

12/15/2020

CERTIFICATE OF APPROPRIATENESS

Kraemer Design Group, LLC
1420 Broadway
Detroit, MI 48226

**RE: Application Numbers 20-6980, 20-6978, 20-6979 and portions of 20-6987, 20-6986, 20-6985, 20-6984, 20-6983, 20-6981; 2457 Cass, 467-469 Henry, 481 Henry, outdoor areas of 2447 Cass, 2467 Cass, 427 Henry, 439 Henry, 447 Henry, 459 Henry, and 489 Henry; and public alleys/sidewalks/rights-of-way to include the entire historic district; Cass-Henry Historic District
Project Scope: District-wide Site Improvements including parking lots, outdoor spaces, street furniture, lighting, landscaping, tree-planting, paving, resurfacing, fencing, and playground equipment**

Dear Applicant,

At the regular scheduled meeting that was held on December 9, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of December 15, 2020.

The Commission issued a Certificate of Appropriateness for the following work as it meets the Secretary of Interior’s Standards for Rehabilitation:

- *The streetscape on Henry Street will be redesigned to eliminate most of the curb cuts, as access to the parking area will be relocated to the alley*
- *Existing parking lots at 467-469 Henry and 481 Henry will be redesigned with a wide landscape buffer to shield the occupants of 489 Henry (Berwin) and 459 Henry (Claridge) from noise and headlight glare*
- *Per the landscape plan L101, twelve Honey Locust trees, six at each side, will frame the parking lot. Ground surface treatment in this landscape buffer is not specified*
- *A tot lot [playground with equipment] will be added to the area directly adjacent to the parking lot and 459 Henry (Claridge)*
- *The sidewalk along the southern side of Henry Street will be retained, a wide greenbelt will be planted, and a decorative hardscape and patterned concrete will be used directly in front of 447 Henry for the anticipated retail/dining tenant.*
- *At each residential building, a forecourt will be created by construction of a 12” concrete planter curb with ornamental plantings found within the forecourt*
- *For the buildings along Cass Avenue (2447 and 2467 Cass) and 18” aluminum garden fence will be placed in front of each building.*
- *The landscaping in front of each building will have a slightly different arrangement of landscaping and trees to provide greenery and visual interest to the buildings*

North-south alley between Bretton Hall (439 Henry) and The Henry (427 Henry)

- *The north-south alley between 439 Henry (Bretton Hall) and 427 Henry (The Henry) will be recreated*

into additional outdoor gathering spaces as well as parking for residents.

- *The northern end of the alley will become a seating area with a granite chip [decomposed granite, or DG] surface; it will be surrounded by plantings [yew shrubs] and accessed through an aluminum fence and gate [6' high, see landscape details sheet L201], set back from Henry Street*
- *Per the landscape plan L101, a wide east-west sidewalk ending in a bike rack alongside Bretton Hall intersects at this point*
- *A short row of three (3) small 'Kindred Spirit' Oaks are planted adjacent to the sidewalk, followed by a bed of pachysandra at the northwest corner of the parking lot adjacent to the electrical infrastructure*
- *The southern end of the alley will form a portion of a surface parking lot with 15 parking spaces [overlapping onto private property at the rear of 2447 and 2457 Cass]. Drive aisle will be accessed from West Fisher Service Drive.*
- *New concrete paving will be installed along the parking lot and provide access to 2447 Cass, 2467 Cass, 427 Henry, and 439 Henry. The concrete paving will also extend between 427 Henry and 2467 Cass. This area will have lawn furniture and will also be accessible via an aluminum fence and gate facing Henry Street.*

East-west alley south of 439 Henry, 447 Henry, 459 Henry, and 489 Henry

- *Alley to be repaved with asphalt*
- *Alley to remain accessible to vehicular traffic and barrier free entry to 439 Henry*
- *A consolidated site refuse enclosure will be located along this alley and will be screened from the West Fisher Service Drive with both plantings and a masonry screen wall. [outside of historic district]*
- *Along the service drive a staggered 6' tall ornamental aluminum fence will be built just south of 2447 Cass Avenue and the open green space south of 427 Henry to provide privacy from the service drive [outside of historic district]*

2457 Cass (current vacant lot between 2447 Cass and 2467 Cass)

- *A public/private gathering space will be created with ornamental plantings [framed by an allee of ten (10) Ginkgo trees extending west for the full depth of the adjacent buildings] and lawn furniture located closer to Cass Avenue, while a larger outdoor park for residents will be nestled further into the site, between the buildings, and will be accessed by an aluminum fence and gate off Cass Avenue*
- *Per the landscape plan L101, the entryway to the public gathering space will be flanked by historic reproduction light poles (cut sheets provided)*
- *The public gathering space has an unspecified ground surface flanking the central walk, and will be symmetrically framed with perimeter yews and holly*
- *The residents' park includes a sidewalk along the two rows of Ginkgo trees and an unspecified ground surface in the center. The park terminates at its west end with a row of three (3) 'Kindred Spirit' oaks*

427 Henry

- *Per the landscape plan L101, a sidewalk running north-south will be established immediately west of the residents' park discussed above. The southern half of this sidewalk services the 15-space parking area, while the northern extension traverses the interstitial space between 2467 Cass and 427 Henry and connects with the public sidewalk at the Henry via a 6' ornamental fence/gate.*
- *Immediately behind 427 Henry, a quartet of Eastern Redbud trees will frame the sidewalk approach to the ADA porch lift*

Fronts of buildings: Cass Avenue

- *At 2447 Cass (Hotel Ansonia), two crabapple trees will flank the entry approach, set in beds of pachysandra surrounded by holly and yew shrubs. The composition is symmetrical across the entry.*
- *At 2467 Cass (Atlanta Apartments), the planting bed behind the above-mentioned 18" garden fence will feature a row of lilac shrubs arranged symmetrically about the entrance*
- *Towards the corner with Henry, additional shrubs are integrated into the composition*

Fronts of building: Henry Street

- *A row of sugar maples is proposed for the street trees. Status of existing trees, some quite large, is unclear.*
- *At 2467 Cass, a formal planting area with a perimeter of inkberry and Oakleaf hydrangea, with crabapple trees at either end, enclosing a lawn bisected by a sidewalk to access the ADA lift*
- *At 427 Henry, a similarly formal composition of hornbeams flanking the approach, with a perimeter of weigela shrubs*
- *At Bretton Hall (439 Henry), flanking Dogwood trees are juxtaposed with an azalea border behind*
- *At 447 Henry, scored concrete paving with paver inlay and border*
- *At Claridge Apartments (459 Henry) flanking Dogwood trees set in pachysandra, with inkberry borders*
- *At the landscape buffer in front of the parking area (467-469 Henry, 481 Henry), a double row of Tuliptrees with symmetrically arranged inkberry shrubs forming perimeter borders flanking sidewalks accessing the area*
- *At Berwin Apartments (489 Henry), flanking crabapple trees with a symmetrical yew perimeter and a border of hydrangea*

Historic reproduction light poles (“acorn lamps”) in public and private areas throughout the district,

And, as per the submitted documents, specifically landscape and site plan drawings L100, L101, L201, L301, ES101.

The Certificate of Appropriateness is issued with the following conditions:

- Staff review of the submitted construction drawings to specifically include review of specifications/cut sheets for lighting, signage, plantings, other exterior elements/selections not yet finalized, with staff authority to approve if per the Secretary of the Interior’s Standards, the district’s Elements of Design, and otherwise consistent with Commission intent and guidelines.
- Trees with diameter larger than 6” DBH at the front (street side) of the various buildings (including street trees) are to be retained and incorporated into the landscape plan. Staff authority for removal of diseased trees, per established procedures requiring the inspection of an arborist, is continued.
- The brick alley pavers will be salvaged and repurposed on the site.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding the foregoing, please contact me at 313-224-3521.

For the Commission:



Garrick Landsberg
Director/Staff
Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: _____

PROPERTY INFORMATION

ADDRESS: _____ AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner

Contractor

Tenant or
Business Occupant

Architect/Engineer/
Consultant

NAME: _____ COMPANY NAME: _____

ADDRESS: _____ CITY: _____ STATE: _____ ZIP: _____

PHONE: _____ MOBILE: _____ EMAIL: _____

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

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- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____
 AKA: _____ Lot(s): _____ Subdivision: _____
 Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____
 Current Legal Use of Property: _____ Proposed Use: _____
 Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
 Foundation Only Change of Use Temporary Use Other: _____
 Revision to Original Permit #: _____ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
 Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

Use Group: _____ Type of Construction (per current MI Bldg Code Table 601) _____

Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

Structure Use

Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____
 Commercial-Gross Floor Area: _____ Institutional-Gross Floor Area _____ Other-Gross Floor Area _____

Proposed No. of Employees: _____ List materials to be stored in the building: _____

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: _____ Date: _____ Fees Due: _____ DngBld? No

Permit Description: _____

Permit #: _____ Current Legal Land Use: _____ Proposed Use: _____
 Permit#: _____ Date Permit Issued: _____ Permit Cost: \$ _____
 Zoning District: _____ Zoning Grant(s): _____
 Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ _____ New \$ _____

Structural: _____ Date: _____ Notes: _____

Zoning: _____ Date: _____ Notes: _____

Other: _____ Date: _____ Notes: _____



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: _____ Company Name: Olympia Development of Michigan

Address: 2211 Woodward Avenue City: _____ State: _____ Zip: _____

Phone: 313 725 3621 Mobile: 248 225 9188

Driver's License #: _____ Email: Eric.Tuomey@olydev.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

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HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
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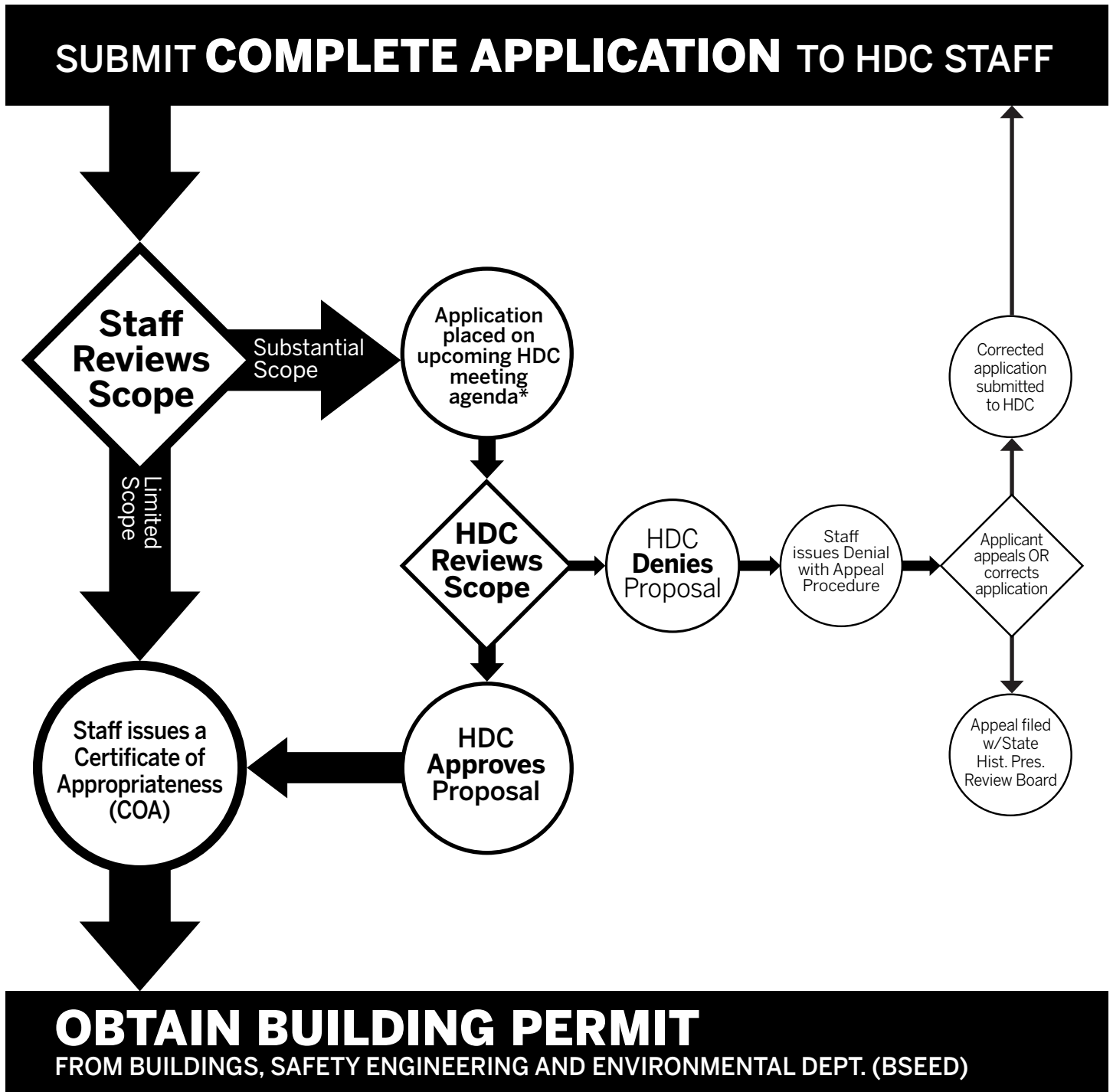
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Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

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P2 - BUILDING PERMIT APPLICATION

Date: _____

PROPERTY INFORMATION

Address: _____ Floor: _____ Suite#: _____ Stories: _____

AKA: _____ Lot(s): _____ Subdivision: _____

Parcel ID#(s): _____ Total Acres: _____ Lot Width: _____ Lot Depth: _____

Current Legal Use of Property: _____ Proposed Use: _____

Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations

Foundation Only Change of Use Temporary Use Other: _____

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Other: _____ Size of Structure to be Demolished (LxWxH) _____ cubic ft.

Construction involves changes to the floor plan? Yes No

(e.g. interior demolition or construction to new walls)

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Estimated Cost of Construction \$ _____ By Contractor \$ _____ By Department

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Residential-Number of Units: _____ Office-Gross Floor Area _____ Industrial-Gross Floor Area _____

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Permit Description: _____

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Print Name: _____ Signature: _____ Date: _____
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

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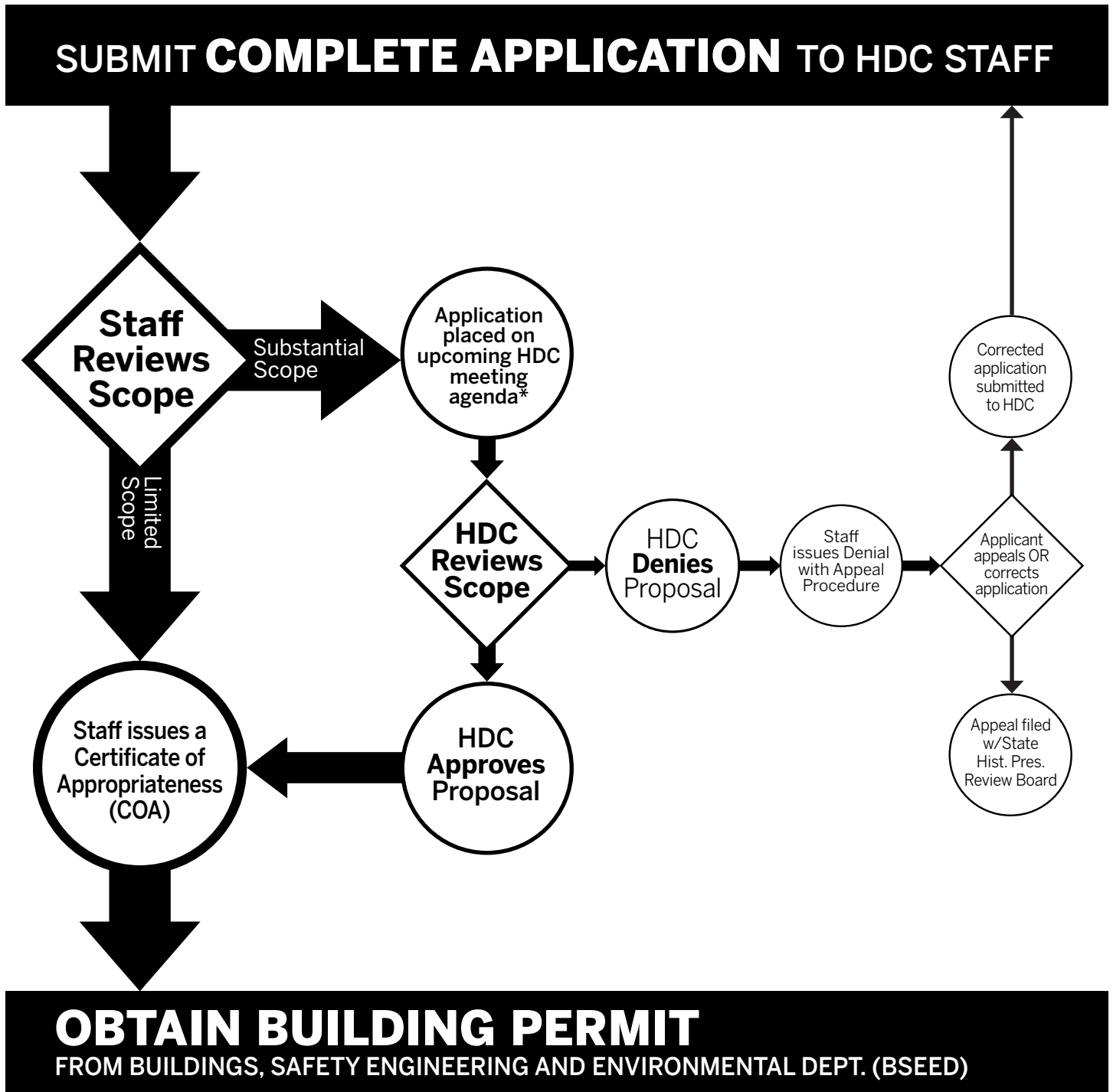
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SCOPE OF WORK: Windows/Doors Roof/Gutters/Chimney Porch/Deck Landscape/Fence/Tree/Park General Rehab
(Check ALL that apply) New Construction Demolition Addition Other: _____

APPLICANT IDENTIFICATION

Property Owner/Homeowner Contractor Tenant or Business Occupant Architect/Engineer/Consultant

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(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 ____ A.D. _____ County, Michigan

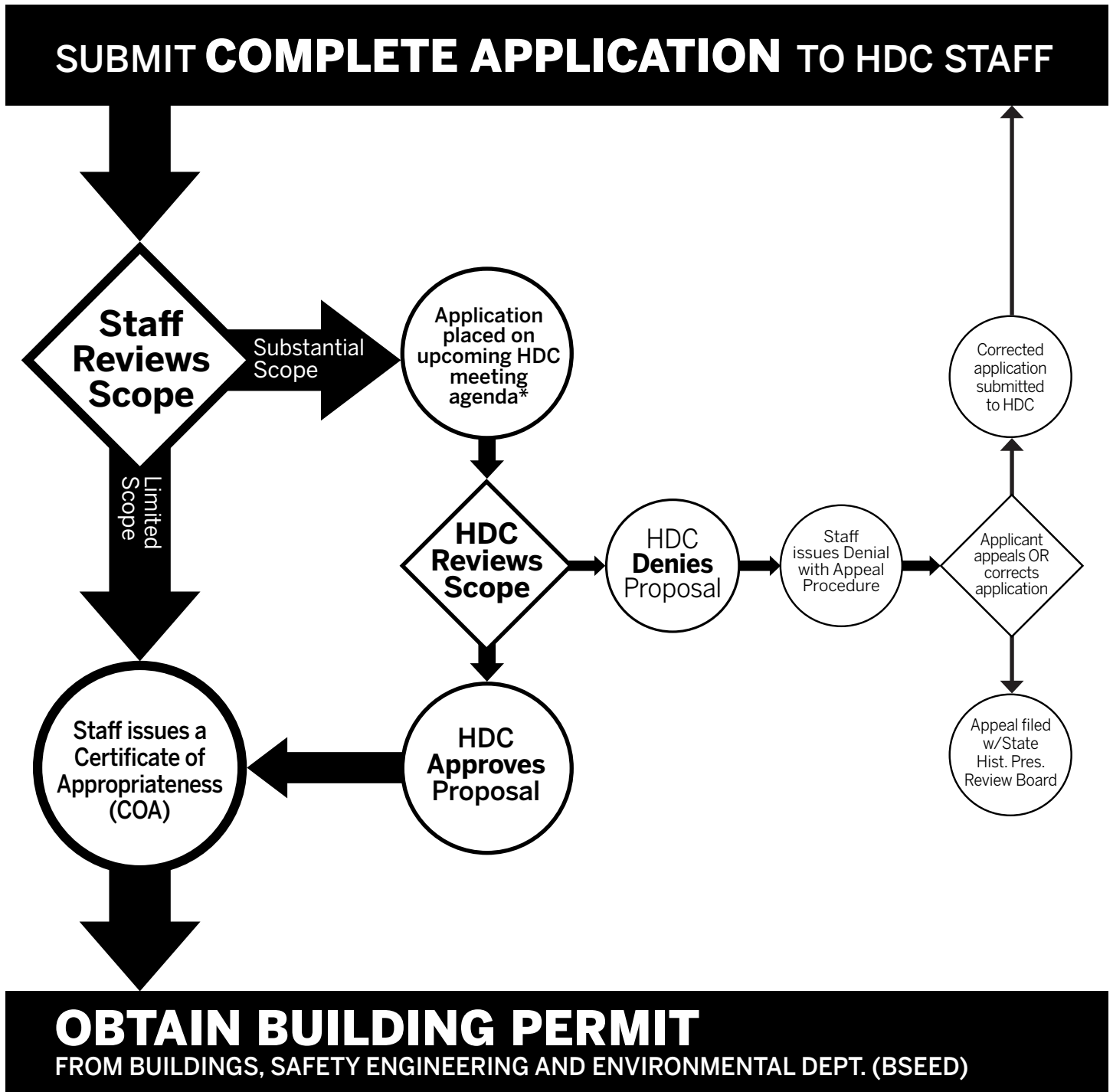
Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT www.detroitmi.gov/hdc



Note Key

1. Scored Concrete Paving with Paver Inlay and Border
2. Pavers
3. Concrete Paving
4. Existing Sidewalk to Remain
5. Asphalt Parking Lot and Drive Aisle
6. 4" Depth Decomposed Granite
7. 4" Depth Crushed Aggregate Mulch
8. 4'-0" Ht. Ornamental Aluminum Fence
9. Ornamental Aluminum Gate
10. 12" Ht. X 6" Wide Concrete Planter Curb
11. 18" Ht. Ornamental Aluminum Garden Fence
12. 6'-0" Ht. Ornamental Aluminum Fence
13. Tot Lot Playground - Surface to Be 12" Depth Engineered Wood Mulch
14. 8'-0" ht. Masonry Screen Wall
15. Dumpster
16. Existing Building Porch
17. Barrier Free Porch Lift
18. Bike Rack
19. 6'-0" Ht. Ornamental Aluminum Fence with 1.5" Picket Spacing

INTERNATIONAL TRANSMISSION
CO. HIGH VOLTAGE
CABLE IN HIGH PRESSURE
GAS FILLED PIPE (R) NOTE:
DRAWINGS ARE SCHEMATIC
LOCATION IS APPROXIMATE



Issued for

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

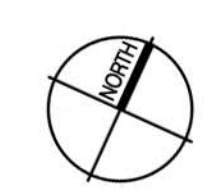
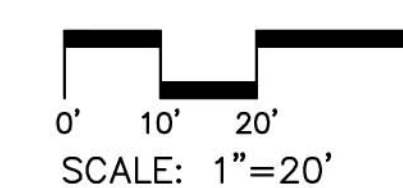
11.20.2020 HISTORIC DISTRICT COMMISSION

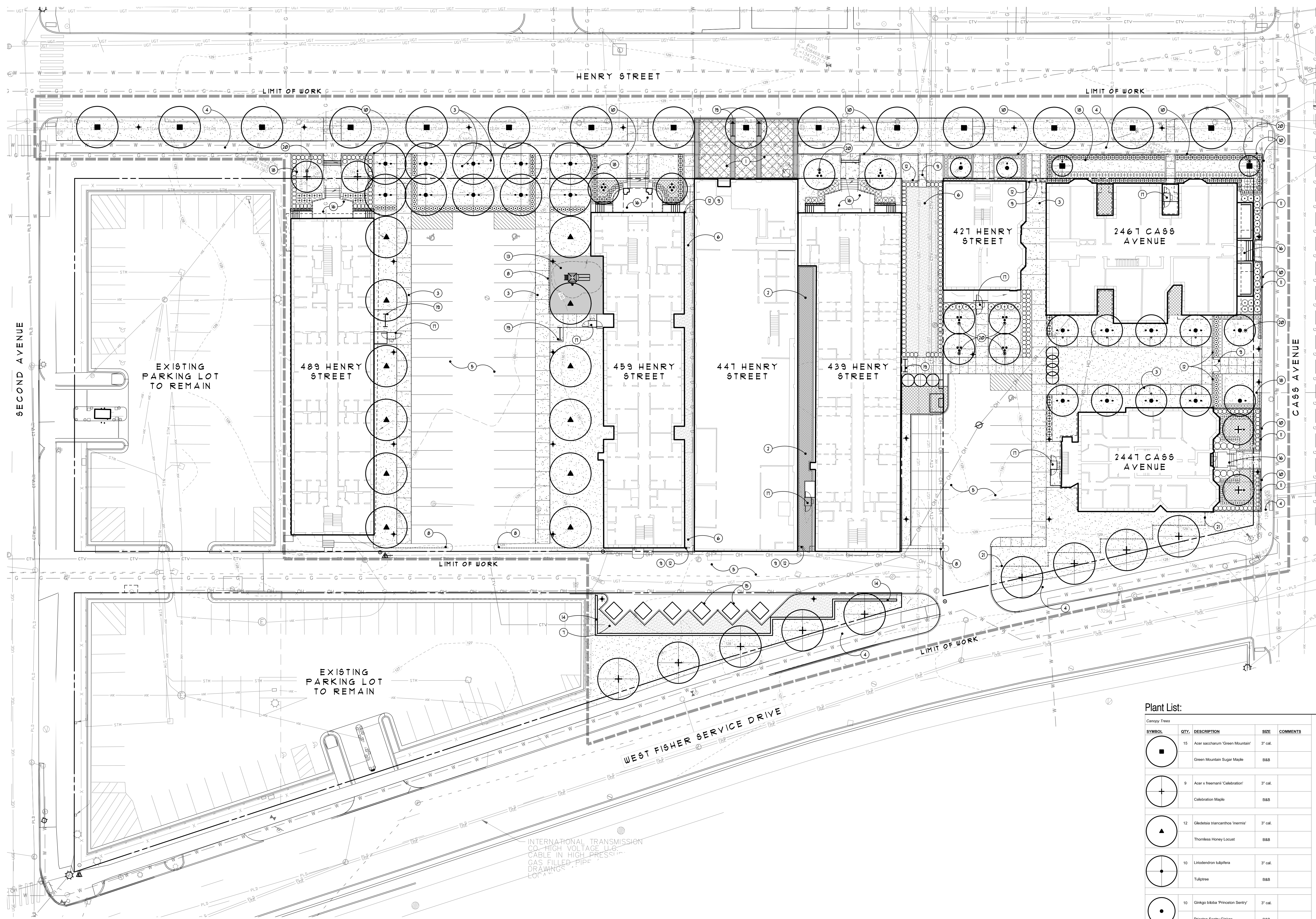
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AEP	<input type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
RKM	
Approved	Do not scale
RKM	Use figured dimensions only
Bitpak Number	

Job Number
2020078

Title
Rendered Landscape Plan

Sheet
L100





- Legend:**
- LIMIT OF WORK
 - W WATER MAIN
 - G GAS LINE
 - OH OVERHEAD ELECTRIC WIRE
 - SD STORY DRAIN
 - + PEDESTRIAN LIGHT POLE - REFER TO SITE ELECTRICAL DRAWINGS
 - ⊙ EXISTING COBRA HEAD STREET LIGHTS TO REMAIN
 - IRRIGATED BODDED LAWN
 - RIGHT OF WAY
- Note Key:**
- 1 SCORED CONCRETE PAVING WITH PAVER INLAY AND BORDER
 - 2 PAVERS
 - 3 CONCRETE PAVING - REFER TO CIVIL PLANS
 - 4 EXISTING SIDEWALK TO REMAIN
 - 5 ASPHALT PARKING LOT AND DRIVE AILE - REFER TO CIVIL PLANS
 - 6 4" DEPTH DECOMPOSED GRANITE
 - 7 4" DEPTH CRUSHED AGGREGATE MULCH
 - 8 4"-0" HT. ORNAMENTAL ALUMINUM FENCE - REFER TO DETAIL ON SHEET L201
 - 9 ORNAMENTAL ALUMINUM GATE
 - 10 2" HT. x 6" WIDE CONCRETE PLANTER CURB
 - 11 30" HT. ORNAMENTAL ALUMINUM GARDEN FENCE - REFER TO DETAIL ON SHEET L201
 - 12 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 3/4" PICKET SPACING - REFER TO DETAIL ON SHEET L201
 - 13 TOT LOT PLAYGROUND - SURFACE TO BE 12" DEPTH ENGINEERED WOOD MULCH
 - 14 MASONRY SCREEN WALL - REFER TO DETAIL ON SHEET L201
 - 15 DUMPSTER, TYP.
 - 16 EXISTING BUILDING PORCH - REFER TO ARCHITECTURAL DRAWINGS
 - 17 BARRIER FREE PORCH LIFT - REFER TO ARCHITECTURAL DRAWINGS
 - 18 STEEL EDGING BETWEEN LAWN AND PLANT BEDS, TYP.
 - 19 BIKE RACK
 - 20 TREE UPLIGHT, TYP.
 - 21 6"-0" HT. ORNAMENTAL ALUMINUM FENCE WITH 1/2" PICKET SPACING - REFER TO DETAIL ON SHEET L201

- General Notes:**
- 1 PROVIDE 4" DEPTH TOPSOIL AT ALL BODDED LAWN AREAS
 - 2 PROVIDE SHREDDED BARK MULCH AT ALL PLANT BEDS PER DETAILS
 - 3 REFER TO TYPICAL PLANTING DETAILS, SHEET L201
 - 4 IRRIGATION SYSTEM IS TO BE PROVIDED FOR ALL PLANTING BEDS AND LAWN AREAS.

Plant List:

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
■	15	Acer saccharum 'Green Mountain'	3" cal.	
●		Green Mountain Sugar Maple	B&B	
+	9	Acer x freemari 'Celebration'	3" cal.	
○		Celebration Maple	B&B	
▲	12	Gleditsia triacanthos 'nervis'	3" cal.	
●		Thornless Honey Locust	B&B	
●	10	Liquidambar styraciflua	3" cal.	
●		Tulipree	B&B	
●	10	Ginkgo biloba 'Princeton Sentry'	3" cal.	
●		Princeton Sentry Ginkgo	B&B	
+	2	Mikus 'Royal Raindrops'	3" cal.	
●		Royal Raindrops Crabapple	B&B	
●	2	Cercis canadensis	10" ht.	multi-stem
●		Eastern Redbud	B&B	3 trunk min.
+	4	Magnolia soudangiana	10" ht.	multi-stem
●		Saucer Magnolia	B&B	3 trunk min.
+	2	Cornus florida	10" ht.	multi-stem
●		Flowering Dogwood	B&B	3 trunk min.
+	2	Prunus serotina 'Wenzari'	3" cal.	
●		Kwanan Cherry	B&B	
●	2	Carpinus betulus 'Frans Fontaine'	3" cal.	
●		Frans Fontaine Hornbeam	B&B	
+	2	Mikus 'Prairiefire'	2.5' cal.	tree form
●		Prairie Fire Crabapple	B&B	
+	7	Quercus x warei 'Nutter'	3" cal.	
●		Knotted Spill Oak	B&B	

SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
○	88	Buxus 'Green Mountain'	18" ht. min.	Plant 18" o.c.
●		Green Mountain Boxwood	B&B	
⊕	140	Ilex glabra 'Shamrock'	24" ht. min.	Plant 24" o.c.
●		Isleberry	B&B	
○	10	Ilex x meserioides 'Blue Prince'	30" ht. min.	Plant 30" o.c.
●		Blue Prince Holly	B&B	
⊗	14	Rhododendron 'Daleware Valley'	30" ht. min.	Plant 30" o.c.
●		Daleware Valley Azalea	B&B	
○	213	Taxus x media 'Densiformis'	24" ht. min.	Plant 24" o.c.
●		Dense Yew	B&B	
○	86	Taxus x media 'Hicks'	30" ht. min.	Plant 24" o.c.
●		Hick's Yew	B&B	
⊕	12	Thuja occidentalis 'Emerald Green'	6" ht.	Plant 30" o.c.
●		Emerald Green Arborvitae	B&B	Hedge to 5' ht.
Deciduous Shrubs, Groundcover, and Perennials				
SYMBOL	QTY.	DESCRIPTION	SIZE	COMMENTS
⊕	49	Ilex verticillata 'Henry's Garnet'	#3	Plant 24" o.c.
●		Virginia Sweetgum	cont.	
⊕	35	Hydrangea macrophylla 'Pae Wae'	#5	Plant 30" o.c.
●		Pae Wae Oakleaf Hydrangea	cont.	
⊕	16	Hydrangea paniculata 'Tumbo'	#5	Plant 30" o.c.
●		Bobo Hydrangea	cont.	
○	21	Syringa patula 'Miss Kim'	#5	Plant 30" o.c.
●		Miss Kim Lilac	cont.	
○	10	Helleborus viridis 'Sonnens Blum'	#5	Plant 30" o.c.
●		Sonnens Blum Wajale	cont.	
○	21	Hosta x Patriot	1 gal.	Plant 18" o.c.
●		Planet Hosta	cont.	
1100		Pachysandra terminalis	1 gal.	Plant 12" o.c.
		Japanese pachysandra	cont.	

811 Know what's below. Call before you dig.

Scale: 1"=20'

North Arrow

NEUMANN SMITH architecture

SOUTHFIELD • DETROIT

400 Galleria Office Centre
Suite 555
Southfield, Michigan 48034
phone 248.352.8310
fax 248.352.1821
www.neumannsmith.com

GRISSIM METZ ANDRIESE Associates
Landscape Architects

OLYMPIA DEVELOPMENT OF MICHIGAN

HENRY STREET REDEVELOPMENT

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for: *Allyson Pearson*

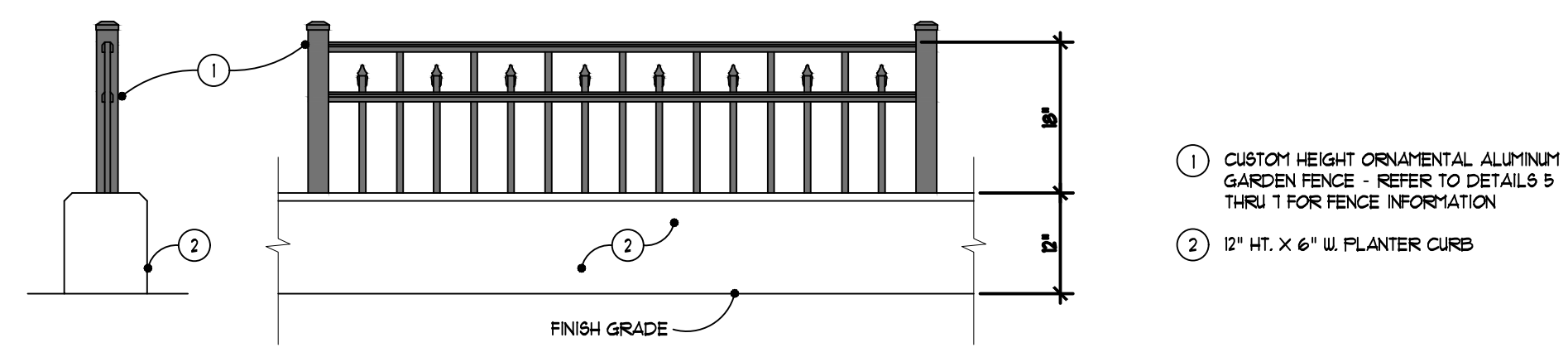
11.20.2020 HISTORIC DISTRICT COMMISSION

Drawn: Preliminary
 AEP Construction
 Checked: Record
 RKM

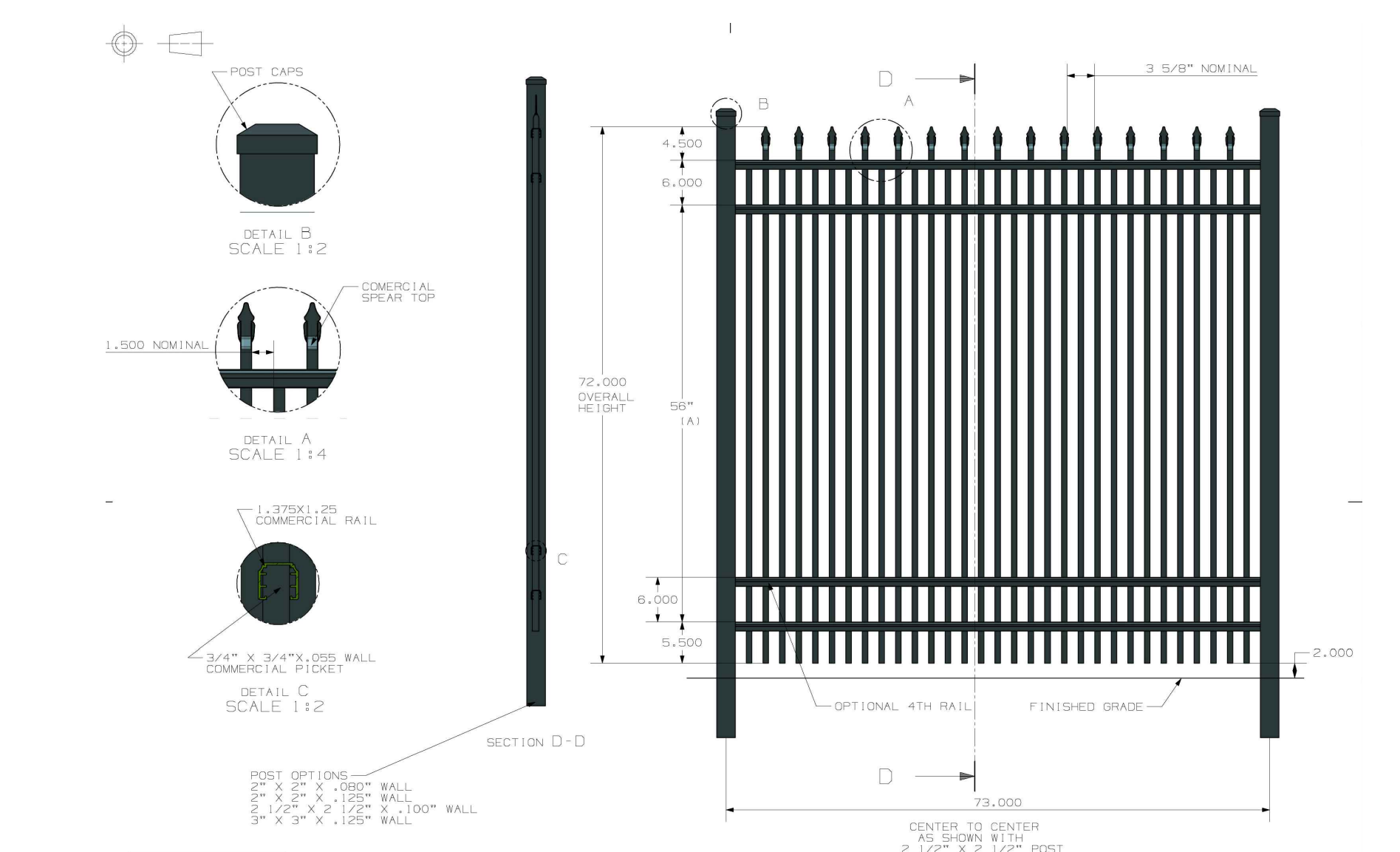
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 Bidpak Number

Job Number: 2020078
 Title: Landscape Plan

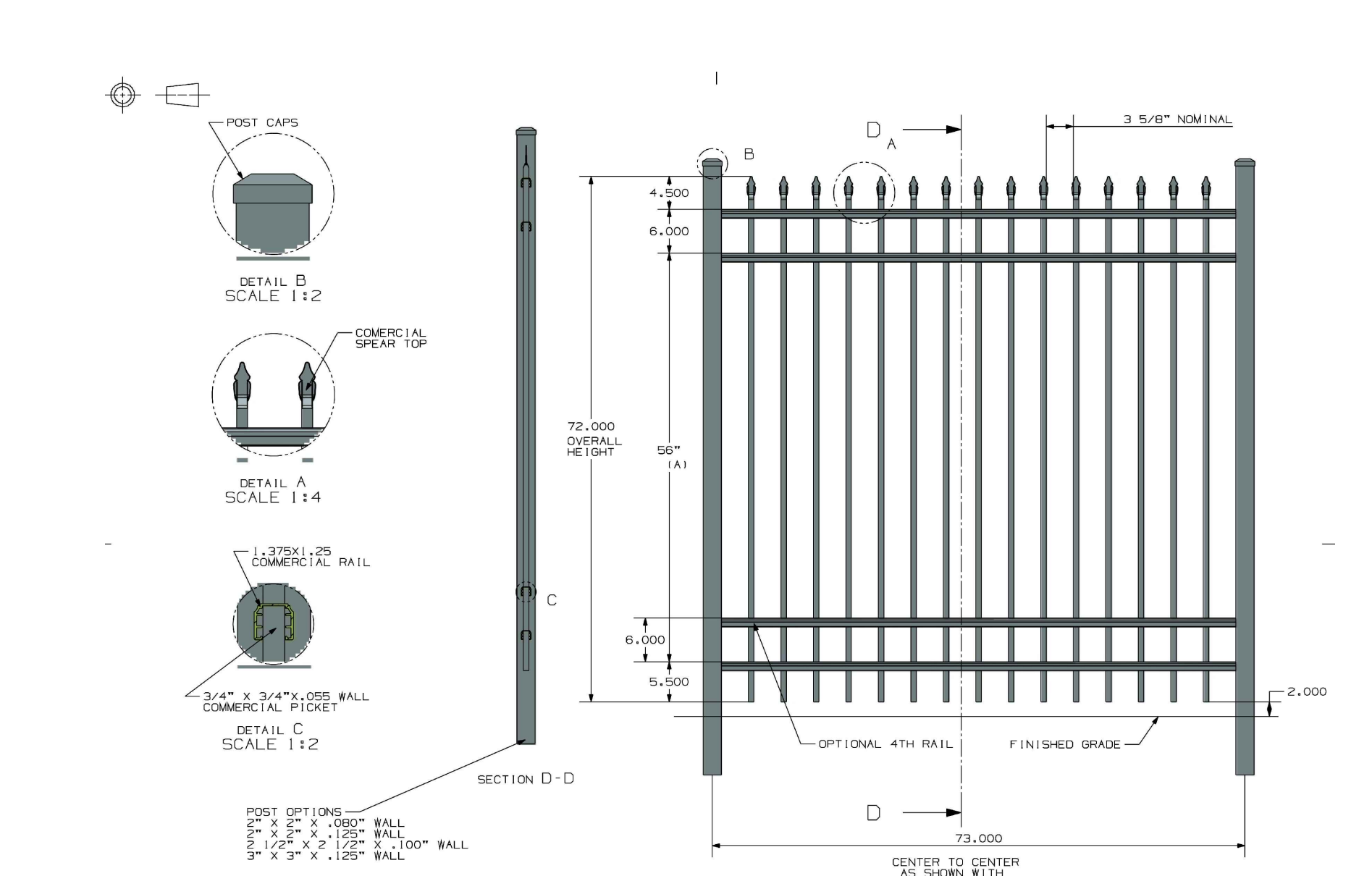
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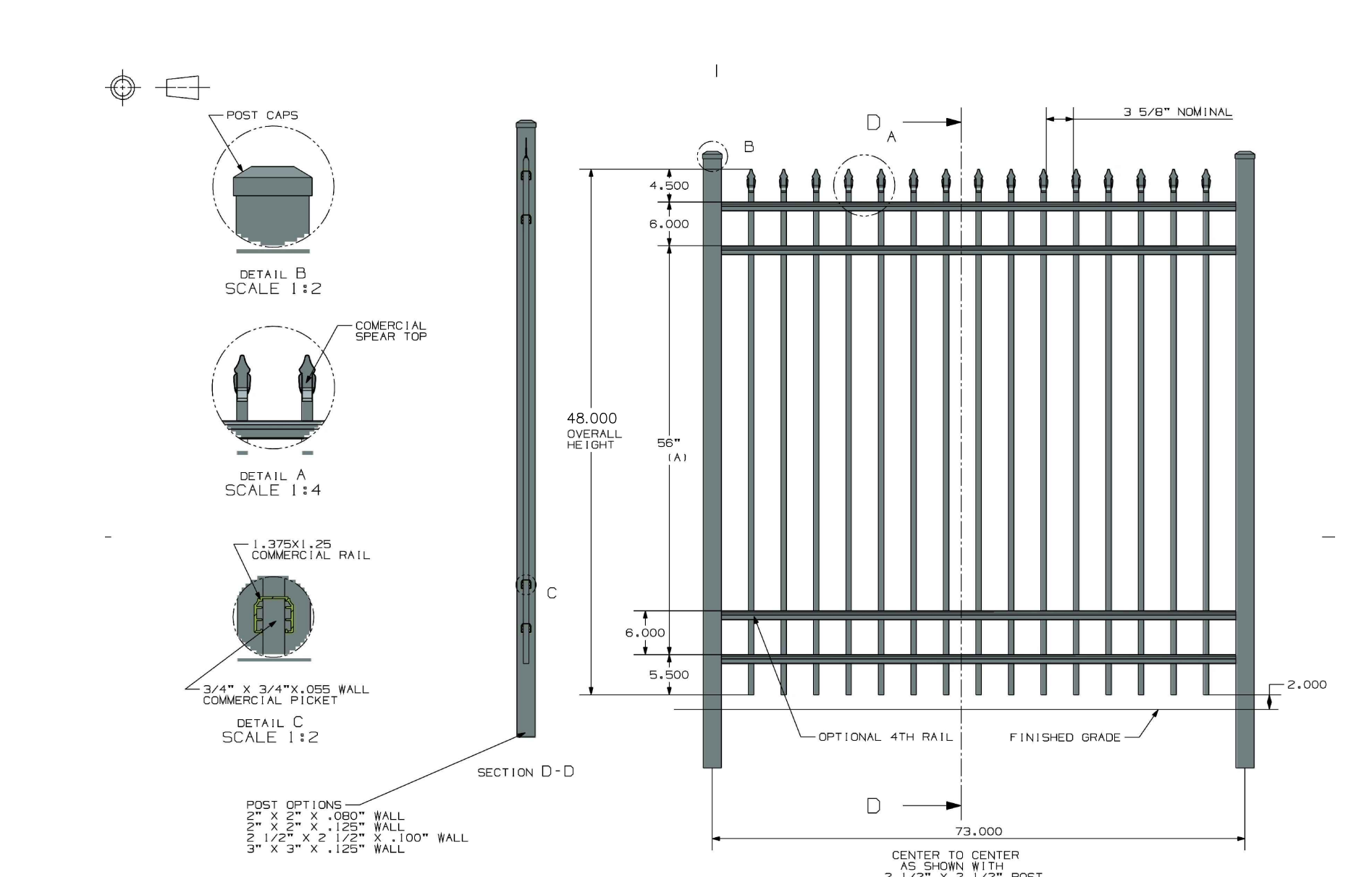
8 18' ht. Ornamental Garden Fence
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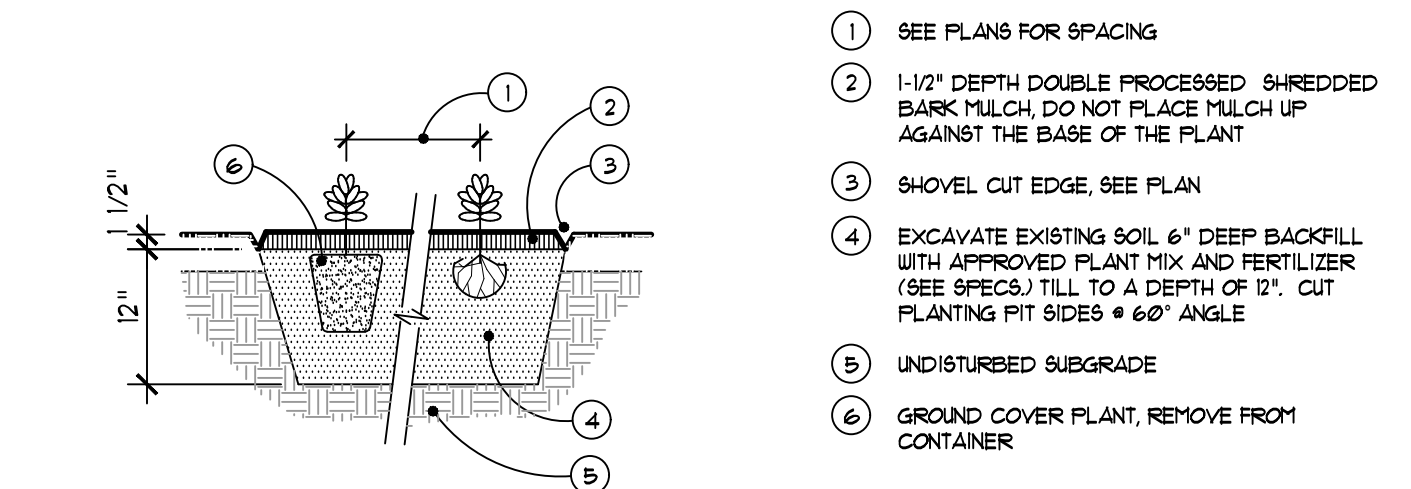
7 6'-0" ht. Ornamental Fence with 1.5" Picket Spacing Detail
 NOT TO SCALE



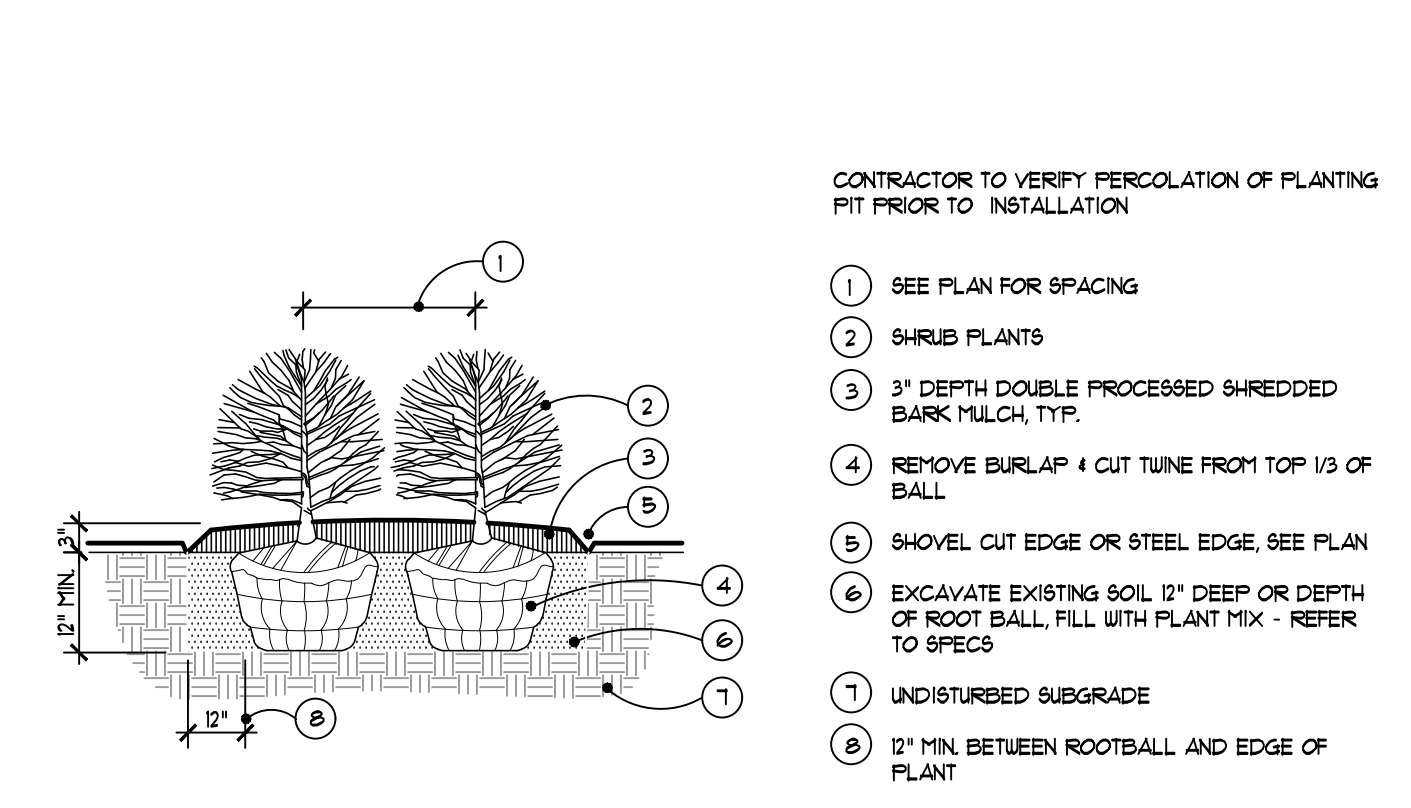
6 6'-0" ht. Ornamental Fence Detail
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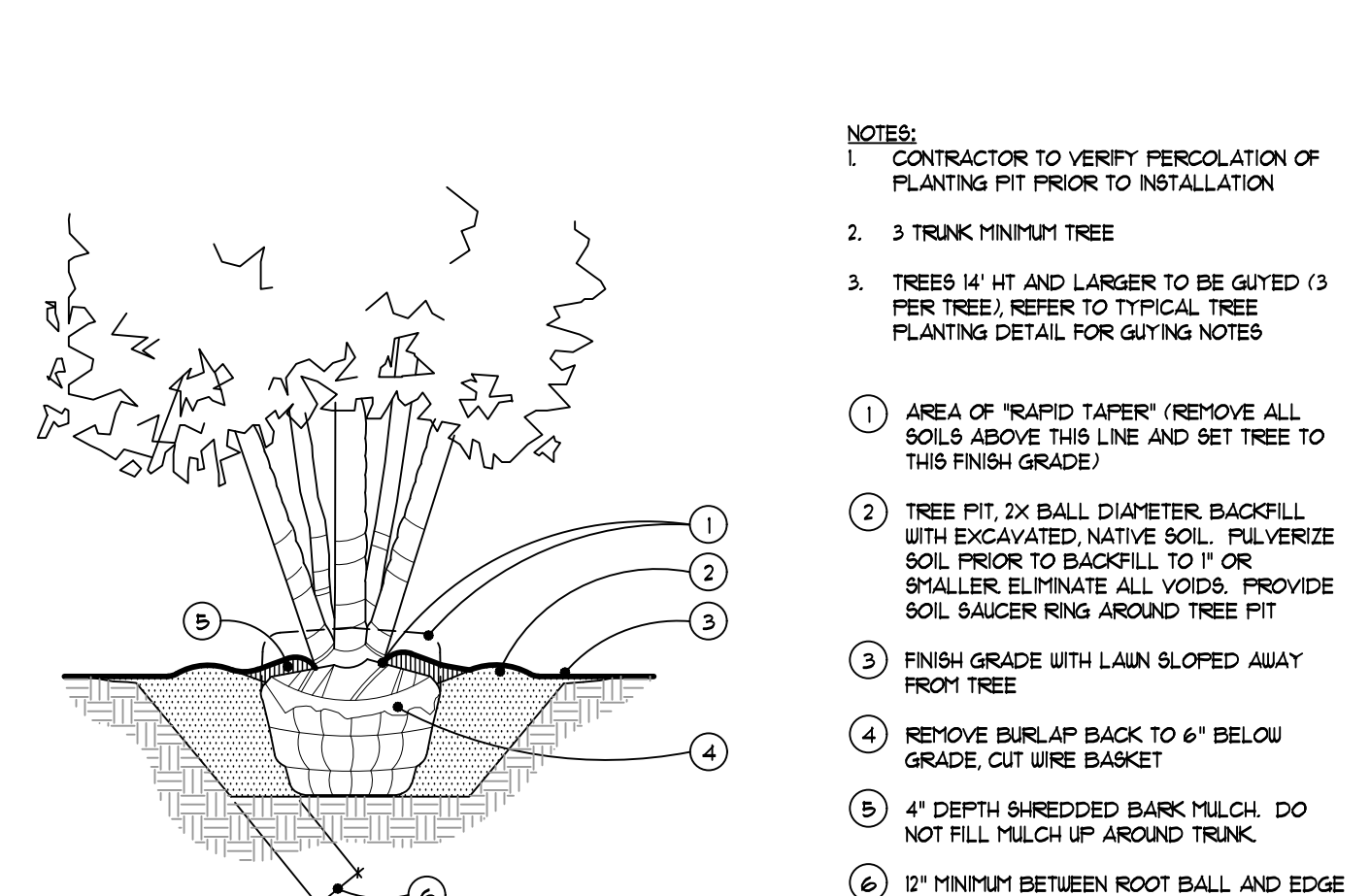
5 4'-0" ht. Ornamental Fence Detail
 NOT TO SCALE



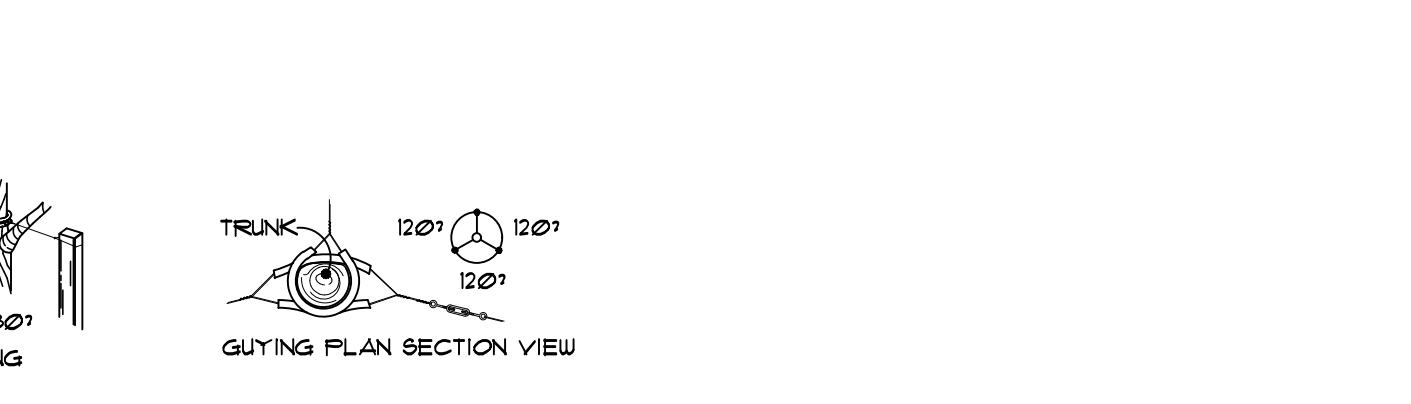
4 Typical Perennial / Groundcover Planting Detail
 NOT TO SCALE



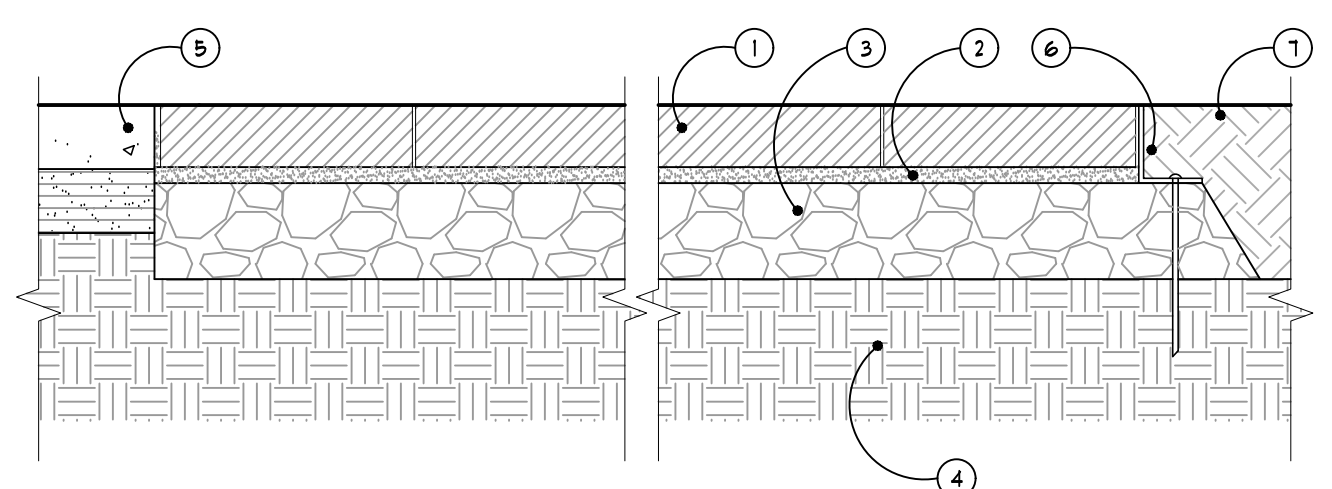
3 Typical Shrub Planting Detail
 NOT TO SCALE



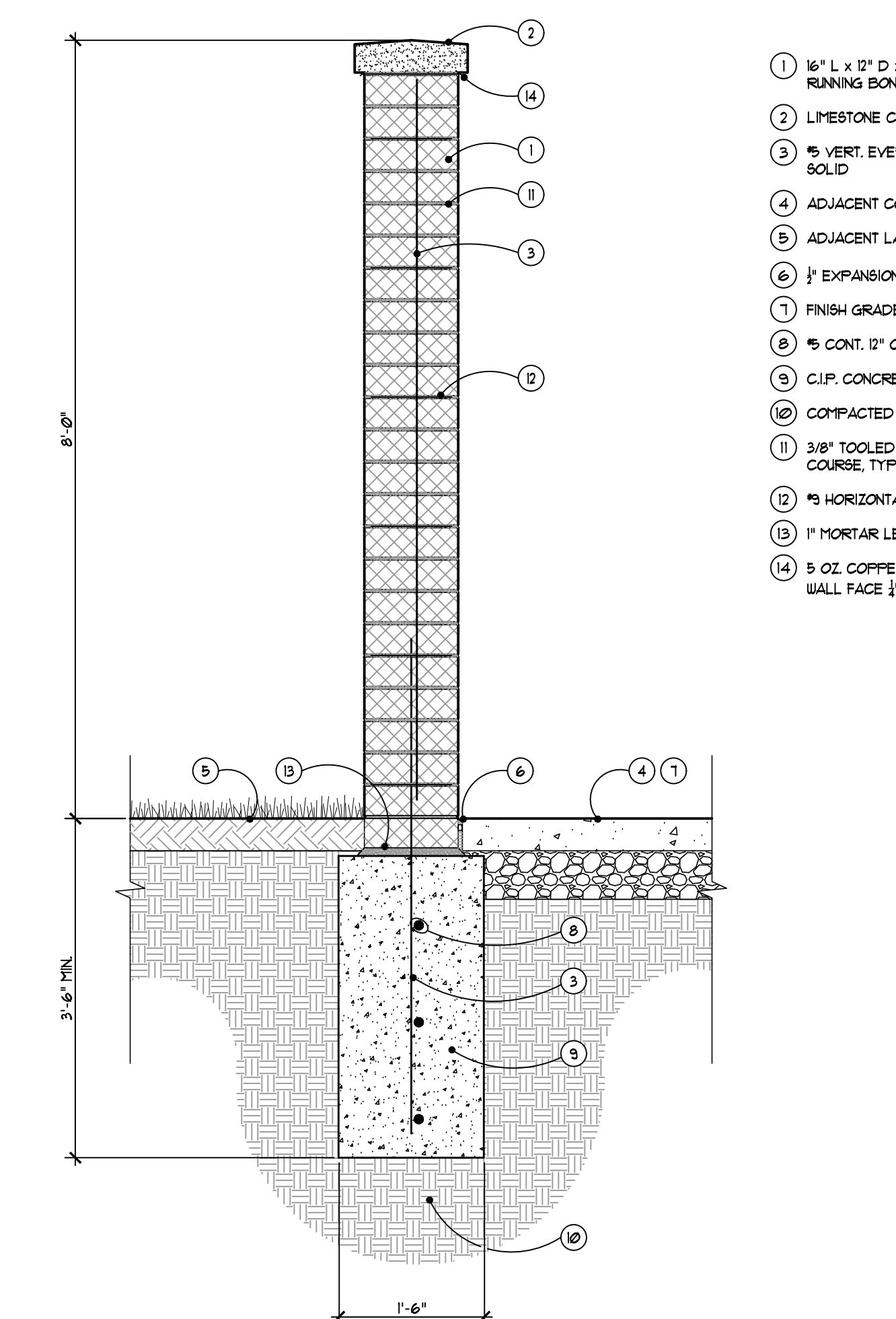
2 Typical Multi-Stem Tree Planting Detail
 NOT TO SCALE



1 Typical Deciduous Tree Planting Detail
 NOT TO SCALE



10 Typical Pedestrian Paver Detail
 NOT TO SCALE



9 Masonry Screen Wall Detail
 NOT TO SCALE

- 1 PAVERS WITH TYPICAL SAND JOINTS
- 2 1" SAND LEVELING BED, SCREENED LEVEL, TYP.
- 3 6" DEPTH 21A AGGREGATE BASE COMPACTED TO 98% MODIFIED PROCTOR
- 4 EXISTING SUBGRADE, COMPACT TOP 1" (MIN) TO 98% MODIFIED PROCTOR, TYP. OR ENGINEERED FILL COMPACTED AND INSTALLED PER GEOTECH DOCUMENTS
- 5 ADJACENT PAVEMENT
- 6 PAVEMENT RESTRAINT
- 7 ADJACENT LANDSCAPE BED



Masonry Block Precedent Images

GENERAL NOTES:
 STAKE TREES 4" CALIBER AND UNDER 2 PER TREE.
 GUY TREES OVER 4" CALIBER, 3 PER TREE.
 CONTRACTOR TO VERIFY PERCOLATION AND CONTRACTION OF PLANTING PIT PRIOR TO INSTALLATION.
 SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING PLANTING STANDARDS AND PROCEDURES.

- 1 POLYPROPYLENE GUYING FABRIC, LOCATE ABOVE FIRST BRANCH, TYP. - REFER TO SPECS
- 2 2" x 2" x 12' LONG UNTREATED HARDWOOD STAKES, STAKES TO EXTEND 18" BELOW TREE PIT IN UNDISTURBED SOIL, SET VERTICALLY FLUSH AND EVENLY SPACED, TYP.
- 3 INSTALL TREE WRAP FOR THIN SKINNED TREES, REMOVE AFTER FIRST YEAR, TYP. - REFER TO SPECS
- 4 ROOT FLARE - (AREA OF RAPID TAPER) REMOVE ALL SOILS ABOVE THIS LINE AND SET BOTTOM OF ROOT FLARE FLUSH TO ADJACENT FINISH GRADE - ROOT FLARE SHOULD NOT HAVE MULCH OVER TOP OF IT AND SHOULD REMAIN VISIBLE AT THE COMPLETION OF PLANTING, TYP.
- 5 BACKFILL WITH PULVERIZED EXCAVATED NATIVE SOIL UNTIL 1/3 OF THE TREE PIT IS FILLED HAND COMPACT BY FOOT OR TAMPER TO STABILIZE AND FLUSH TREE - REFER TO SPECS
- 6 2" MINIMUM BETWEEN ROOT BALL AND EDGE OF PLANT PIT, CUT PIT SIDES @ 60° ANGLE, TYP.
- 7 ADJACENT FINISH GRADE - ENSURE BOTTOM OF ROOT FLARE IS SET FLUSH TO THIS ELEVATION, TYP.
- 8 CUT AND REMOVE BURLAP TO 6" BELOW GRADE OR 1/3 OF THE ROOT BALL WHICHEVER IS GREATER AND REMOVE TUNE FROM ROOT FLARE IF PRESENT CUT WIRE BASKET AND REMOVE 6"-8" BELOW GRADE, DISPOSE OF LEGALLY NOT IN PIT, TYP.
- 9 PROVIDE 3"-4" HIGH SOIL SAUCER RING AROUND TREE PIT IF NO IRRIGATION IS PRESENT, HAND WATER TO PREVENT DROUGHT, TYP.
- 10 COMPACT BOTTOM OF PLANTING PIT TO PREVENT SETTLING, TYP.
- 11 DIG TREE PIT 2X BALL DIA. MIN. LIGHTLY SCARRIFY THE SIDES OF THE TREE PIT TO ALLOW FOR ROOT GROWTH INTO ADJACENT SOILS, TYP.
- 12 SHOVEL CUT EDGE OR EDGING AROUND TREE, TYP. - REFER TO PLANS
- 13 BACKFILL TOP 2/3 OF TREE PIT WITH APPROVED TOPSOIL - WATER IN AND REMOVE AIR POCKETS, CONTINUE TO FILL WITH TOPSOIL IF SETTLEMENT HAS OCCURRED UNTIL CORRECT ELEVATIONS ARE ACHIEVED, DO NOT FILL ON ROOT FLARE - REFER TO SPEC.

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

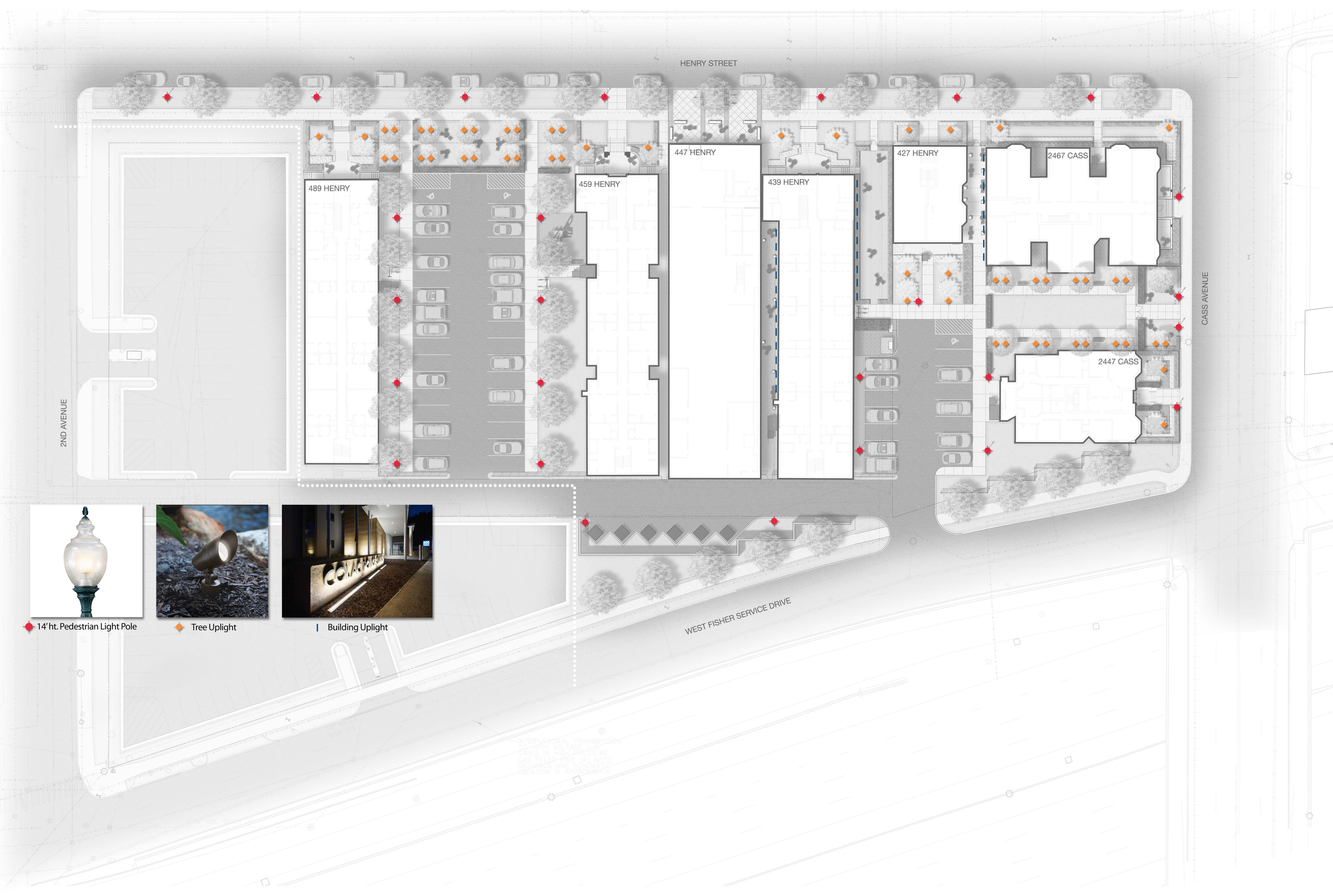


Issued for
 Alexander Hanson

11.20.2020 HISTORIC DISTRICT COMMISSION

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AEP	<input type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
RKM	<input type="checkbox"/> Approved
RKM	<input type="checkbox"/> Do not scale
Bidpak Number	<input type="checkbox"/> Use figured dimensions only

Job Number
2020078
 Title
Landscape Details



◆ 14'ht. Pedestrian Light Pole



◆ Tree Uplight



| Building Uplight

INTERNATIONAL TRANSMISSION
 COMPANY (ITC) TAPS
 CABLE IN WEST APPROXIMATE
 GAS FILLED PIPE (G) NOTE:
 DRAWINGS ARE NOT TO SCALE
 LOCATION IS APPROXIMATE

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION



Alexander Pearson

Issued for

11.20.2020 HISTORIC DISTRICT COMMISSION

Drawn	■ Preliminary
AEP	□ Construction
Checked	□ Record
RKM	
Approved	Do not scale
RKM	Use figured dimensions only
Bitpak Number	

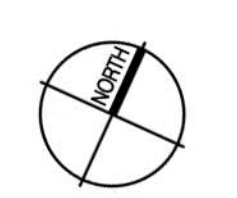
Job Number
2020078

Title
Site Lighting Design Intent

Sheet
L301



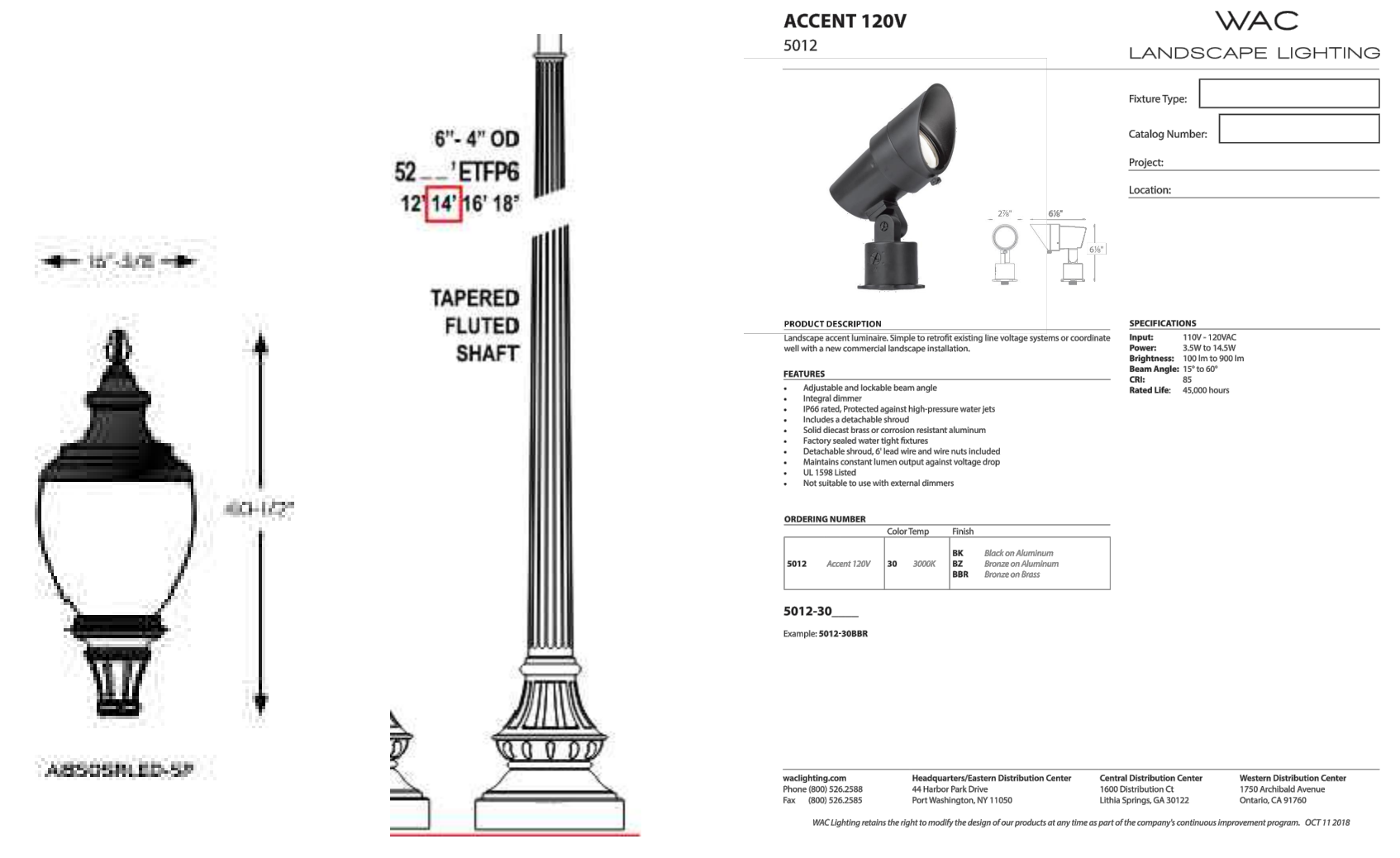
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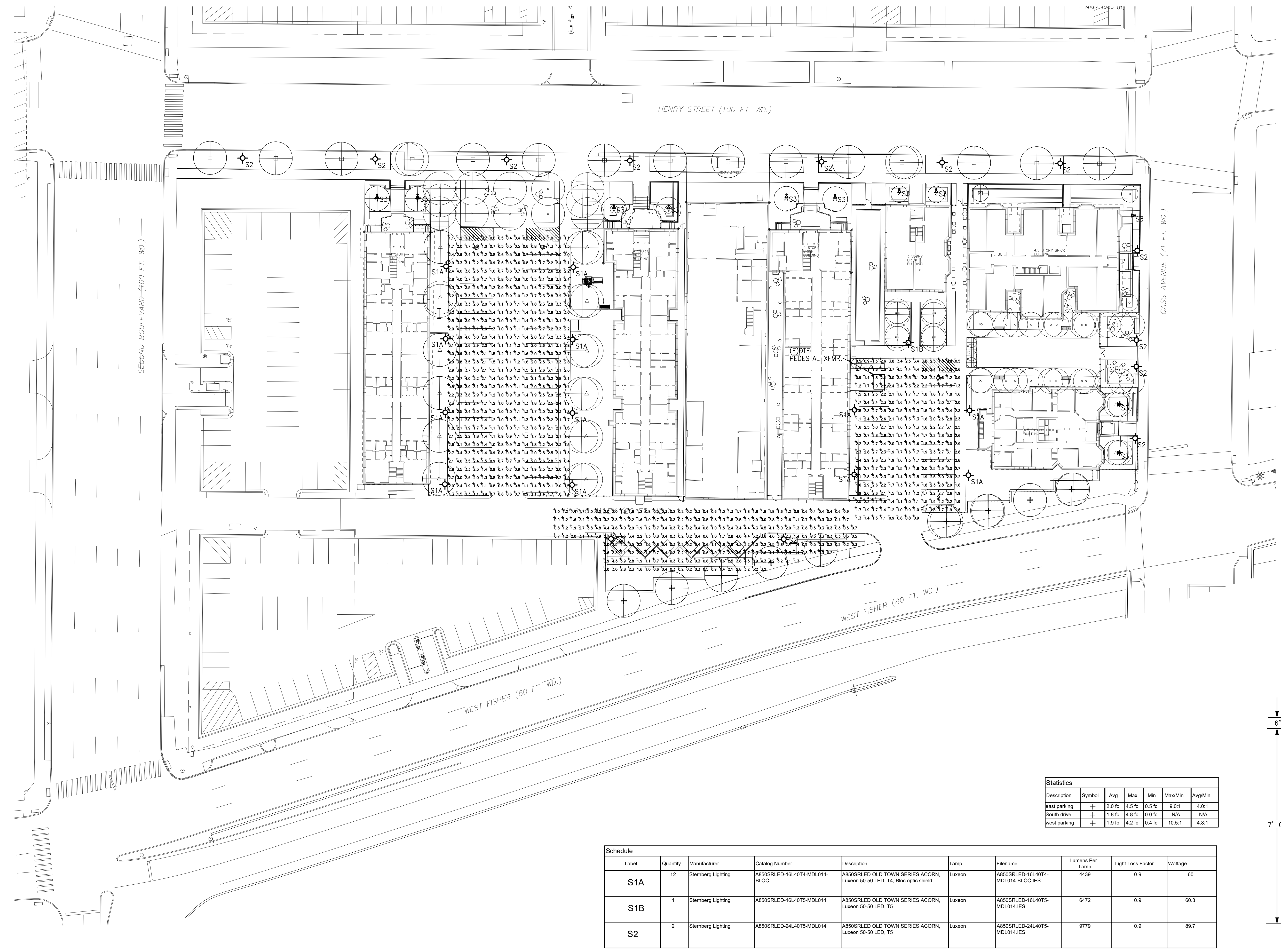


ELECTRICAL GENERAL NOTES

- REFER TO LANDSCAPE ARCHITECT PLANS AND ELEVATIONS TO VERIFY LOCATION OF DEVICES.
- FIELD VERIFY LOCATIONS OF EXISTING UNDERGROUND SERVICES TO COORDINATE ALL POLE BASE LOCATIONS AND UNDERGROUND SERVICES BEING INSTALLED UNDER THIS CONTRACT WITH CIVIL AND LANDSCAPE DRAWINGS PRIOR TO INSTALLATION OF POLES BASES AND CONDUIT.
- LIGHT FIXTURES ARE LOOPED TOGETHER TO INDICATE CONTROL ZONE GROUPS. CONNECTED FIXTURES ARE TO BE CONTROLLED TOGETHER. CIRCUITS MAY BE SHARED AMONG SEPARATE CONTROL ZONE GROUPS. MULTIPLE ZONES ZONES MAY BE COMBINED IN SOFTWARE TO FORM SCENES. SEE LIGHTING CONTROL MATRIX: SCENE SCHEDULE (IF PROVIDED), AND PANEL SCHEDULES FOR ADDITIONAL INFORMATION.

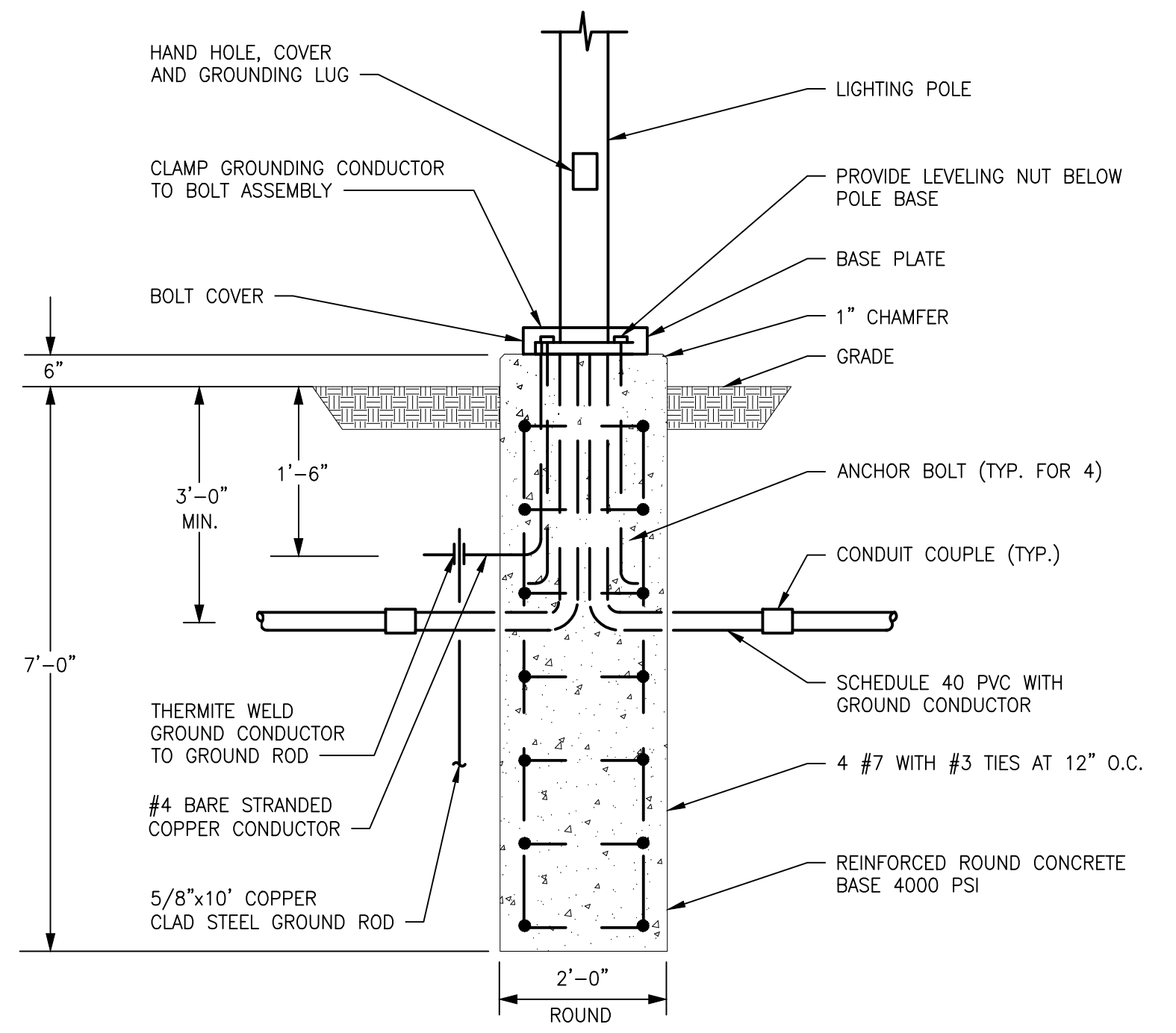


FIXTURE TYPE S1A/S1B/S2 FIXTURE TYPE 'S3'



Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	
West parking	+	2.0%	4.5%	0.5%	9.0%	4.0%	
South drive	+	1.8%	4.8%	0.0%	N/A	N/A	
West parking	+	1.9%	4.2%	0.4%	10.5%	4.8%	

Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
S1A	12	Sternberg Lighting	ABS05RLED-16.40T4-MDL014-BLOC	ABS05RLED OLD TOWN SERIES ACCORN, Luxecon 50-60 LED, T4, 180c optic offset	Luxecon	ABS05RLED-16.40T4-MDL014-BLOC-IES	4439	0.9	60
S1B	1	Sternberg Lighting	ABS05RLED-16.40T5-MDL014	ABS05RLED OLD TOWN SERIES ACCORN, Luxecon 50-60 LED, T5	Luxecon	ABS05RLED-16.40T5-MDL014-IES	6472	0.9	60.3
S2	2	Sternberg Lighting	ABS05RLED-24.40T5-MDL014	ABS05RLED OLD TOWN SERIES ACCORN, Luxecon 50-60 LED, T5	Luxecon	ABS05RLED-24.40T5-MDL014-IES	9779	0.9	89.7



LIGHTING POLE BASE DETAIL (6" BASE)
NO SCALE

PRELIMINARY DOCUMENT - NOT FOR CONSTRUCTION

Issued for

11.20.2020 HISTORIC DISTRICT COMMISSION

Drawn: Preliminary
DAD Construction
Checked: Construction
SET Record
Approved: Construction
SES Record
Bidpak Number: _____

Job Number: **2020078**
Title: **ELECTRICAL SITE PLAN**