

10/18/22

NOTICE OF DENIAL

Doug Pattison
691 W. Canfield
Detroit, MI 48201

RE: Application Number 22-8057; 691 W. Canfield; West Canfield Historic District

Dear Applicant,

At the Regular Meeting that was held on October 12, 2022, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) and 9(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1), MCL 399.209 (9) and Sections 21-2-78 and 21-2-80 of the 2019 Detroit City Code; the DHDC hereby issues a Denial for the following work, effective on October 18, 2022, as it will be inappropriate according to the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

- ***Removal of the rear porch***
- ***The removal of the rear doors and infill with fish scale siding and a transom,***
- ***Installation of new vinyl windows, increasing basement window size, and installation of window wells***
- ***The installation of the rear basement doors and sidelights,***
- ***The infill of window and door openings on the rear and side elevations with brick,***
- ***The installation of the new wood and metal fence at the front yard west property line.***

The reasons for the denial are a failure to meet the following specific Standards or Elements:

- 2) ***The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.***
- 5) ***Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.***
- 6) ***Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.***
- 9) ***New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment***

The application may be resubmitted for the Historic District Commission's review when suggested changes have been made that address the cited reasons for denial, if applicable.

Please be advised that, in accordance with MCL 399. 211 and Section 21-2-81 of the 2019 Detroit City Code, an applicant aggrieved by a decision of the DHDC may file an appeal with the State Historic Preservation Review Board. Within sixty (60) days of your receipt of this notice, an appeal may be filed with:

Jon Stuckey, Michigan Department of Attorney General
2nd Floor, G. Mennen Williams Building
525 West Ottawa Street
P.O. Box 30754
Lansing, MI 48909
Phone: 517-335-0665
E-mail: stuckeyj@michigan.gov

If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.
For the Commission:



Daniel Rieden, Detroit Historic District Commission

DHDC 22-8057

APPROVAL DOCUMENT – POST AT WORK LOCATION

CITY OF DETROIT
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808
DETROIT, MICHIGAN 48226

10/18/22

CERTIFICATE OF APPROPRIATENESS

Doug Pattison
691 W. Canfield
Detroit, MI 48201

RE: Application Number 22-8057; 691 W. Canfield; West Canfield Historic District

Dear Applicant,

At the Regular Meeting that was held on October 12, 2022, the Detroit Historic District Commission (“DHDC”) reviewed the above-referenced application. Pursuant to Section 5(1) of the Michigan Local Historic District Act, as amended, being MCL 399.205 (1) and Sections 21-2-73/21-2-78 of the 2019 Detroit City Code; the DHDC hereby issues a Certificate of Appropriateness (“COA”) for the following work, effective on October 18, 2022, as it meets the Secretary of Interior’s Standards for Rehabilitation and the district’s Elements of Design:

- *The front porch roof work per attached description,*
- *Chimney repair and tuckpointing of brick where needed,*
- *The repair/painting of trim where needed to match existing material, color, and detail,*
- *The proposed landscape grading, driveway, walkway and at grade patio installations per attached description and drawings,*
- *The installation new fencing at the rear and side yards per the attached drawings*

The Certificate of Appropriateness is issued with the following conditions:

- *The applicant supplies HDC staff with the asphalt shingles, rear door, and metal fence product information for approval.*
- *The proposed fencing shall conform to the Commission’s Fences and Hedges Guidelines and the fencing proposed for the side/east & west property line shall be of one consistent material.*

Please retain this COA for your files and post it at the subject property until work is complete. It is important to note that approval by the DHDC does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact staff at 313-224-1762 or hdc@detroitmi.gov.

For the Commission:



Daniel Rieden
Detroit Historic District Commission

691 W Canfield



691 W Canfield SCOPE OF WORK

I. Attic

- no work

II. 2nd floor

- remove existing plywood from 2 openings, brick in one, add window to other to match window below.

III. 1st floor

- remove moss covered shingles on porch roof and replace to match roof above
- remove existing plywood from 3 openings at east side and rear and brick in
- remove rotted doors at side and fill in panel with fish scale style shingles painted grey to match shingles at front gable
- Sand and paint exterior wood trim in same historic colours to match existing where needed

IV. Basement

- remove windows and glass block at front and side and update with code egress windows. Add window wells where required by building code
- uncover window on west side of basement, remove grate and replace window.
- Front wooden corbel to be replicated in wood and painted.
- install 2 basement doors at rear of house, (not visible from street)
- repair missing and damaged brick as needed with original matching brick

V. Landscaping

- add wrought iron style metal fence with gates along west boundary and across east easement at front
- add wooden fence at rear lane way to match existing fence on east boundary
- lift driveway pavers, level and reinstall - add antique granite pavers on pathways and patios as per site drawing
- add window wells with retaining supports where necessary

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Cc: [Rosanne Pattison](#); [Jaime Pattison](#); [Neil Cairns](#)
Subject: [EXTERNAL] FW: Attached Image
Date: Tuesday, October 4, 2022 3:43:38 PM
Attachments: [3571_001.pdf](#)

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Good afternoon Dan,

I have put together all of the elevations and the chimney photos and notes in one pdf here.

I have noted the scope of work on each elevation with tags.

There is nothing that I can provide you with by way of specification manufacturer sheets as most of this is reuse existing or has been purchased on marketplace etc. However the following general notes apply

- 1, any repainting will be using existing colors on the building.
- 2, west side yard fencing and south rear yard fencing will be PTW to match the existing east boundary fence. Vertical 1 x6 board chamfered top
- 3, front facing fence will be black metal picket as shown in the photo.
- 4, all new and replacement windows are white vinyl, single hung where appropriate.
- 5, window wells are set back 36" from the building and 6x6 ptw retaining to 3" above existing grade
- 6, shingle replacement is with asphalt shingle to match the asphalt shingle currently on the building.
- 7, all masonry in fill is done with custom mortar mix color matched and native salvaged brick from the house.
- 8, existing brick pavers are being reused. Where additional paving or patio surfaces are required we are using 8 x 8 tumbled granite
- 9, the two replacement rear doors below grade will be steel doors with glass in wood frames.

From: Scanner <scanner@silvercreekcommercial.com>
Sent: Tuesday, October 4, 2022 3:12 PM
To: Doug Pattison <doug@silvercreekcommercial.com>
Subject: Attached Image

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL] FW:691 w canfield
Date: Thursday, October 6, 2022 9:19:22 AM
Attachments: [3582_001.pdf](#)

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Good morning Dan

Please find attached marked up site plan.

I color coded so hopefully easier to follow. In addition I extended the site plan down to the sidewalk past our actual property border which is dotted red here.

Let me jknow if you require anything more on this dwg. I will forward rear elevaton later this am.

Kind regards

From: Scanner <scanner@silvercreekcommercial.com>
Sent: Thursday, October 6, 2022 9:05 AM
To: Doug Pattison <doug@silvercreekcommercial.com>
Subject: Attached Image

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL] FW: 691 rear elevation
Date: Thursday, October 6, 2022 9:25:46 AM
Attachments: [3583_001.pdf](#)

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Good morning Dan,

Please find attached rear elevation south facing noting scope of work.

Hopefully this clears up the confusion. I suspect it was difficult from the photos to understand the sunken boiler room ruin back there or whatever it was.

Will follow up next on window schedule and confirmation to paint the windows to match the existing ones in the warm grey trim color,

Kind regards

From: Scanner <scanner@silvercreekcommercial.com>
Sent: Thursday, October 6, 2022 9:12 AM
To: Doug Pattison <doug@silvercreekcommercial.com>
Subject: Attached Image

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL] FW: 691 W CANFIELD
Date: Thursday, October 6, 2022 12:05:54 PM
Attachments: [3584_001.pdf](#)

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Good afternoon Dan,

Please find here with single page window and door schedule. The two boxed in identification letters being A and D3 refer to window on the second floor and double doors on the first.

I did not want to add more pages to this unless required.

Please review and confirm that I have captured the detail you require.

Thank you

From: Scanner <scanner@silvercreekcommercial.com>
Sent: Thursday, October 6, 2022 11:52 AM
To: Doug Pattison <doug@silvercreekcommercial.com>
Subject: Attached Image

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL] RE: 691 w canfield
Date: Thursday, October 6, 2022 2:20:44 PM

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Thank you Dan

Please see below

From: Dan Rieden <riedenda@detroitmi.gov>
Sent: Thursday, October 6, 2022 1:32 PM
To: Doug Pattison <doug@silvercreekcommercial.com>
Subject: Re: 691 w canfield

Good afternoon Mr. Patterson,

Thank you for your materials. I will review more in depth as soon as I can. Right now, I have a couple questions regarding this site plan:

1. Thank you! This helps to clarify the plan greatly.
2. The key for your fence line (2 black colors) and the fence in the plan (black and blue lines) seem to indicate an overlap of fence types- and I don't see where the metal fence line is located. Can you help clarify the proposed fence installations and types?

YES TOO MANY LINES AND COLORS. ON THE WEST SIDE WE WERE LOOKING TO INTERSPERSE METAL AND WOOD FENCE. The point of that is that there are a number of windows near grade in the next door house that look directly onto the back patio so we were thinking to mix the fencing from the wood to the metal. I will try to draw something up that illustrates that specifically.

3. The pink areas are all for the new stone pavers (from Hart Plaza), correct? So the front yard will fill in areas at on either side of the driveway, correct?

YOU ARE CORRECT DAN HOWEVER WHEN I RETHINK IT, IT WOULD MAKE MORE SENSE TO USE THE HART PLAZA STONE ON THE BACK RIGHT SIDE PATIO AND USE THOSE BRICK PAVERS UP FRONT ON THE DRIVEWAY EXTENSION. All of the pavers need to come up and be re laid and I think the quantities would work. Then we could keep consistent with the brick pavers on the driveway, original walkway and slip over to the hart ones on the side path and the back patios.

What are your thoughts ?

Thank you for this work!

Dan

Daniel Rieden PLA/ASLA
Lead Landscape Architect
City of Detroit

From: [Doug Pattison](#)
To: [Dan Rieden](#); [Rosanne Pattison](#); [Jaime Pattison](#)
Subject: [EXTERNAL] Fwd: 691 w canfield
Date: Monday, October 10, 2022 2:47:04 PM

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Hi Dan

Please see partial response below

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From: Dan Rieden <riedenda@detroitmi.gov>
Sent: Monday, October 10, 2022 11:00 AM
To: Doug Pattison <doug@silvercreekcommercial.com>; Rosanne Pattison <rosanne@silvercreekcommercial.com>; Jaime Pattison <jpattison@collegeforcreativestudies.edu>
Subject: RE: 691 w canfield

Mr. Patterson,

Thanks for your timely response and apologies to disturb your vacation. There are a few questions regarding your response.

1. Windows- the application has single hung windows throughout, but your response has double-hung windows. Can you confirm, which ones they are? Therefore the product sheets for the windows are important to provide so we can see the dimensions, etc. they are single hung not double hung. I do not have specification sheets nor can I get them. They were Facebook purchases
2. We need complete answers regarding the questions below, the window well's and fence's materiality, etc. Dan I have nothing more then the dimensions of the window wells and that they are made of 6 x6 ptw There is nothing more to add, metal fence black aluminum picket 4" vertical spacing
3. Nothing more to add to wooden fence descriptions
4. Do you have any documentation regarding the condition of the original windows and doors before they were removed? Please provide interior and exterior photos and description if you do.
5. Do you have any photos or description of what was present over the collapsed roof the boiler room area? The double doors that have been replaced by the fish scale siding must have opened onto what staff suspects may have been a covered rear porch. Do you have any information regarding this original condition?

Thank you,

From: [Doug Pattison](#)
To: [Dan Rieden](#)
Subject: [EXTERNAL] Rear yard deck over boiler room
Date: Monday, October 10, 2022 11:08:28 PM

This Message Is From an External Sender

ATTENTION: This email was sent from an external source. Please be extra cautious when opening attachments or clicking links.

Hi Dan this is the only picture I have of the former structure overtop of the faulted slab. Lean to roof with ptw lattice and 6' ptw fence. Both rotting.
The fence boards came off in my hands one day when I was trying to step around the gaping hole in the slab.

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NORTH ELEVATION
"FRONT"

691 W CANFIELD



REMOVE EXISTING MOSS COVERED ASPHALT ROOF SHINGLES ON PORCH. REPLACE WITH NEW ASPHALT SHINGLES TO MATCH UPPER ROOF

REMOVE EXISTING SLIDING VINYL BASEMENT WINDOW LOWER SILL 10" AND PROVIDE NEW SINGLE HUNG VINYL EGRES WINDOW

PROVIDE 6X6 PTW WINDOW WELL TO SUIT. REPLACE EXISTING WOOD TRIM TO MATCH.

6' METAL PICKET FENCE TO CLOSE OFF EAST SIDE YARD. GATED FOR ACCESS

GENERAL NOTE
REPAIR/REPAINT EXISTING WOOD TRIM AS REQUIRED
PAINT EXISTING COLOR

WEST ELEVATION

691 W CANFIELD

REMOVE/REPLACE 2
EXISTING BASEMENT
WINDOWS AND PLY
WOOD. NEW SLIDING

VINYL WINDOWS
TO BE INSTALLED.
WINDOW 'A' TO BE
EGRESS.

REMOVE/REINSTALL
EXISTING BRICK PAVERS
ON NEW GRANULAR
BASE

REMOVE PLYWOOD AT
DOOR AND WINDOW.
INFILL WITH EXISTING
SALVAGED BRICK
FROM THE SITE

EXISTING CONCRETE
STAIRS AND RUBBLE
STRUCTURE TO BE
STABILIZED AND REMAIN



SOUTH ELEVATION
1 OF 3

691 W CANFIELD

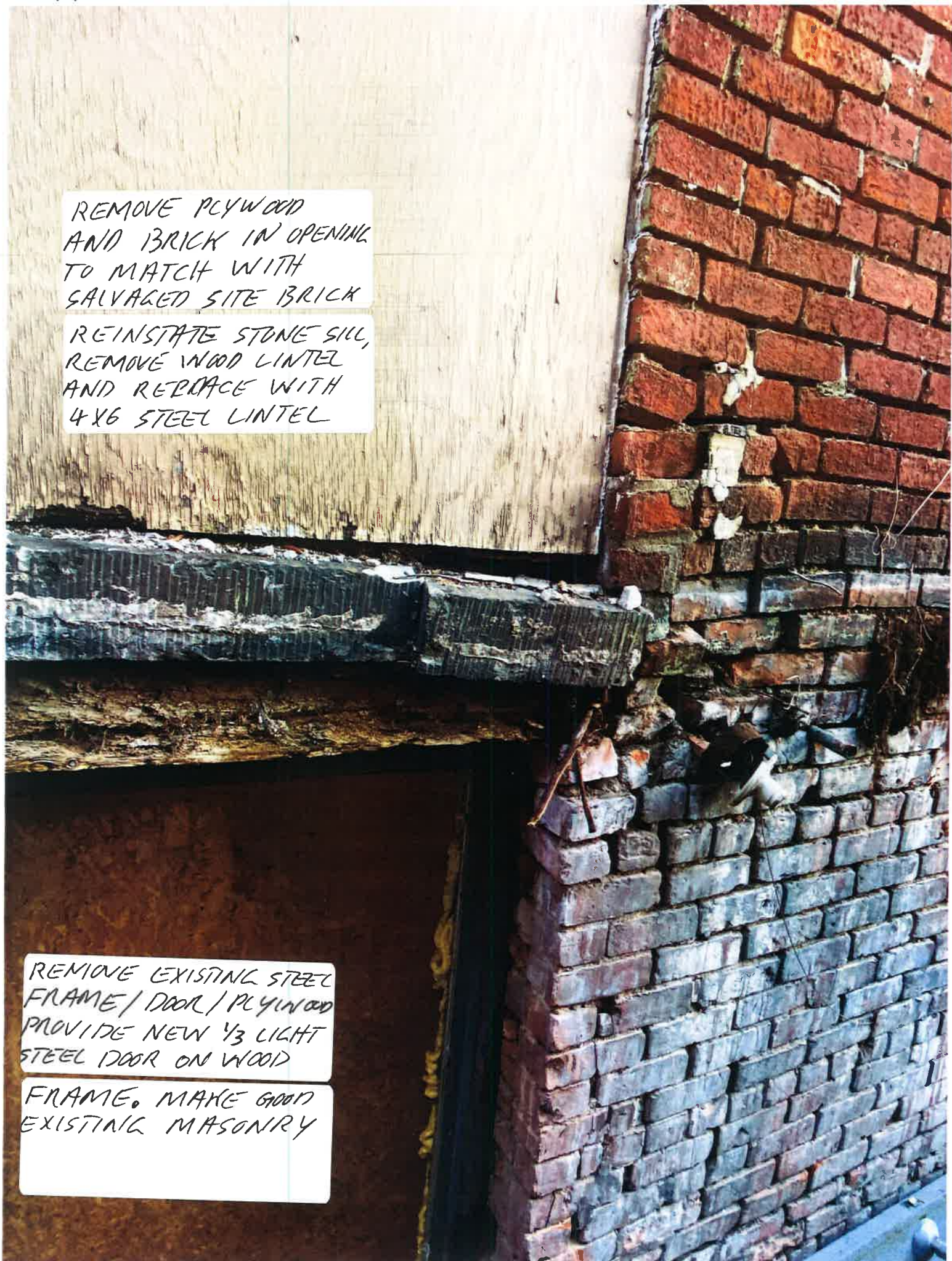


REMOVE PLYWOOD
AND BRICK IN OPENING
TO MATCH WITH
SALVAGED SITE BRICK

REINSTATE STONE SILL,
REMOVE WOOD LINTEL
AND REPLACE WITH
4X6 STEEL LINTEL

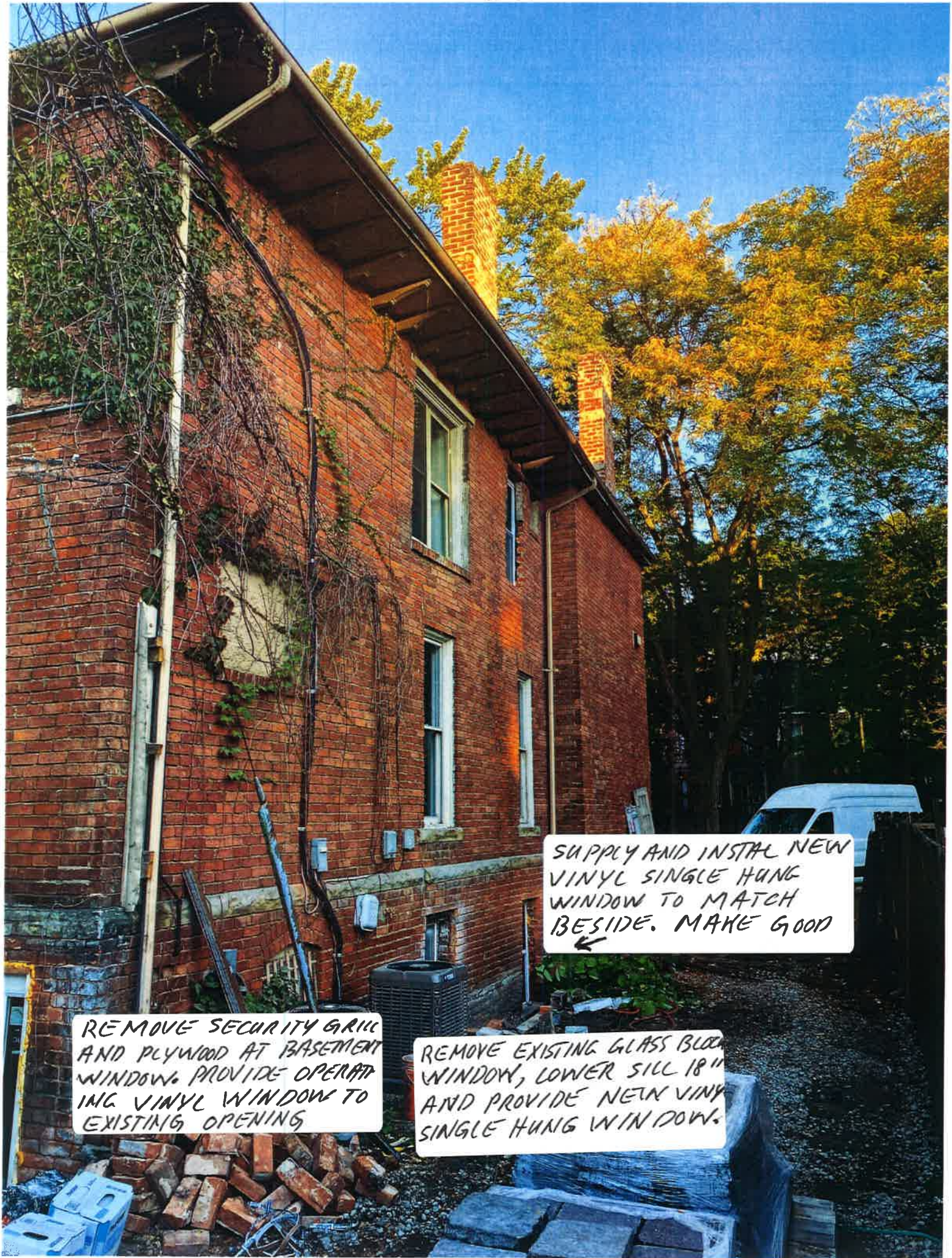
REMOVE EXISTING STEEL
FRAME / DOOR / PLYWOOD
PROVIDE NEW 1/3 LIGHT
STEEL DOOR ON WOOD

FRAME. MAKE GOOD
EXISTING MASONRY



EAST ELEVATION 1 OF 2

691 W CANFIELD



SUPPLY AND INSTALL NEW VINYL SINGLE HUNG WINDOW TO MATCH BESIDE. MAKE GOOD
←

REMOVE SECURITY GRILL AND PLYWOOD AT BASEMENT WINDOW. PROVIDE OPERATING VINYL WINDOW TO EXISTING OPENING

REMOVE EXISTING GLASS BLOCK WINDOW, LOWER SILL 18" AND PROVIDE NEW VINYL SINGLE HUNG WINDOW.

691 W CANFIELD
MASONRY CHIMNEY

EAST ELEVATION
SECOND CHIMNEY
BACK



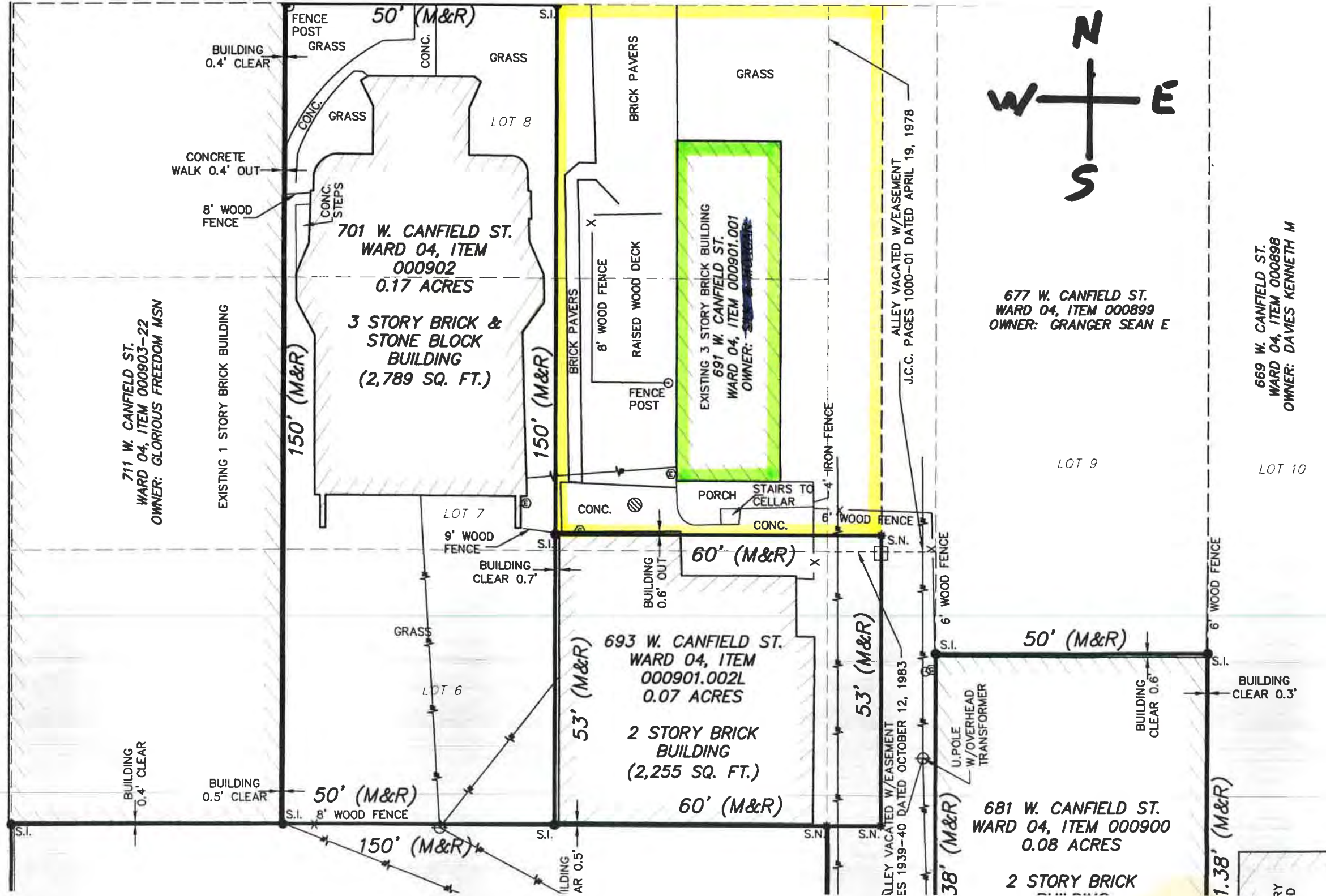
INVESTIGATE STRUCTURAL
INTEGRITY OF LEANING
CHIMNEY. DETERMINE IF
CHIMNEY HAS CRACKED
AND REMOVE BRICK
DOWN TO STONE COLLAR,
OR INTRODUCE CHIMNEY
BRACE.

EXISTING BRICK FROM
HOUSE TO BE REUSED
IF REQUIRED

(70 FT. WD.)
EASEMENT

*SURVEY 691 W. Canfield
+ neighbouring properties*

CONCRETE WALKWAY



711 W. CANFIELD ST.
WARD 04, ITEM 000903-22
OWNER: GLORIOUS FREEDOM MSN

EXISTING 1 STORY BRICK BUILDING

701 W. CANFIELD ST.
WARD 04, ITEM 000902
0.17 ACRES
3 STORY BRICK &
STONE BLOCK
BUILDING
(2,789 SQ. FT.)

LOT 7
9' WOOD FENCE
BUILDING CLEAR 0.7'

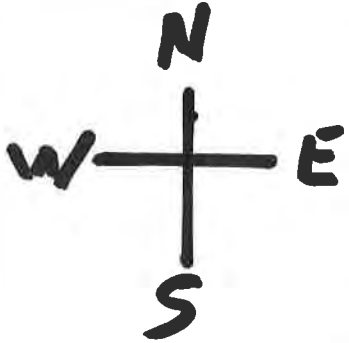
693 W. CANFIELD ST.
WARD 04, ITEM 000901.002L
0.07 ACRES
2 STORY BRICK
BUILDING
(2,255 SQ. FT.)

EXISTING 3 STORY BRICK BUILDING
691 W. CANFIELD ST.
WARD 04, ITEM 000901.001
OWNER: ~~W. P. ...~~

681 W. CANFIELD ST.
WARD 04, ITEM 000900
0.08 ACRES
2 STORY BRICK
BUILDING

677 W. CANFIELD ST.
WARD 04, ITEM 000899
OWNER: GRANGER SEAN E

669 W. CANFIELD ST.
WARD 04, ITEM 000898
OWNER: DAVES KENNETH M



ALLEY VACATED W/EASEMENT
J.C.C. PAGES 1000-01 DATED APRIL 19, 1978

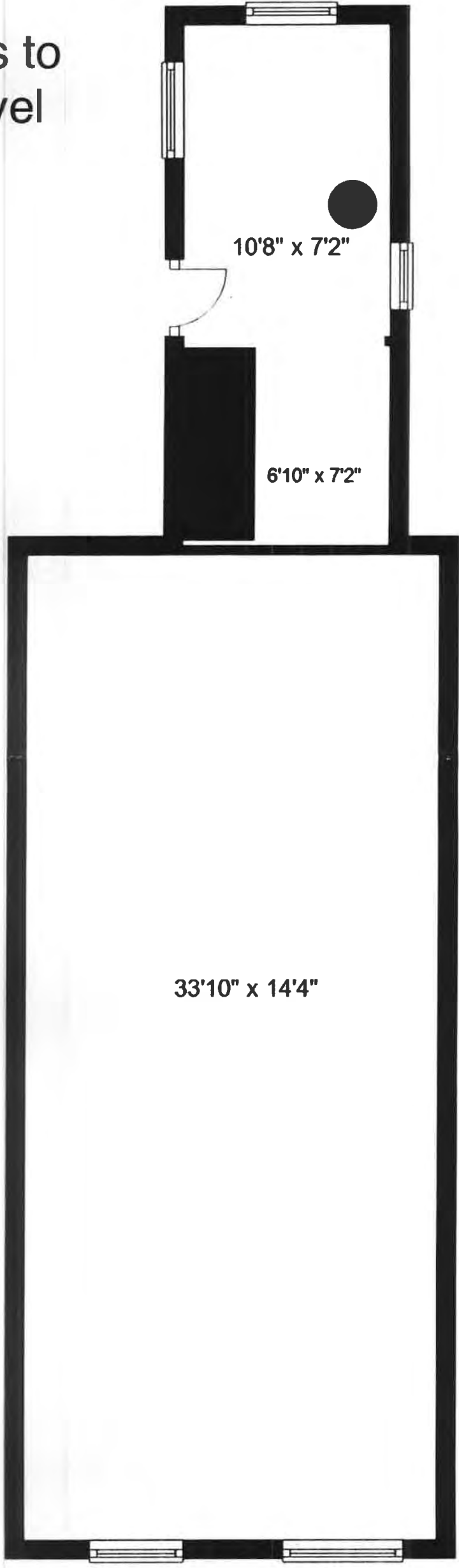
ALLEY VACATED W/EASEMENT
ES 1939-40 DATED OCTOBER 12, 1983

RY D

Attic
Approx. 616.3 sq. feet

5

No
changes to
attic level



E

W

Z

II.

Second Floor
Approx. 1219.0 sq. feet

(S)

(E)

Remove plywood from two openings , install new single hung window and brick in other opening (see photo)



691 W Canfield FRONT

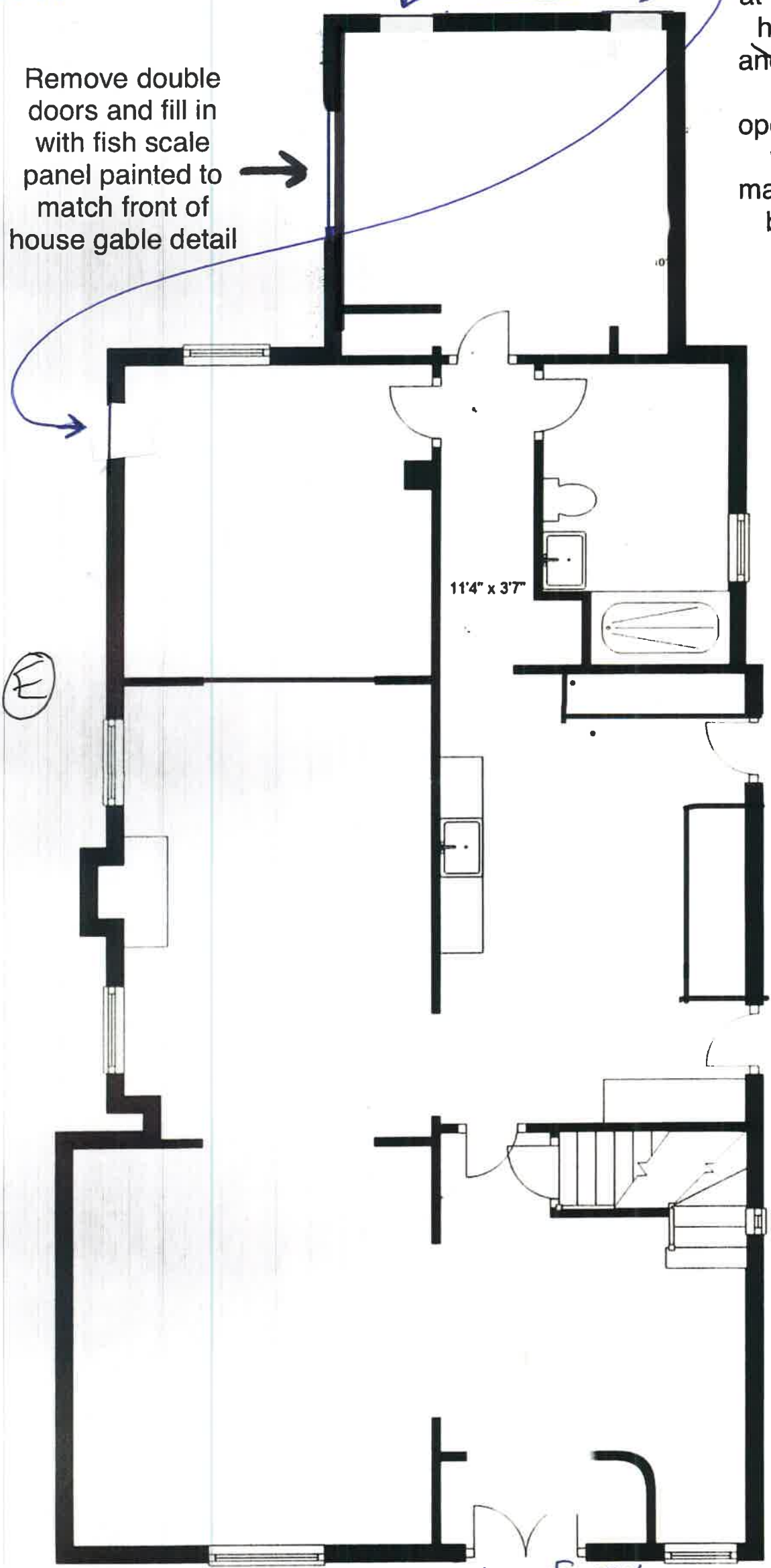
III.

First Floor
Approx. 1222.5 sq. feet

(S)

Remove plywood at rear of house and brick in 3 openings with matching brick

Remove double doors and fill in with fish scale panel painted to match front of house gable detail



11'4" x 3'7"

(E)

(W)

porch roof - new shingles

691 W Canfield FRONT

(N)

Existing concrete foundation. Add new wooden exterior stairs

Replace 2 doors at rear of basement, not visible from street

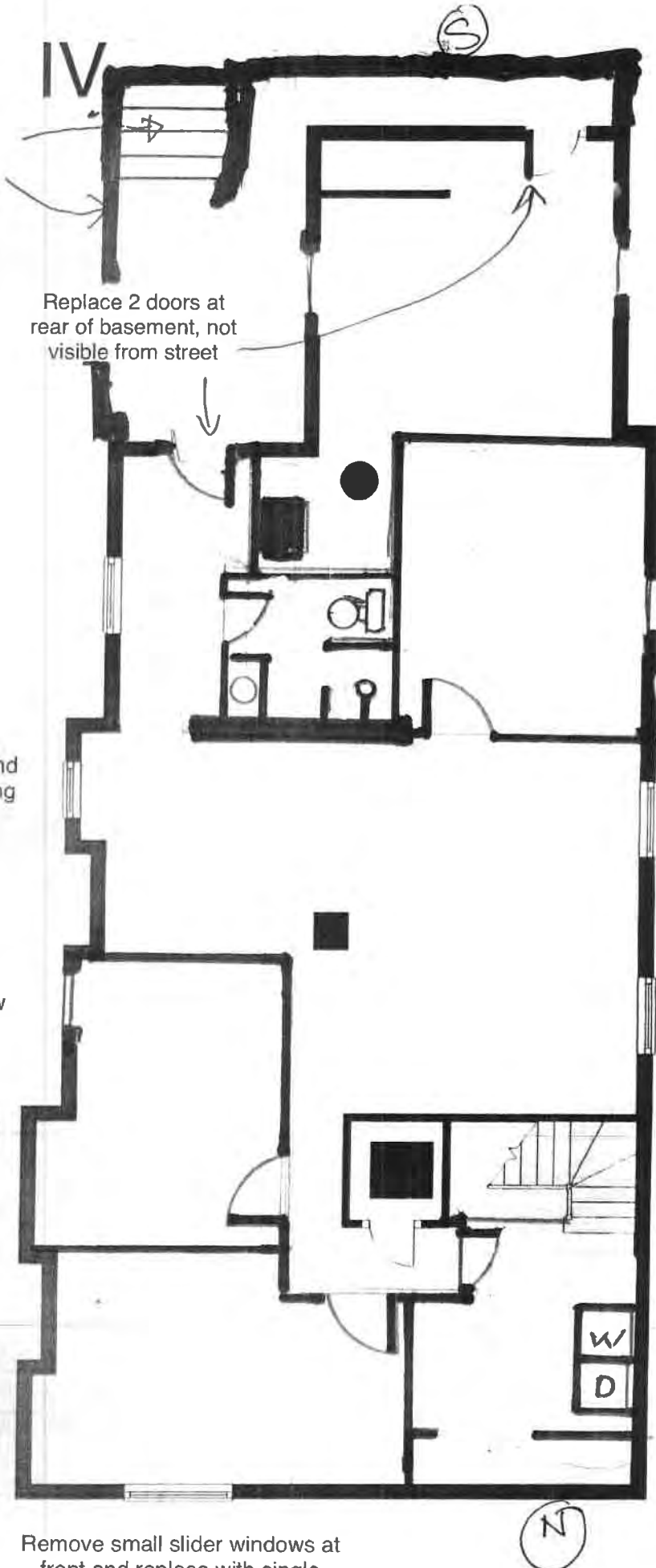
Uncover window and replace with new egress window.

Remove glass block and replace with single hung egress window

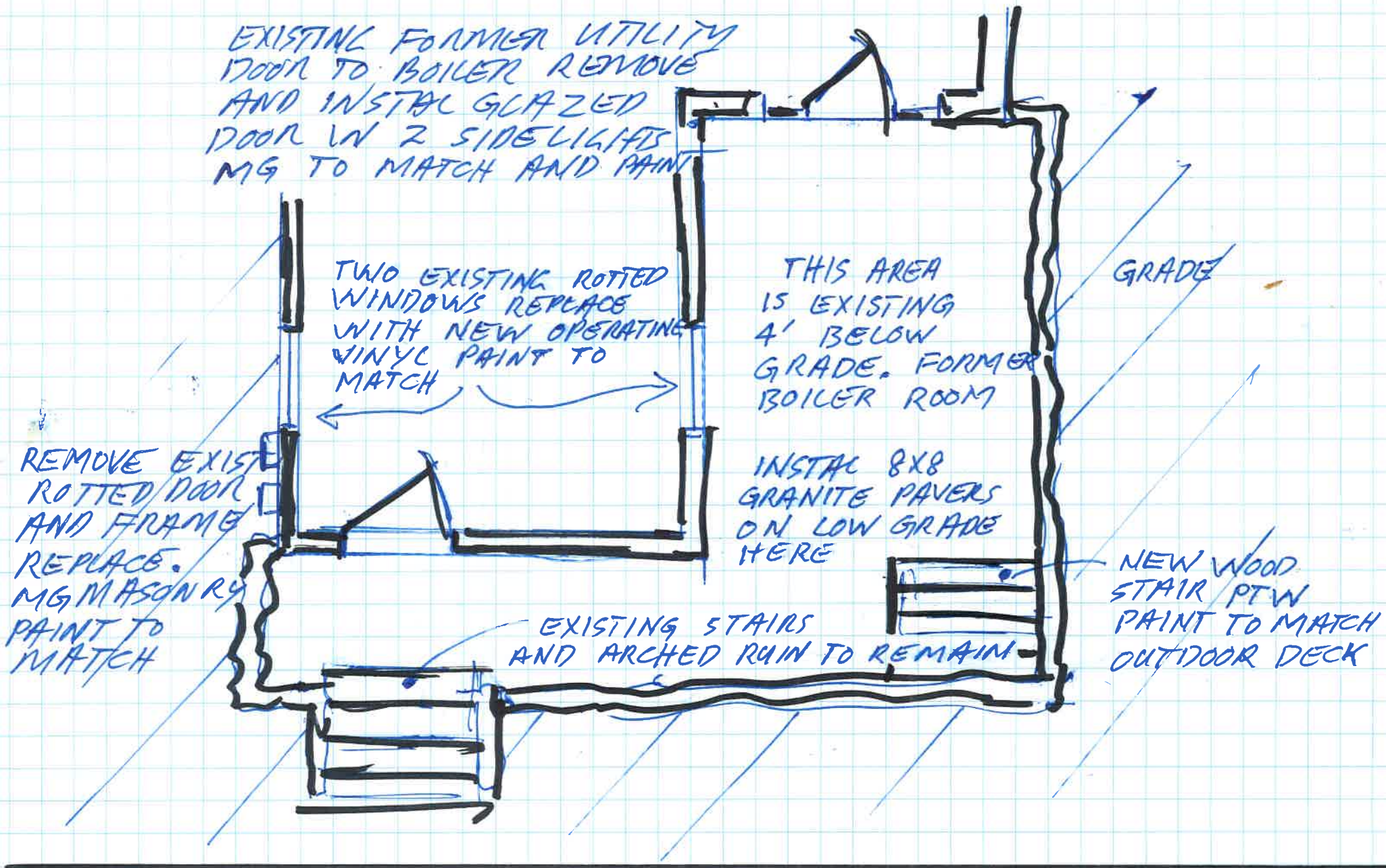
Cut in and install new single hung egress window to match

Remove small slider windows at front and replace with single hung egress window

691 W Canfield FRONT

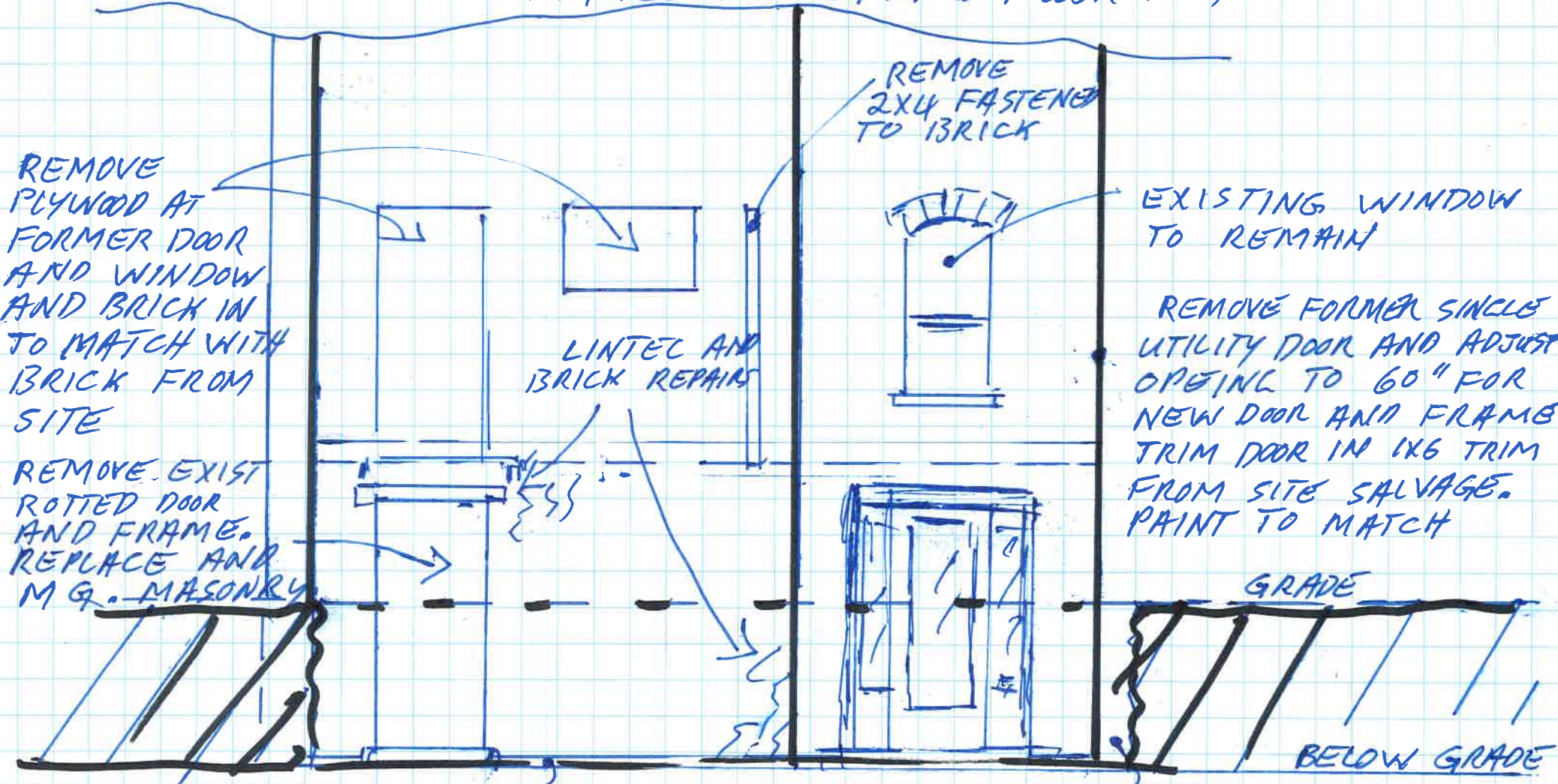


PARTIAL BASEMENT PLAN VIEW REAR ELEVATION



ELEVATION

NO CHANGES SECOND/THIRD FLOOR REAR ELEVATIONS



GENERAL NOTE:
MAKE GOOD EXISTING
BROKEN / LOOSE / MISSING
BRICKS WITH BRICKS TO
MATCH

SCALE 1/4" = 1'
OCT 6 / 2022

CONCRETE RUBBLE
RETAINING WALL
EXISTING

691 W CANFIELD
SOUTH PARTIAL
ELEVATION

V. LANEWAY

(S)

EXISTING NEIGHBOUR'S HOUSE

GATE

NEW WOODEN FENCE

EXISTING PATIO

GRANITE PAVERS

PRIVACY FENCE

EXISTING WOODEN FENCE

(E)

GRANITE PATH

GARDEN

WINDOW WELL

11'4" x 3'7"

EXISTING WOOD DECK

GREEN SPACE

WEIGHT IRON STYLE FENCE

(Z)

IRON GATE

W. WELL GARDEN

PORCH

GARDEN

GRANITE PAVER PATH

DRIVEWAY

GRASS

691 W CANFIELD
SITE PLAN

(Z)

3'

EXIST ASPHALT

EXISTING BRICK PAVERS REMOVE AND REINSTALL

NEW 8X8 GRANITE OVER FORMER CONCRETE

NEW SALVAGED 8X8 GRANITE

EXISTING WOOD DECK

NEW 8X8 GRANITE OVER EXIST CONCRETE

NEW WOOD FENCE TO MATCH

EXIST 1X6 WOOD FENCE EAST

EXIST BRICK PAVERS

LINE OF EXIST BRICK PAVER

BOUNDARY GRASS/GARDEN

PRIVACY FENCE

GREEN SPACE

(2)

GARDEN

WINDOW WELL

GRANITE PATH

6'7"

EXIST BRICK PAVERS

3'

3'

2' SET. BACK

W. WELL

PORCH

GRANITE PATH

4'

GRASS

691 W CANFIELD SITE PLAN

(T)

(T)

(T)

CITY SIDE WALK

691 W CANFIELD ST DOOR AND WINDOW REPLACEMENT SCHEDULE

THIRD FLOOR - NO CHANGE

SECOND FLOOR - ONE WINDOW ADDED TO EXISTING OPENING. OPENING EXTENDED IN LENGTH
 "A" EAST ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT, PAINT TO MATCH

FIRST FLOOR - NO CHANGE

BASEMENT - ONE NEW WINDOW ADDED, 6 REPLACEMENT WINDOWS TOTAL 7
 "B" NORTH ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT OPENING LOWERED 10"
 "C" EAST ELEVATION, VINYL, SINGLE HUNG, NEW OPENING
 "D" EAST ELEVATION, VINYL, SINGLE HUNG, REPLACEMENT OPENING LOWERED 14"
 "E/F" EAST ELEVATION, VINYL, AWNING, REPLACEMENT
 "G" WEST ELEVATION, VINYL, AWNING, REPLACEMENT
 "H" WEST ELEVATION, VINYL, CASEMENT, REPLACEMENT, OPENING LOWERED 6"

DOORS BASEMENT LEVEL

"D1" EXISTING UTILITY REMOVED AND REPLACED WITH GLAZED DOOR TWO SIDELIGHTS.
 OPENING WIDENED TO SUIT. LINTEL INSERTED TO CARRY BRICK
 "D2" EXISTING UTILITY DOOR REMOVED AND REPLACED WITH NEW METAL DOOR 1/3 GLASS ON WOOD
 FRAME. REBUILD FAULTED SILL AND LINTEL
 "D3" EXISTING NON ORIGINAL ROTTED GLASS DOORS ON FIRST FLOOR EAST ELEVATION REAR REMOVE, INFILL
 WITH FISH SCALE CEDAR SHINGLES TYPICAL TO WEST ELEVATION, TRIM AND PAINT TO MATCH WEST ELEVATION
 SHINGLES. STAINGLASS TRANSOM WINDOW OVER TOP.

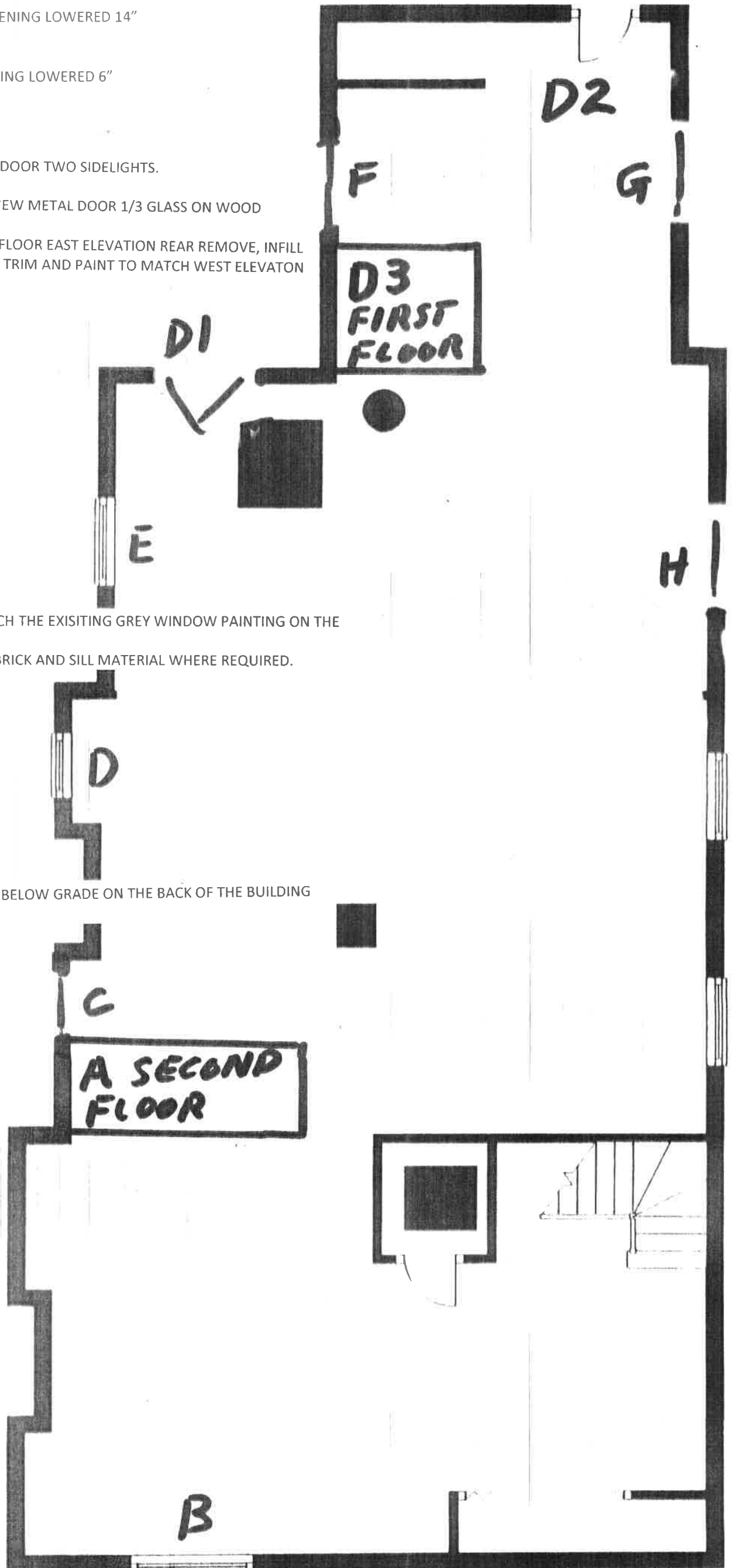
GENERAL NOTES

- 1, ALL NEW DOORS AND WINDOWS TO BE PAINTED TO MATCH THE EXISTING GREY WINDOW PAINTING ON THE FRONT OF THE HOUSE.
- 2, MAKE GOOD MASONRY OPENINGS AND REUSE EXISTING BRICK AND SILL MATERIAL WHERE REQUIRED.

SUMMARY

NEW WINDOWS IN EXISTING OPENING 1
 REPLACEMENT WINDOWS IN EXISTING OPENINGS 7
 REPLACEMENT DOORS IN EXISTING OPENINGS 2, BOTH 50% BELOW GRADE ON THE BACK OF THE BUILDING
 BASEMENT LEVEL.

Basement
 Approx. 1244.4 sq. feet



EAST SIDE

11.

Add window here

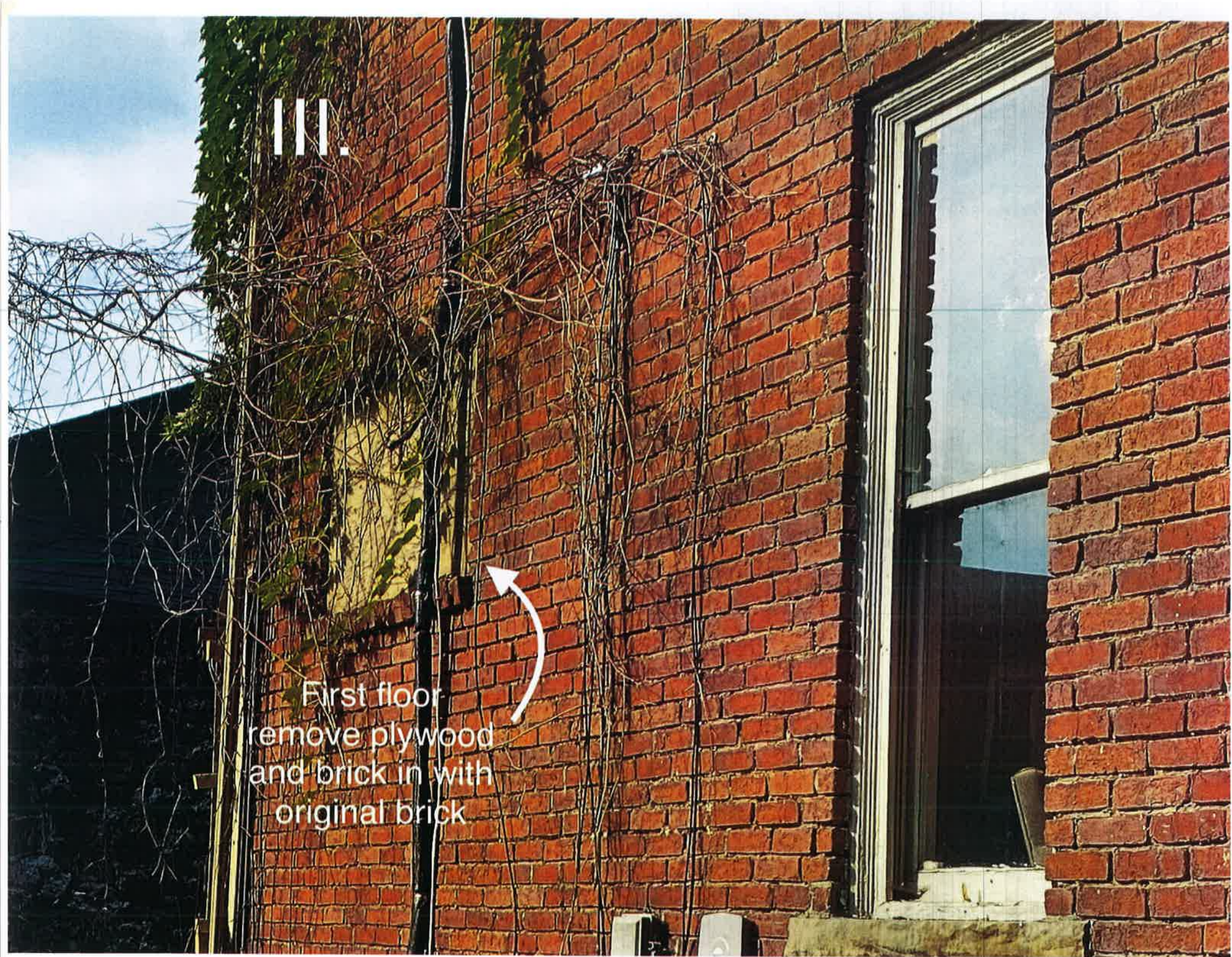
Brick in here

2nd floor remove old plywood add single hung window on left to match below and brick in opening on the right

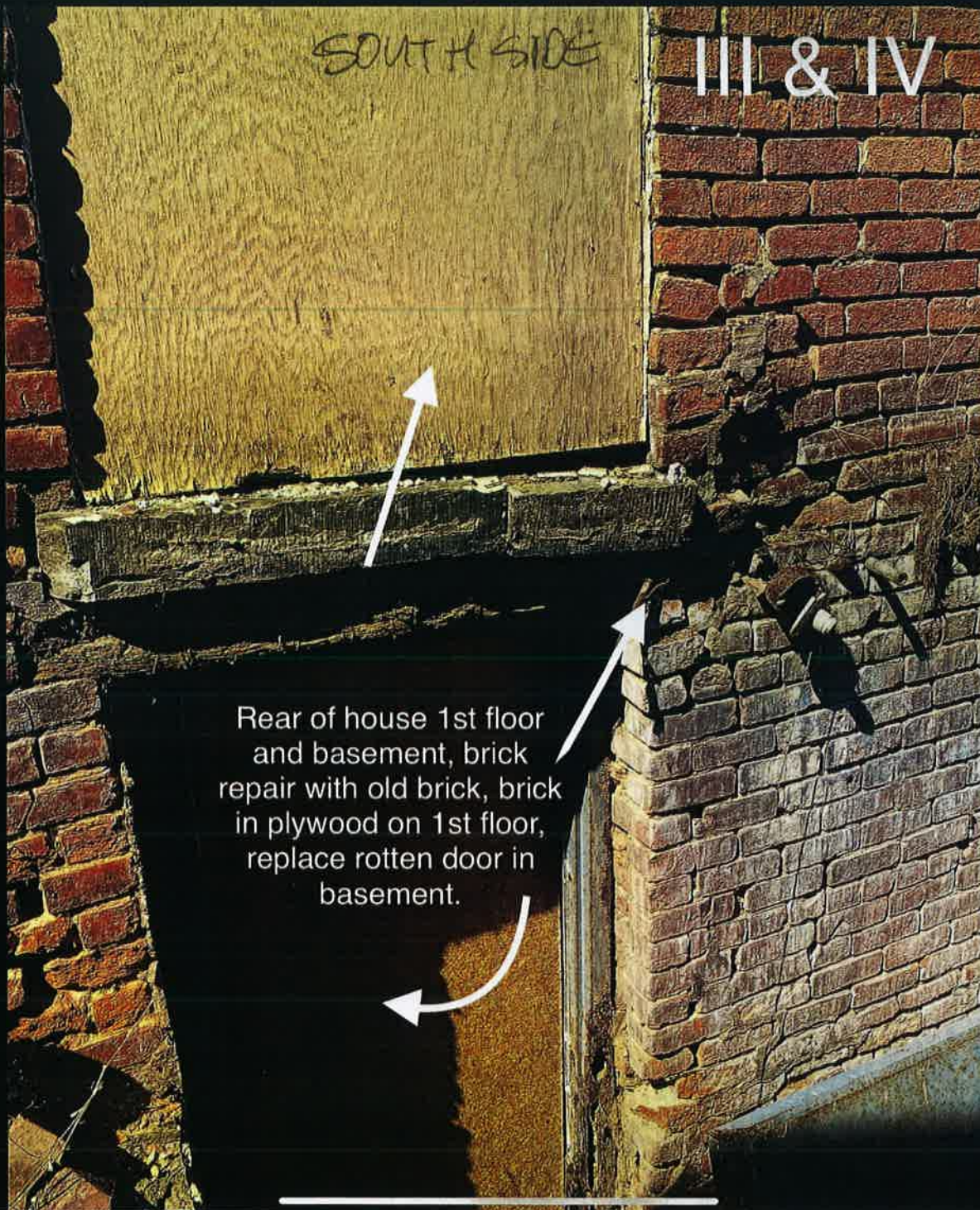


III.

First floor
remove plywood
and brick in with
original brick



IMG_4985
JPG - 5.2 MB



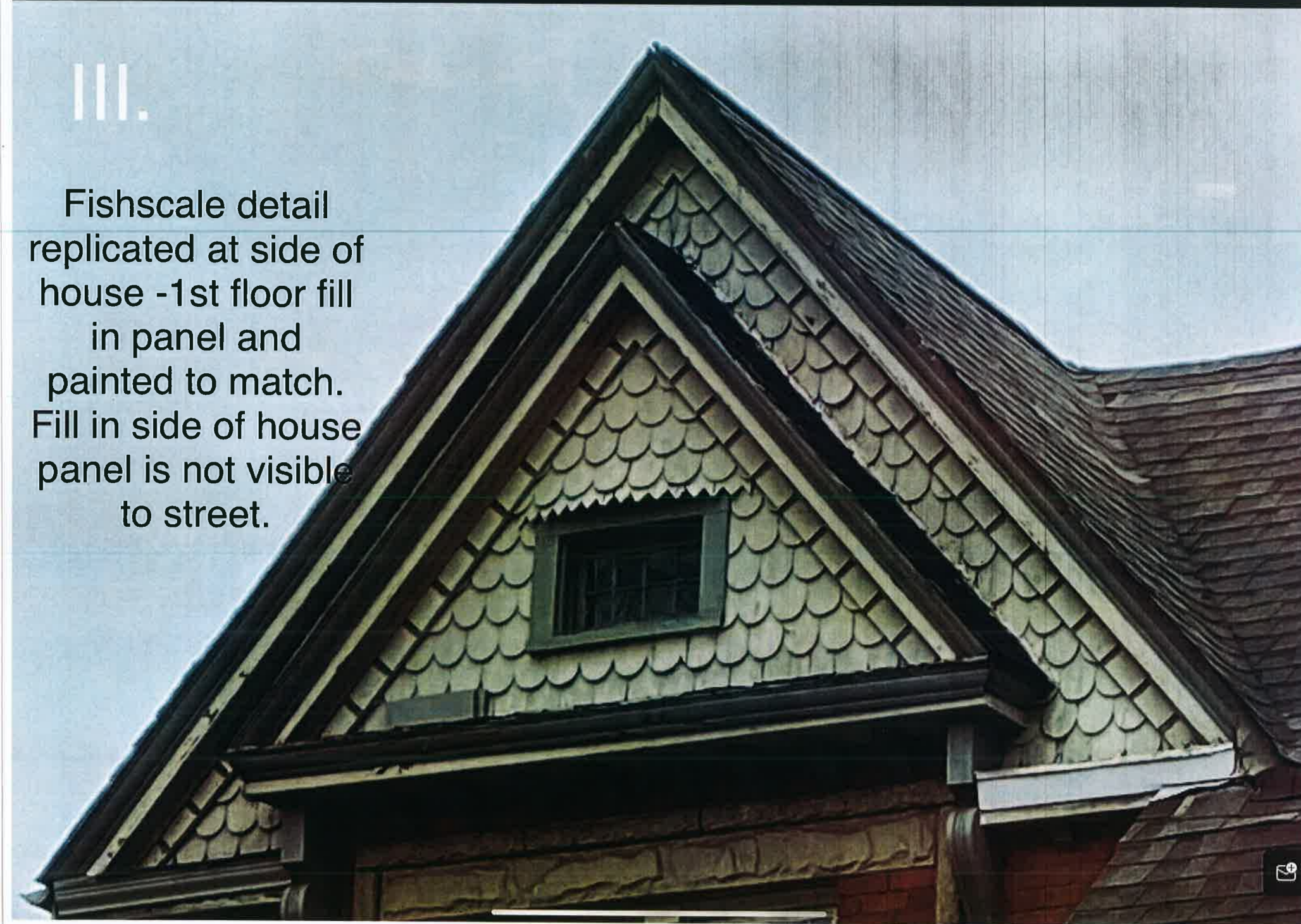
SOUTH SIDE

III & IV

Rear of house 1st floor and basement, brick repair with old brick, brick in plywood on 1st floor, replace rotten door in basement.

III.

Fishscale detail replicated at side of house - 1st floor fill in panel and painted to match. Fill in side of house panel is not visible to street.



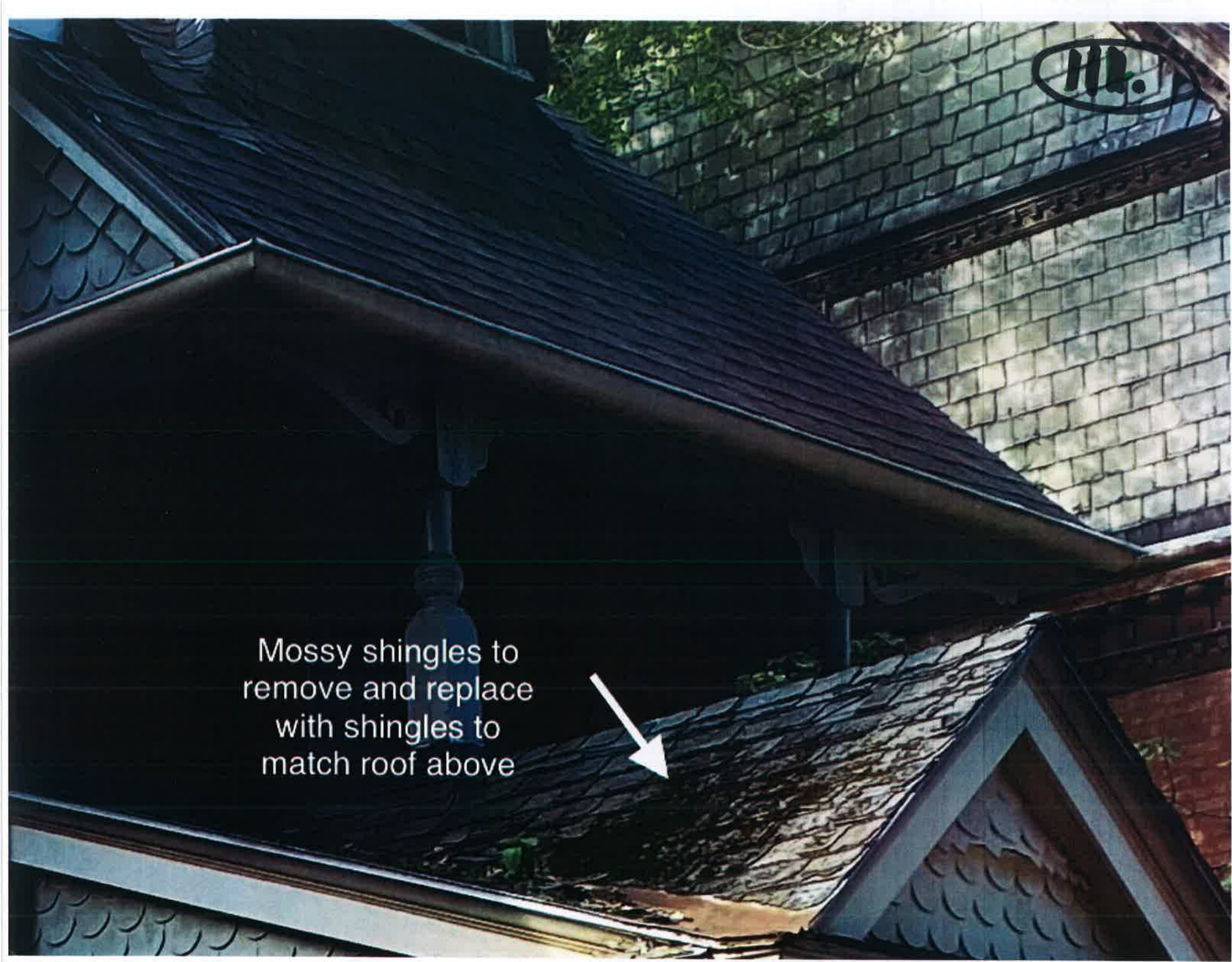
III. & IV.

1st floor, remove rotten doors, fill in with fish scale panel to match front of house and paint to match

EAST SIDE

Basement level - not visible from street - Remove old metal pipe, repair brick where damaged or missing

EAST SIDE

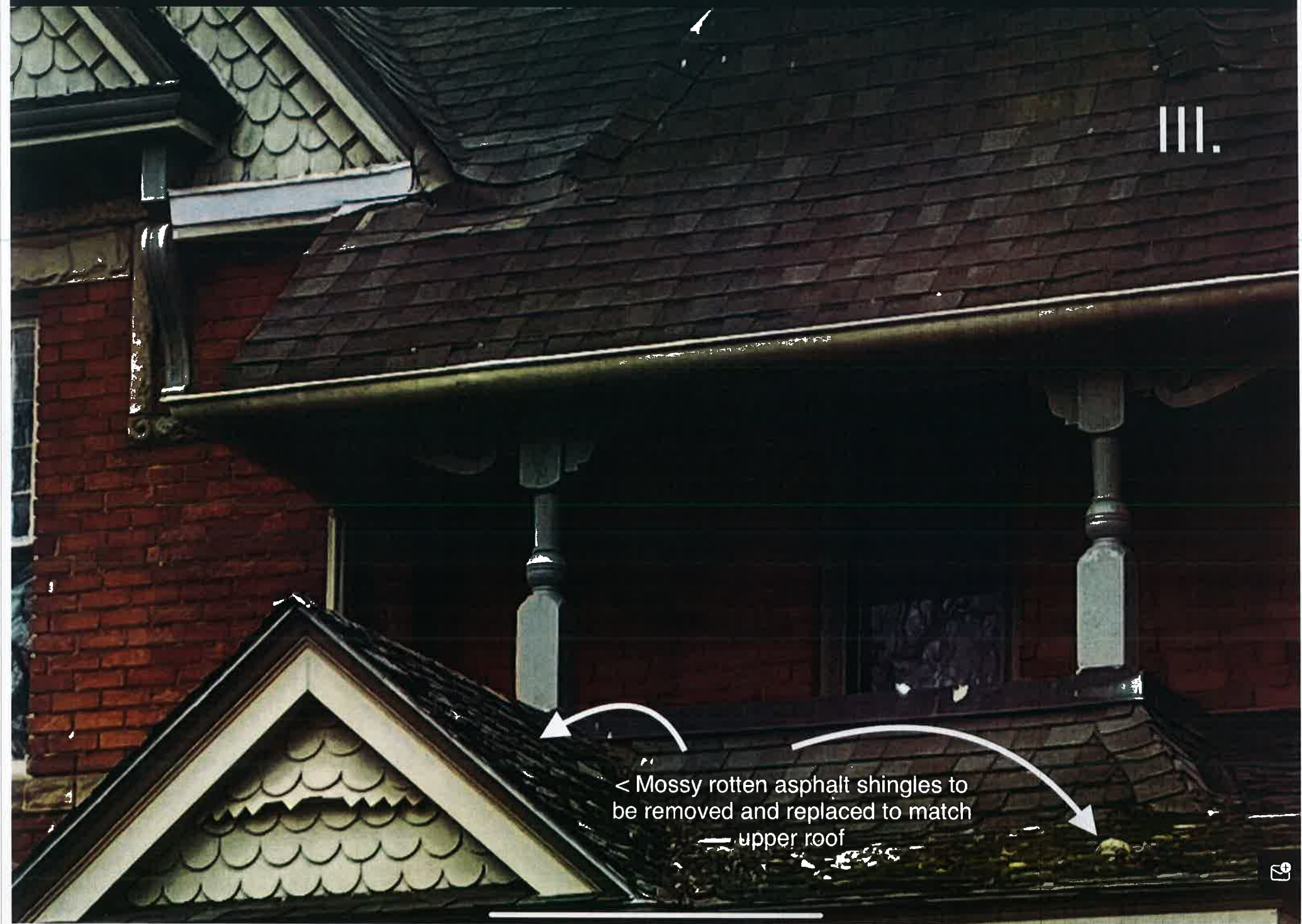


Mossy shingles to
remove and replace
with shingles to
match roof above



FACING NORTH

IMG_3804
JPG - 4.5 MB



< Mossy rotten asphalt shingles to be removed and replaced to match upper roof

IV.

NORTH SIDE

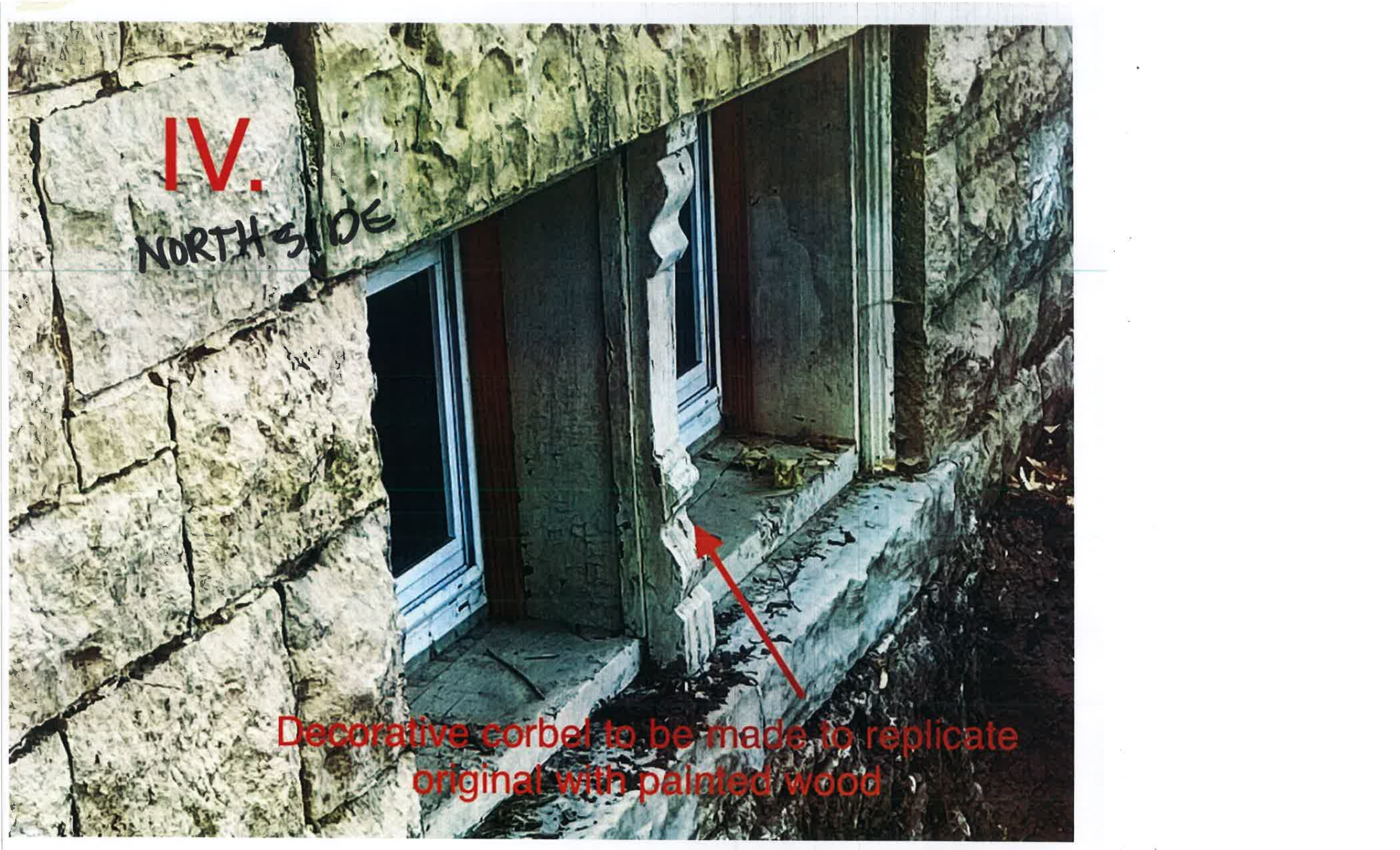
Basement level - Front vinyl slider windows to be replaced with code required egress windows. Middle corbel to be replicated in wood and installed in middle, painted to match existing.



IV.

NORTH SIDE

Decorative corbel to be made to replicate original with painted wood







IMG_4964
JPG - 3.8 MB

IV.

Rotten
basement
door and
frame to be
replaced - not
visible from
street



IV.

SOUTH EAST
CORNER

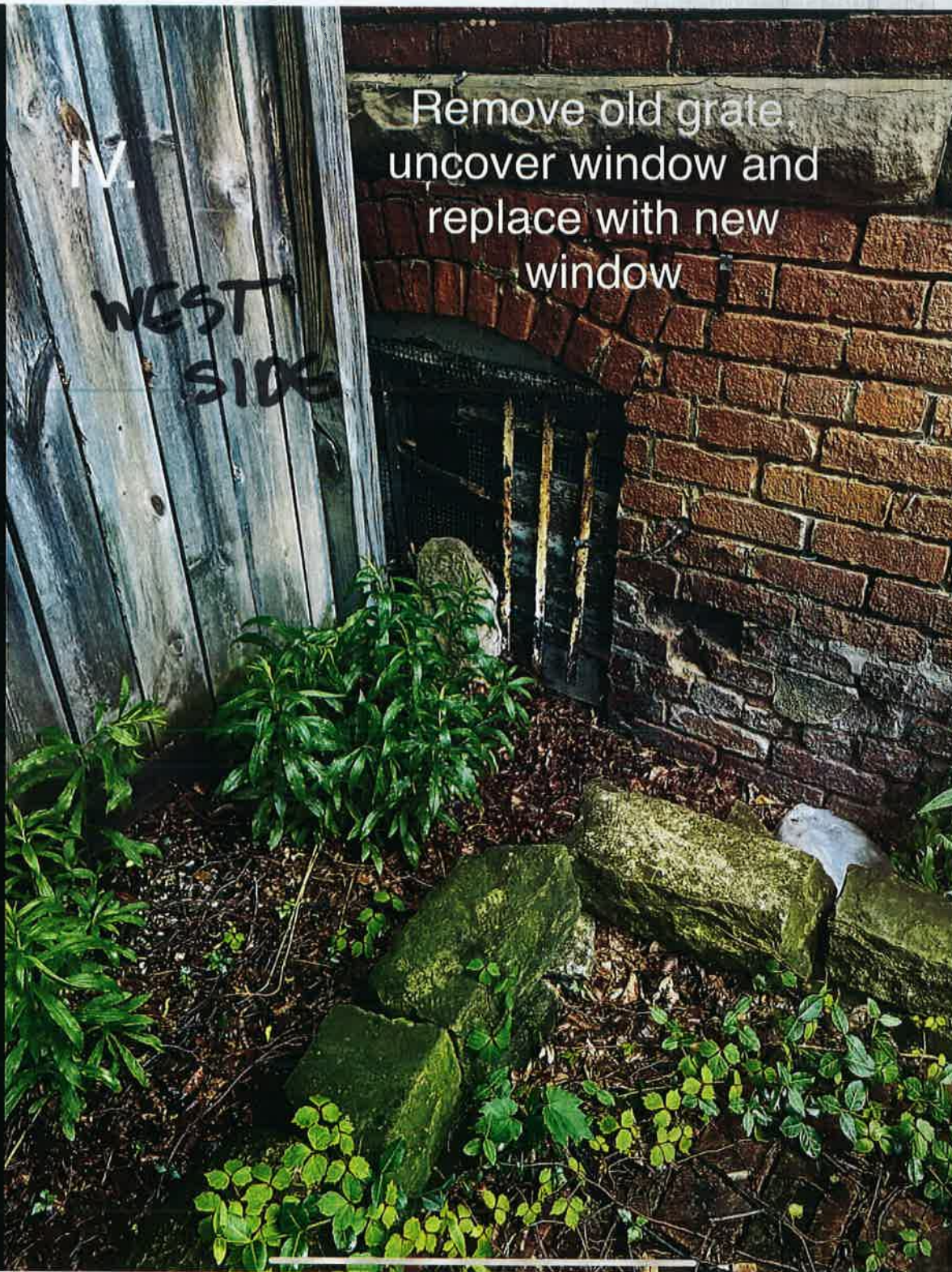
Brick repairs
where
required
using original
brick



IV.

WEST
SIDE

Remove old grate,
uncover window and
replace with new
window

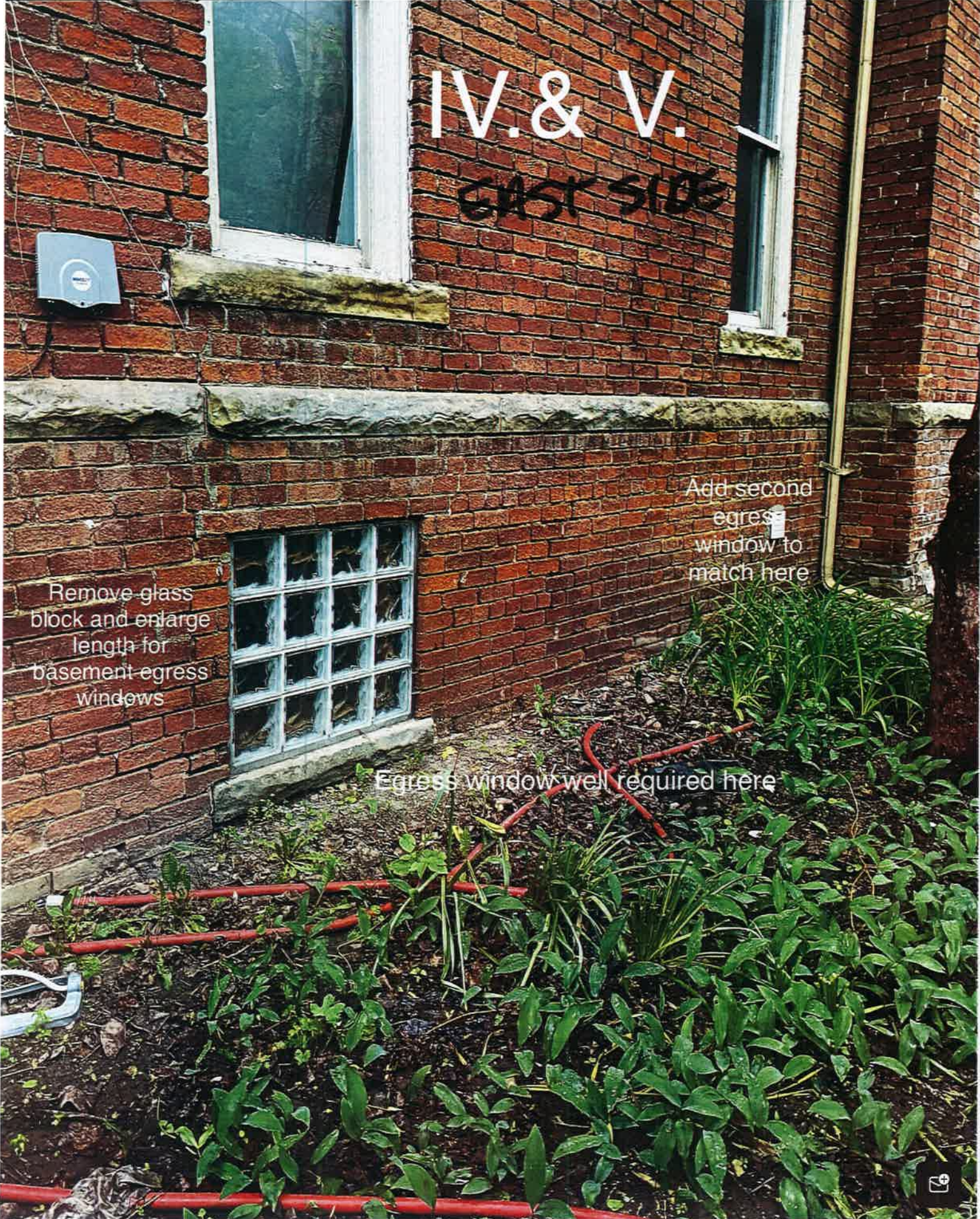



IV. & V.
EAST SIDE

Remove glass
block and enlarge
length for
basement egress
windows

Add second
egress
window to
match here

Egress window well required here





Driveway
pavers to be
levelled and
reused

IMG_4744
JPG - 6 MB



Pathway
pavers to be
levelled and
reused

V.



IMG_4987
JPG - 5.6 MB



V. Old granite pavers to be used in pathways and landscaping to complement brick pavers





V.

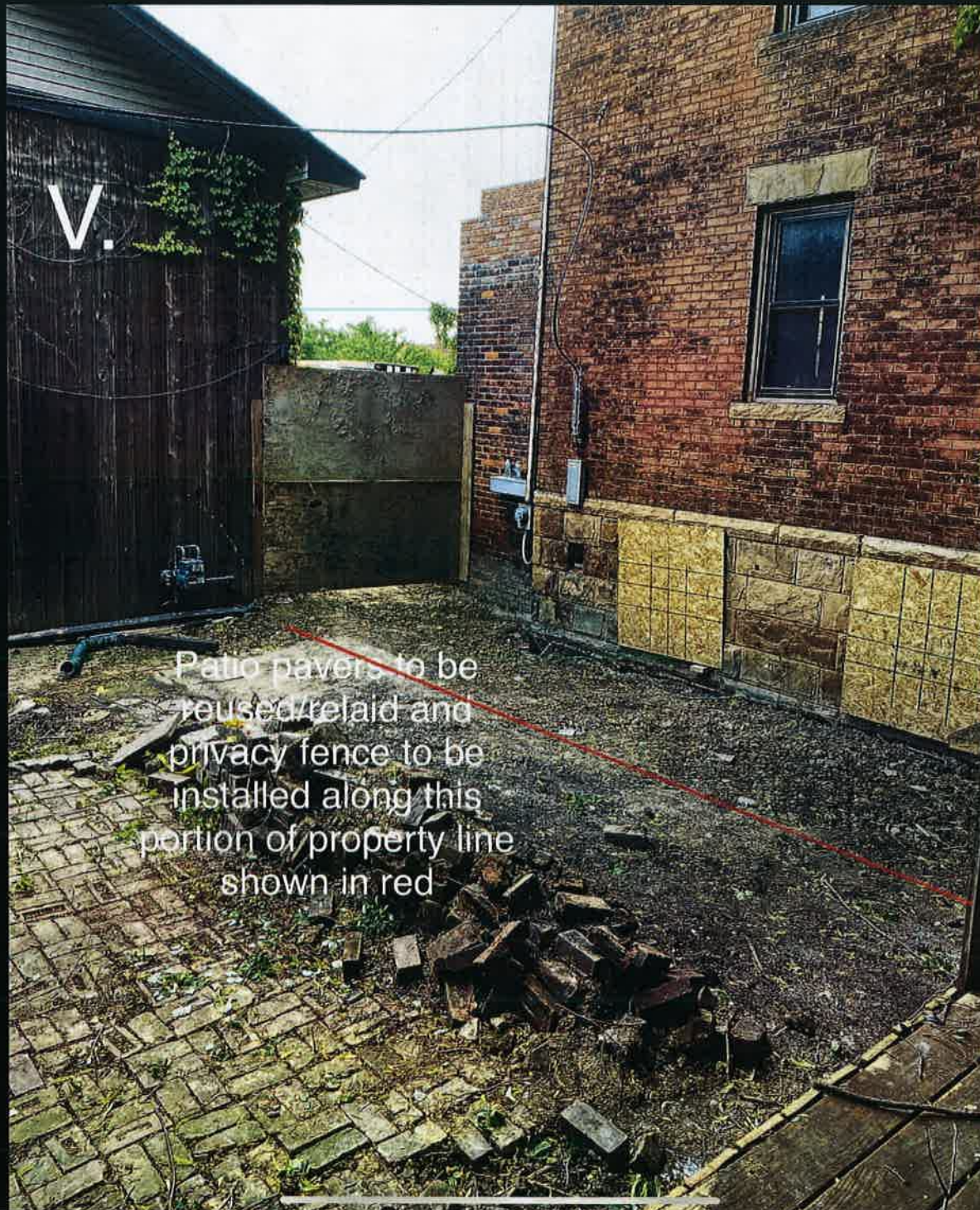
Wooden fence at rear to match existing fence at side. There will be a gate for lane access.

V.

< Property line for iron fencing

Driveway to be leveled and pavers reused





V.

Patio pavers to be reused/relaid and privacy fence to be installed along this portion of property line shown in red



IMG_4981
JPG - 4.4 MB

V.

Wrought iron style of
fence to be used along
west boundary

