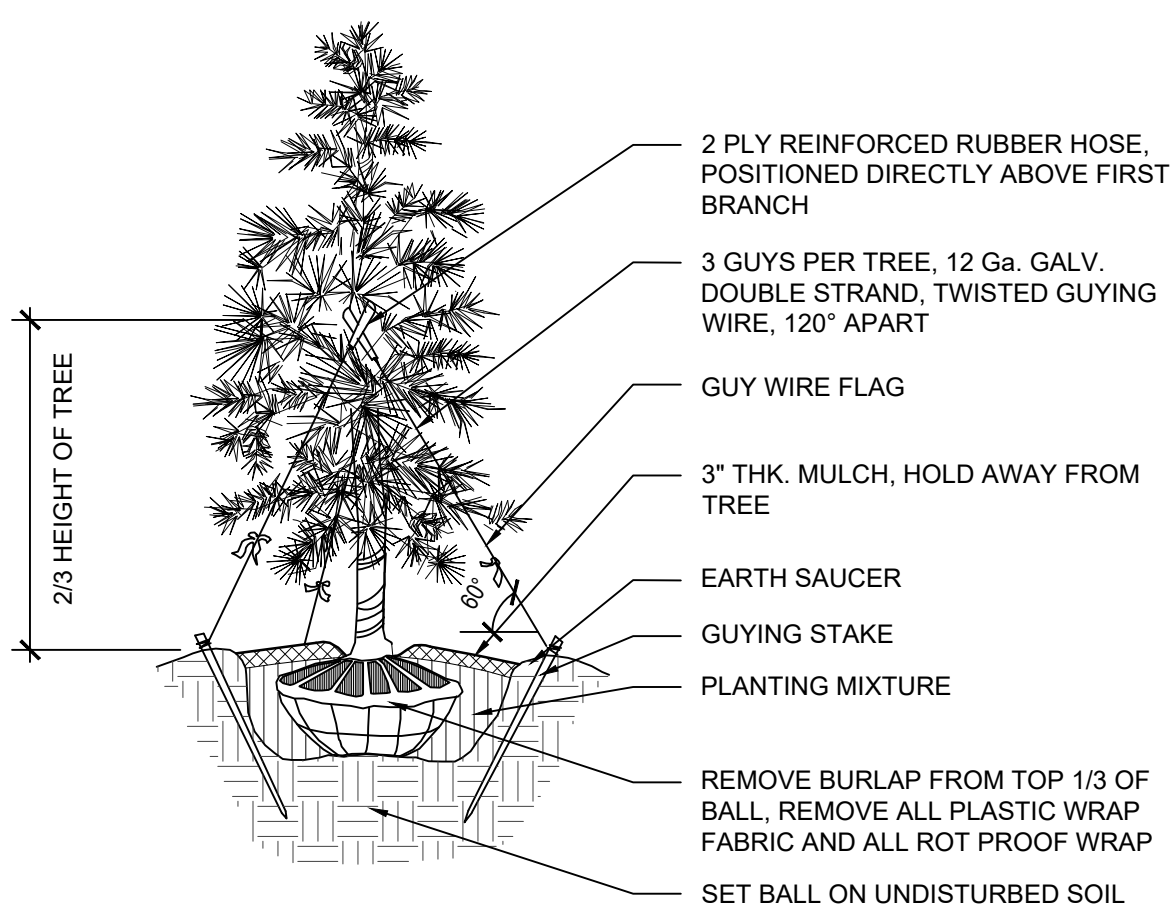
PERENNIALS				
CA	32	CALAMAGROSTIS x ACUTIFLORA 'KARL FORESTER' KARL FORESTER REED GRASS	24" O.C	#1 CONT.
CV	12	COREOPSIS VERTICILLATA THREADLEAF COREOPSIS	24" O.C	#3 CONT.
EP	39	ECHINACEA PURPUREA PURPLE CONEFLOWER	24" O.C	#1 CONT.
HS	66	HOSTA - 'SUM AND SUBSTANCE' 'SUM AND SUBSTANCE'	48" O.C.	#2 CONT.
LS	19	LIATRIS SPICATA BLAZING STAR	12" O.C	#1 CONT.
PAH	53	PENNISETUM ALOPECUROIDES 'HAMELN' FOUNTAIN GRASS	24" O.C	#1 CONT.
PAT	2	PEROVSKIA ATRIPLICIFOLIA RUSSIAN SAGE	24" O.C	#2 CONT.
PHS	565	PHLOX SUBULATA (ALTERNATE COLORS) CREEPING PHLOX	18" O.C	#1 CONT.
PV	15	PANICUM VIRGATUM SWITCHGRASS	36" O.C.	#2 CONT.
RH	32	RUDBECKIA HIRTA BLACK EYED SUSAN	12" O.C	#1 CONT.
SN	5	SYMPHYOTRICHUM NOVAE-ANGLIAE NEW ENGLAND ASTER	36" O.C.	#1 CONT.

GROUND COVER				
ASW	358	ASARUM CANADENSE WILD GINGER	12" O.C	PLUG
ASB	558	AURINIA SAXATILIS 'BASKET OF GOLD' BASKET-OF-GOLD	12" O.C	PLUG
IS	375	IBERIS SEMPERVIRENS EVERGREEN CANDYTUFT	12" O.C	PLUG

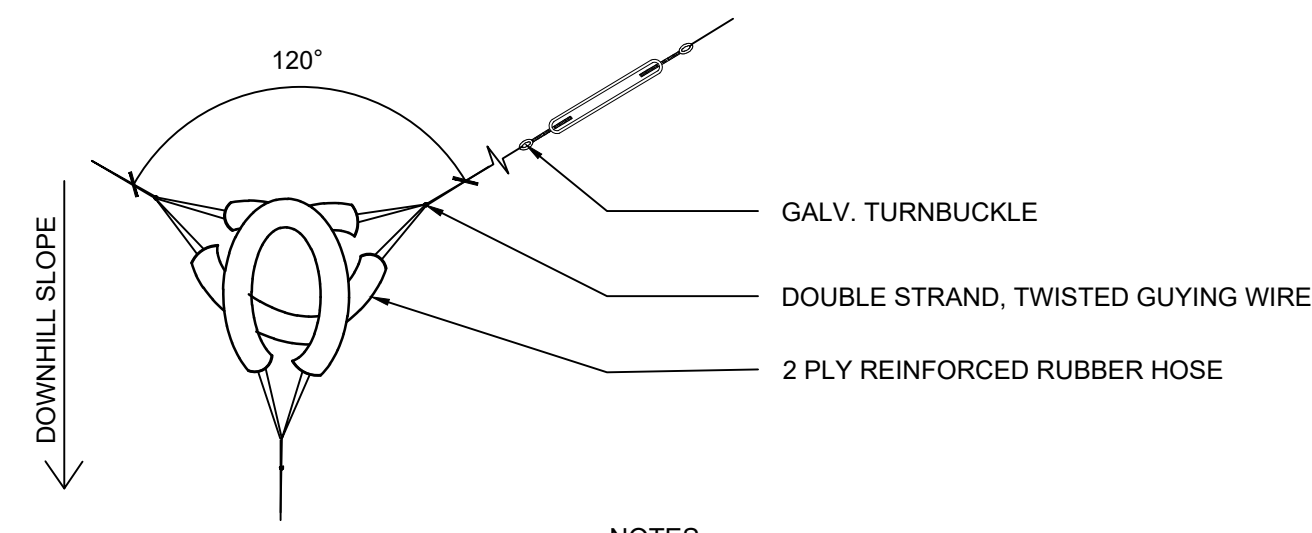
B&B = BALLED & BURLAPED



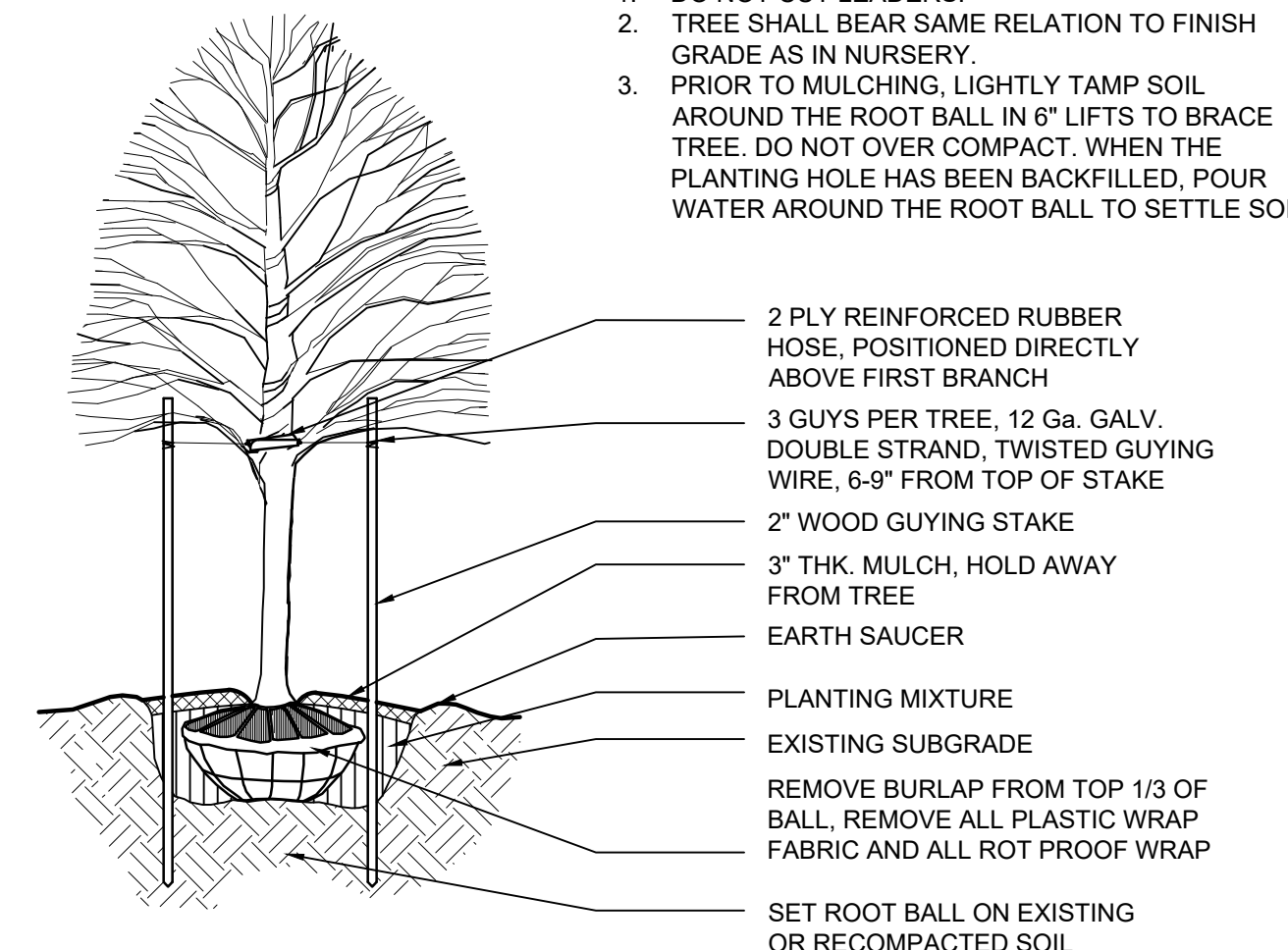
NOTES:
1. DO NOT CUT LEADER.
2. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.



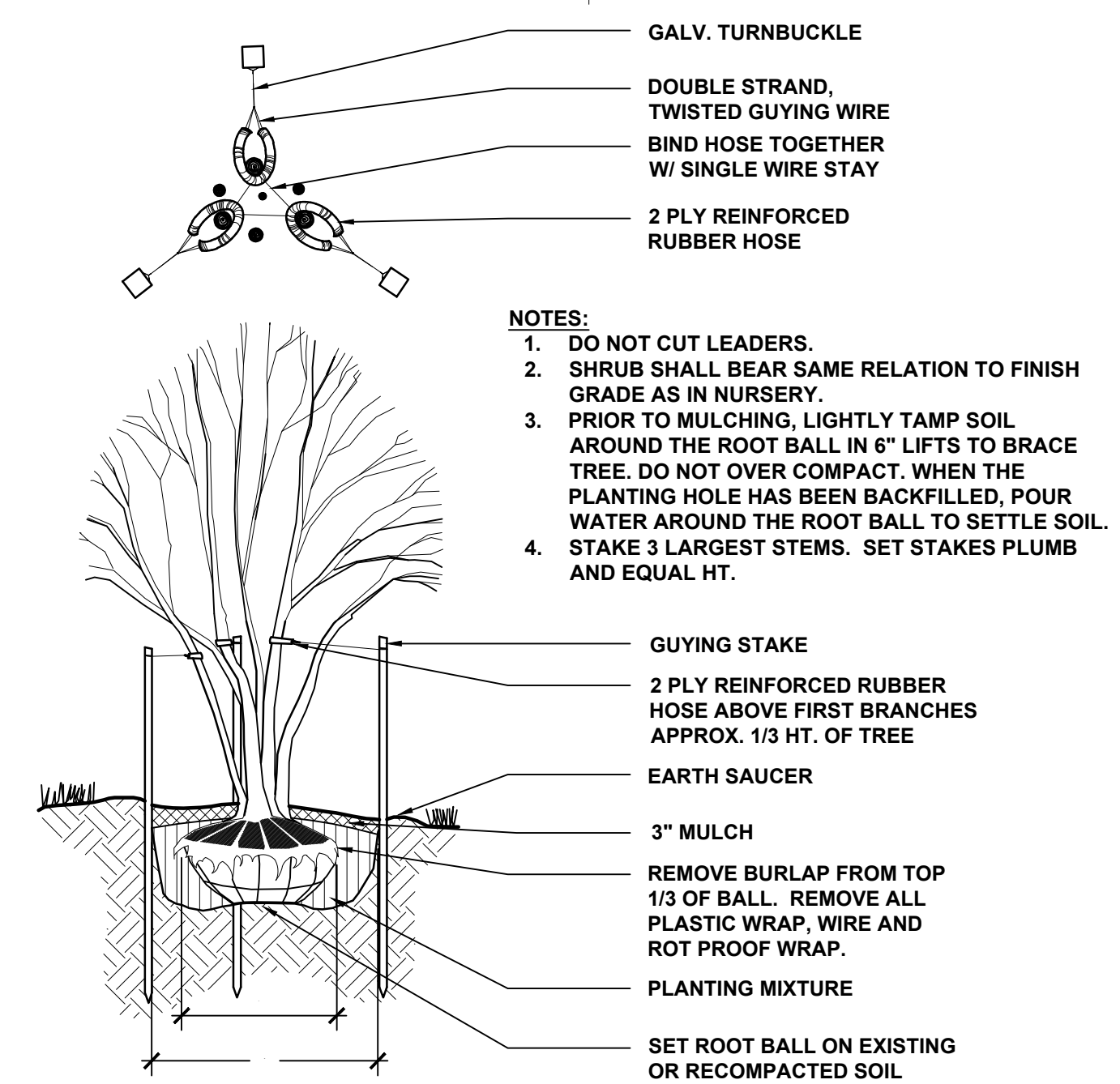
6 EVERGREEN TREE PLANTING
SCALE: 1/4" = 1'-0"



NOTES:
1. DO NOT CUT LEADERS.
2. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.
3. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6\"/>

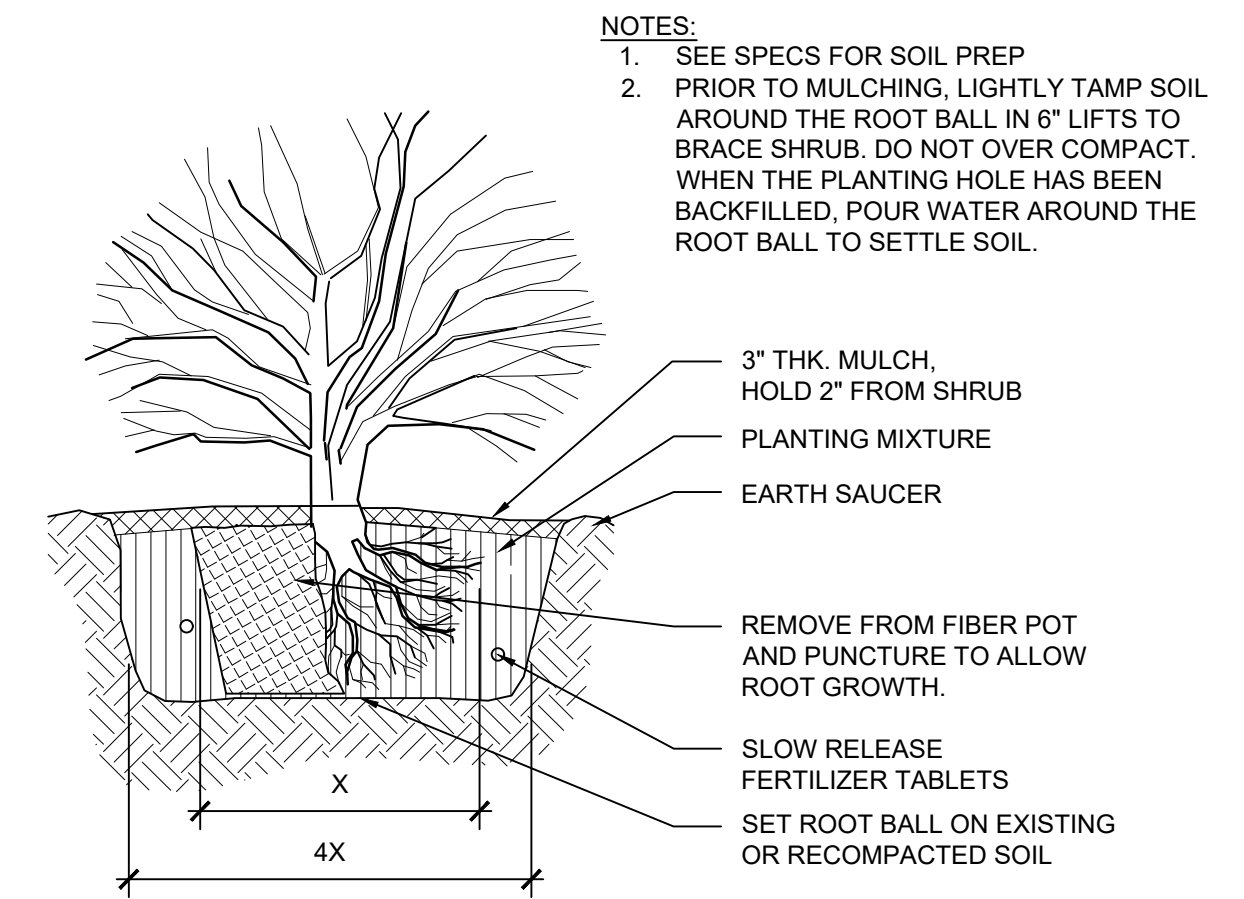


5 DECIDUOUS TREE PLANTING
SCALE: 1/4" = 1'-0"



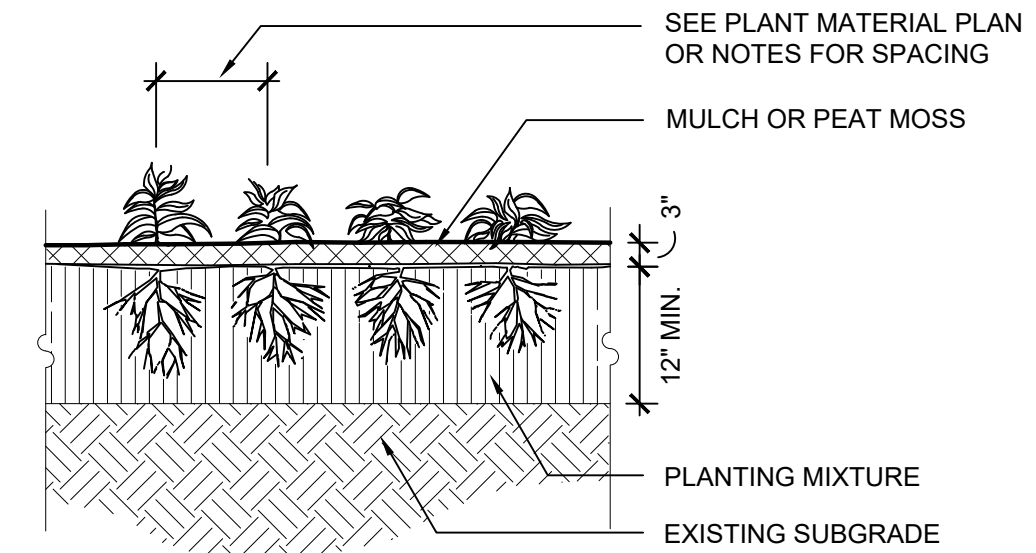
NOTES:
1. DO NOT CUT LEADERS.
2. SHRUB SHALL BEAR SAME RELATION TO FINISH GRADE AS IN NURSERY.
3. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6\"/>

4 MULTISTEM TREE PLANTING
SCALE: 1/4" = 1'-0"



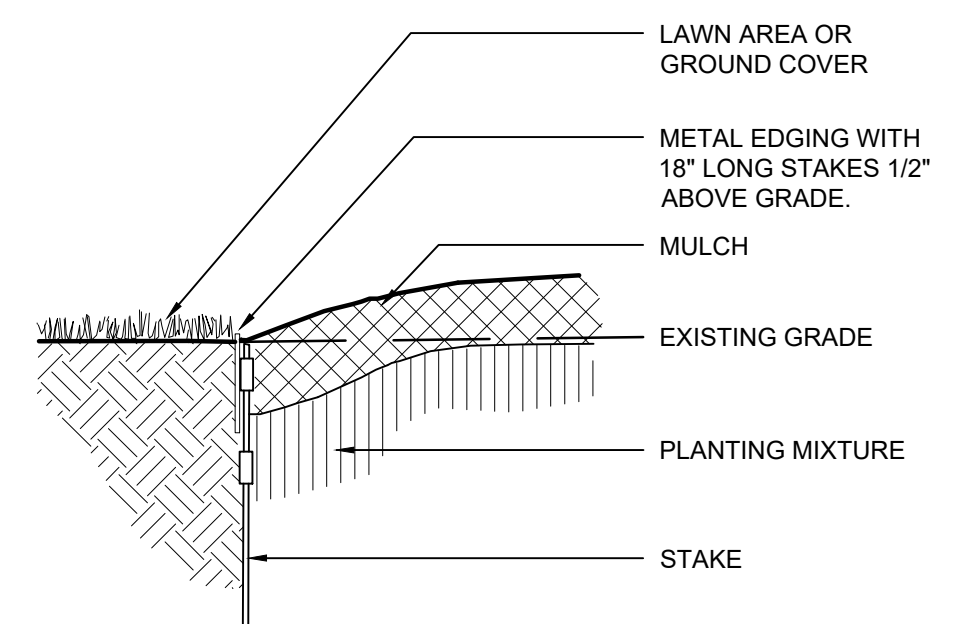
NOTES:
1. SEE SPECS FOR SOIL PREP
2. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6\"/>

3 SHRUB PLANTING
SCALE: 1/4" = 1'-0"

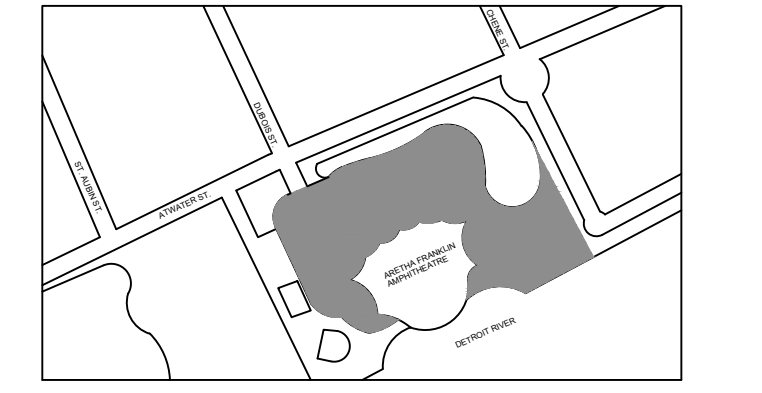


NOTES:
1. PLANTS TO BE SET WITH BOTTOM LEAVES PARALLEL WITH GRADE AFTER MULCH.

2 GROUNDCOVER AND PERENNIAL PLANTING
SCALE: 1/2" = 1'-0"



1 LANDSCAPE EDGE
SCALE: 1" = 1'-0"



AFA - LANDSCAPE ASSESSMENT & PLANTING PLANS

Drawing Title
PLANTING DETAILS

NOT FOR CONSTRUCTION