



November 18, 2020

CERTIFICATE OF APPROPRIATENESS

Jennifer Lyon
269 Walker Street, #720
Detroit, MI 48207

RE: Application Number 20-6934; 1773 Parker, West Village Historic District

Dear Ms. Lyon:

At the regularly scheduled meeting held virtually on November 12, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of November 18, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

Per the attached documents, the project consists of the following components:

Front Porch

Remove existing brick piers, porch decking, iron railings and columns, wood stairs and wood lattice. The rock face block was previously removed.

Retain existing roof, beams and fascia.

Erect new wood-framed porch with wood corner posts, perimeter railing, stairs and wood lattice skirt.

Back Porch

Demolish existing landing and stair (completed).

Erect small wood deck landing and stair.

Partial Window Replacement

Remove glass block and double-hung vinyl windows from rear porch openings.

Remove glass block and double-hung vinyl windows from side elevation bay window.

Install Pella, Architect Series, wood aluminum-clad double hung windows (one-over-one) within existing openings; color: White

Exterior Siding/Painting

Remove “Insulbrick” siding (completed)

Repair wood siding as needed

Paint exterior:

Wood siding: A9 Moderate Reddish Brown

Trim (incl. porch columns and railings) E4 Grayish Yellow Green

Masonry Foundation: B:19 Black

The COA was issued with the following conditions:

- The applicant shall provide the final paint specifications for the areas to be repainted for HDC staff review and approval prior to a permit be issued.
- An alternative to the black color will be replaced with a more neutral color (for the masonry) and submitted to HDC staff for review.
- The pressure-treated wood used on the rear porch landing and deck shall be left exposed for a minimum of six months prior to painting.
- The applicant will confirm the new windows will be field-painted to match the proposed color scheme.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:

A handwritten signature in black ink, appearing to read "Audra Dye", with a stylized flourish at the end.

Audra Dye
Staff, Detroit Historic District Commission

1773 Parker St Project Narratives

Paint + Siding

This project is the rehab and replacement of siding and painting of the exterior on the existing home at 1773 Parker St. The current siding is weathered and damaged and this project proposes to fill any wood holes and replace any missing siding with matching wood, remove all exterior shingles and siding that was installed, and paint with colors approved by the HDC chart (exact colors are located on the HDC Project Request for the paint project).

There was existing brick insul siding that was already removed without a permit in order to evaluate the condition of the boards underneath. I initially started removing portions to see what the condition was that was underneath and then with the team available and working determined in the interest of timing in particular with the staff shortage due to COVID-19, I determined it pertinent to continue removal while staff was available and in motion for this action.

Windows

This project is the replacement of existing windows at 1773 Parker St. The current windows are not in compliance with the HDC requirements as shown in the photos attached and I would like a consistent look throughout the home. The proposed window cut sheets are also attached.

1773 Parker St - Windows



Windows D, E, F, G, H
(Right to Left)
33.5" x 55"

Windows A, B, C (Right to Left)
33.5" x 55"



Window I
23.5" x 58.5"

Window J
43.5" x 58.5"



Window K
23.5" x 58.5"



Windows I & J (Interior)



Windows J & K (Interior)





10 1 Architect, Traditional, Double Hung, 33.5 X 55, White \$2,488.35 \$2,488.35

Location: BACK ROOM

Rough Opening: 34.25" X 55.75"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, White
Interior Color / Finish: Bright White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 177".

Windows A-H to be replaced with the above windows by Pella.



50 1 Architect, Traditional, Double Hung, 23.5 X 58.5, White \$2,568.44 \$2,568.44

Location: STAIRWAY

Rough Opening: 24.25" X 59.25"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, White
Interior Color / Finish: Bright White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-232-00257-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 164".

Windows I and K to be replaced with the above windows by Pella.



60 1 Architect, Traditional, Double Hung, 43.5 X 58.5, White \$2,801.87 \$2,801.87

Location: STAIRWAY

Rough Opening: 44.25" X 59.25"

1: Traditional, Non-Standard Size Non-Standard Size Double Hung, Equal

General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, White
Interior Color / Finish: Bright White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Cam-Action Lock, White, No Window Opening Control Device, No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, White, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-232-00257-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: No Exterior Trim, 6 9/16", 7 7/8", Standard Four Sided Jamb Extension, Factory Applied, Pella Recommended Clearance, Perimeter Length = 204".

Window J to be replaced with the below window by Pella.



A:9 Moderate
Reddish Brown
MS: 7.5R 3/6



B:19 Black
MS: N 0.5/



E:4 Grayish Yellow
Green
MS: 7.5GY 6/2

PORCH RENOVATION
INCLUDED AS PART OF
SEPARATE APPLICATION









Project Overview

PROJECT	PRK - 1773 PARKER PORCHES
PROJECT ADDRESS	1773 Parker Street Detroit, MI 48214
CLIENT	Jen Lyon
DATE	10/26/20

Project Narrative

The project is the reconstruction of the front and back porches on the existing home located at 1773 Parker Street.

The front porch decking is sloping substantially and appears to be improperly constructed. The existing brick piers have a different type and texture of brick and appear to be non-historic. The existing porch roof, beam, and fascia are in good shape and will remain. The design proposes to replace the existing porch with a new wood-framed porch with painted wood square columns, painted wood guardrail, and painted wood lattice skirt.

The back porch had collapsed and was demolished prior to this application, as it posed a hazard and hindered investigation of the condition of the adjacent structure. The photographs in this application show the collapsed porch prior to removal. The proposed design rebuilds a small deck landing and stair in the same location as the former porch, with painted wood decking, guardrail, and lattice skirt.

As part of the overall renovation project, the exterior of the home will be repainted in colors from the approved HDC color chart. The attached elevations show the proposed new colors, with the porches painted to match.



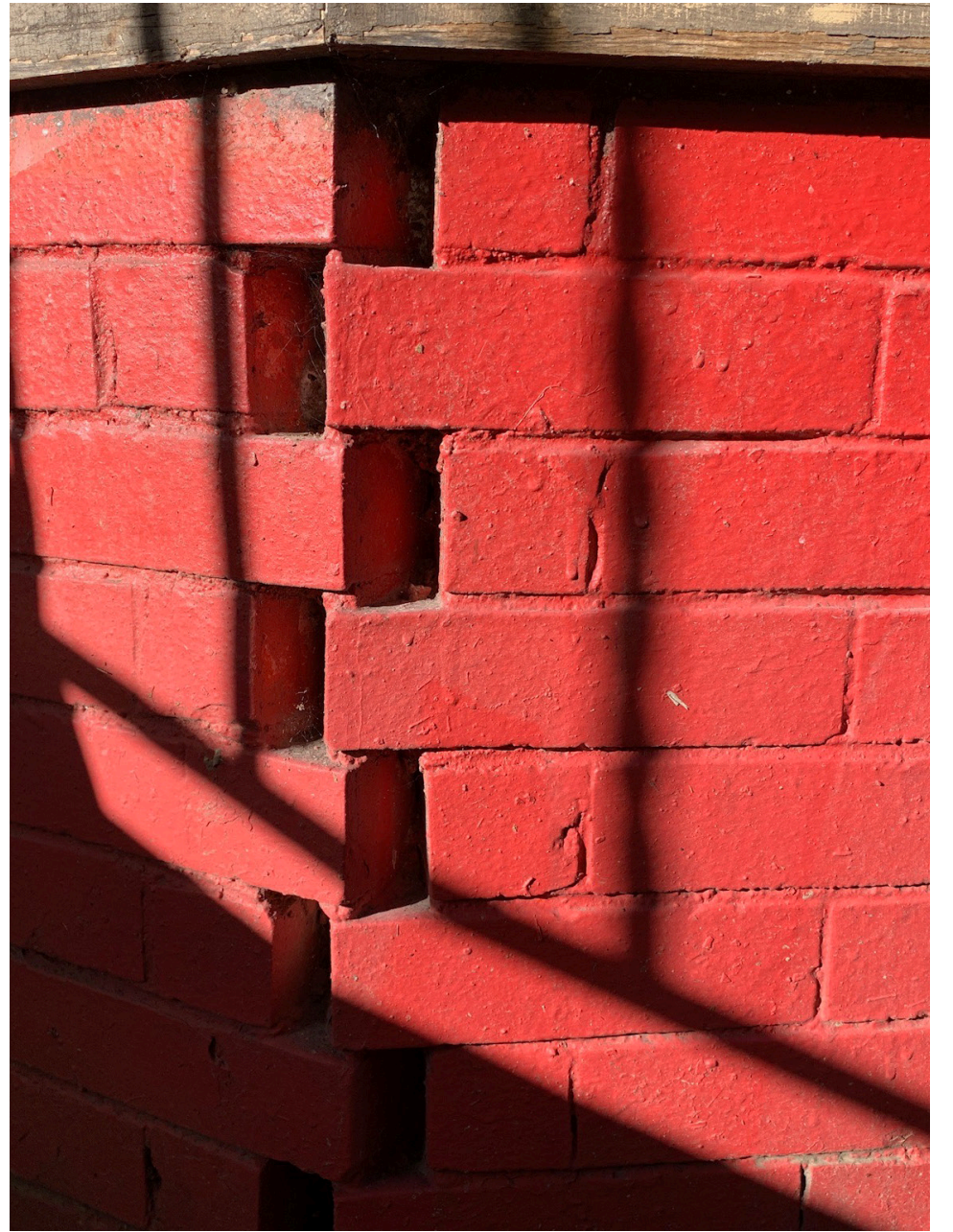




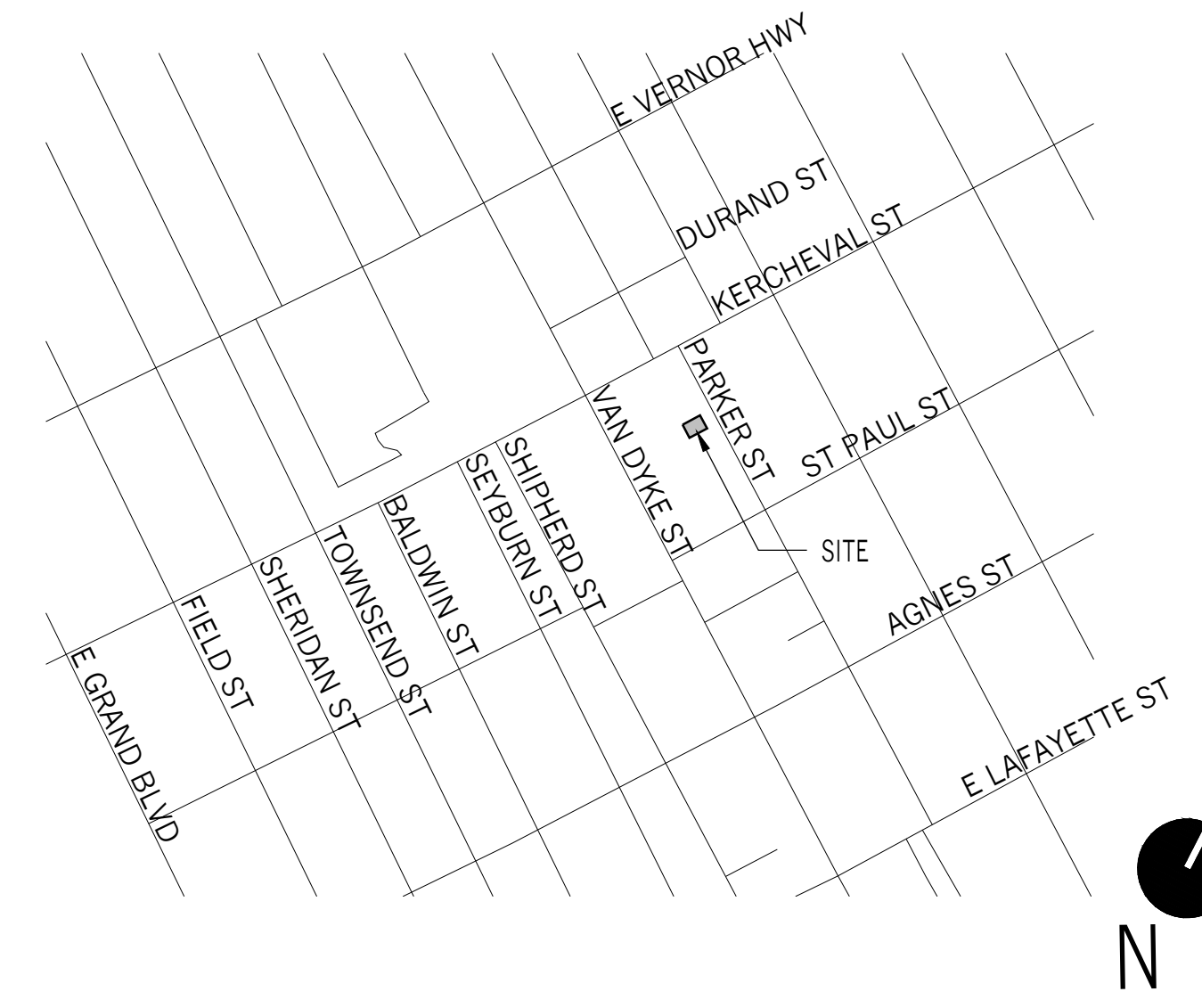








1773 PARKER PORCHES



ARCHITECT
 ELISE DECHARD
 END STUDIO, LLC
 1533 MERRICK STREET
 DETROIT, MI 48208
 908.419.8398
 ELISE@E-N-D-STUDIO.COM

CONTRACTOR
 TBD

STRUCTURAL ENGINEER
 N/A

MEP ENGINEER
 N/A

PROJECT INFORMATION

OWNER: JEN LYON
 ADDRESS: 1773 PARKER STREET
 DETROIT, MI 48214
 PARCEL ID NUMBER: 170009110.
 REGULATING BODY: CITY OF DETROIT
 CODE: 2015 MICHIGAN RESIDENTIAL CODE
 ZONING: R2 - SINGLE FAMILY RESIDENTIAL
 HISTORIC DISTRICT: WEST VILLAGE
 SUBDIVISION: W PARKER B HARTS

ZONING REVIEW

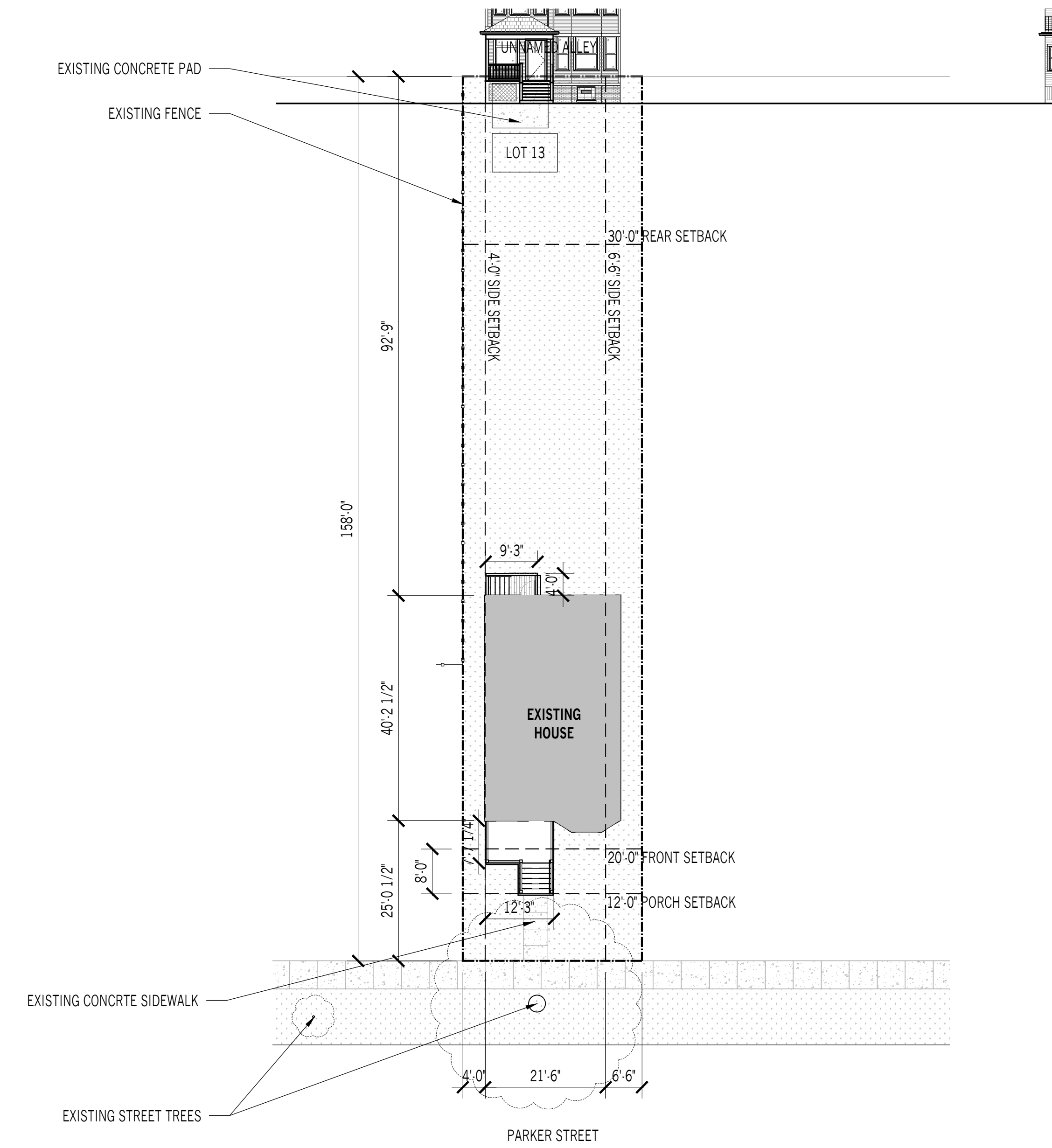
PRIMARY STRUCTURE REGULATIONS
 MAX. BUILDING HEIGHT 35'
 MAX. LOT COVERAGE 35%
 MIN. LOT WIDTH 50'-0"
 MIN. LOT AREA 5,000 SF
 FRONT YARD SETBACK 20'
 BACK YARD SETBACK 30'
 SIDE YARD SETBACK 3' MINIMUM / 10'-6" COMBINED*
 SECTION 61.13.14(1)

EXISTING
 USE SINGLE-FAMILY RESIDENTIAL
 LOT SIZE 5,056 SF
 LOT WIDTH 32'-0"
 LOT DEPTH 158'-0"
 LOT COVERAGE 22%
 EX. HOUSE FOOTPRINT 1,108 SF
 EX. HOUSE AREA 2,096 SF
 EX. BUILDING HEIGHT MEAN ROOF HEIGHT

PROPOSED
 USE SINGLE FAMILY RESIDENTIAL
 HOUSE FOOTPRINT 1,149 SF
 HOUSE AREA 2,136 SF
 LOT COVERAGE 23%

SHEET LIST

#	DRAWING NAME	PERMIT SET OCTOBER 26, 2020				
T-000	TITLE & COVER SHEET	•				
A-001	GENERAL NOTES	•				
A-100	DEMO & FLOOR PLANS	•				
A-101	FOUNDATION & FRAMING PLANS	•				
A-200	ELEVATION	•				
A-300	SECTION	•				



01 SITE PLAN
 SCALE: 1/16" = 1'-0"



END STUDIO, LLC
 1533 Merrick Street
 Detroit, MI 48208
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THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND AS SUCH MAY NOT BE USED FOR OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR COMPLETION OF THIS PROJECT BY OTHERS.

1773 PARKER PORCHES
 1773 Parker Street
 Detroit, MI 48214

NO.	ISSUE/REV.	DATE
...	PERMIT SET	10/26/20

TITLE &
 GENERAL NOTES

T-000



DRAWING SYMBOL KEY

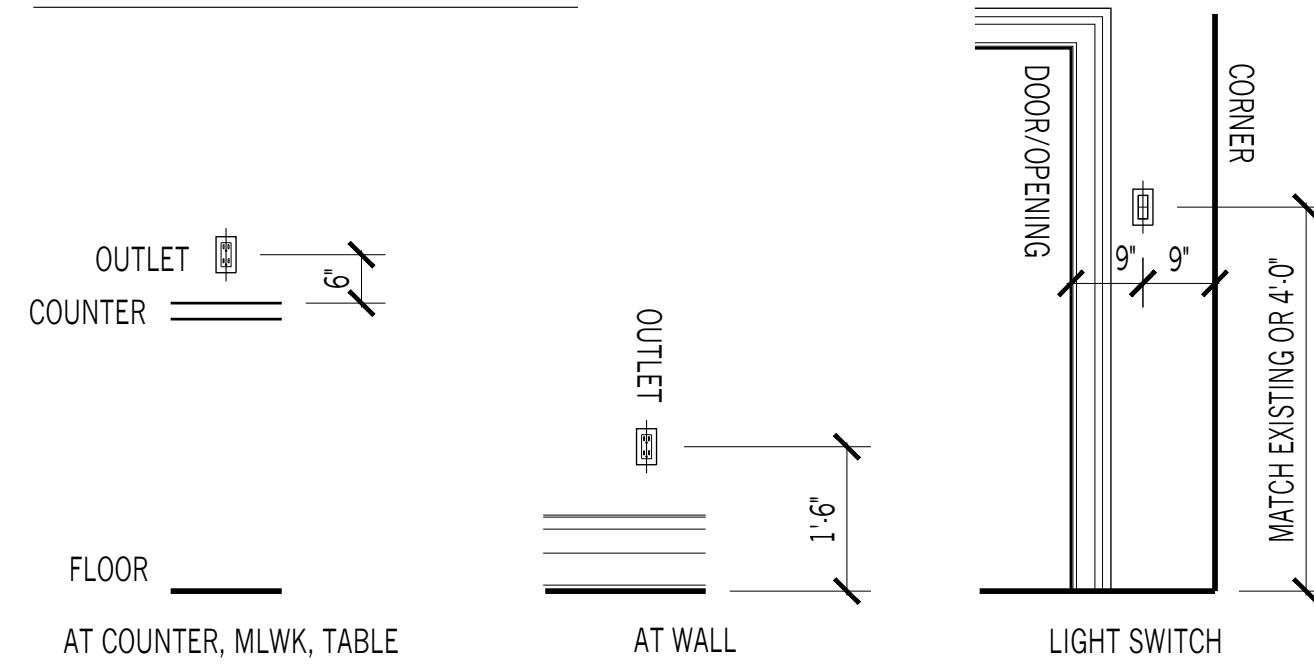
	EXISTING WALL TO REMAIN		DRYWALL / PLASTER		LOT LINE
	NEW WALL CONSTRUCTION		EARTH / SOIL		SETBACK
	CAST IN PLACE CONCRETE		PLYWOOD		STRUCTURAL GRID LINE
	CONCRETE MASONRY UNIT (CMU)		WOOD		FLOOR DRAIN
	BRICK MASONRY		WOOD - DIMENSIONAL LUMBER		ROOF DRAIN
	CRUSHED STONE		WOOD - ROUGH BLOCKING		INTERIOR ELEVATION(S)
	STEEL		BATT INSULATION		REVISION TAG
	ALUMINUM		SPRAY FOAM INSULATION		
	RIGID INSULATION		DEMO WALL		
	ROOM TAG		SECTION		
	DOOR TAG		DETAIL CALL OUT		
	WINDOW TAG				
	WALL TYPE				
	ELEVATION MARKER				
	EXTERIOR ELEVATION				

F	FLOOR		
W	WALL		
C	CEILING		
BA	BASE	FINISH TAG	
TR	TRIM		
CR	CROWN		
MW	MILLWORK		

POWER, DATA, & LIGHTING KEY

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX		SWITCH
	DUPLEX - SPECIFIC MOUNTING HT.		DIMMER SWITCH
	DUPLEX - GFI		THREE-WAY SWITCH
	QUADPLEX		THREE-WAY DIMMER SWITCH
	DUPLEX IN FLOOR		JAMB SWITCH
	SMOKE DETECTOR		TELEPHONE
	CARBON MONOXIDE DETECTOR		INTERNET
	SPEAKER LOCATION		TELEVISION
	SPEAKER INPUT		PENDANT FIXTURE
	RECESSED FIXTURE		FLUSH MOUNT FIXTURE
	WALL MOUNTED SCONCE		LED STRIP LIGHT
	DENOTES WET-RATED FIXTURE		VENTILATION FAN
	TRACK LIGHTING		EXISTING FIXTURES

TYPICAL MOUNTING HEIGHTS



GENERAL NOTES

- THIS APPLICATION IS BEING FILED FOR A FRONT PORCH RECONSTRUCTION AND BACK DECK ADDITION TO AN EXISTING HOUSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 MICHIGAN RESIDENTIAL CODE AND ALL OTHER APPLICABLE LAWS, INCLUDING FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE BUILDING DEPARTMENT, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS SHOWN ON PLANS AT THE JOB SITE BEFORE COMMENCING ANY WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- THE CONTRACTOR SHALL LAY OUT THEIR OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (MECHANICAL, ELECTRICAL, PLUMBING, ETC).
- THE CONTRACTOR IS NOT TO SCALE DRAWINGS OR DETAILS, ONLY WRITTEN DIMENSIONS SHALL BE USED. WHERE REQUIRED DIMENSIONS ARE MISSING, NOTIFY ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS ARE TAKEN TO FINISHED FACE OR SURFACES, UNLESS OTHERWISE NOTED.

PLAN NOTES

- ALL NEW EXTERIOR WALLS TO BE 2X6 CONSTRUCTION @ 16" O.C. W/R-21 BATT INSULATION AND ONE (1) LAYER 1/2" GYP BOARD INTERIOR SIDE, UNLESS OTHERWISE NOTED.
- ALL NEW INTERIOR PARTITIONS TO BE 2X4 CONSTRUCTION @ 16" O.C. W/ ONE (1) LAYER 1/2" GYP BOARD EACH SIDE, UNLESS OTHERWISE NOTED.

DEMO PLAN NOTES

- ALL EXISTING WALLS, GLAZING, AND OTHER WORK TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.

POWER, LIGHTING, & RCP NOTES

- UNLESS OTHERWISE NOTED, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE CENTERED ON WALL OR BETWEEN OR BENEATH THE WINDOWS, DOORS, OTHER WORK, OR OTHER FIXTURES THEY ARE LOCATED IN RELATION TO.
- RECEPTACLES SHOULD BE MOUNTED TO MATCH THE HEIGHT AND ORIENTATION OF EXISTING RECEPTACLES IN ROOM. SWITCHES TO BE MOUNTED TO MATCH THE HEIGHT OF EXISTING SWITCHES IN ROOM. IF NO REFERENCE EXISTS, ALL RECEPTACLES & LIGHT FIXTURES SHALL BE MOUNTED AT THE HEIGHTS SPECIFIED IN THE TYPICAL MOUNTING HEIGHTS DIAGRAM, UNLESS OTHERWISE NOTED.
- SWITCHES, FIXTURES, AND RECEPTACLES SHOWN ADJACENT ON PLAN WITH DIMENSION ONLY TO ONE OF THEM SHOULD BE COMBINED IN BANKS OR STACKED VERTICALLY.
- ALL APPLIANCE-SPECIFIC OUTLETS TO BE COORDINATED WITH APPLIANCE SELECTION.

ABBREVIATIONS

ABV	ABOVE	DR	DOOR	H/C	HANDICAPPED	MECH	MECHANICAL	RAD	RADIUS	WC	WATER CLOSET
ACOUS	ACOUSTICAL	DSPT	DOWNSPOUT	HALG	HALOGEN	MEMB	MEMBRANE	RD	ROOF DRAIN	WD	WOOD
ADA	AMERICANS WITH DISABILITIES ACT	DTL	DETAIL	HB	HOSE BIB	MFTD	MANUFACTURED	RECT	RECTANGULAR	WP	WATERPROOFING
ADD	ADDITIONAL	DWG	DRAWING	HC	HOLLOW CORE	MFR	MANUFACTURER	REF	REFERENCE	WPT	WORKING POINT
ADJ	ADJACENT	EA	EACH	HD	HEAD	MH	MANHOLE	REINF	REINFORCED	WT	WEIGHT
AFF	ABOVE FINISHED FLOOR	EC	ELECTRICAL CONTRACTOR	HDF	HIGH DENSITY FIBER BOARD	MIN	MINIMUM	REQD	REQUIRED		
ALT	ALTERNATE	EL	ELEVATION	HM	HOLLOW METAL	MIR	MIRROR	REV	REVISION	&, +	AND
ALW	ALLOW	ELEC	ELECTRICAL	MMR	MISCELLANEOUS	RF	ROOM	RM	ROOM	@	AT
ALWB	ALLOWABLE	ELEV	ELEVATOR	MUL	MULLION	RO	ROUGH OPENING				
ALUM	ALUMINUM	ENCL	ENCLOSURE	SAN	SANITARY	SCHED	SCHEDULE	SHT	SHEET		
ANOD	ANODIZED	ENG	ENGINEER	SAN	SANITARY	SECT	SECTION	SIM	SIMILAR		
ARCH	ARCHITECT	EQ	EQUAL	SCHD	SCHEDULE	SECT	SECTION	SPEC	SPECIFICATION		
ASMB	ASSEMBLY	EQIP	EQUIPMENT	SQ	SQUARE	SECT	SECTION	SQ	SQUARE		
		EST	ESTIMATE(D)	SF	SQUARE FOOT	SF	SQUARE FOOT	STD	STANDARD		
BLDG	BUILDING	EXH	EXHAUST	SH	SHEET	STR	STAIR	STL	STEEL		
BLT-IN	BUILT-IN	EXP JT	EXPANSION JOINT	SHT	SHEET	STRUC	STRUCTURE	STR	STAIR		
		EXIST	EXISTING	SIM	SIMILAR	SUP	SUPPLY	SUP	SUPPLY		
CAB	CABINET	EXT	EXTERIOR	SPEC	SPECIFICATION	SUSP	SUSPENDED	SYM	SYMMETRICAL		
CEM	CEMENT			SYST	SYSTEM	SYST	SYSTEM				
CIP	CAST IN PLACE	F&I	FURNISH AND INSTALL	UL	UNDERWRITERS LABORATORY			UON	UNLESS OTHERWISE NOTED		
CL	CENTER LINE	FAB	FABRICATE								
CLG	CEILING	FBO	FURNISH BY OWNER								
CLO	CLOSET	FLDR	FLOOR DRAIN								
CMU	CONCRETE MASONRY UNIT	FIN	FINISH(ED)								
		FLG	FLOORING								
COL	COLUMN	FLR	FLOOR								
CONC	CONCRETE	FLUOR	FLUORESCENT								
CONST	CONSTRUCTION	FND	FOUNDATION								
CONT	CONTINUOUS	FP	FIRE PROOFING								
COORD	COORDINATE	FO	FACE OF								
CORR	CORRIDOR	FT	FOOT/FEET								
CPT	CARPET	FTG	FOOTING								
CTR	CENTER										
CW	COLD WATER	GA	GUAGE								
		GALV	GALVANIZED								
DBL	DOUBLE	GAR	GARAGE								
DEMO	DEMOLITION	GC	GENERAL CONTRACTOR								
DIA	DIAMETER	GFR	GLASS FIBER REINFORCED CONCRETE								
DEG	DEGREE										
DIM	DIMENSION	GLZ	GLAZING								
DW	DRYWALL	GR	GRADE								
DISP	DISPENSER	GUT	GUTTER								
DN	DOWN	GWB	GYP SUM WALL BOARD								



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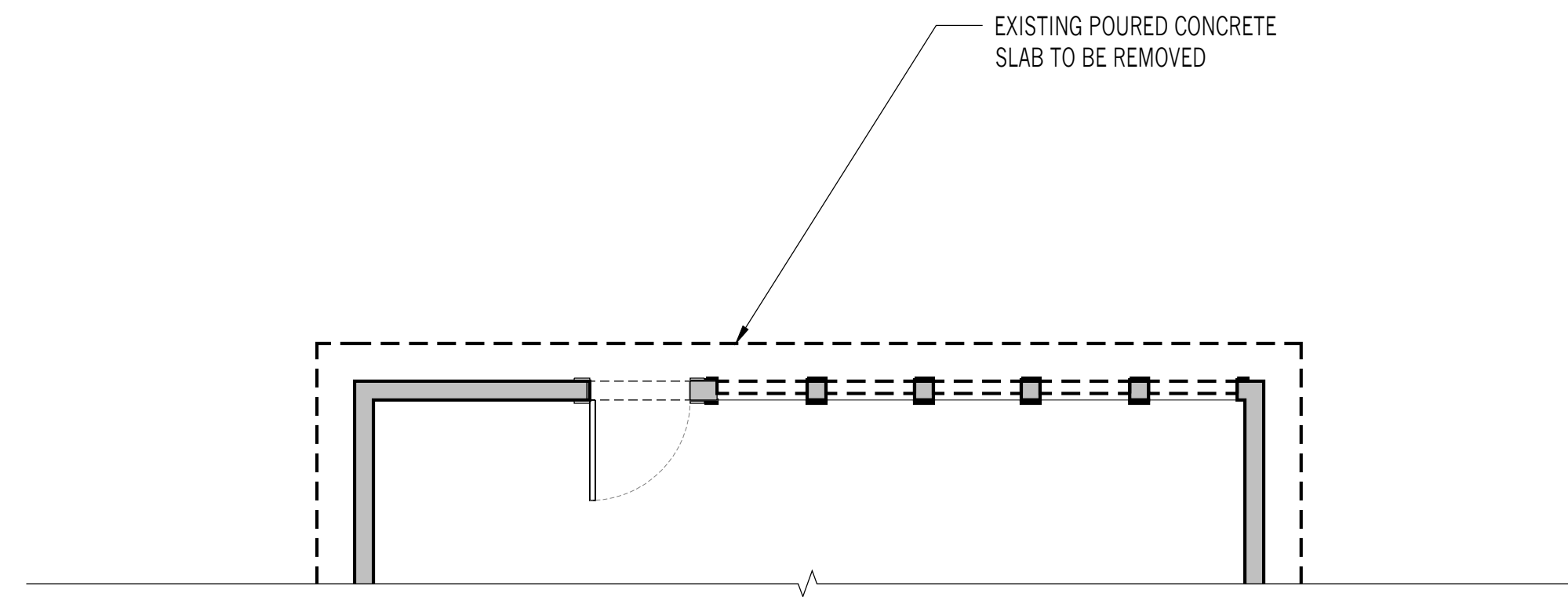
1773 PARKER PORCHES

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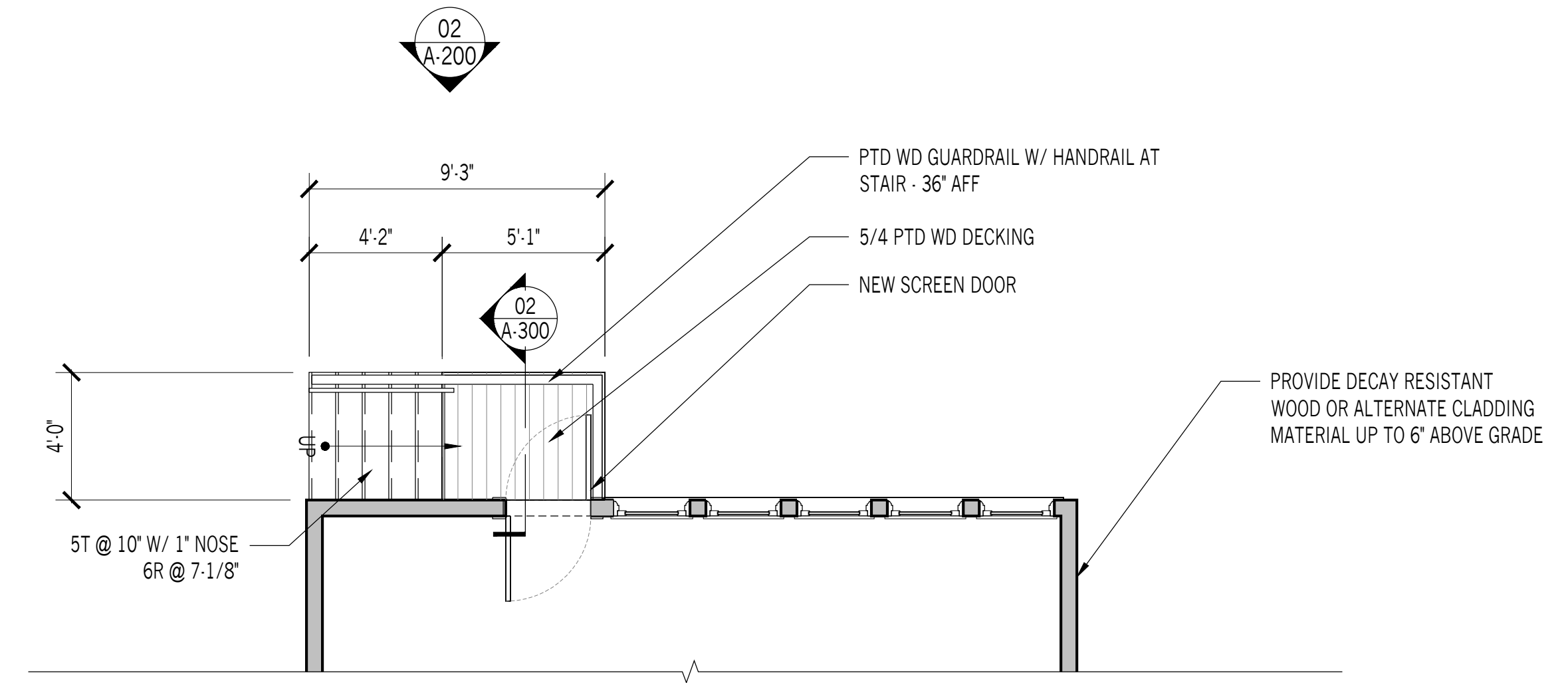
NO.	ISSUE/REV.	DATE
...	PERMIT SET	10/26/20

GENERAL NOTES

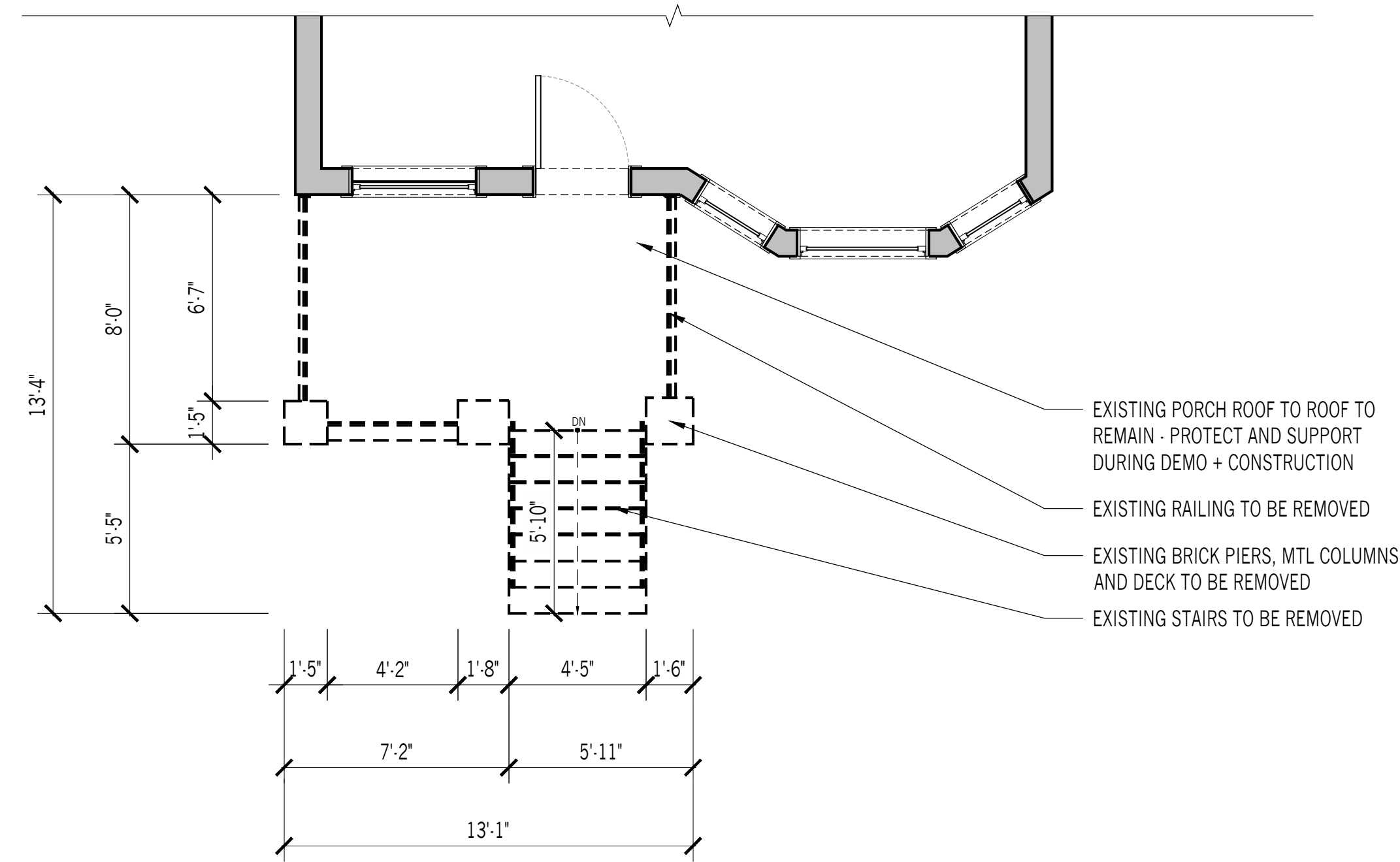
G-001



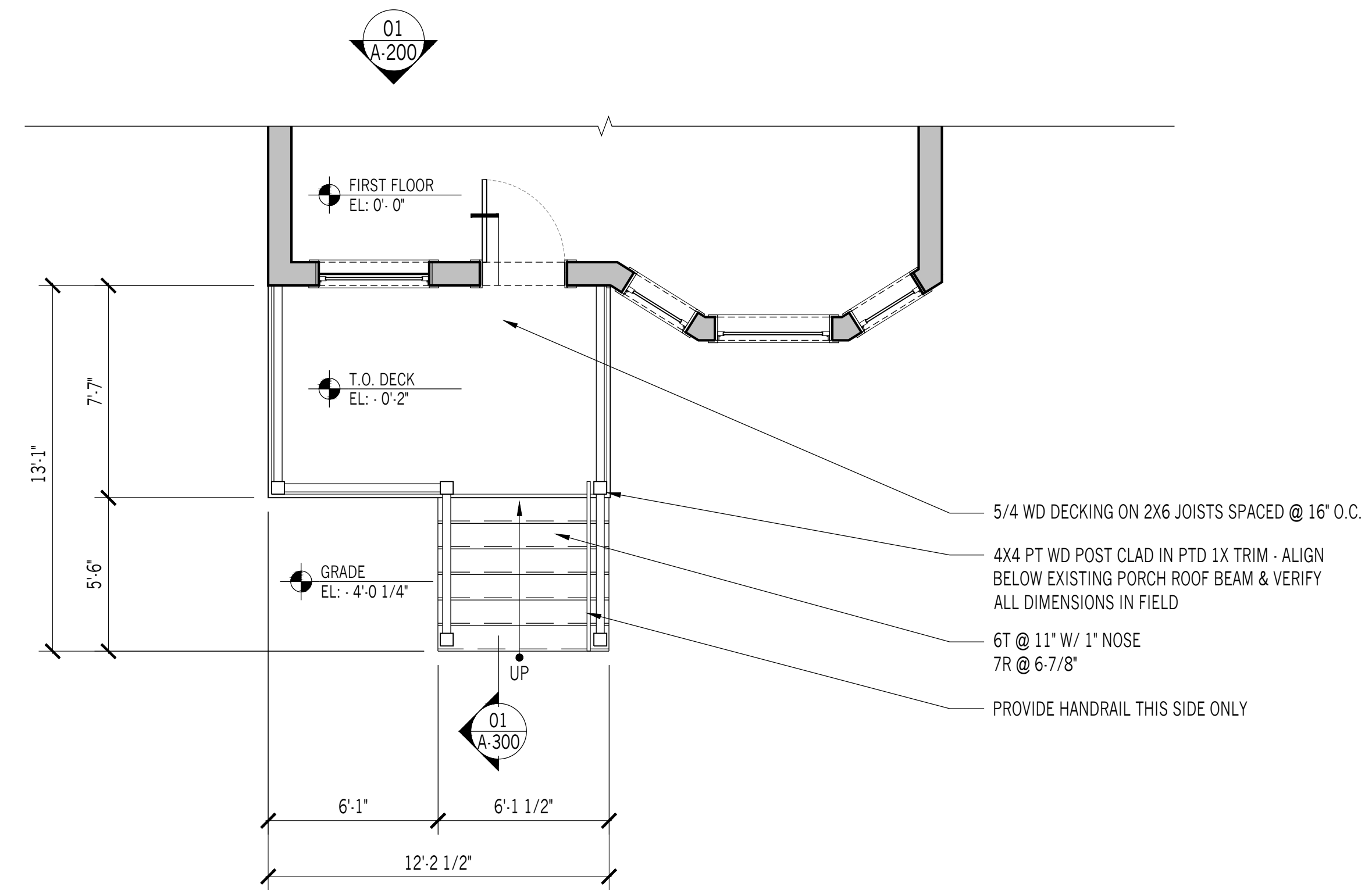
04 BACK DECK DEMO PLAN
 SCALE: 1/4" = 1'-0"



03 BACK DECK FLOOR PLAN
 SCALE: 1/4" = 1'-0"



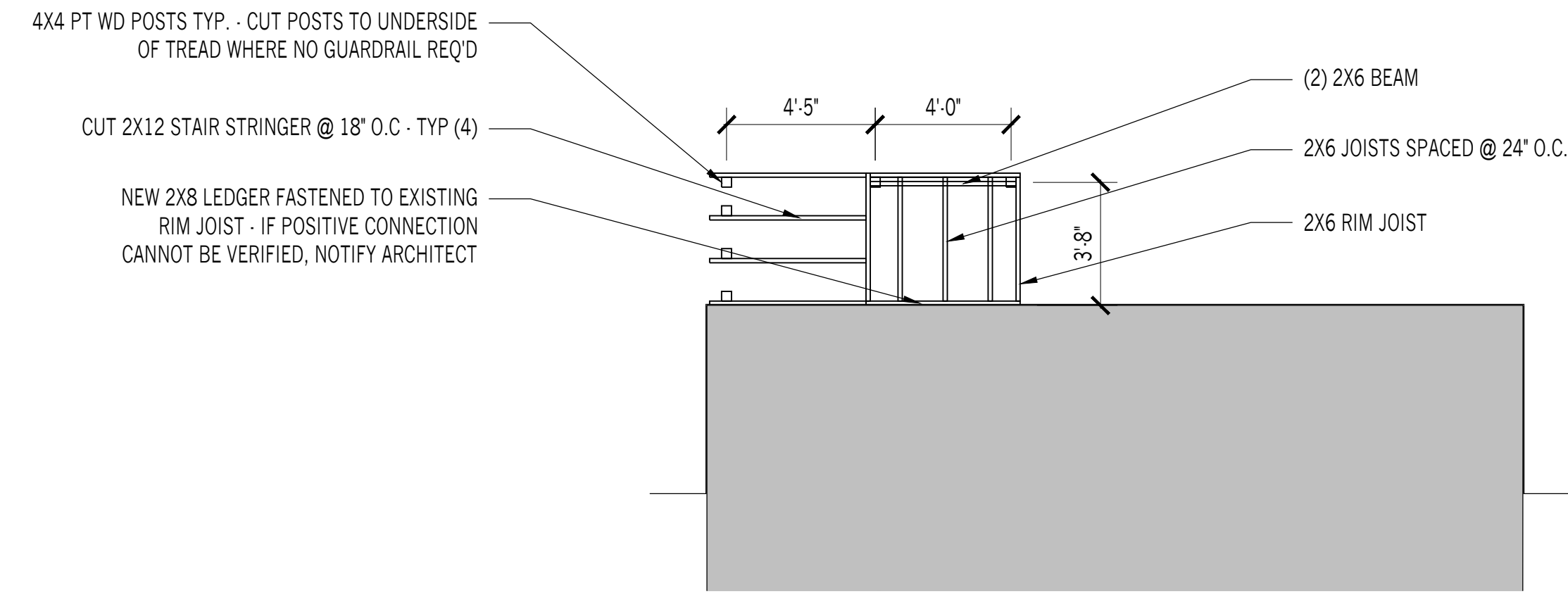
02 FRONT PORCH DEMO PLAN
 SCALE: 1/4" = 1'-0"



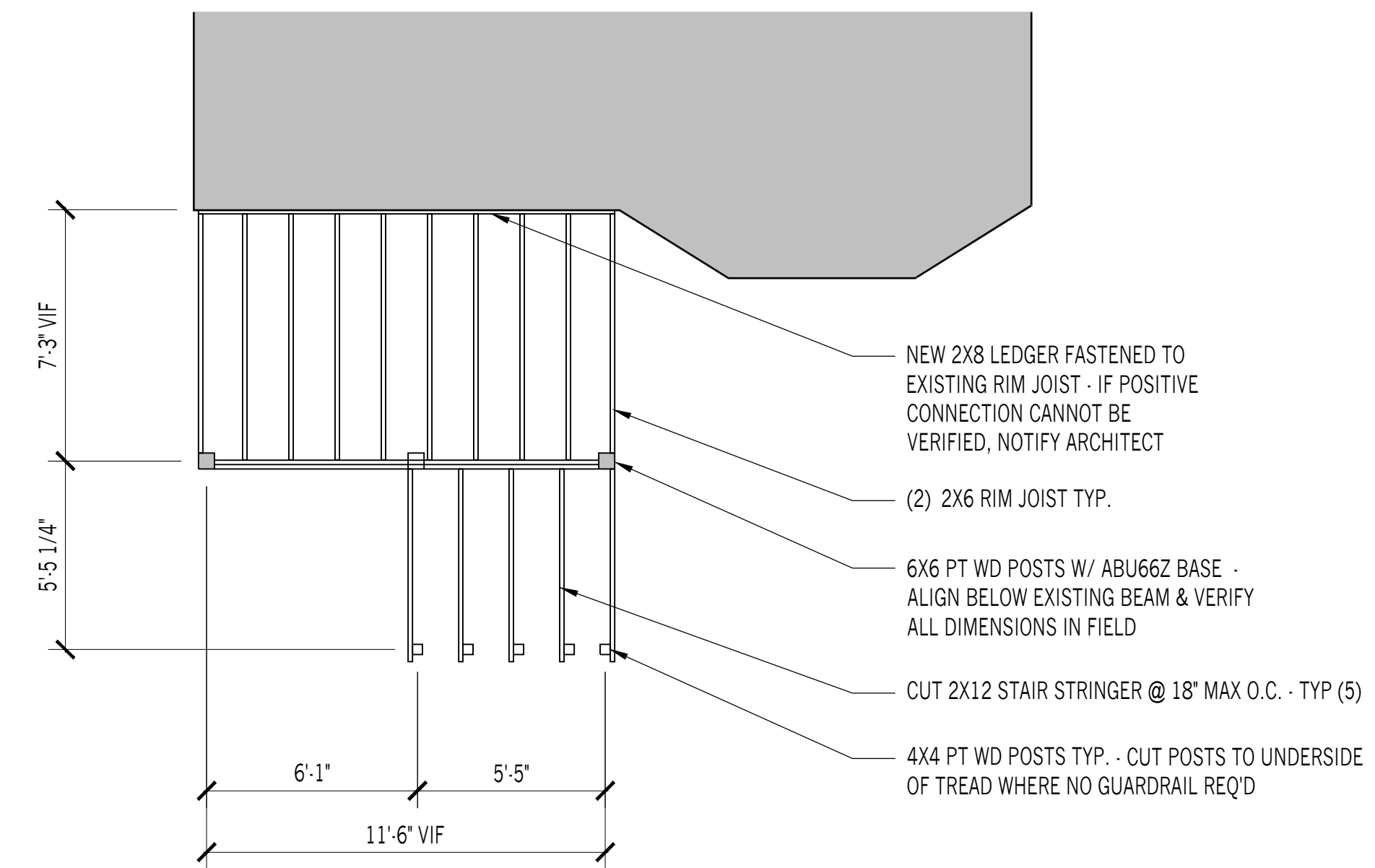
01 FRONT PORCH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



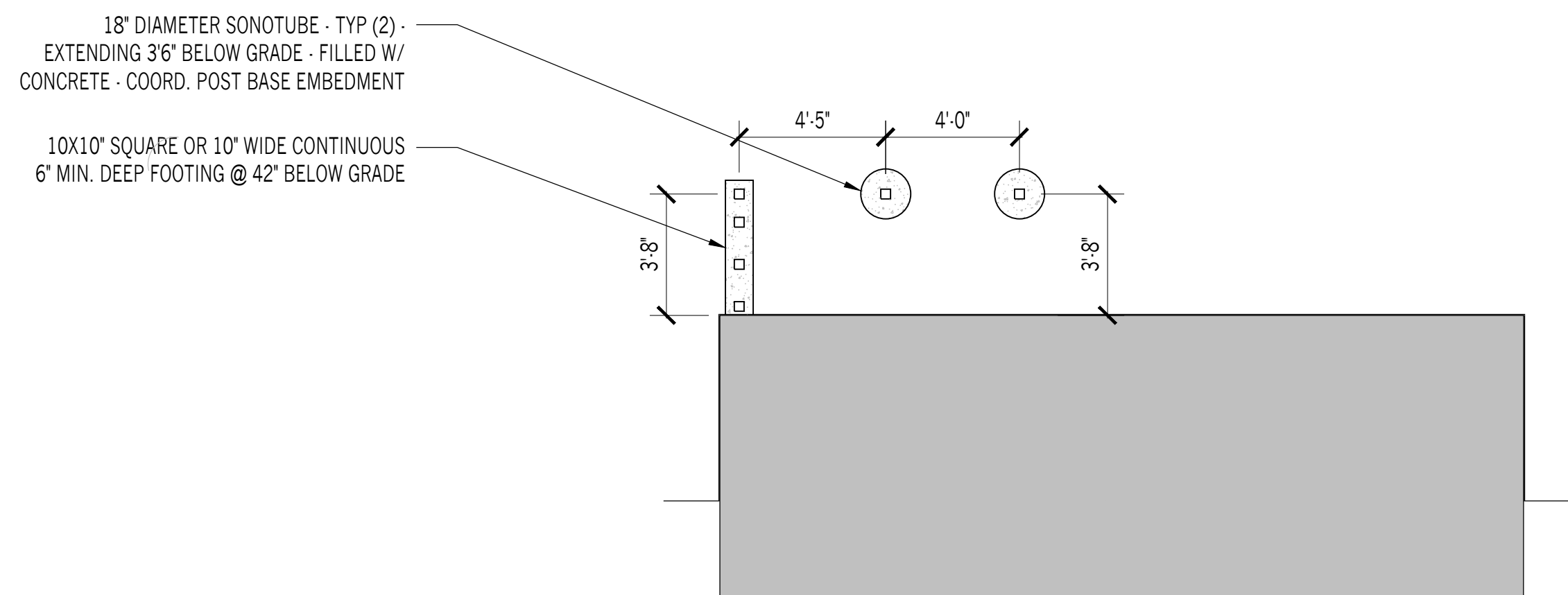
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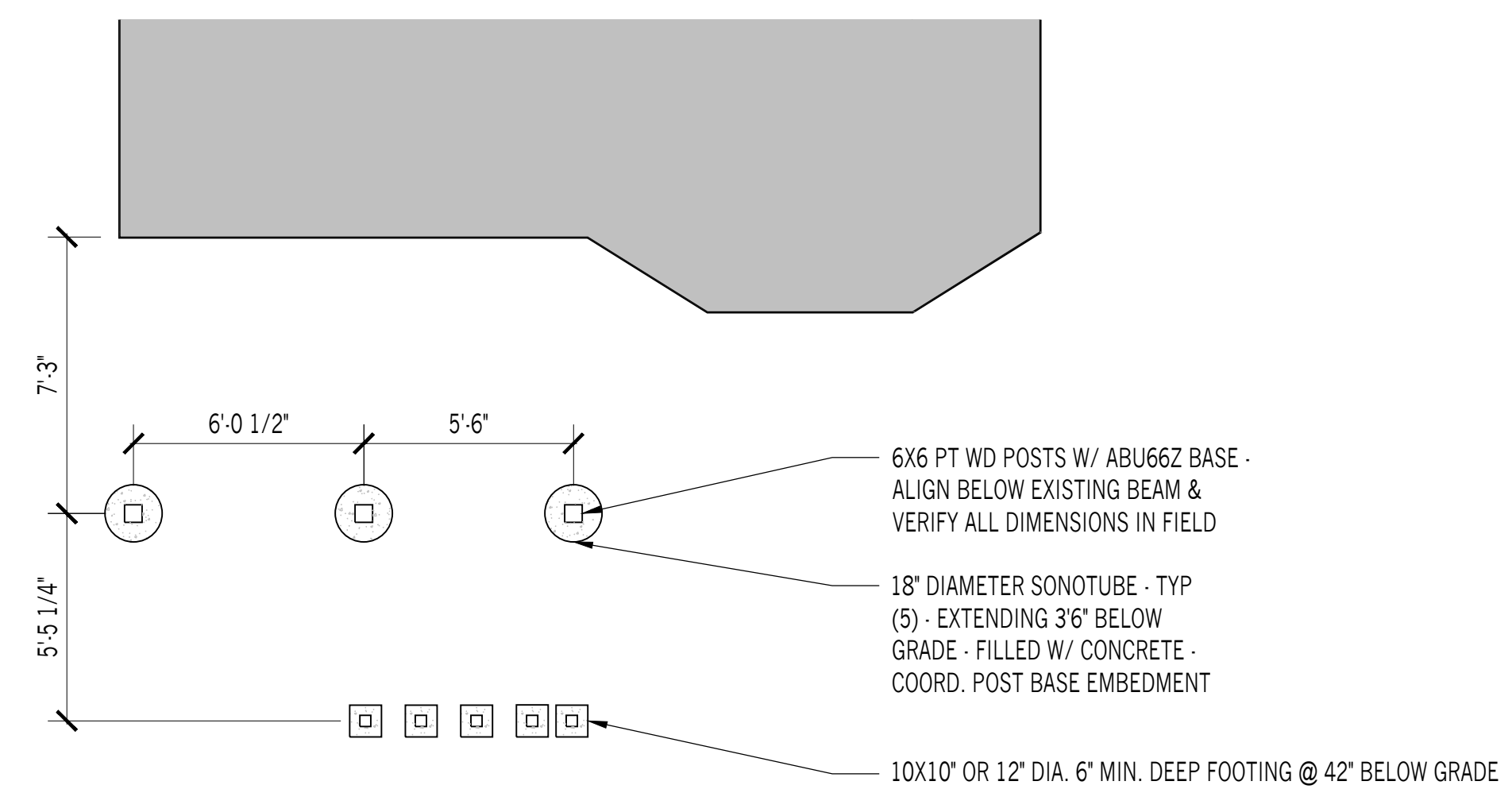
04 BACK DECK FRAMING PLAN
 SCALE: 1/4" = 1'-0"



03 FRONT DECK FRAMING PLAN
 SCALE: 1/4" = 1'-0"



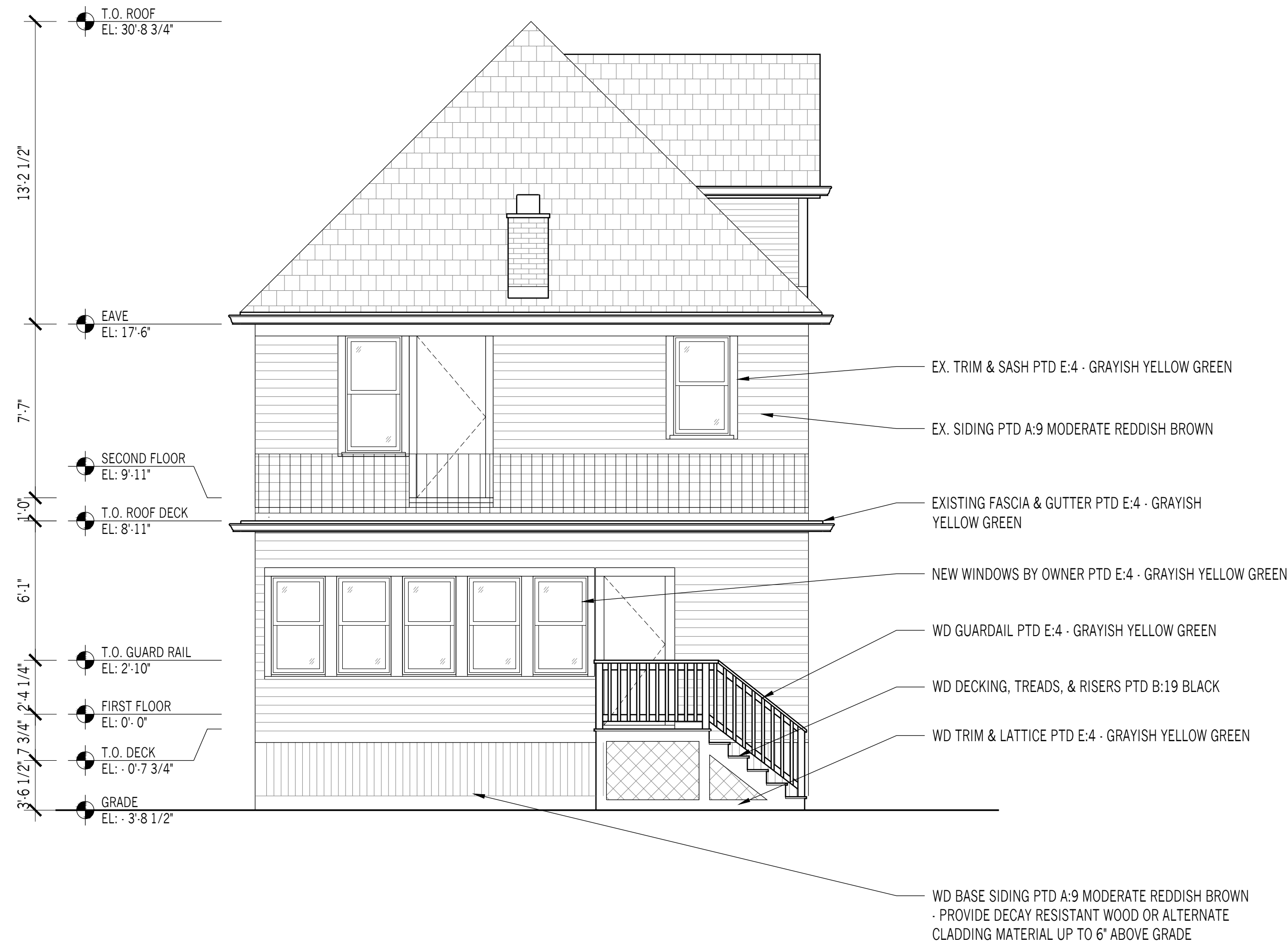
02 BACK DECK FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



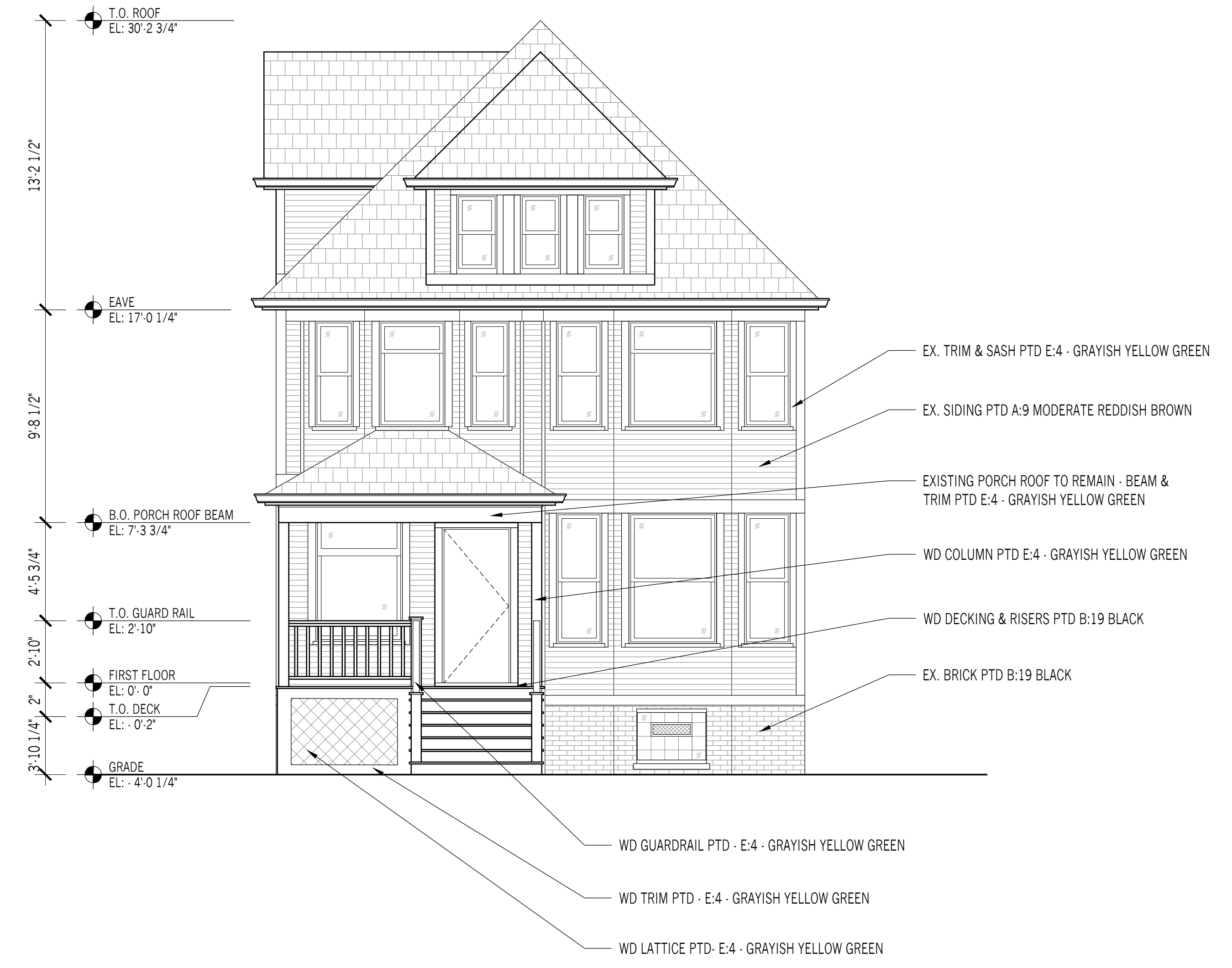
01 FRONT DECK FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



NO.	ISSUE/REV.	DATE
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02 BACK DECK ELEVATION
 SCALE: 1/4" = 1'-0"



01 FRONT PORCH ELEVATION
 SCALE: 1/4" = 1'-0"

1773 PARKER PORCHES

1773 Parker Street
 Detroit, MI 48214

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ELEVATIONS

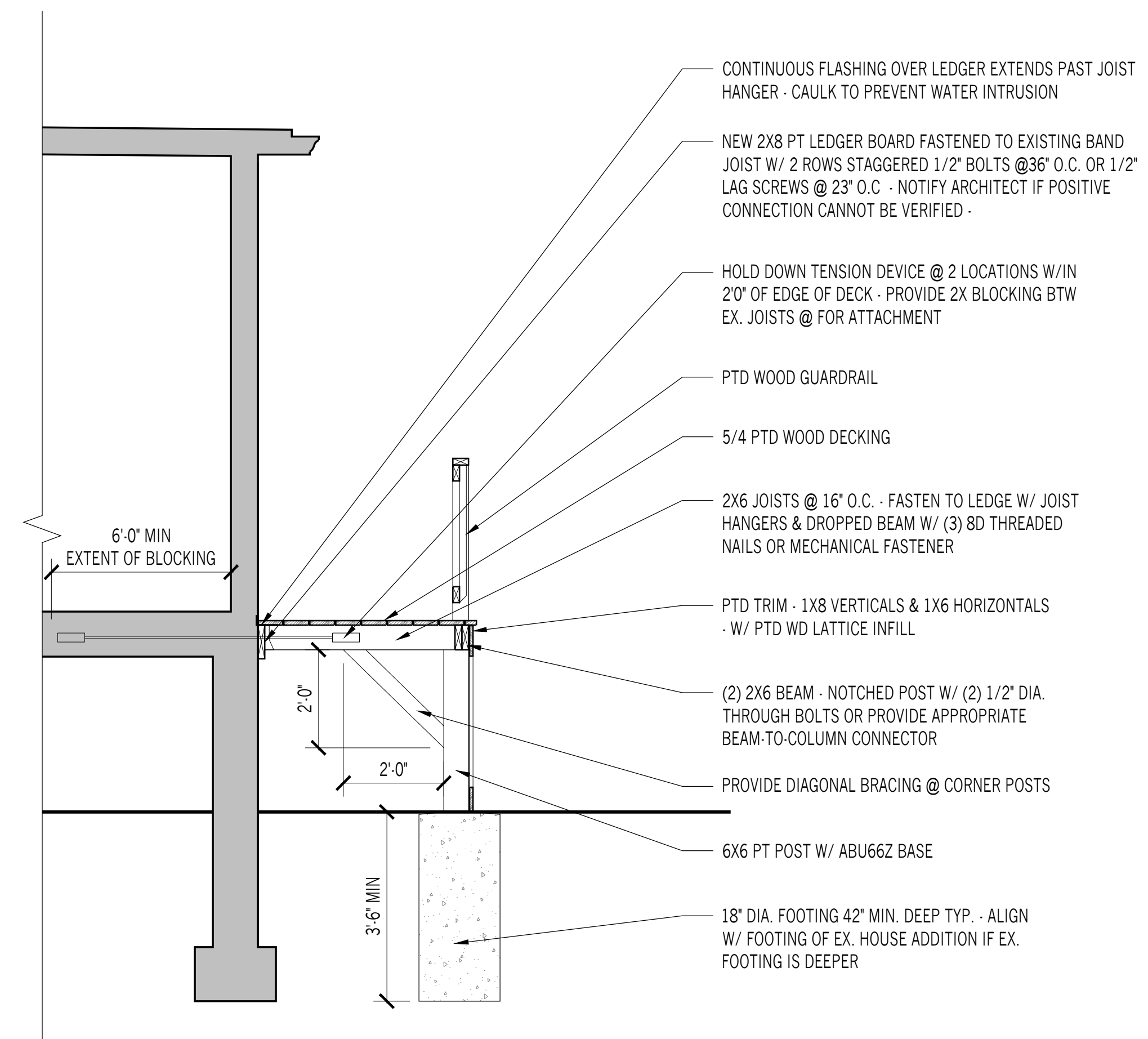
A-200

1773 PARKER PORCHES
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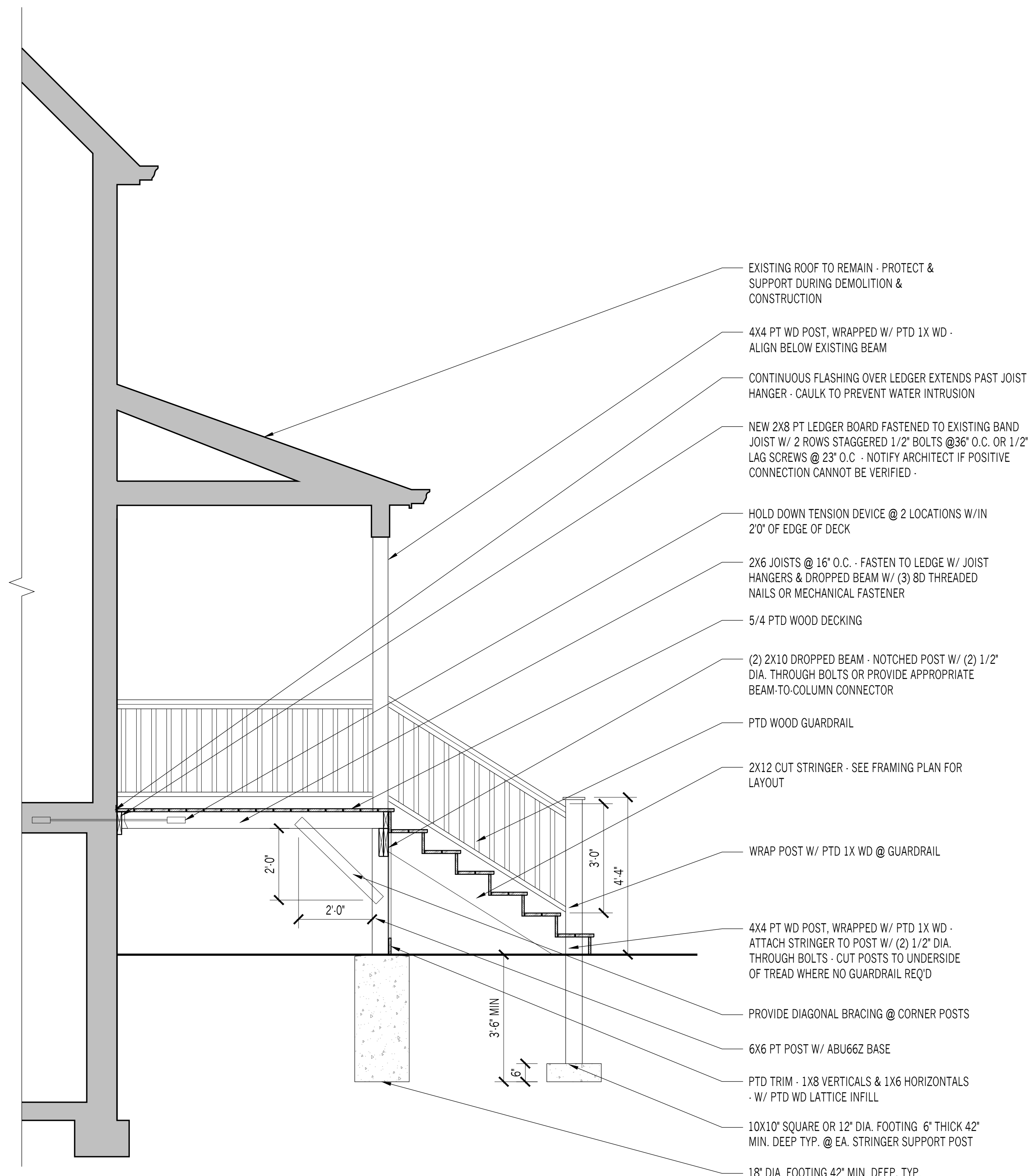
SECTIONS

A-300



- CONTINUOUS FLASHING OVER LEDGER EXTENDS PAST JOIST HANGER - CAULK TO PREVENT WATER INTRUSION
- NEW 2X8 PT LEDGER BOARD FASTENED TO EXISTING BAND JOIST W/ 2 ROWS STAGGERED 1/2" BOLTS @36" O.C. OR 1/2" LAG SCREWS @ 23" O.C. - NOTIFY ARCHITECT IF POSITIVE CONNECTION CANNOT BE VERIFIED
- HOLD DOWN TENSION DEVICE @ 2 LOCATIONS W/IN 2'0" OF EDGE OF DECK - PROVIDE 2X BLOCKING BTW EX. JOISTS @ FOR ATTACHMENT
- PTD WOOD GUARDRAIL
- 5/4 PTD WOOD DECKING
- 2X6 JOISTS @ 16" O.C. - FASTEN TO LEDGE W/ JOIST HANGERS & DROPPED BEAM W/ (3) 8D THREADED NAILS OR MECHANICAL FASTENER
- PTD TRIM - 1X8 VERTICALS & 1X6 HORIZONTALS - W/ PTD WD LATTICE INFILL
- (2) 2X6 BEAM - NOTCHED POST W/ (2) 1/2" DIA. THROUGH BOLTS OR PROVIDE APPROPRIATE BEAM-TO-COLUMN CONNECTOR
- PROVIDE DIAGONAL BRACING @ CORNER POSTS
- 6X6 PT POST W/ ABU66Z BASE
- 18" DIA. FOOTING 42" MIN. DEEP TYP. - ALIGN W/ FOOTING OF EX. HOUSE ADDITION IF EX. FOOTING IS DEEPER

02 BACK DECK SECTION
 SCALE: 1/2" = 1'-0"



- EXISTING ROOF TO REMAIN - PROTECT & SUPPORT DURING DEMOLITION & CONSTRUCTION
- 4X4 PT WD POST, WRAPPED W/ PTD 1X WD - ALIGN BELOW EXISTING BEAM
- CONTINUOUS FLASHING OVER LEDGER EXTENDS PAST JOIST HANGER - CAULK TO PREVENT WATER INTRUSION
- NEW 2X8 PT LEDGER BOARD FASTENED TO EXISTING BAND JOIST W/ 2 ROWS STAGGERED 1/2" BOLTS @36" O.C. OR 1/2" LAG SCREWS @ 23" O.C. - NOTIFY ARCHITECT IF POSITIVE CONNECTION CANNOT BE VERIFIED
- HOLD DOWN TENSION DEVICE @ 2 LOCATIONS W/IN 2'0" OF EDGE OF DECK
- 2X6 JOISTS @ 16" O.C. - FASTEN TO LEDGE W/ JOIST HANGERS & DROPPED BEAM W/ (3) 8D THREADED NAILS OR MECHANICAL FASTENER
- 5/4 PTD WOOD DECKING
- (2) 2X10 DROPPED BEAM - NOTCHED POST W/ (2) 1/2" DIA. THROUGH BOLTS OR PROVIDE APPROPRIATE BEAM-TO-COLUMN CONNECTOR
- PTD WOOD GUARDRAIL
- 2X12 CUT STRINGER - SEE FRAMING PLAN FOR LAYOUT
- WRAP POST W/ PTD 1X WD @ GUARDRAIL
- 4X4 PT WD POST, WRAPPED W/ PTD 1X WD - ATTACH STRINGER TO POST W/ (2) 1/2" DIA. THROUGH BOLTS - CUT POSTS TO UNDERSIDE OF TREAD WHERE NO GUARDRAIL REQ'D
- PROVIDE DIAGONAL BRACING @ CORNER POSTS
- 6X6 PT POST W/ ABU66Z BASE
- PTD TRIM - 1X8 VERTICALS & 1X6 HORIZONTALS - W/ PTD WD LATTICE INFILL
- 10X10" SQUARE OR 12" DIA. FOOTING 6" THICK 42" MIN. DEEP TYP. @ EA. STRINGER SUPPORT POST
- 18" DIA. FOOTING 42" MIN. DEEP, TYP.

01 FRONT PORCH SECTION
 SCALE: 1/2" = 1'-0"