

12/15/2020

CERTIFICATE OF APPROPRIATENESS

Kraemer Design Group, LLC
1420 Broadway
Detroit, MI 48226

**RE: Application Number 20-6986; 2467 Cass; Cass-Henry Historic District
Project Scope: Rehabilitate Apartment Building**

Dear Applicant,

At the regular scheduled meeting that was held on December 9, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of December 15, 2020.

The Commission issued a Certificate of Appropriateness for the following work as it meets the Secretary of Interior’s Standards for Rehabilitation:

Brick and stone

- *Inspected for damage*
- *Brown paint to be removed*
- *Masonry cleaned with a light duty detergent and low pressure water rinse*
- *Brick and stone will be repointed, and loose or displaced units will be reset*
- *Repointed mortar will match the color, texture, compressive strength, joint width, and joint profile of the existing historic mortar*
- *Damaged brick and stone will be repaired as necessary*
- *Any units too badly deteriorated to repair will be replaced, with salvaged brick to be reused where replacements are needed before new units are used*
- *If new units are necessary, they will be selected to match the existing in size, profile, color, and finish*

Metal cornice, metal bay window hoods, and pressed metal spandrels

- *All pressed tin metal work will be retained and repaired and repainted (color TBD)*
- *If any tin work is too damaged to repair, new compatible metal will be used and will be painted to match the adjacent historic material*

Main entrance and doors

- *Remove existing concrete masonry units (CMU)*
- *Install a new glazed panel door compatible with the historic nature of the building (color TBD)*
- *New glazed panel doors at balconies*
- *ADA lift and new entrance door installed in the eastern-most inlet on the north (Henry Street) façade of the building*

Windows

- *New historic replica aluminum-clad wood windows throughout: Marvin Ultimate Double Hung G2 per attached data sheet (no extant historic windows, color TBD)*
- *On east and north (primary, Cass and Henry) facades, 8/1 and 6/1 multiple-light windows to be used in*

the bay windows

- *At east (Cass) façade, all window openings with exception of 8/1 windows in bays will receive 6/1 windows*
- *Basement windows will be 1/1 single hung units*
- *On the north (Henry) façade, excepting the bays described above, remainder of windows to be 1/1*
- *Secondary facades (east and south) will receive 1/1 single hung units*

Lighting

- *Exterior building lighting will be provided and designed to highlight building features*
- *Lighting locations may include up-lights on the west (Cass) façade and wall-mounted fixtures flanking the entrance*

Signage

- *Future signage is proposed to be reinstated in the same location as the stone-inscribed "ATLANTA" above the main entry door*
- *Final signage drawings (including size, color, and design) will be submitted for staff approval before installation*

Roof, rooftop mechanicals, and penthouses

- *Current poor condition membrane roof to be removed and replaced with a new EPDM roof*
- *Small condensers will be added to the center and western side of the roof with painted metal panel mechanical screens to obscure the condensers*
- *Existing rooftop penthouses will be rehabilitated and retained*

And, as per the submitted documents, specifically drawings 6A101, 6A102 (floor/roof plans) and 6A401, 6A401.1 (elevations).

The Certificate of Appropriateness is issued with the following conditions:

- Staff review of the submitted construction drawings will include the identification of specific standards concerning repair and/or replacement of deteriorated character-defining features, and related standards concerning the qualifications of historic preservation contractors retained to perform the work.
- Staff review of the submitted construction drawings to specifically include review of specifications/cut sheets for lighting, windows, doors, ADA lifts, signage, paint removal, paint color, and other exterior elements/selections not yet finalized, with staff authority to approve if per the Secretary of the Interior's Standards, the district's Elements of Design, and otherwise consistent with Commission intent and guidelines.
- The proposed design for 8/1 and 6/1 windows may be replaced by 1/1 windows at the architect's discretion, subject to staff review.
- The historic name of the building, set in stone above the entryway, be preserved and remain visible.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

For the Commission:



Garrick Landsberg
Director/Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____
 AKA: _____ Lot(s): _____ Subdivision: _____
 Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____
 Current Legal Use of Property: _____ Proposed Use: _____
 Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
 Foundation Only Change of Use Temporary Use Other: _____
 Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
 Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____
 Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description:

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____
 Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____
 Zoning District: _____ Zoning Grant(s): _____
 Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: Olympia Development of Michigan

Address: 2211 Woodward Avenue City: _____ State: _____ Zip: _____

Phone: 313 725 3621 Mobile: 248 225 9188

Driver's License #: _____ Email: Eric.Tuomey@olydev.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

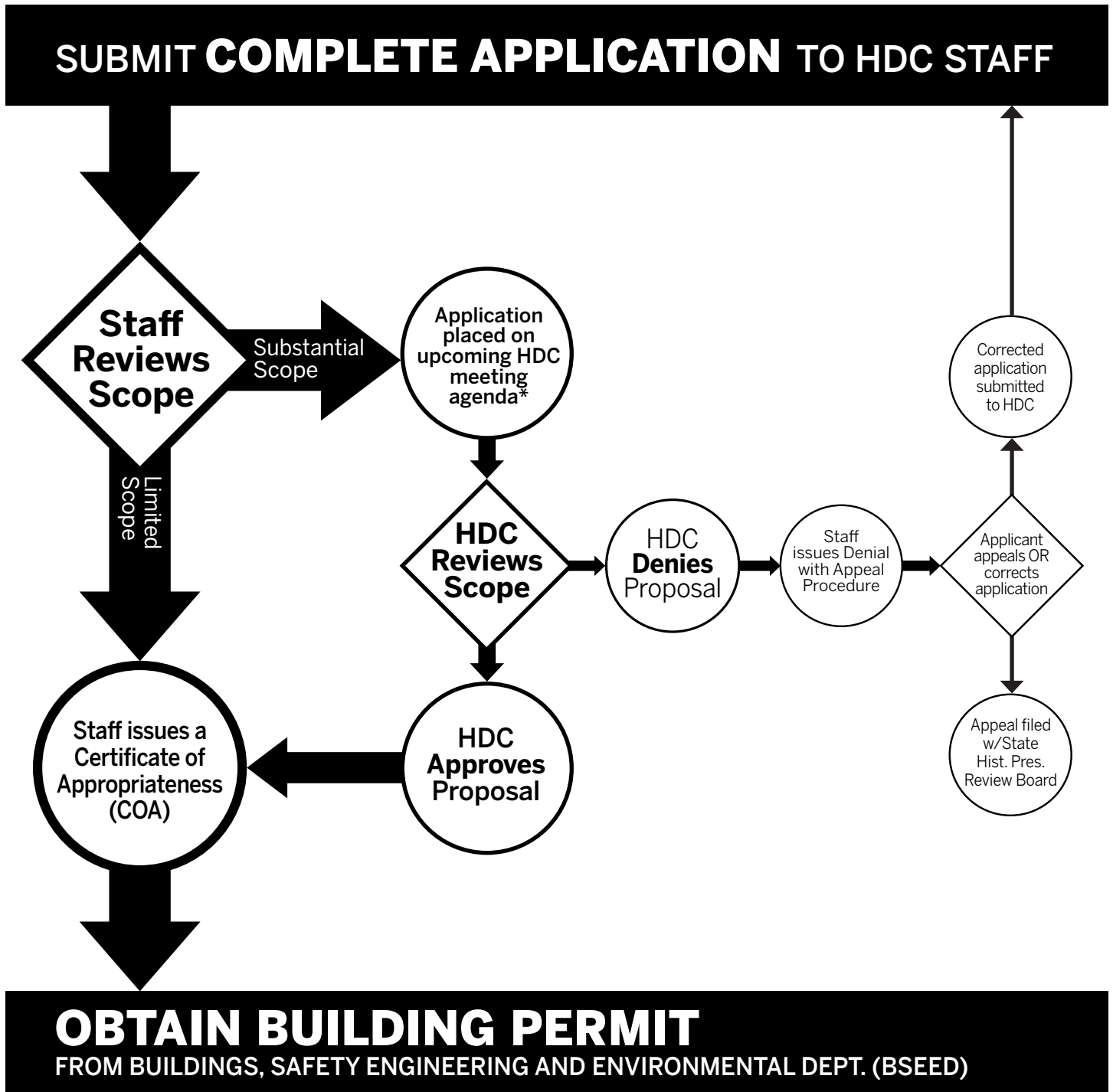
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc

November 20, 2020

City of Detroit
Ms. Jennifer Ross
Historic District Commission
2 Woodward Ave., Suite 800
Detroit, MI 48226

RE: 2467 Cass Avenue—Atlanta Apartments

Dear Ms. Ross,

Kraemer Design Group, LLC (KDG) is writing on behalf of Sorin Enterprises, LLC to the Historic District Commission regarding the building located at 2467 Cass Avenue (also known as the Atlanta Apartments). The building is currently vacant, and this project will rehabilitate the building for new residential occupancy. The exterior rehabilitation plan for 2467 Cass includes brick and stone repairs, metal repairs, repairs to the entrance and new exterior doors, repairs to the balconies, installation of new windows, façade lighting, signage, new roofing, repairs to the rooftop penthouse, and rooftop equipment placement. The following is a detailed description of each exterior feature proposed to be rehabilitated.

Built around 1914-1915, the building at 2467 Cass Avenue is located at the southwest corner of Cass Avenue and Henry Street. The primary entrance faces east onto Cass Avenue. Both the east facade and the north facade (which faces Henry Street) are elaborately detailed with elements of the Italian Renaissance revival style. The building is four stories in height set on a raised basement and is faced in a muted orange brick in a running bond pattern with accents of honey colored stone. A prominent, green cornice is supported by heavy, metal consoles, also green in color.

The west facade is devoid of ornamentation beyond stone sills below each window. This facade is faced in dark brown brick. The south facade is also devoid of ornamentation and is faced in dark brown brick with the exception of the interior of the two deep indentations which are faced in a lighter colored brick. The bottom portion of the building, on all four facades, has been painted brown. The building is currently vacant, and the windows are boarded over.

Overall Site Plan

The district will be rehabilitated as a whole to create a unified, cohesive design. The local district comprises nearly the entire city block at the southwest corner of Cass Avenue and Henry Street with the western-most parking lot and the areas directly south of all buildings not included in the district. That being said, although the areas south of the buildings are not included in the district, because work is being proposed in two such areas—on the grassy area south of 2447 Cass and on an area directly south of 439 Henry—both areas will be discussed. The district consists of seven buildings situated along Cass Avenue and Henry Street.

The streetscape on Henry Street will be re-designed to eliminate most of the curb cuts as access to the parking lot between 489 Henry and 459 Henry will be accessed from the alley not from Henry Street. Further, that parking lot will be re-designed with a wide landscape buffer to shield the occupants of 489 Henry and 459 Henry from noise and headlight glare. A tot lot will be added to the area directly adjacent to the parking lot and 459 Henry. The sidewalk along the southern side of Henry Street will be retained, a wide greenbelt will be planted, and a decorative hardscape and patterned concrete will be used directly in front of 447 Henry for the anticipated retail/dining tenant. A forecourt will be created in front of each residential building by construction of a 12" concrete planter curb with ornamental plantings found within the forecourt. For the buildings along Cass Avenue – 2447 and 2467 Cass - an 18" aluminum garden fence will be placed in front of each building as well. The landscaping in front of each building will have a slightly different arrangement of landscaping and trees to provide greenery and visual interest to the buildings.

There is currently an alley running north to south between 439 and 427 Henry. This alley will be recreated into additional outdoor gathering spaces as well as parking for residents. The northern end of the alley will become a seating area with a granite chip surface—it will be surrounded by plantings and accessed through an aluminum fence and gate set back from Henry Street. The southern end of where the alley currently runs will become a surface parking lot with 15 parking spaces. The drive aisle will be accessed from the W. Fisher Service Drive. New concrete paving will be installed along the parking lot and provide access to 2447 Cass, 2467 Cass, 427 Henry, and 439 Henry. The



concrete paving will also extend in between 427 Henry and 2467 Cass. This area will have lawn furniture and will also be accessible via an aluminum fence and gate facing Henry Street. The alley that runs east to west, just south of the 439 Henry, 447 Henry, 459 Henry, and 489 Henry will be re-paved with asphalt and will remain accessible to vehicular traffic and barrier free entry to 439 Henry. A consolidated site refuse enclosure will be located along this alley and will be screened from the W. Fisher Service Drive with both plantings and a masonry screen wall. Along the service drive a staggered 6' tall ornamental aluminum fence will be built just south of 2447 Cass Avenue and the open green space south of 427 Henry to provide privacy from the I-75 service drive. In between 2467 and 2447 Cass, a public/private gathering space will be created with ornamental plantings and lawn furniture located closer to Cass Avenue, while a larger outdoor park for residents will be nestled further into the site, between the buildings, and will be accessed by an aluminum fence and gate off Cass Avenue.

Brick and stone

The building is clad in muted orange brick on the two primary facades (north and east) which is in fair condition in most areas with cracking, missing mortar, puncture holes, and some missing units found throughout. The brown brick found on the two secondary facades (west and south) is also in fair condition. At the base of the building on all four sides the brick has been painted brown. Overall, the brick is in fair-to-good condition. Stone is found at the entry surround, at windowsills, around each bay window, keystones and cornerstones found intermittently on the two primary facades, and the two columns which support the upper porch are also cast stone. The stone appears to be in fair to good condition overall.

All brick and stone are to be inspected for damage. The brown paint will be removed from any painted masonry and then all masonry will be cleaned with a light duty detergent and low-pressure water rinse prior to any masonry work to allow matching of mortar color. Brick and stone will be repointed, and loose or displaced units will be reset. Re-pointed mortar will match the color, texture, compressive strength, joint width and joint profile of the existing historic mortar. Damaged brick and stone will be repaired as necessary and loose or displaced units to be reset. If any units are too badly deteriorated to repair, they will be replaced—any salvaged brick will be reused where replacements are needed before new units are used. If new units are necessary, they will be selected to match the existing in size, profile, color, and finish.

Metal Cornice, Metal Bay Window Hoods, and Pressed Metal Spandrels

The cornice and consoles are comprised of pressed tin and are in fair condition. Corrosion, flaking paint, and damage is visible in some areas. Canted bay windows on the first three floors feature pressed tin spandrels and sit beneath a bracketed pressed tin hood, both of which are painted pale cream. The bracketed hood over each bay window is in poor condition with relatively significant corrosion visible. The metal spandrel panels appear to be in fair condition. All pressed tin metal work will be retained and repaired and repainted. If any tin work is too damaged to repair, new compatible metal will be used and will be painted to match the adjacent historic material.

Main Entrance and Doors

The main entrance is currently closed in with CMU units. These CMU units will be removed, and a new glazed panel door will be installed in the stone surround. The door will be compatible with the historic nature of the building without appearing falsely historic. The balconies will have new glazed panel doors. Please see the attached drawings for further details.

An ADA lift will be installed in the eastern-most inlet on the north façade of the building to provide ADA access to the first floor. A new entrance door will be installed in this location for access from the ADA lift into the building. Please see drawing for additional detail.

Windows

There are no windows in the building currently. Therefore, it is proposed that historic replica, aluminum clad wood windows will be used—these will be based on historic photographs, see attached.

On the east and north façades, it is proposed that eight-over-one and six-over-one units will be used in the bay windows. The east façade is the primary façade so it will receive six-over-one windows on the entirety of this façade with the exception of the aforementioned bay windows (which will receive both six-over-one and eight-over-one units) and the basement windows which will be one-over-one single hung units.



On the north façade, besides the bay windows already mentioned (six-over-one and eight-over-one units), the rest of the windows on the north façade will receive one-over-one windows. The secondary facades (south and west) will receive one over one single hung units.

Façade Lighting

Exterior building lighting will be provided and designed to highlight building features. Lighting locations may include up lights on the west façade and wall mounted fixtures flanking the entrance. Final lighting cut sheets are not yet available and will be provided to staff for review once ready.

Signage

Currently there is no signage on the building beyond the stone-inscribed "ATLANTA" above the main entry door. It is proposed that future signage will be reinstated in the same location. Final signage drawings (including size, color and design) will be submitted for staff approval before installation.

Roof, Rooftop Mechanicals, and Penthouses

The building currently has a flat membrane roof in poor condition; it will be removed and replaced with a new EPDM roof. Small condensers will be added to the center and western side of the roof with painted metal panel mechanical screens added to obscure the condensers. This location was selected so that the units will be minimally visible from the street within a one block radius—please see attached sightline study. The perforated metal screens will be gray in color. There are two penthouses in poor condition on the roof. Both will be rehabilitated and retained.

The items listed above provide a synopsis of the proposed scope of work for the rehabilitation of the building. Further detail is provided in the attached drawings, renderings, reports, and photos. Please contact me if you have further questions.

Sincerely,

Kraemer Design Group, LLC



Brian Rebain, RA, NCARB
Principal



HENRY STREET REDEVELOPMENT

489 HENRY, 459 HENRY, 447 HENRY, 439 HENRY, 427 HENRY,
2467 CASS, 2447 CASS
DETROIT, MICHIGAN 48201

OWNER OLYMPIA DEVELOPMENT OF MICHIGAN, LLC
2211 WOODWARD AVENUE
DETROIT, MICHIGAN 48201

ARCHITECT NEUMANN/SMITH ARCHITECTURE
400 GALLERIA OFFICENTRE, SUITE 555
SOUTHFIELD, MICHIGAN 48034
248.352.8310

PRE-CONSTRUCTION SERVICES O'BRIEN CONSTRUCTION COMPANY
966 LIVERNOIS
TROY, MI 48083
248.334.2470

CIVIL ENGINEER GIFFELS WEBSTER
28 W. ADAMS STREET, SUITE 1200
DETROIT, MICHIGAN 48226
313.962.4442

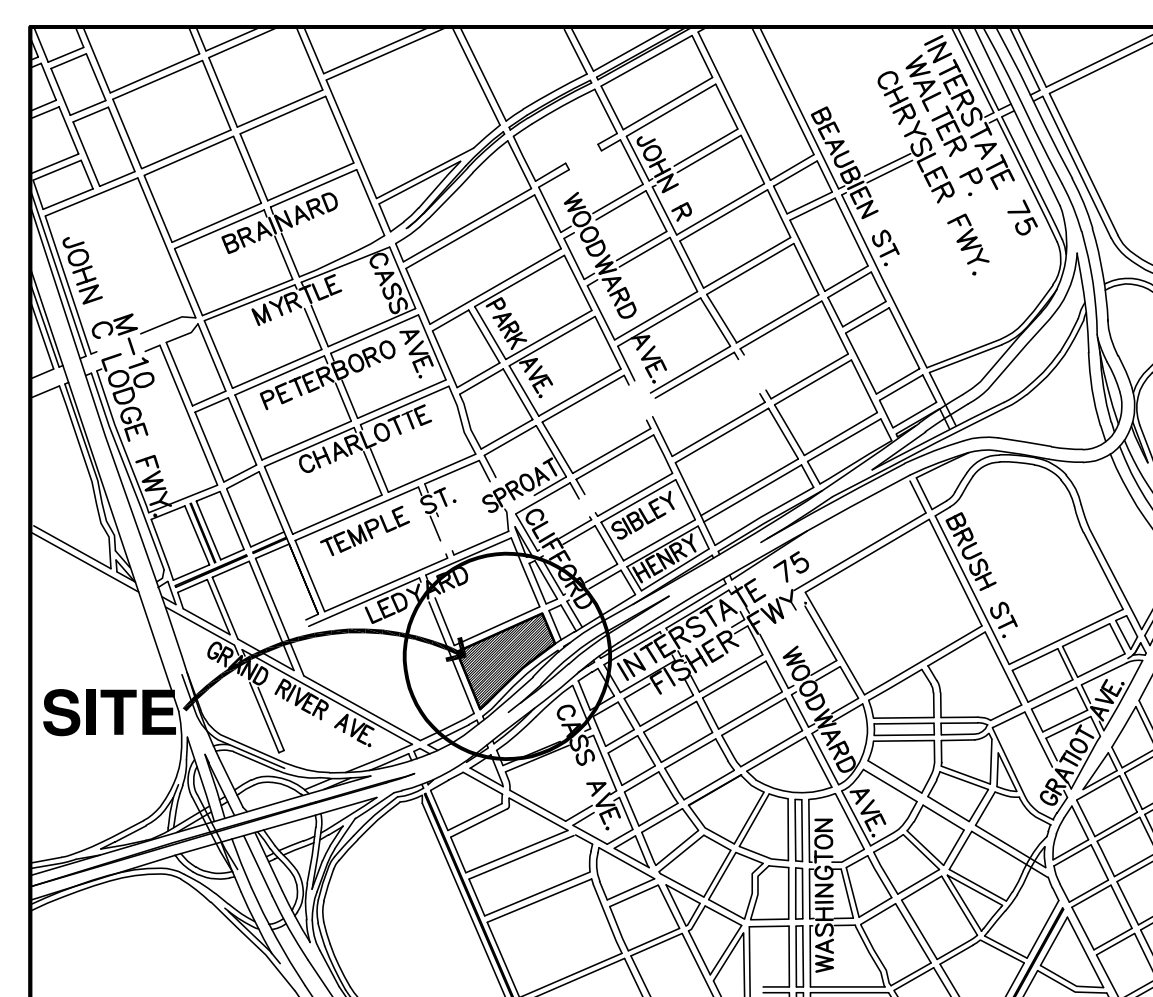
LANDSCAPE ARCHITECT GRISSIM METZ ANDRIESE ASSOCIATES
311 EAST CADY STREET
SUITES A&B
NORTHVILLE, MICHIGAN 48167
248.347.7010

STRUCTURAL ENGINEER RESURGET ENGINEERING
4219 WOODWARD AVENUE, SUITE 306
DETROIT, MICHIGAN, 48201
313.315.3290

MECH / ELECT ENGINEER STRATEGIC ENERGY SOLUTIONS, INC.
4000 WEST 11 MILE RD
BERKLEY, MICHIGAN 48072
248.399.1900

CODE DATA	
CODES OF JURISDICTION: CITY OF DETROIT	
1.	2015 MICHIGAN BUILDING CODE /2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
2.	2015 MICHIGAN PLUMBING CODE INCORPORATING THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE
3.	2015 MICHIGAN MECHANICAL CODE INCORPORATING THE 2015 EDITION OF THE MECHANICAL CODE
4.	MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.0-2009
5.	2015 NATIONAL ELECTRICAL CODE (NEC) (WITH MICHIGAN ELECTRICAL CODE.)
6.	BARRIER FREE CODE: ICC/ANSI 117.1 2003 & 2010 MICHIGAN BARRIER FREE DESIGN & AMERICANS WITH DISABILITIES ACT DESIGN GUIDELINES (ADAAG)

INDEX OF DRAWINGS	
NO.	SHEET TITLE
GENERAL	
A001	TITLE SHEET
LANDSCAPE	
L100	RENDERED LANDSCAPE PLAN
L101	LANDSCAPE PLAN
L201	LANDSCAPE DETAILS
L301	SITE LIGHTING DESIGN INTENT
ARCHITECTURAL	
1A101	BASEMENT & GROUND FLOOR PLANS
1A102	2ND - 4TH FLOOR & ROOF PLANS
2A101	BASEMENT & GROUND FLOOR PLANS
2A102	2ND - 4TH FLOOR & ROOF PLANS
3A101	BASEMENT & GROUND FLOOR PLANS
3A102	ROOF PLAN
4A101	BASEMENT & GROUND FLOOR PLANS
4A102	2ND - 4TH FLOOR & ROOF PLANS
5A101	BASEMENT, 1ST, 2ND, 3RD, ROOF PLAN
6A101	BASEMENT & GROUND FLOOR PLAN
6A102	2ND - 4TH FLOOR & ROOF PLAN
7A101	BASEMENT & GROUND FLOOR PLANS
1A401	EXTERIOR ELEVATIONS 489 HENRY
1A401.1	EXTERIOR ELEVATIONS 489 HENRY
1A402	EXTERIOR ELEVATIONS 489 HENRY
1A402.1	EXTERIOR ELEVATIONS 489 HENRY
2A401	EXTERIOR ELEVATIONS 459 HENRY
2A401.1	EXTERIOR ELEVATIONS 459 HENRY
2A402	EXTERIOR ELEVATIONS 459 HENRY
2A402.1	EXTERIOR ELEVATIONS 459 HENRY
3A401	EXTERIOR ELEVATIONS 447 HENRY
3A401.1	EXTERIOR ELEVATIONS 447 HENRY
4A401	EXTERIOR ELEVATIONS 439 HENRY
4A401.1	EXTERIOR ELEVATIONS 439 HENRY
4A402	EXTERIOR ELEVATIONS 439 HENRY
4A402.1	EXTERIOR ELEVATIONS 439 HENRY
5A401	EXTERIOR ELEVATIONS 427 HENRY
5A401.1	EXTERIOR ELEVATIONS 427 HENRY
6A401	EXTERIOR ELEVATIONS 2467 CASS
6A401.1	EXTERIOR ELEVATIONS 2467 CASS
7A401	EXTERIOR ELEVATIONS 2447 CASS
7A401.1	EXTERIOR ELEVATIONS 2447 CASS
5A421	ENLARGED ELEVATIONS DETAILS
ELECTRICAL	
ES101	ELECTRICAL SITE PLAN



LOCATION MAP
NORTH

• DRAWINGS ISSUED
○ DRAWINGS ISSUED FOR REFERENCE ONLY

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 - HISTORIC DISTRICT COMMISSION

Drawn Preliminary
Checked Construction
RMM Record
Approved Do not scale
MW Bidpak Number Use figured dimensions only

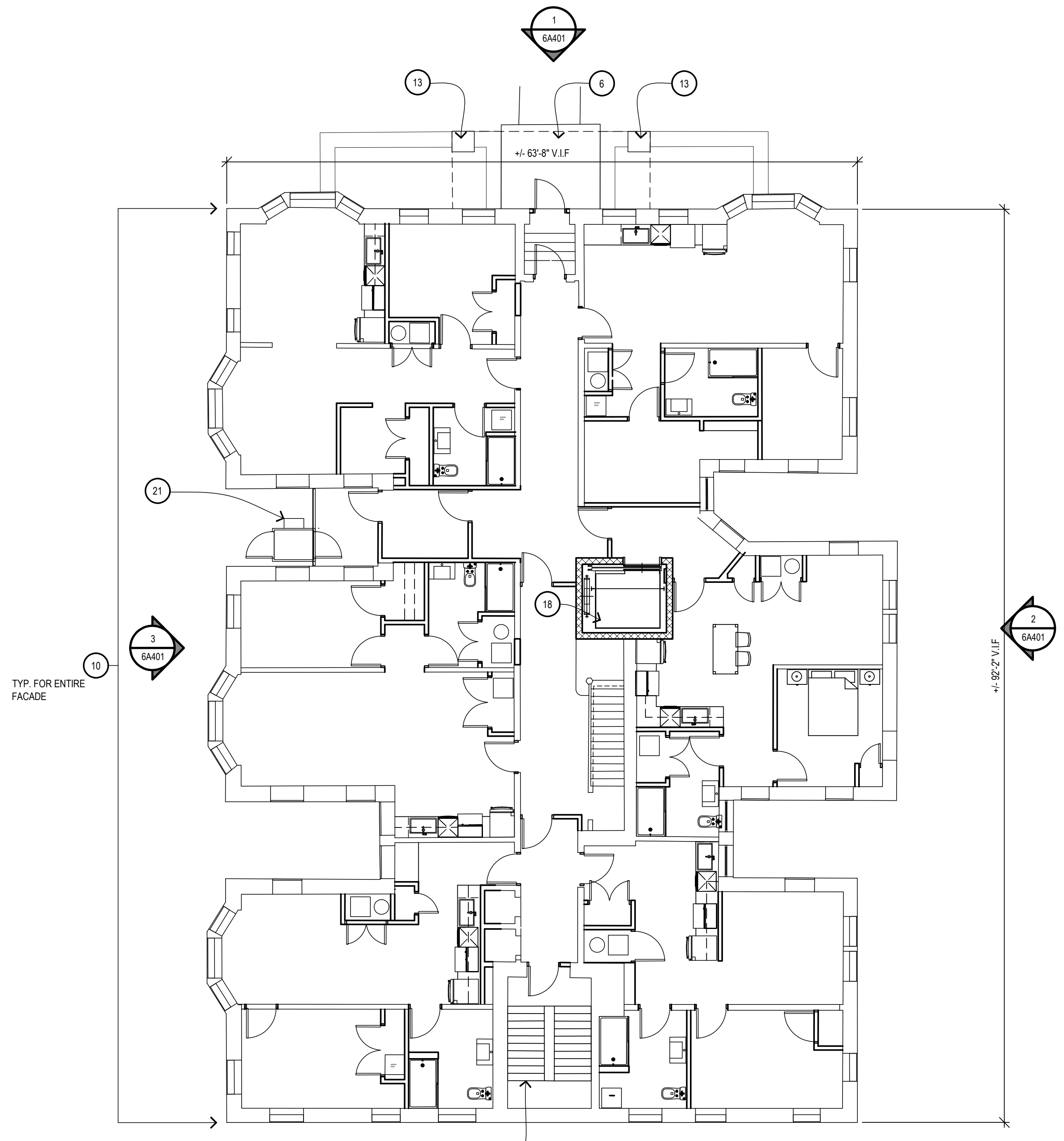
Job Number
2020078

Title
TITLE SHEET

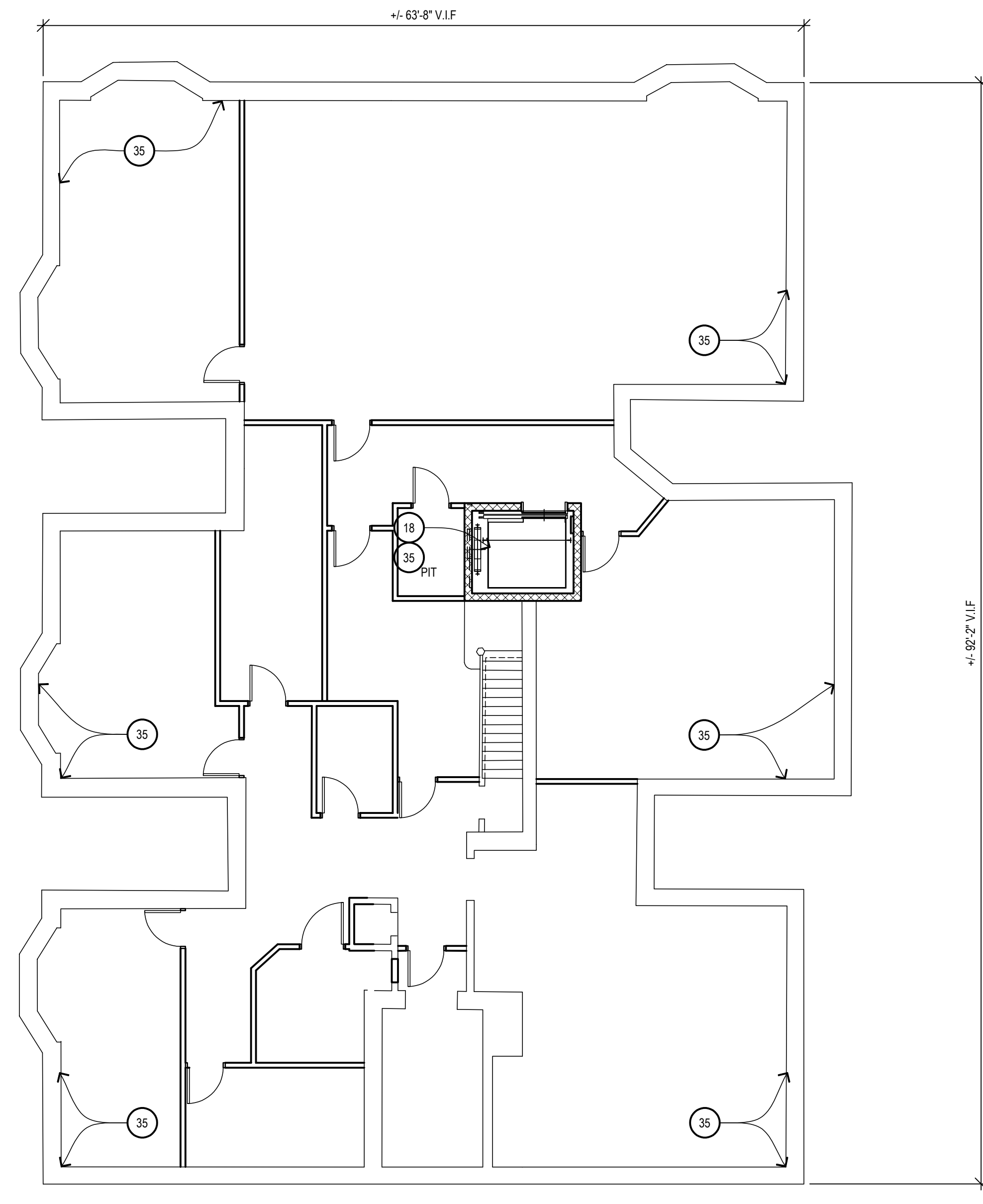
Sheet
A001

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
- 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
- 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
- 16 RECONSTRUCTED FLOOR ASSEMBLY
- 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
- 18 RECONFIGURED ELEVATOR HOIST WAY WITH NEW ELEVATOR (RAILS, PIT) & RECONFIGURED FLOOR FRAMING TO ACCEPT NEW FLOOR OPENING
- 19 EXISTING LIGHT WELL WITH NEW 2 HR RATED SHAFT WALL ASSEMBLY INNER LINING, PROVIDE RATED GLAZING AT EXISTING OPENINGS
- 20 EXISTING MASONRY FIREPLACE
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF/ FLASHING AT PROJECTED BAY WINDOWS/ PORCH ROOFS
- 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
- 27 PROVIDE NEW FLASHING AT ROOF/ STAIR ENCLOSURE
- 28 MECHANICAL UNITS ON PREFABRICATED EQUIPMENT CURBS
- 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C. PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 NEW MECHANICAL SHAFT
- 31 EXISTING STAIR CONSTRUCTION TO REMAIN, EXISTING RAILS TO REMAIN, PAINT
- 32 NEW MECHANICAL ROOF PENETRATION, PROVIDE INSULATED CURBS WITH INTEGRAL FLASHING
- 33 NEW INSULATED OVERHEAD DOOR
- 34 EXISTING DTE PEDESTAL
- 35 PROVIDE WATERPROOFING AT BASEMENT FOUNDATION WALLS
- 36 NEW ELEVATOR OVER RUN ENCLOSURE, INSULATED METAL SIDING ON COLD FORM FRAMING



2467 CASS GROUND LEVEL
 GROSS AREA: 4,009 SF
 1/8" = 1'-0"
 PROJECT NORTH



2467 CASS BASEMENT
 1/8" = 1'-0"
 PROJECT NORTH

NEW WORK LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
	PARTITION TYPE: SEE SHEET AXXX FOR DETAILS
	ROOM NAME AND NUMBER
	DOOR NUMBER

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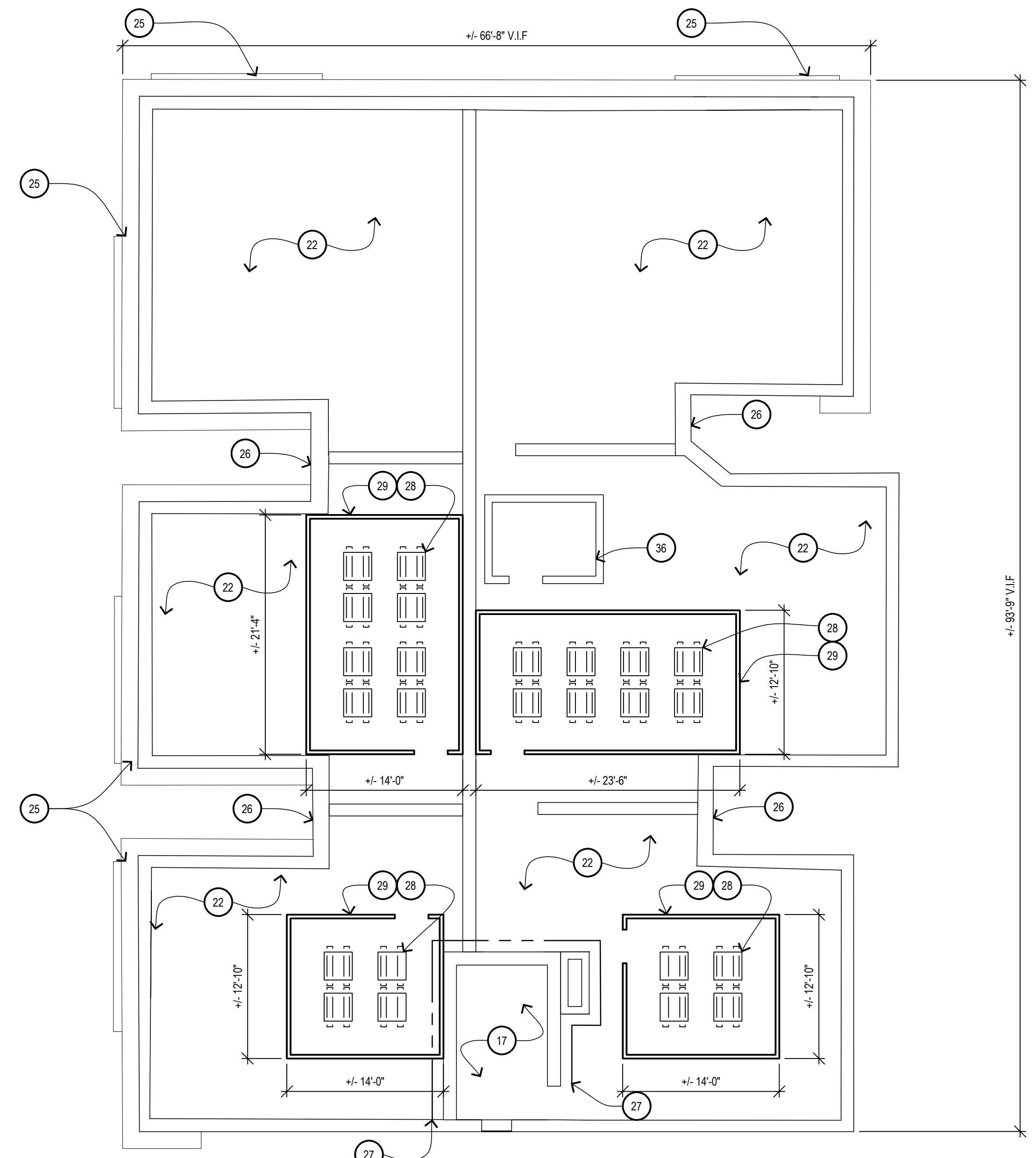
Job Number
2020078

Title
BASEMENT & GROUND FLOOR PLANS

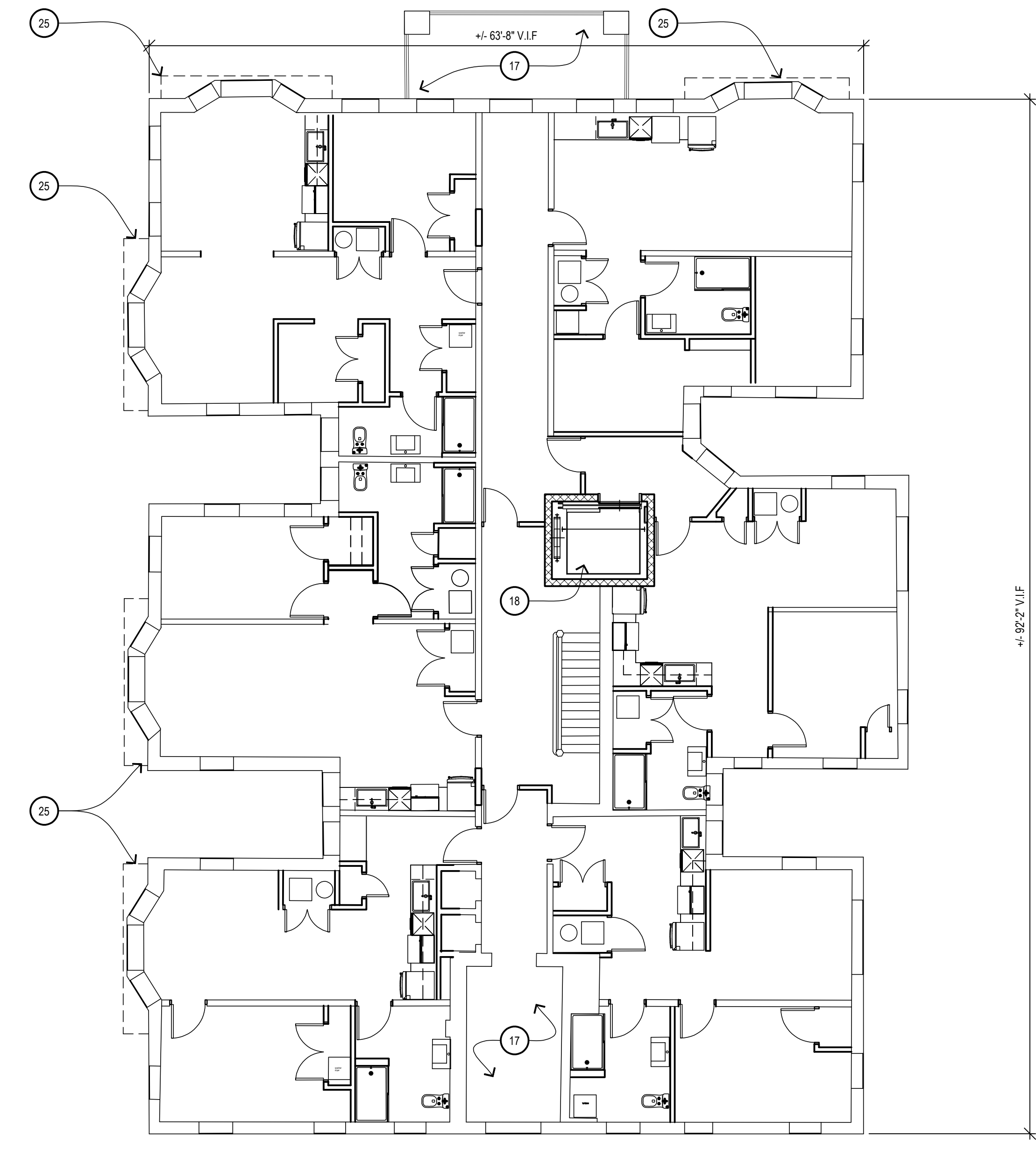
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6A101

KEYNOTES:

- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
- 2 NEW METAL RAILING, PAINTED
- 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 4 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
- 5 RECONSTRUCTED CONCRETE PORCH LANDING
- 6 RECONSTRUCTED CONCRETE STEPS
- 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
- 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
- 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/ STOREFRONT SYSTEM
- 10 NEW WINDOW UNIT W/ INSULATED GLASS
- 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
- 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
- 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
- 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
- 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
- 16 RECONSTRUCTED FLOOR ASSEMBLY
- 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
- 18 RECONFIGURED ELEVATOR HOIST WAY WITH NEW ELEVATOR (RAILS, PIT) & RECONFIGURED FLOOR FRAMING TO ACCEPT NEW FLOOR OPENING
- 19 EXISTING LIGHT WELL WITH NEW 2 HR RATED SHAFT WALL ASSEMBLY INNER LINING, PROVIDE RATED GLAZING AT EXISTING OPENINGS
- 20 EXISTING MASONRY FIREPLACE
- 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
- 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
- 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
- 24 NEW SKYLIGHT WITH INTEGRAL CURB
- 25 PROVIDE NEW SINGLE PLY ROOF/ FLASHING AT PROJECTED BAY WINDOWS/ PORCH ROOFS
- 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
- 27 PROVIDE NEW FLASHING AT ROOF/ STAIR ENCLOSURE
- 28 MECHANICAL UNITS ON PREFABRICATED EQUIPMENT CURBS
- 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C. PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
- 30 NEW MECHANICAL SHAFT
- 31 EXISTING STAIR CONSTRUCTION TO REMAIN, EXISTING RAILS TO REMAIN, PAINT
- 32 NEW MECHANICAL ROOF PENETRATION, PROVIDE INSULATED CURBS WITH INTEGRAL FLASHING
- 33 NEW INSULATED OVERHEAD DOOR
- 34 EXISTING DTE PEDESTAL
- 35 PROVIDE WATERPROOFING AT BASEMENT FOUNDATION WALLS
- 36 NEW ELEVATOR OVER RUN ENCLOSURE, INSULATED METAL SIDING ON COLD FORM FRAMING



2467 CASS ROOF PLAN
 1/8" = 1'-0"
 PROJECT NORTH



2467 CASS FLOOR PLAN 2-4
 1/8" = 1'-0"
 PROJECT NORTH

NEW WORK LEGEND:

	EXISTING WALL TO REMAIN
	NEW WALL CONSTRUCTION
	EXISTING DOOR AND FRAME TO REMAIN
	NEW DOOR AND FRAME
	PARTITION TYPE. SEE SHEET AXXX FOR DETAILS
	ROOM NAME AND NUMBER
	DOOR NUMBER

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2ND-4TH FLOOR & ROOF PLANS

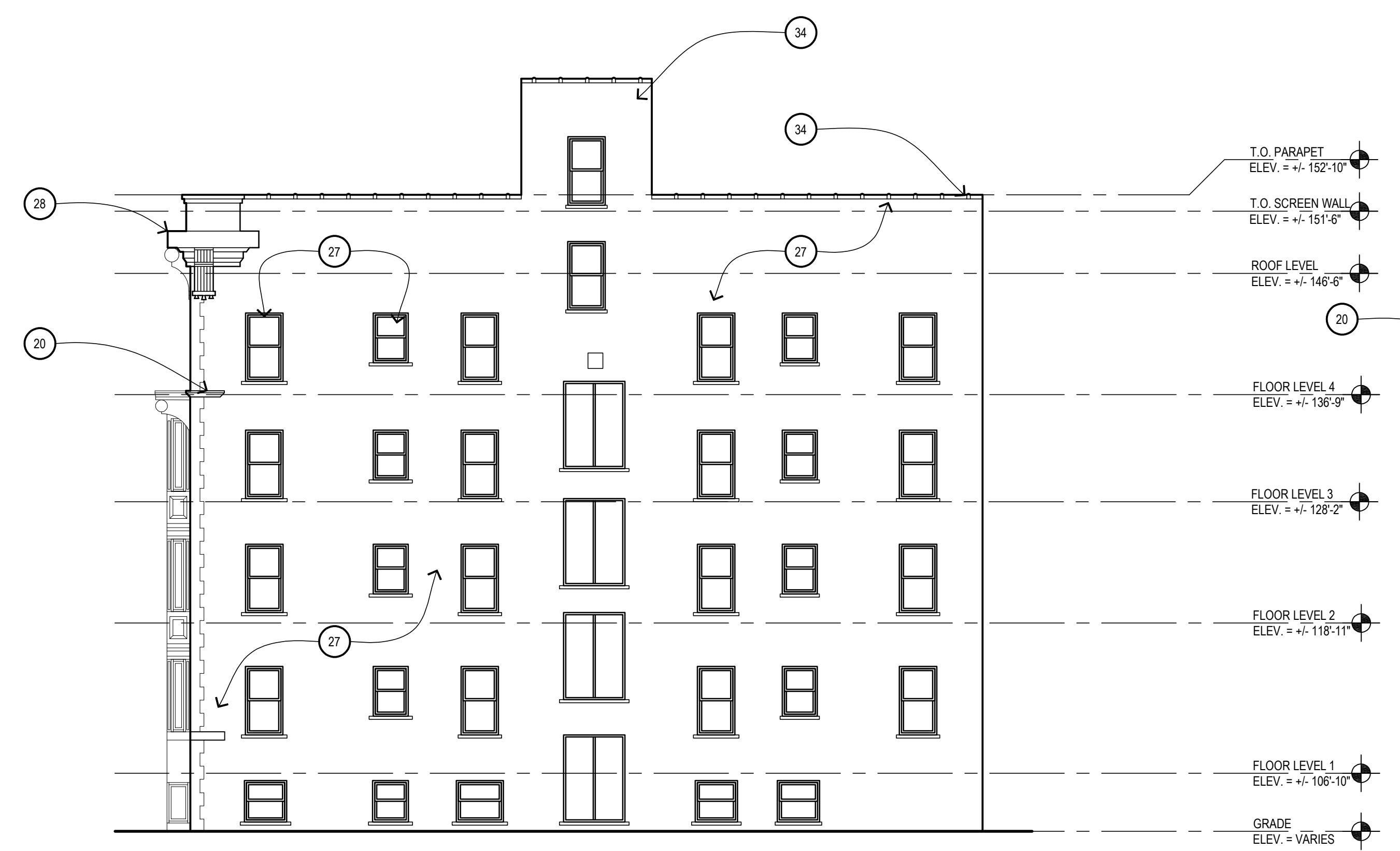
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3
 6A401
 2467 CASS NORTH
 EXTERIOR ELEVATION
 1/8" = 1'-0"



2
 6A401
 2467 CASS SOUTH
 EXTERIOR ELEVATION
 1/8" = 1'-0"



4
 6A401
 2467 CASS WEST
 EXTERIOR ELEVATION
 1/8" = 1'-0"



1
 6A401
 2467 CASS EAST
 EXTERIOR ELEVATION
 1/8" = 1'-0"

- KEYNOTES:**
- 1 RECONSTRUCTED DOUBLE WOOD/GLASS DOORS
 - 2 NEW METAL RAILING, PAINTED
 - 3 NEW METAL HAND/GUARD RAIL AT EXTERIOR STAIR, PAINTED
 - 4 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/STOREFRONT SYSTEM
 - 5 RECONSTRUCTED CONCRETE PORCH LANDING
 - 6 RECONSTRUCTED CONCRETE STEPS
 - 7 RECONSTRUCTED MASONRY STAIRWELL RETAINING WALL W/ LIMESTONE CAPS
 - 8 RECONSTRUCTED CONCRETE STEPS & REPLACEMENT METAL HANDRAILS (PAINTED)
 - 9 NEW INSULATED PRE-FINISHED ALUM ENTRANCE/STOREFRONT SYSTEM
 - 10 NEW WINDOW UNIT W/ INSULATED GLASS
 - 11 NEW METAL GUARD RAIL SYSTEM AT BALCONY
 - 12 RECONSTRUCTED WOOD BALCONY W/ SYNTHETIC DECKING/TRIM
 - 13 RECONSTRUCTED MASONRY PORCH KNEE WALL AND ASSOCIATED REINFORCED CONCRETE FOOTING
 - 14 RECONSTRUCTED STONE PORCH, STEPS, ASSOCIATED REINFORCED CONCRETE FOOTINGS & METAL HANDRAILS (PAINTED)
 - 15 RECONSTRUCTED EXTERIOR STAIR SYSTEM: FRAMING, LANDINGS, STAIRS, RAILS, GUARDRAILS HISTORICALLY APPROPRIATE
 - 16 RECONSTRUCTED FLOOR ASSEMBLY
 - 17 RECONSTRUCTED STAIRS, LANDINGS, RAIL/GUARD RAIL SYSTEM W/ HISTORICALLY APPROPRIATE MATERIALS/ FINISHES
 - 18 NEW WINDOW UNIT WITH INSULATED GLAZING
 - 19 NEW HISTORICALLY APPROPRIATE CLADDING
 - 20 EXISTING STONE TRIM DETAIL
 - 21 NEW ADA COMPLIANT LIFT, PROVIDE POWER
 - 22 NEW SINGLE PLY ROOF MEMBRANE ON MIN R-30 INSULATION
 - 23 PROVIDE NEW SHEATHING AT VERTICAL PORTION OF PARAPET FOR NEW ROOFING
 - 24 NEW SKYLIGHT WITH INTEGRAL CURB
 - 25 PROVIDE NEW SINGLE PLY ROOF FLASHING AT PROJECTED BAY WINDOWS
 - 26 PROVIDE NEW GUTTERS/ DOWNSPOUTS
 - 27 EXISTING BRICK CLADDING. REFER TO FUTURE RESTORATION DRAWINGS
 - 28 EXISTING CORNICE. REFER TO FUTURE RESTORATION DRAWINGS
 - 29 PREFINISHED GALV METAL ROOF SCREEN, 5'-0" HIGH, 12" ABOVE ROOF. PROVIDE GALV SUPPORTS AT 6'-0" O.C., PROVIDE BLOCKING AT EXISTING ROOF STRUCTURE TO ACCOMMODATE.
 - 30 RESTORED LIMESTONE BASE
 - 31 EXISTING DTE PEDESTAL/TRANSFORMER
 - 32 RECONSTRUCTED BAY WINDOW PROJECTIONS W/ NEW INSULATED GLAZING
 - 33 NEW BALCONY CONSTRUCTION, METAL RAIL/GUARD RAIL SYSTEM, SYNTHETIC DECKING ON TREATED WOOD, PROVIDE REINF CONCRETE FOOTINGS
 - 34 EXISTING CLAY TILE PARAPET COPING. REFER TO FUTURE RESTORATION DRAWINGS
 - 35 NEW WOOD ENTRY DOOR SYSTEM W/ GLAZING
 - 36 NEW INSULATED OVERHEAD DOOR

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Title
 EXTERIOR ELEVATIONS
 2467 CASS

Sheet
 6A401

GENERAL NOTE
 *PER CIVIL 129.6 = 100'-0"



3
 6A401.1
 2467 CASS NORTH
 EXTERIOR ELEVATION
 1/8" = 1'-0"



2
 6A401.1
 2467 CASS SOUTH
 EXTERIOR ELEVATION
 1/8" = 1'-0"



4
 6A401.1
 2467 CASS WEST
 EXTERIOR ELEVATION
 1/8" = 1'-0"



1
 6A401.1
 2467 CASS EAST
 EXTERIOR ELEVATION
 1/8" = 1'-0"

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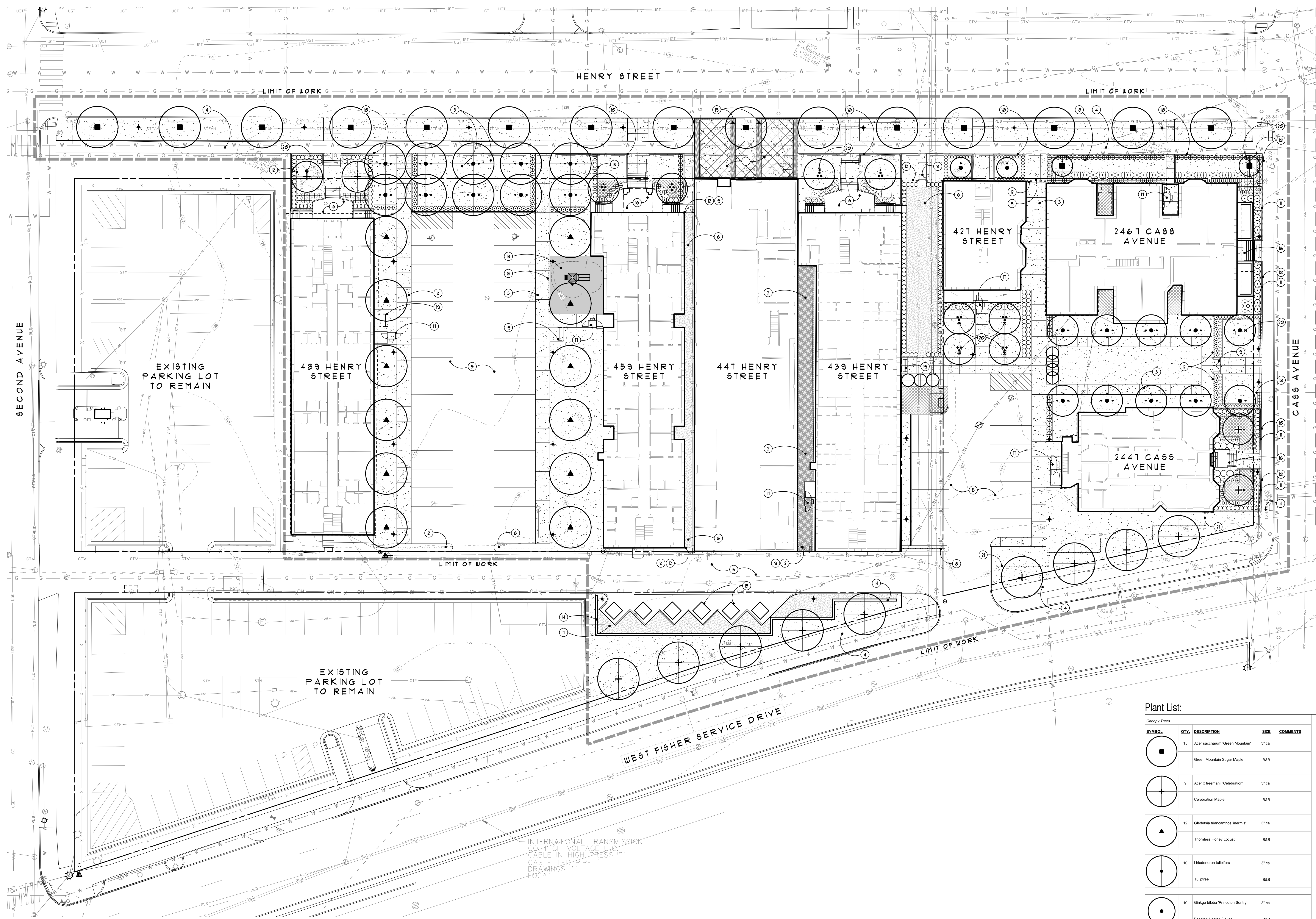
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 EXTERIOR ELEVATIONS
 2467 CASS

Sheet
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GENERAL NOTE
 PER CIVIL 129.6 = 100'-0"



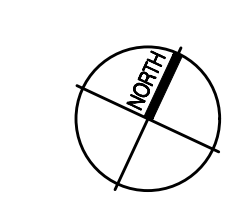
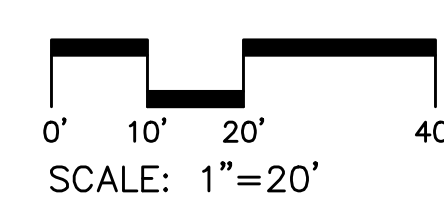
- Legend:**
- LIMIT OF WORK
 - W WATER MAIN
 - G GAS LINE
 - OH OVERHEAD ELECTRIC WIRE
 - SD STORY DRAIN
 - + PEDESTRIAN LIGHT POLE - REFER TO SITE ELECTRICAL DRAWINGS
 - ⊙ EXISTING COBRA HEAD STREET LIGHTS TO REMAIN
 - IRRIGATED BODDED LAWN
 - RIGHT OF WAY
- Note Key:**
- 1 SCORED CONCRETE PAVING WITH PAVER INLAY AND BORDER
 - 2 PAVERS
 - 3 CONCRETE PAVING - REFER TO CIVIL PLANS
 - 4 EXISTING SIDEWALK TO REMAIN
 - 5 ASPHALT PARKING LOT AND DRIVE AILE - REFER TO CIVIL PLANS
 - 6 4" DEPTH DECOMPOSED GRANITE
 - 7 4" DEPTH CRUSHED AGGREGATE MULCH
 - 8 4"-0" HT. ORNAMENTAL ALUMINUM FENCE - REFER TO DETAIL ON SHEET L201
 - 9 ORNAMENTAL ALUMINUM GATE
 - 10 2" HT. x 6" WIDE CONCRETE PLANTER CURB
 - 11 30" HT. ORNAMENTAL ALUMINUM GARDEN FENCE - REFER TO DETAIL ON SHEET L201
 - 12 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 3/4" PICKET SPACING - REFER TO DETAIL ON SHEET L201
 - 13 TOT LOT PLAYGROUND - SURFACE TO BE 12" DEPTH ENGINEERED WOOD MULCH
 - 14 MASONRY SCREEN WALL - REFER TO DETAIL ON SHEET L201
 - 15 DUMPSTER, TYP.
 - 16 EXISTING BUILDING PORCH - REFER TO ARCHITECTURAL DRAWINGS
 - 17 BARRIER FREE PORCH LIFT - REFER TO ARCHITECTURAL DRAWINGS
 - 18 STEEL EDGING BETWEEN LAWN AND PLANT BEDS, TYP.
 - 19 BIKE RACK
 - 20 TREE UPLIGHT, TYP.
 - 21 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 1/2" PICKET SPACING - REFER TO DETAIL ON SHEET L201

- General Notes:**
- 1 PROVIDE 4" DEPTH TOPSOIL AT ALL BODDED LAWN AREAS
 - 2 PROVIDE SHREDDED BARK MULCH AT ALL PLANT BEDS PER DETAILS
 - 3 REFER TO TYPICAL PLANTING DETAILS, SHEET L201
 - 4 IRRIGATION SYSTEM IS TO BE PROVIDED FOR ALL PLANTING BEDS AND LAWN AREAS.

Plant List:

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
■	15	Acer saccharum 'Green Mountain'	3" cal.	
●		Green Mountain Sugar Maple	B&B	
+	9	Acer x freemari 'Celebration'	3" cal.	
○		Celebration Maple	B&B	
▲	12	Gleditsia triacanthos 'variegata'	3" cal.	
●		Variegated Honey Locust	B&B	
●	10	Liquidambar styraciflua	3" cal.	
●		Tulipree	B&B	
●	10	Ginkgo biloba 'Princeton Sentry'	3" cal.	
●		Princeton Sentry Ginkgo	B&B	
+	2	Mikus 'Royal Randrops'	3" cal.	
●		Royal Randrops Crabapple	B&B	
⊙	2	Cercis canadensis	10" ht.	multi-stem
⊙		Eastern Redbud	B&B	3 trunk min.
+	4	Magnolia soulangeana	10" ht.	multi-stem
+		Saucer Magnolia	B&B	3 trunk min.
+	2	Cornus florida	10" ht.	multi-stem
+		Flowering Dogwood	B&B	3 trunk min.
+	2	Prunus serotina 'Weinzierli'	3" cal.	
+		Kwanan Cherry	B&B	
●	2	Carpinus betulus 'Frans Fontaine'	3" cal.	
●		Franc Fontaine Hornbeam	B&B	
+	2	Mikus 'Prairie Fire'	2.5' cal.	tree form
+		Prairie Fire Crabapple	B&B	
+	7	Quercus x warei 'Nutter'	3" cal.	
+		Knicker Spill Oak	B&B	

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
⊙	88	Buxus 'Green Mountain'	18" ht. min.	Plant 18" o.c.
⊙		Green Mountain Boxwood	B&B	
⊕	140	Ilex glabra 'Shamrock'	24" ht. min.	Plant 24" o.c.
⊕		Irisherry	B&B	
○	10	Ilex x meserveae 'Blue Prince'	30" ht. min.	Plant 30" o.c.
○		Blue Prince Holly	B&B	
⊗	14	Rhododendron 'Dorchester Valley'	30" ht. min.	Plant 30" o.c.
⊗		Dorchester Valley Azalea	B&B	
○	213	Taxus x media 'Densiformis'	24" ht. min.	Plant 24" o.c.
○		Dense Yew	B&B	
⊙	86	Taxus x media 'Hicks'	30" ht. min.	Plant 24" o.c.
⊙		Hicks Yew	B&B	
⊕	12	Thuja occidentalis 'Emerald Green'	6" ht.	Plant 30" o.c.
⊕		Emerald Green Arborvitae	B&B	Hedge to 5' ht.
Deciduous Shrubs, Groundcover, and Perennials				
SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
⊕	49	Ilex verticillata 'Henry's Garnet'	#3	Plant 24" o.c.
⊕		Virginia Sweetgum	cont.	
⊕	35	Hydrangea macrophylla 'Pae Wae'	#5	Plant 30" o.c.
⊕		Pae Wae Oakleaf Hydrangea	cont.	
⊕	16	Hydrangea paniculata 'Tumbo'	#5	Plant 30" o.c.
⊕		Bobo Hydrangea	cont.	
○	21	Syringa patula 'Miss Kim'	#5	Plant 30" o.c.
○		Miss Kim Lilac	cont.	
○	10	Illegals florida 'Sonic Bloom'	#5	Plant 30" o.c.
○		Sonic Bloom Weigela	cont.	
○	21	Hosta x Patriot	1 gal.	Plant 18" o.c.
○		Patriot Hosta	cont.	
1100		Pachysandra terminalis	1 gal.	Plant 12" o.c.
		Japanese pachysandra	cont.	



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GRISSIM METZ ANDRIESE
 Associates
 Landscape Architects

OLYMPIA DEVELOPMENT
 OF MICHIGAN

HENRY STREET REDEVELOPMENT

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