

10/20/2020

CERTIFICATE OF APPROPRIATENESS

Greg Tittle
Tittle Brothers Construction
15720 Fort Street
Southgate, MI 48195

RE: Application Number 20-6886; 515 Parkview Drive, Berry Subdivision Historic District

Dear Mr. Tittle,

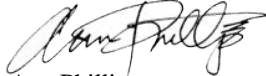
At the regularly scheduled meeting held virtually on October 14, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of October 20, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

- **Replace existing 8’W x 3’D front porch with a new 9’-6”W x 5’-0”D front porch:**
 - New porch base is to be constructed of brick to match existing brick size of the house with 4” concrete slab deck.
 - (3) new steps to have brick raisers with limestone treads

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant’s responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips
Staff

Detroit Historic District Commission

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT
PLANNING & DEVELOPMENT DEPARTMENT
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: _____

PROPERTY INFORMATION

ADDRESS: 515 Parkview AKA: _____

HISTORIC DISTRICT: _____

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input checked="" type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other: _____	

APPLICANT IDENTIFICATION

Property Owner/ Homeowner Contractor Tenant or Business Occupant Architect/Engineer/ Consultant

NAME: Greg Tittle COMPANY NAME: Tittle Brothers Construction

ADDRESS: 15720 Fort St CITY: Southgate STATE: Mi ZIP: 48195

PHONE: 734-225-2525 MOBILE: _____ EMAIL: wradke@tittlebrothers.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application (highlighted portions only)
- ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- Photographs of ALL sides of existing building or site
- Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions (including materials and design)
- Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work (formatted as bulleted list)
- Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO **HDC@DETROITMI.GOV**



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Southeast Michigan

Office 866-ROO-F112

Office (734) 225-2525

www.tittlebrothers.com

15720 Fort Street
Southgate, MI 48195

Phone: (734) 225-2525

Fax: (313) 382-3458

ROOFING • SIDING • WINDOWS • CHIMNEYS • MASONRY • PORCHES • GUTTERS • ADDITIONS

TO Cynthia Bradford	REFERRED BY Pc	CELL PHONE 313-204-8368	DATE & TIME 5-1-20
515 Parkview Dr		JOB NAME / LOCATION Front porch concrete wood repairs	
Detroit Michigan		EMAIL ADDRESS cynlynbrad@yahoo.com	

We hereby submit specifications and estimates for:

Demo existing porch and old concrete in front of porch and railings
 Install new footings to prep for new porch size 10x5 and new step footings to prep 5" steps to code
 Build new porch base with bricks to match size on home as close as possible. Color tbd
 Steps: Brick Steps 5' with limestone treads to code Orange wire cut
 21AA Base and Re-rod 12" on center
 4" cap cement
 New sidewalk from porch to new concrete
 All concrete broom Finish
 State and city code apply
 Clean up all work related debris and haul away
 Taxes, permits, inspections, and discounts included
 Payment Plan: 1/3 down ,1/3 when ready for inspection, 1/3 when completed

Install new r 1000 aluminum railings and down railings white
 Front right upper side of home old wood gutter remove and replace to match existing as close as possible. Seal complete area
 Remove and replace damage wood around upper right side of home left window and sill just below also remove and replace a few damaged pieces of wood siding cedar and on left bay.
 No paint included
 Old service replace broken window glass on left side of home
 Home is in a historical district

We Propose hereby to furnish material and labor – complete in accordance with the above specifications, for the sum of:

dollars (\$ 23000.00).

Payment to be made as follows:

Service financial loan number 2486358 \$10000.00
 9.9% annual rate \$150.67 per month
 Studz hardware

No warranty on concrete 5 year warranty porch base railings and carpenter work for wood gutter

GENERAL TERMS AND CONDITIONS

The above stated Customer ("Customer") agrees to the terms set forth above and to the Terms and Conditions set forth below and on the reverse side hereof as the agreement between Customer and Tittle Brothers Construction, L.L.C. ("Tittle Brothers") referred to as the "Agreement."

Payment: Customer shall pay the entire balance due and any other portion of the project that remains unpaid upon completion of the work described herein. Customer agrees that all materials, equipment or any other property for the project, wherever located, including, installed at the location directed by Customer, shall remain the sole and exclusive property of Tittle Brothers and title to such property shall only transfer upon full payment received by Tittle Brothers. In the event Customer fails to make full and timely payment, Tittle Brothers, in addition to all other remedies provided by law, shall have the right to file a lien against Customer's real property or the real property where such work on the project was performed, to the extent of all amounts owed under this Agreement. Tittle Brothers shall be entitled to reimbursement by Customer of reasonable costs and expenses incurred for enforcement of this Agreement, including, without limitation, reasonable attorney fees. All Deposits are non-refundable. No modification, changes, additions or alteration of this Agreement shall be deemed effective unless in writing signed by the Customer and Tittle Brothers.

Condition: This Agreement is expressly conditioned upon Customer's signature and acceptance by Tittle Brothers by written acknowledgment below.

Customer's Signature <i>Cynthia Lynette Bradford</i>	Date 5-1-20
---------------------------------------------------------	----------------

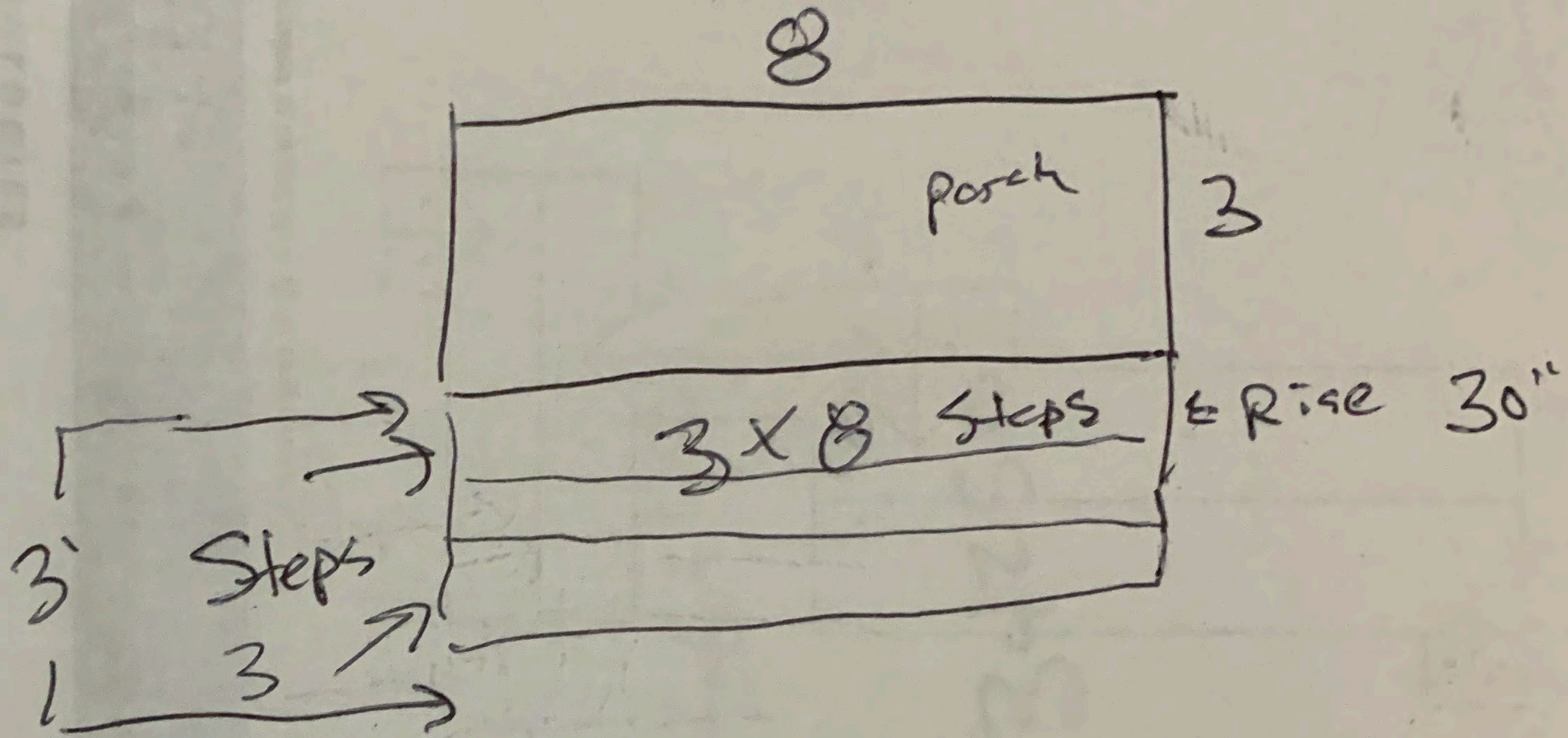
Tittle Brothers' Representative Signature <i>Pat Shepman</i>	Date 5-1-20
-----------------------------------------------------------------	----------------

You, the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction. See the attached notice of cancellation form for an explanation of this right. Additionally, the seller is prohibited from having an independent courier service or other third party pick up your payment at your residence before the end of the 3-business-day period in which you can cancel the transaction.

ADDITIONAL GENERAL TERMS AND CONDITIONS CONTINUED ON BACK

Cynthia Bradford.

515 Parkview Dr
Detroit, MI Existing Porch



17	Cynthia Bradford	5/1/2020 5:47
16	Peter Theofanopoulos	5/12/2020 9:33

Cynthia Bradford
 515 Parkview Dr
 Detroit, MI

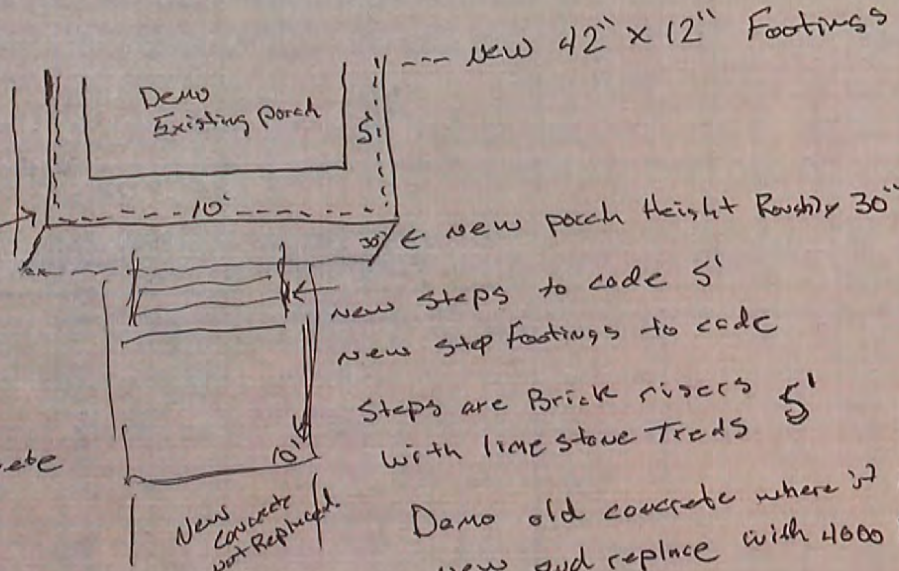
NEW Porch 10x5

Outside porch Base
 Build a new porch base
 with Bricks to match
 as close as possible
 Orange wire cut

Inside porch Base
 1/2 Block

Install new porch
 cap 4000 psi concrete
 4" Thick

Install new Aluminum Railing and
 Down rails for complete porch R-1000
 white.



new 42" x 12" Footings
 new porch Height Roughly 30"
 new steps to code 5'
 new step footings to code
 Steps are Brick risers 5'
 with limestone Treads

Demo old concrete where it meets
 new and replace with 4000 psi
 4" Thick.

Broom Finish all concrete.

1	July-29-2020-17:24:44-EDT-0400.jpg	Peter Theofanopoulos	7/29/2020 5:47
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17 Items - Sorted by Last Modified - Updated a minute ago

Files

Opportunities > Cynthia Bradford - Detroit Porch

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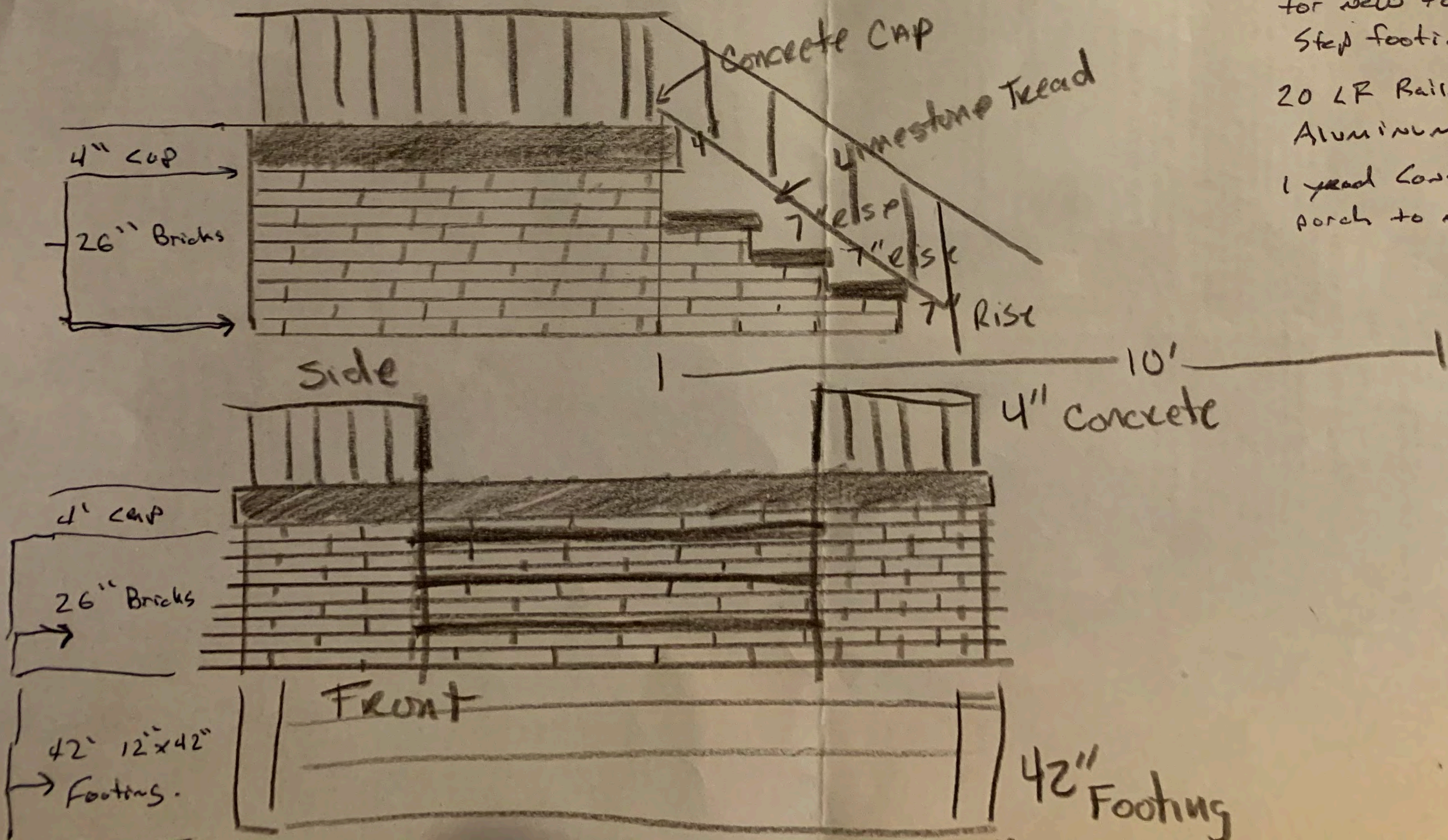
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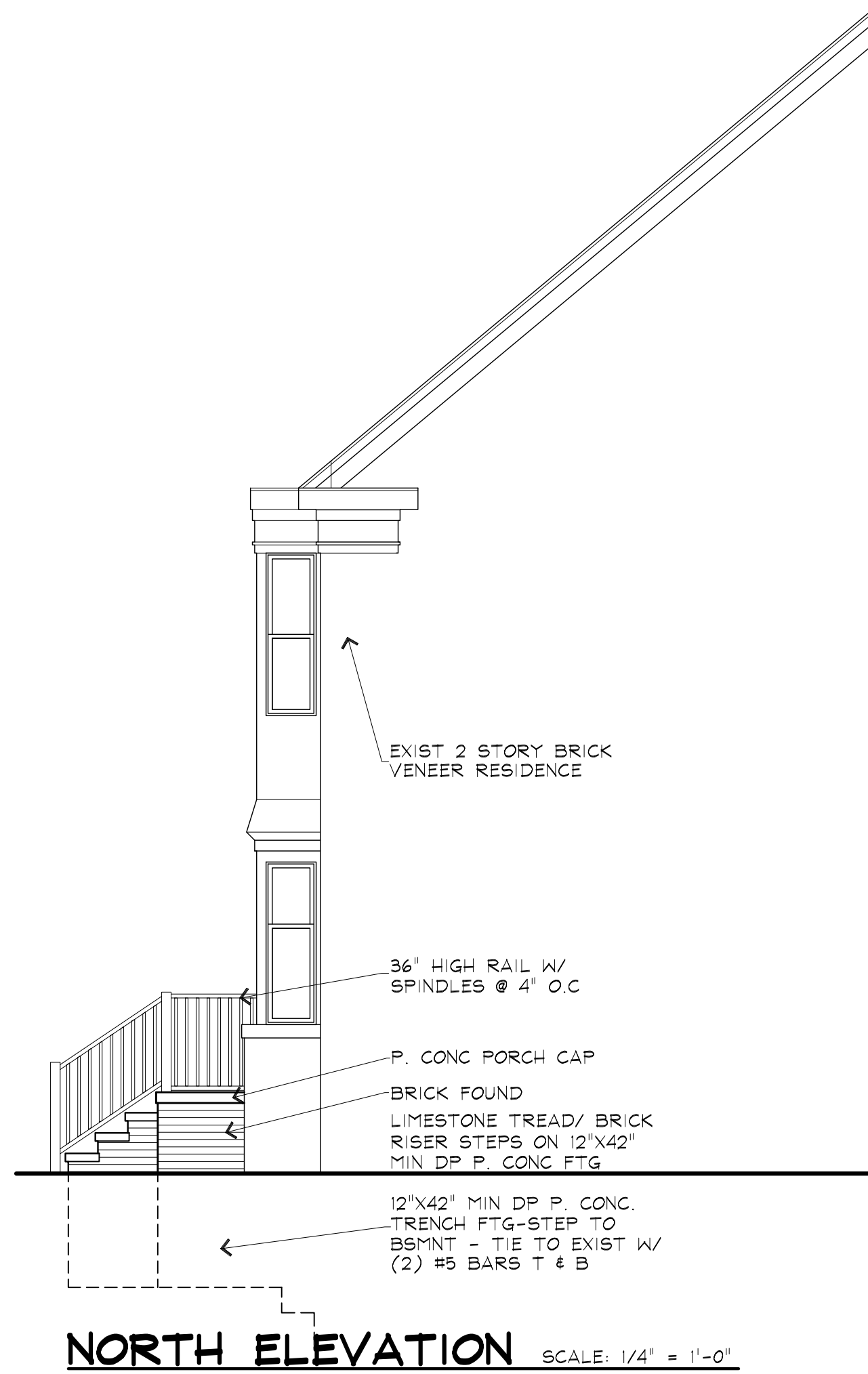
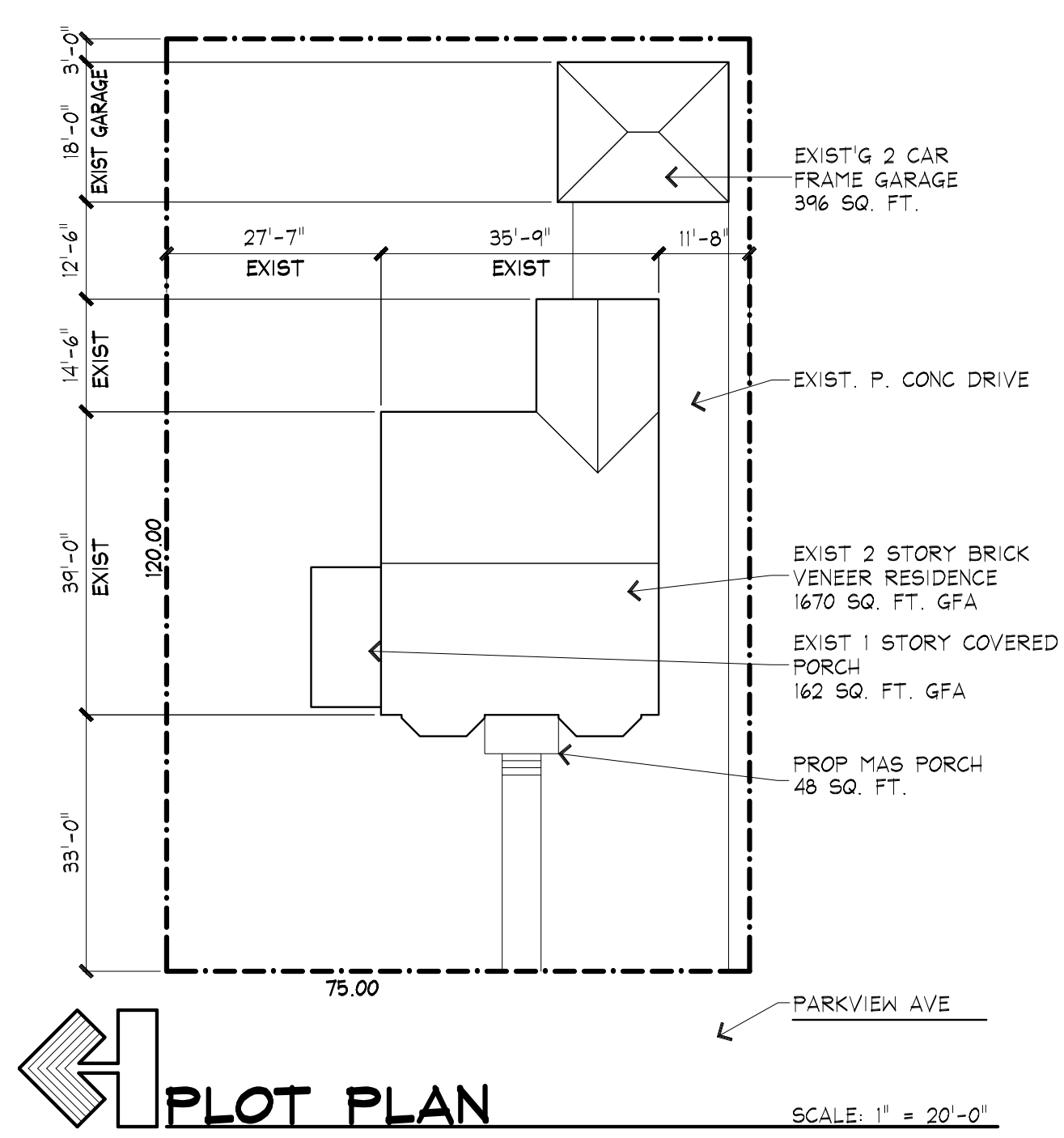
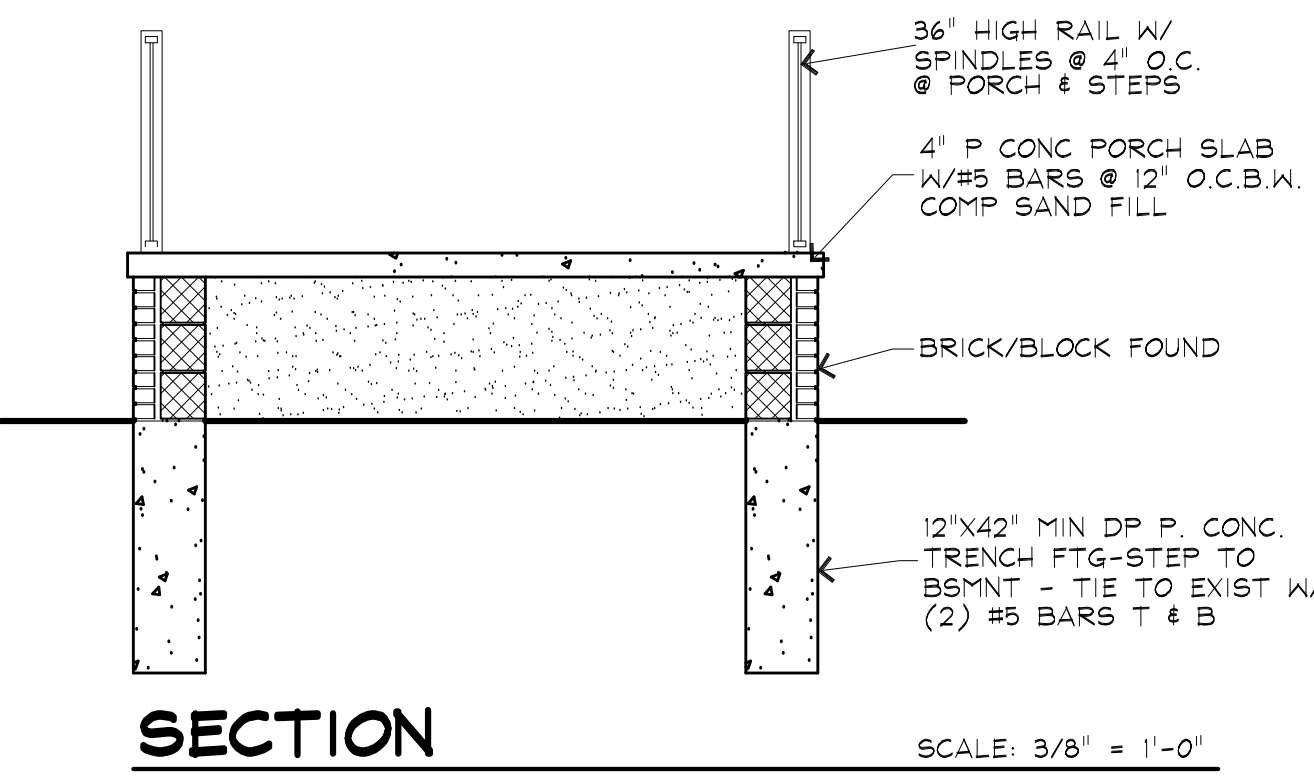
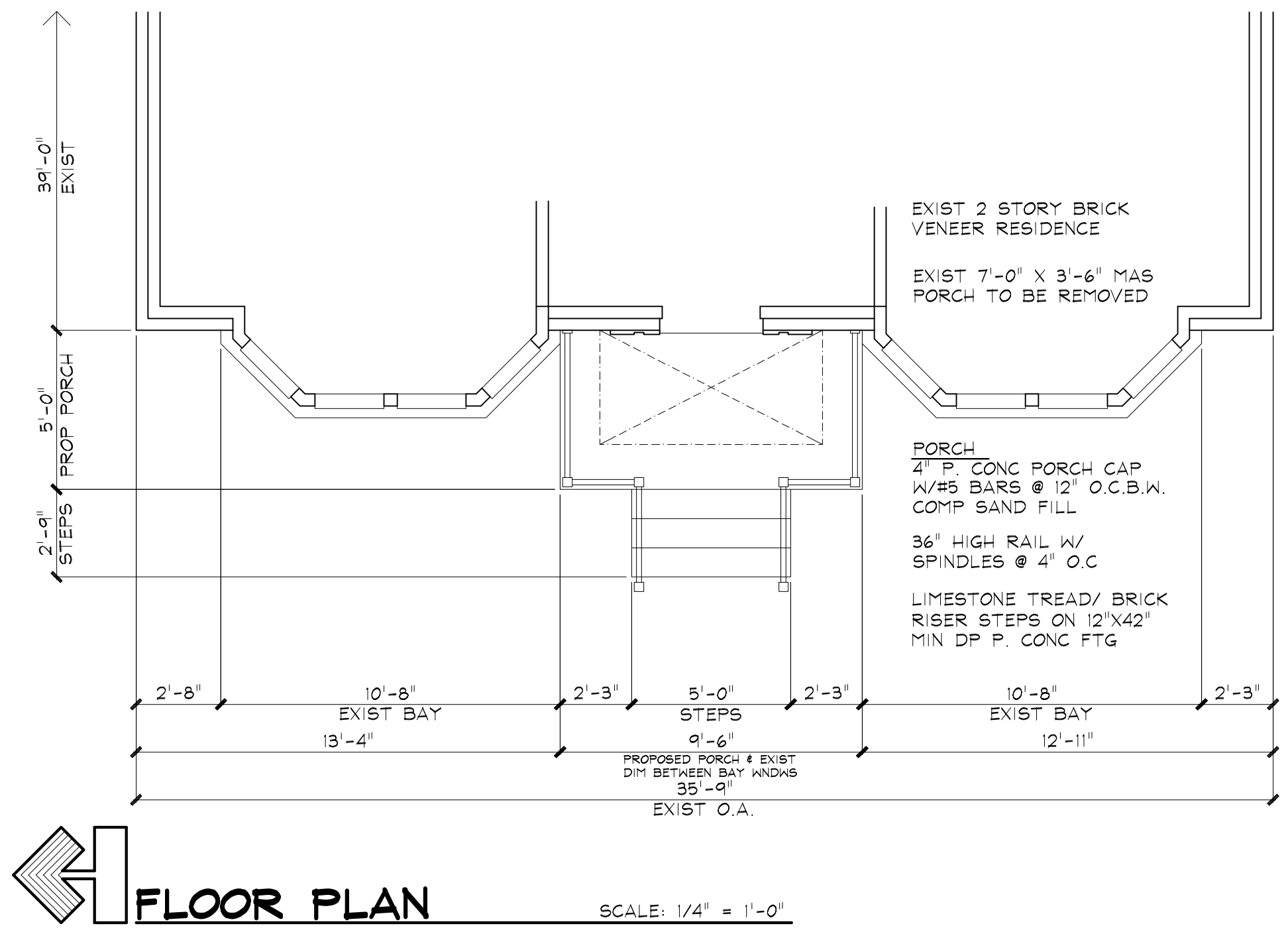
Last Modified

Cynthia Bradford
 515 Parkview Dr
 Detroit MI
 313-204-8366

Material List

- 450 Bricks.
- 3 Bags of Mortar
- 60 4x16 Block
- 15' Limestone for step treads
- 1/2 yard Crushed Rock 21AA
- 70 LF 3/8" Re Rod
- 50 SF concrete porch cap
- 3.5 yards of concrete for new footings and step footings
- 20 LF Railings + Downrails Aluminum white.
- 1 yard concrete from new porch to new concrete.





GENERAL NOTES

ALL IMPROVEMENTS PER CITY CODE

ASSUMED SOIL BEARING CAPACITY IS 2500 PSF. THE TYPE OF SOIL SUPPORTING FOUNDATIONS SHALL BE IN ACCORDANCE WITH TABLE R404.1.1 (1) (2) (3) (4) AS APPLICABLE FOR CONCRETE & MASONRY FOUNDATIONS

MINIMUM COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 3000 PSI AT 28 DAYS. PROVIDE CONCRETE COMPRESSIVE STRENGTH & AIR ENTRAINING FOR VARIOUS LOCATIONS & WEATHERING POTENTIAL AS PER TABLE 402.2

CONCRETE WORK & SPECIFICATIONS SHALL CONFORM TO THE LATEST SPECIFICATIONS OF C.R.S.I. & A.S.I.

ALL REINFORCING BARS, DOVELS, & TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60

ALL STEEL TO CONFORM TO THE LATEST A.S.T.M. SERIAL DESIGNATION A36 & TO A.I.S.C. SUPPLEMENTARY PROVISIONS GOVERNING THE USE OF A36 STEEL

MASONRY BLOCK SHALL BE OF TYPE N1 - MORTAR SHALL BE OF TYPE S

PROVIDE A MINIMUM OF (2) COURSES OF SOLID MASONRY AT ALL BEARING CONDITIONS. PROVIDE SOLID MASONRY OR GROUT FILLED UNITS AT ALL BELOW GRADE CONDITIONS

STEEL LINTELS SUPPORTING BRICK OR STONE VENEER OVER DOOR & WINDOW OPENINGS SHALL COMPLY WITH TABLE 703.7.3

ALL FRAMING LUMBER TO BE #1 F1R #2 OR BETTER

PROVIDE DOUBLE JOISTS ON BOTH SIDES OF LADDERS BELOW ALL BEARING WALLS

PROVIDE (2)X(2) WITH 1/2" PLYWOOD BETWEEN OVER ALL OPENINGS, U.N.O.

INSTALL DRAFTSTOPPING & FIREBLOCKING IN COMPLIANCE WITH SECTIONS R502.12 & R602.B

HOLES OR NOTCHES BORED OR CUT IN TO FRAMING MEMBERS SHALL BE IN COMPLIANCE WITH SECTIONS R502.B, R602.2, & R802.7

LAMINATED VENEER BEAMS (LVL) SHALL HAVE A MINIMUM F_b OF 2600 PSI

PROVIDE A MINIMUM OF (4) 2X4 BELOW ALL LVL & GIRDER TRUSS ENDS, UNLESS OTHERWISE SPECIFIED BY ENGINEERED TRUSS MANUFACTURER SPECIFICATIONS

ROOF ASSEMBLIES WHICH ARE SUBJECT TO WIND UPLIFT PRESSURES OF 20 PSF OR GREATER SHALL HAVE ROOF RAFTERS OF TRUSSES ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF PRODUCING THE RESISTANCE REQUIRED IN TABLE 802.11. PROVIDE MECHANICAL FASTENERS FROM ROOF TRUSSES TO SUPPORTING WALLS IN COMPLIANCE WITH SECTION R802.10.5

TRUSS MANUFACTURER TO PROVIDE ADDITIONAL STRUCTURAL DATA AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE TRUSS LAYOUT, INCLUDING ANY ADDITIONAL LVL SIZES & LOCATIONS NECESSARY TO CARRY ROOF & FLOOR LOADS

FLOOR TRUSSES TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION, INCLUDING ANY ADDITIONAL BLOCKING, BRIDGING OR RIM JOISTS

FLASHING SHALL BE INSTALLED AT THE BOTTOM & SIDES OF ALL WINDOWS NOT CONSIDERED SELF FLASHING, & AT THE TOP OF ALL EXTERIOR DOORS

CONTRACTOR TO PROVIDE FOR DEMATERING FORMING, & SHORING AS NECESSARY, & LOCATE SLEEVES, OPENINGS, & EMBEDDED ITEMS REQUIRED BY OTHER TRADES PRIOR TO POURING CONCRETE

ALL MATERIALS, SUPPLIES, & EQUIPMENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS & CODE

PROVIDE TEMPORARY BRACING & SHORING AS REQUIRED TO INSURE THE STABILITY OF THE NEW STRUCTURE UNTIL THE PERMANENT FRAMING IS IN PLACE

NOTES:
 CONSULT THE CITY OF DETROIT FOR ALL CITY AND STATE REQUIREMENTS AND REGULATIONS

ISSUED
 9-25-20

CONSTRUCTION

DRAWN
 R.O.

CHECKED
 R.O.

TITLE
 FLOOR PLAN
 FOUNDATION
 ELEVATIONS
 SECTION

PROJECT
 PROPOSED MASONRY PORCH
 EXISTING RESIDENCE
 1670 SQ. FT. GFA
 DETROIT, MICHIGAN

JOB NO.
 20082

SHEET NO.
A-1
 OF 1

Material List

450 Bricks.

3 Bags of Mortar

60 4x16 Block

15' Limestone for step treads

1/2 yard Crushed Rock 21 A A

70 LF 3/8" Re Rod

50 SF concrete porch cap

3.5 yards of concrete
for new footings and
step footings

20 LF Railings + Downrails

Aluminum white.

1 yard concrete from new
porch to new concrete.

P

stone Tread

sk









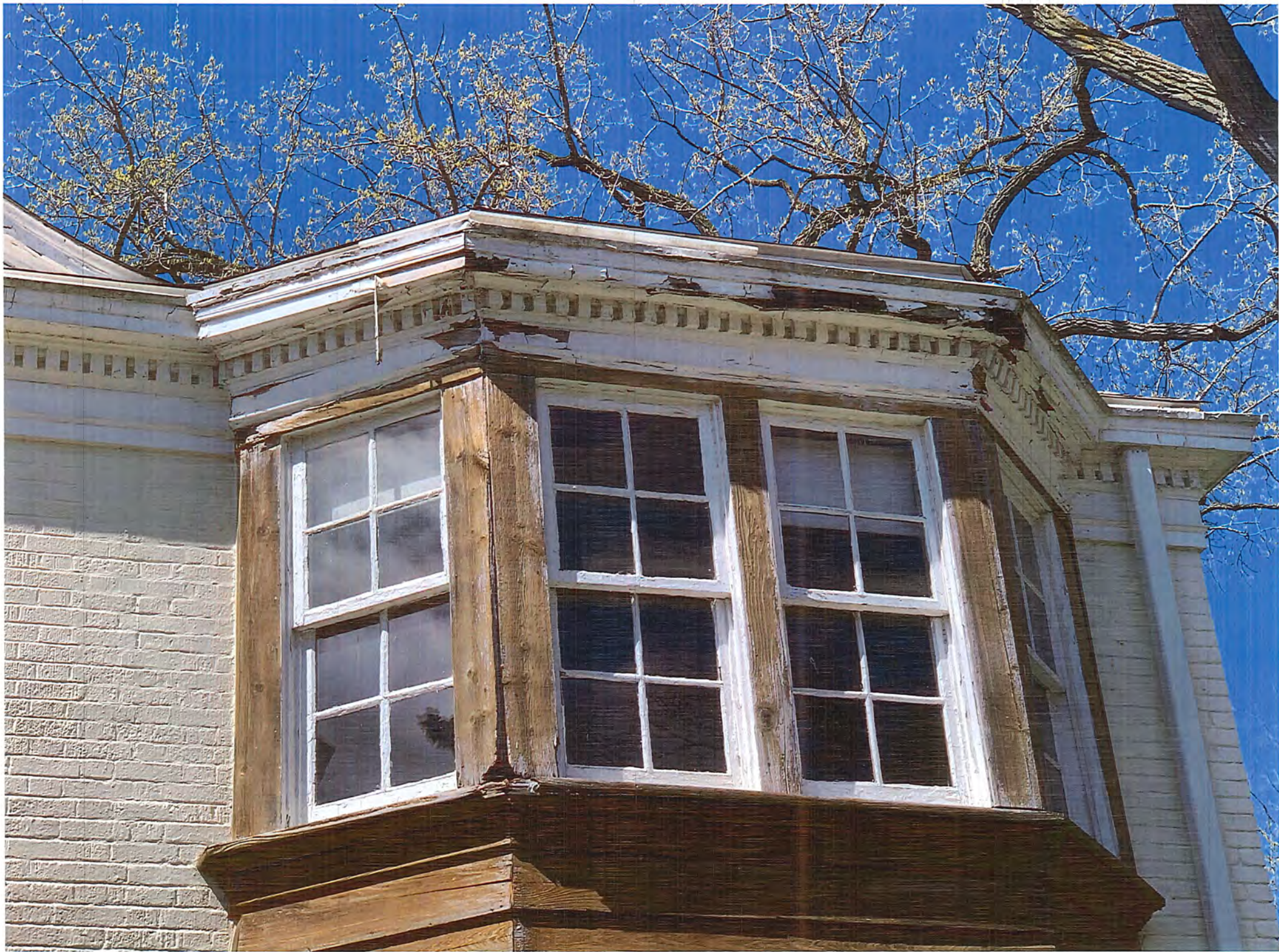


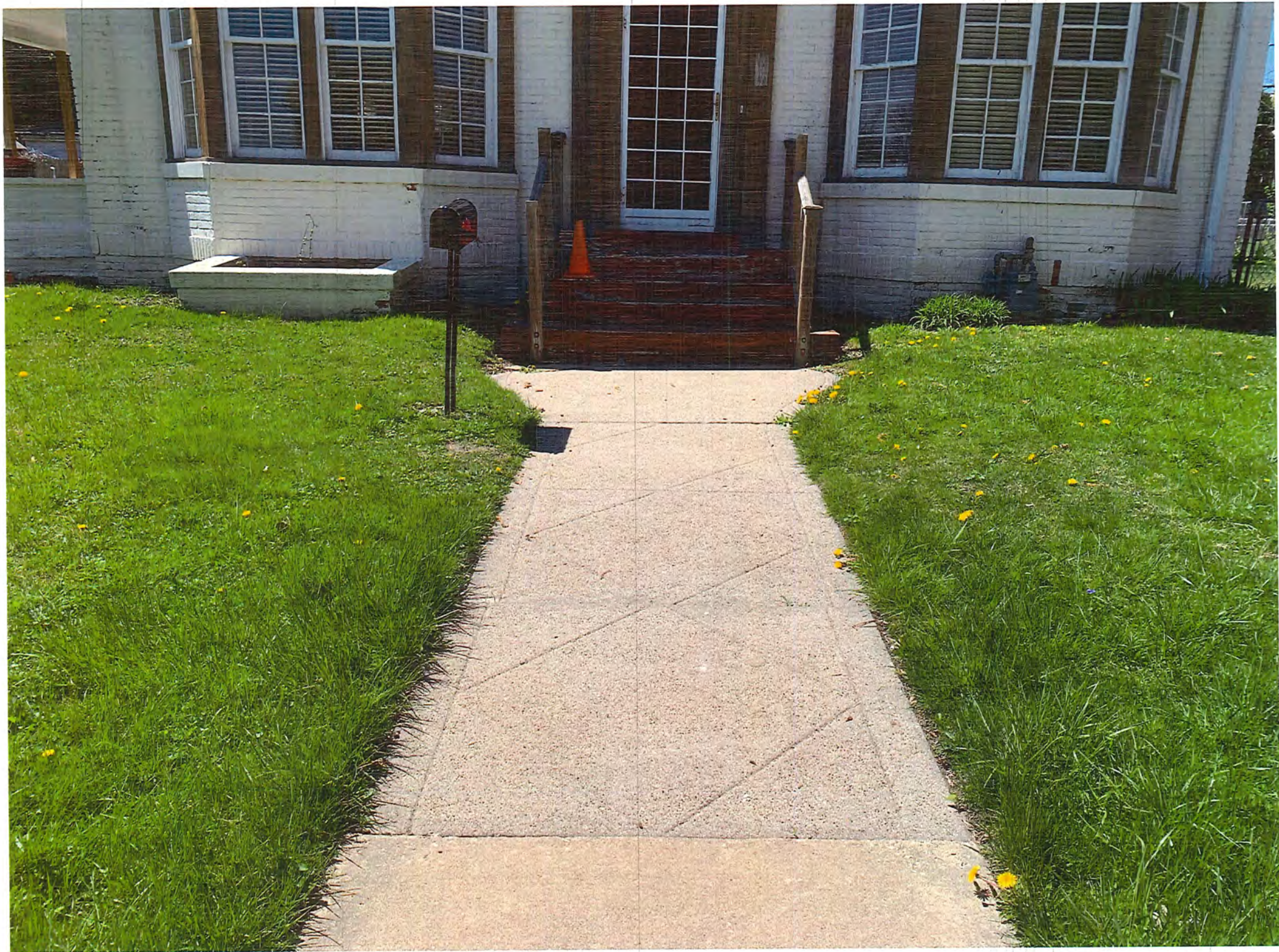












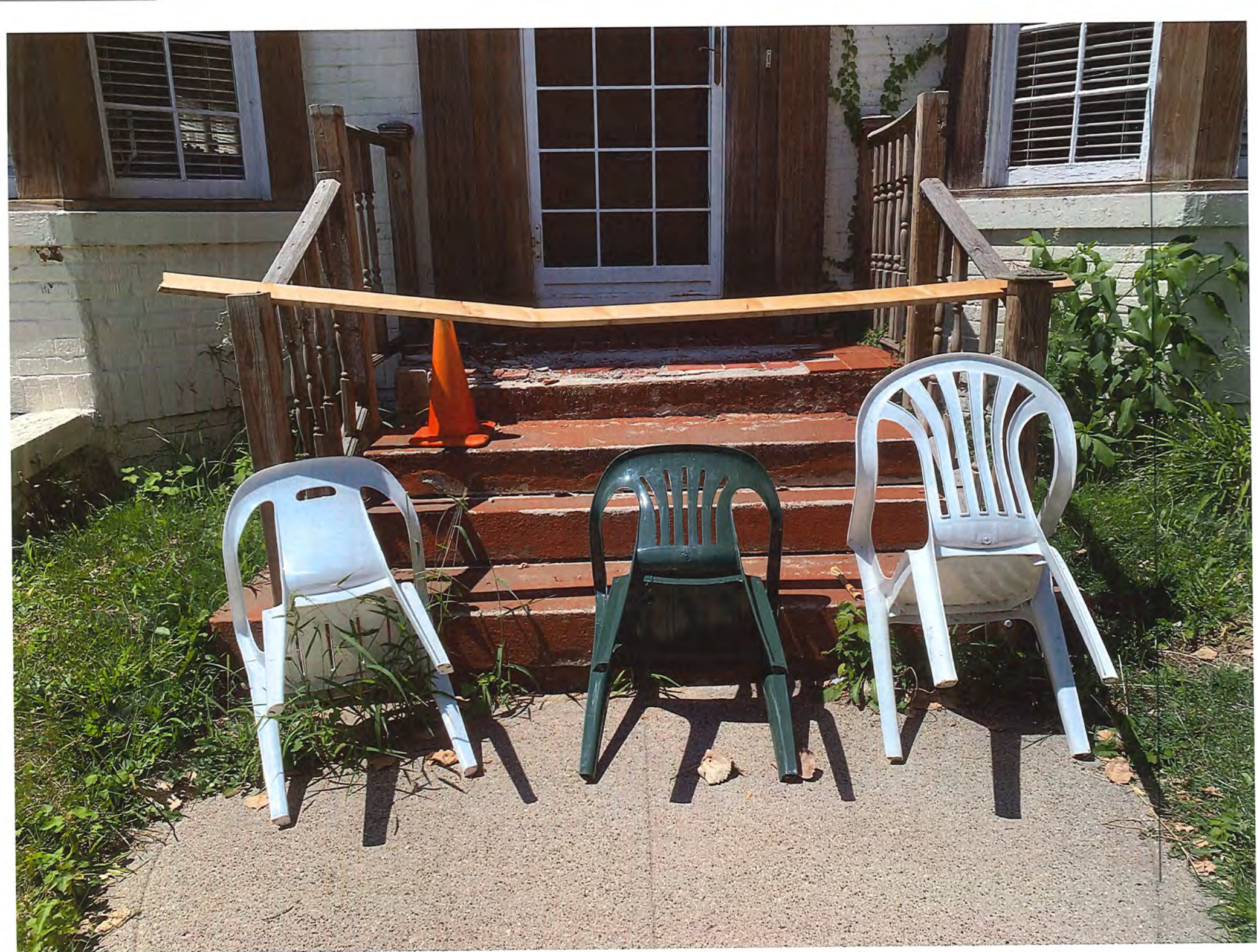














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17  Cynthia Bradford (//lightning/r/ContentDocument/0693I00000FHEFPAA5/view)	Tamie Moss (//lightning/r/0051N0000065DFIQAM/view)	5/1/2020 5:4

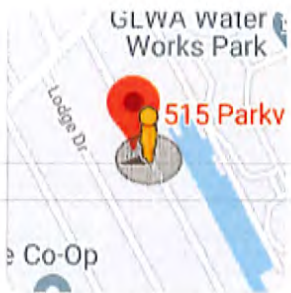


Image capture: Jun 2019 © 2020 Google

Detroit, Michigan



Street View



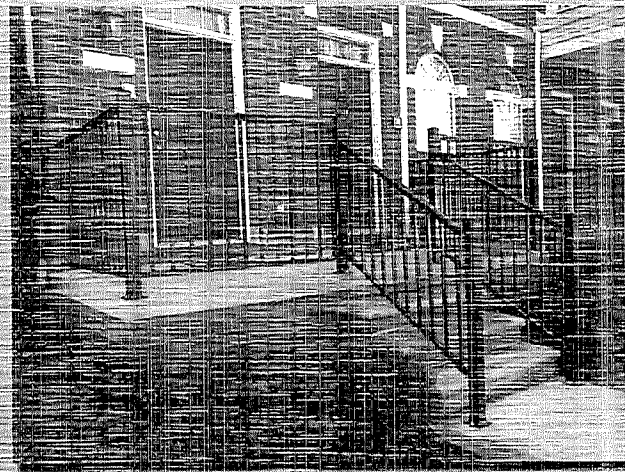
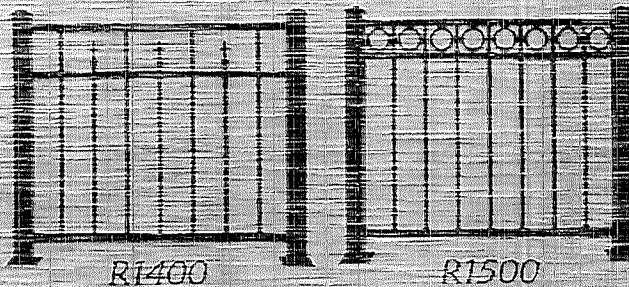
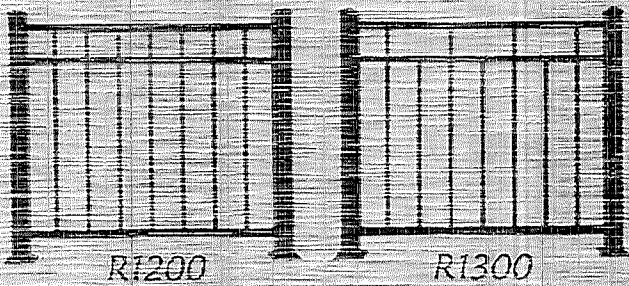
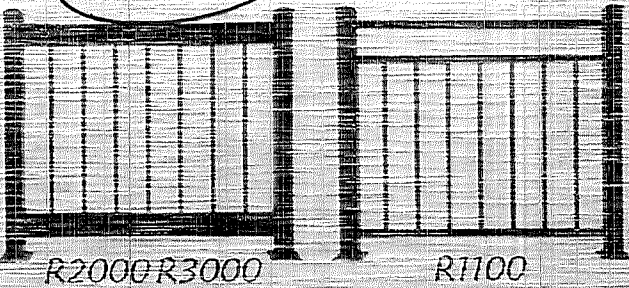
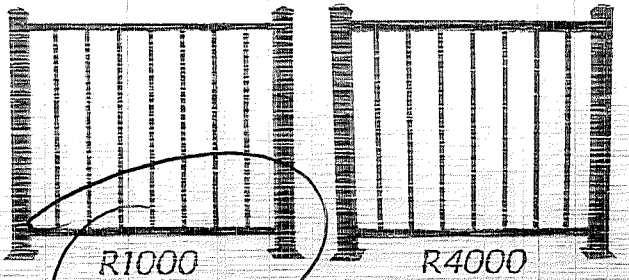
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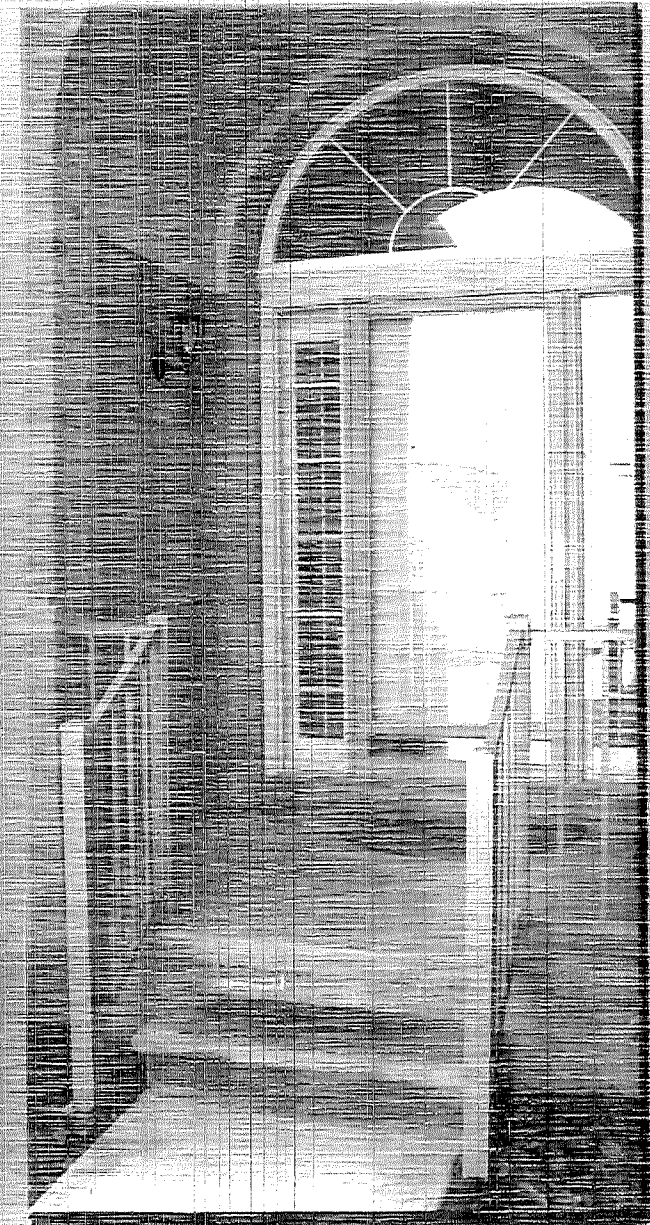
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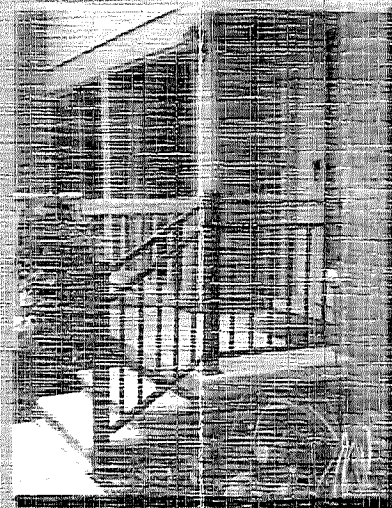
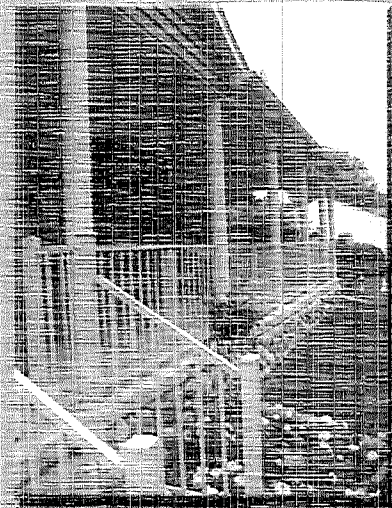
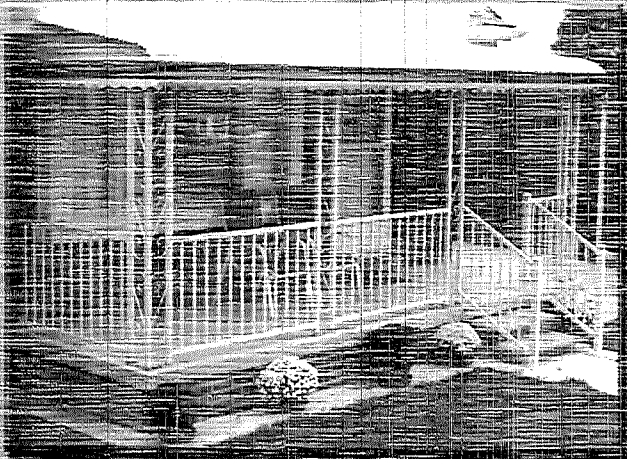
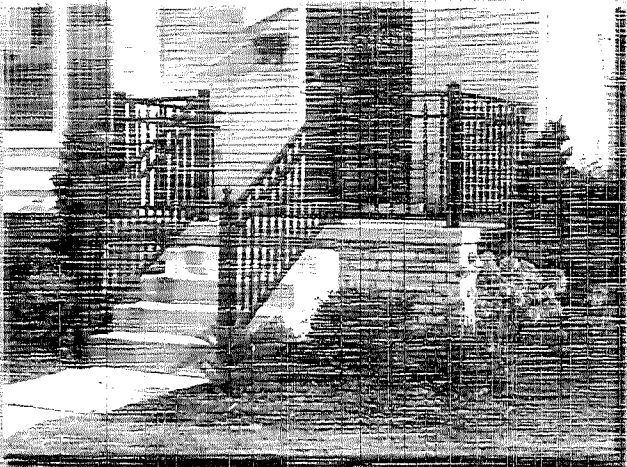
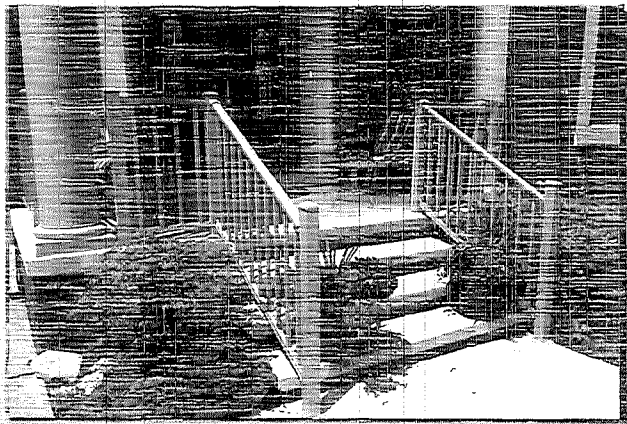
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Buildings, Safety Engineering
& Environmental Department

City of Detroit
Buildings, Safety Engineering and Environmental Department
Licensing and Permits Division
Coleman A. Young Municipal Center
2 Woodward Avenue, 4th Floor, Suite 402, Detroit, Michigan 48226
(313) 224-3202 and (313) 224-3168

INVOICE

RECORD INFORMATION

Applicant: Title Brothers Construction
15720 FORT ST
SOUTHGATE, MI 48195

Record ID: BLD2020-02379

Record Type: Building Permit Application

Property Address: 515 PARKVIEW , # 48214

Description of Work: TBD

Invoice No. : 5753606
Invoice Date: 07/15/2020
Due Date : **08/14/2020**

FEE DETAIL

Fee Description	Quantity	Fee Amount
Building Permit Fee	1	\$570.00
		\$570.00