9/15/2020

#### **CERTIFICATE OF APPROPRIATENESS**

Greg Tittle Tittle Brothers Construction 15720 Fort Street Southgate, MI 48195

#### RE: Application Number 20-6835; 515 Parkview Drive, Berry Subdivision Historic District

Dear Mr. Tittle,

At the regularly scheduled meeting held virtually on September 9, 2020, the Detroit Historic District Commission ("Commission") reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of September 15, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior's Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

- Demolish existing 8'W x 3'D front porch and (3) steps in their entirety and replace with a new porch.
- Perform the following general repairs:
  - Remove existing wood gutter located at the right (north) roofline of the front façade
  - Remove and replace damaged wood at southern most windows and sills at second floor of right (north) bay.
  - Remove and replace a few pieces of cedar siding at left (south) bay.
  - Replace broken glass in window located on left (south) elevation.

#### With the following conditions:

- New aluminum railings are to be black in color
- Any general repairs that include replacement of existing/historic material should be replaced in-kind to match existing material, design, dimension, color, and finish.
- The deck of the reconstructed porch must be 8'W x 3'D in size to match the size of the deck of the existing porch.
- The applicant shall revise the submission to reflect the updated railing and submit to HDC staff for review and approval prior to pulling the building permit for the project.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:

Ann Phillips Staff Detroit Historic District Commission

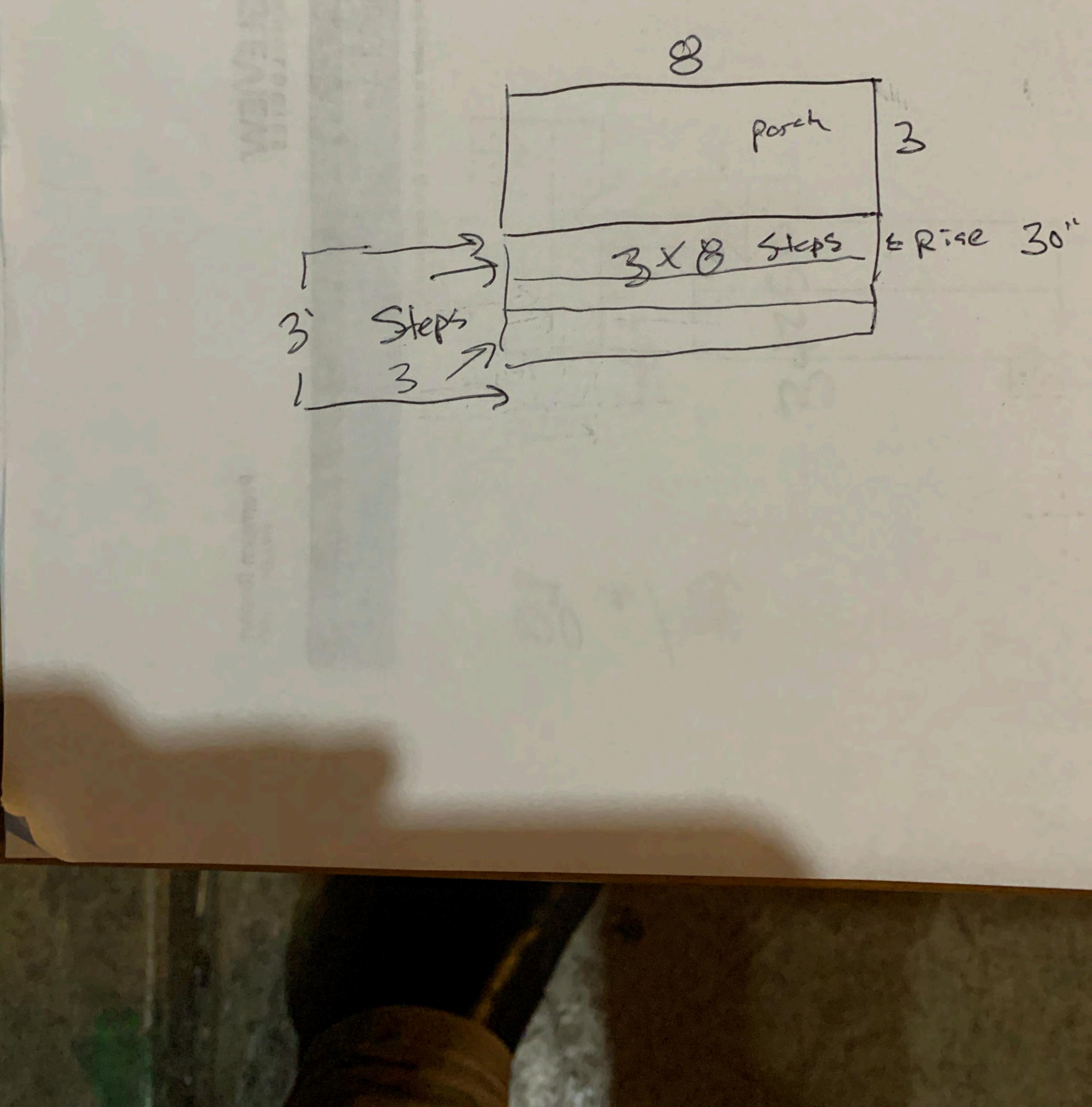
# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT PLANNING & DEVELOPMENT DEPARTMENT 2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226	DATE:
ADDRESS: 515 Parkylew AKA:	
HISTORIC DISTRICT:	
(Check ALL that apply)	Landscape/Fence/ General Tree/Park General Other:
APPLICANT IDENTIFICATION	
Property Owner/ Homeowner NAME: GVeg TIHIE ADDRESS: 15720 FORT ST PHONE: 134-225-2555 MOBILE: EMAIL	Architect/Engineer/ Consultant Brothers CONStruction : M_ ZIP: 48195 Wradke Tittle brothers. com
PROJECT REVIEW REQUESTIGHECKUST         Please attach the following documentation to your request:         *PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB*         Completed Building Permit Application (highlighted portions only)         ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)         Photographs of ALL sides of existing building or site	NOTE: Based on the scope of work, additional documentation may be required. See www.detroitmi.gov/hdc for scope-specific requirements.
Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)	la nu un un nu im im mi mi un un un mi mi mi im im im la
<b>Description of existing conditions</b> (including materials and design)	
<b>Description of project</b> (if replacing any existing material(s), include an replacementrather than repairof existing and/or construction of new	n explanation as to why w is required)
Detailed scope of work (formatted as bulleted list)	
Brochure/cut sheets for proposed replacement material(s) and/or pr	
Upon receipt of this documentation, staff will review and inform you of the next steps toward o	btaining your building permit from the

Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work. SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

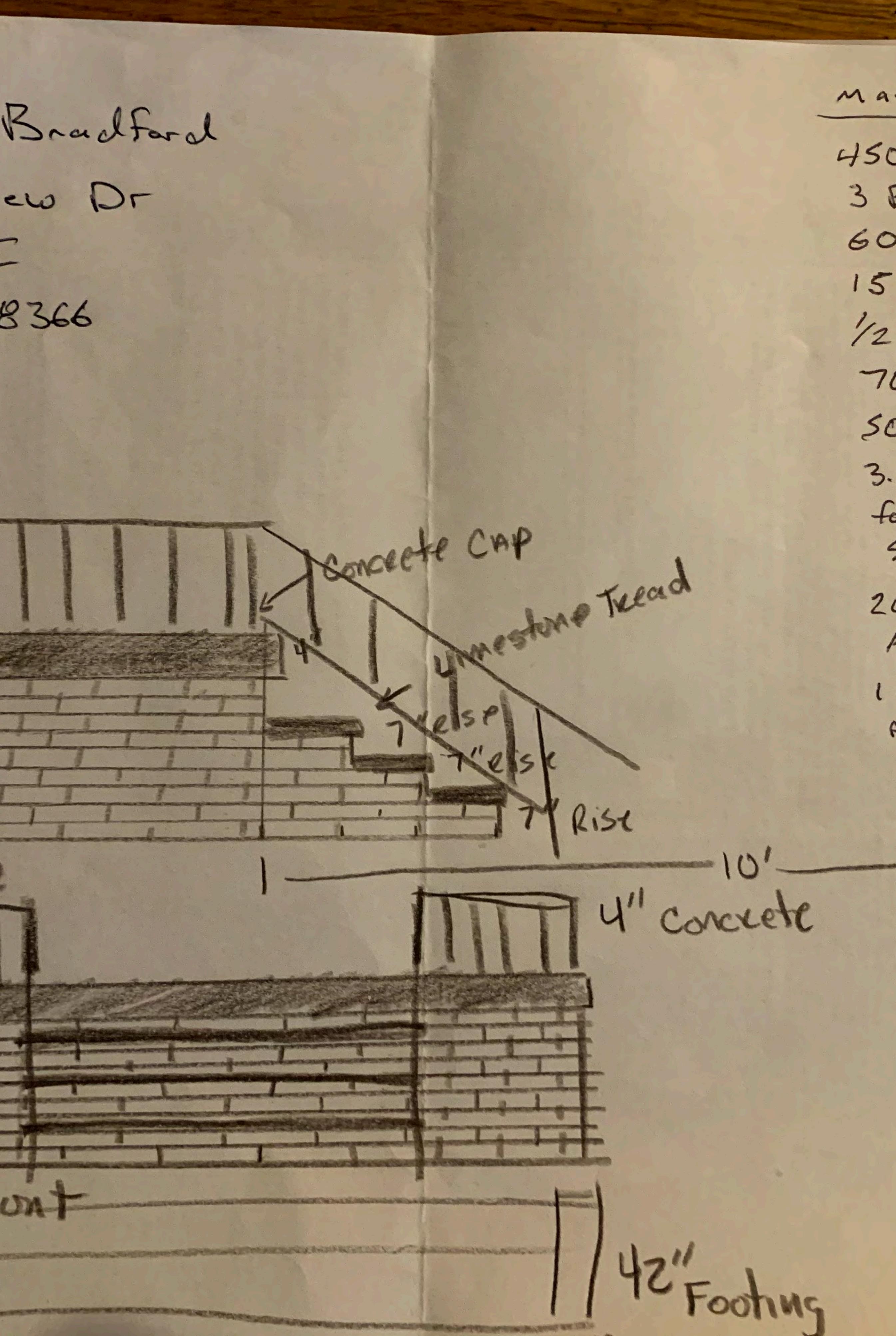
Southeast Michigan         15720 Fort Street Southgate, MI 48195           OFGEN CALL         Office 868-RO-F112 Office 7240 225-2825         Phone: (734) 225-2825           Phone: (734) 225-2825         Fax: (313) 382-3458         Phone: (734) 225-2825           Cynthia Bradford         Internet of the southwest of the southest of the southwest of the southest of the southwe					
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Cynthia Bradford. 515 Parkview Dr Existing Porch Detroit, MI

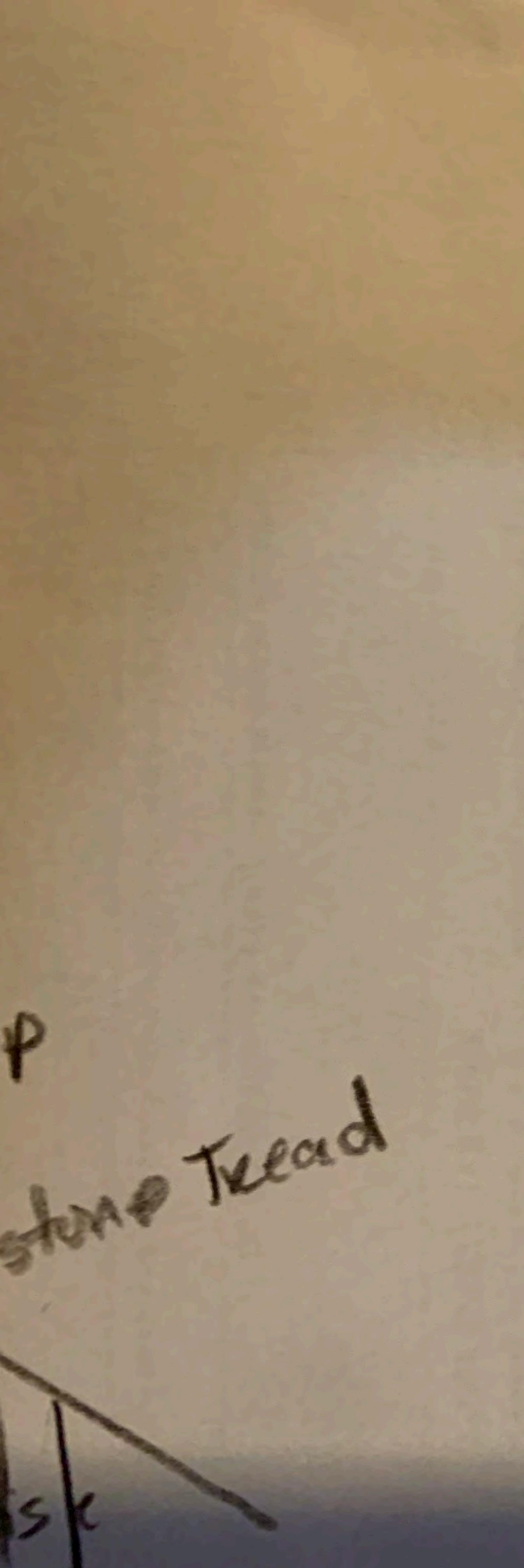


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Cynthia Bradfard SIS Parkview Dr Detroit MI 313-204-8366 -126 Bricks Bricks 26 42° 12×42° > footons.



Material List 450 Bricks. 3 Bass of Mostor 60 d×16 Block 15' Linc store for step troks 12 yeard Crushed Rock ZIAA 70 LF 3/8' Re Rod SO SF concrute Porch cop 3.5 yeads of cancrete for new footings and Step footings 20 LF Railings + Douplails Aluminum white. 1 yeard Lowerere from new porch to New concrete.



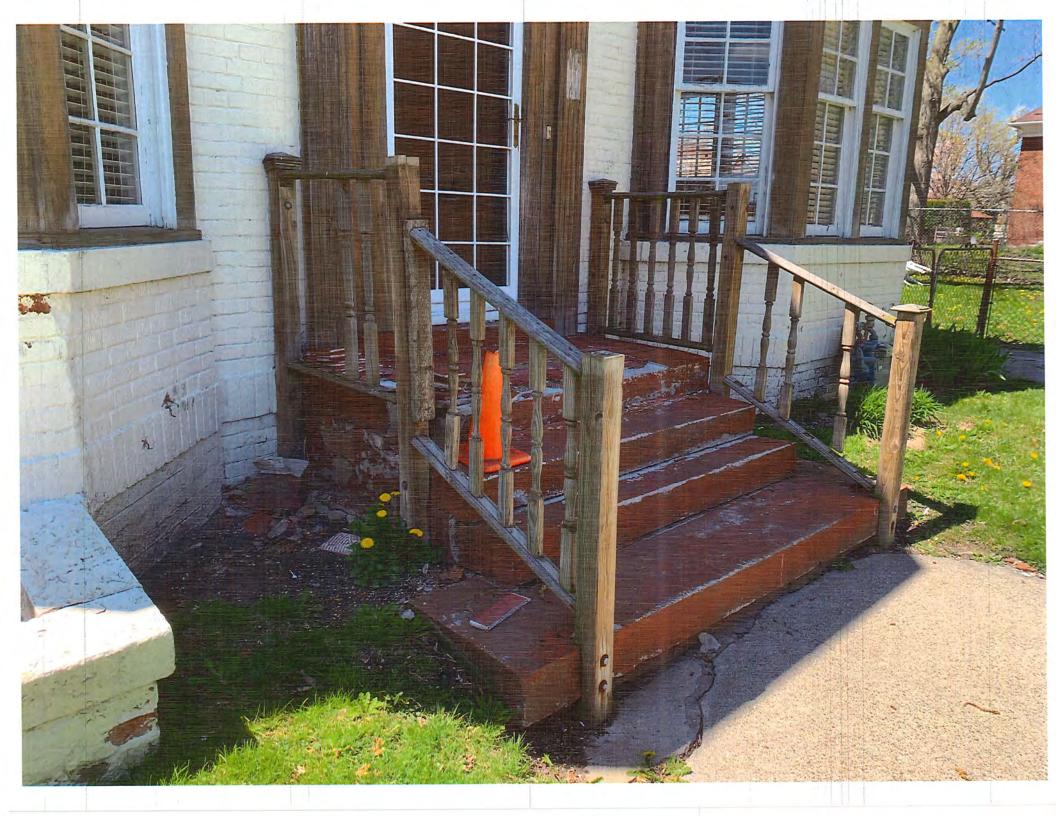
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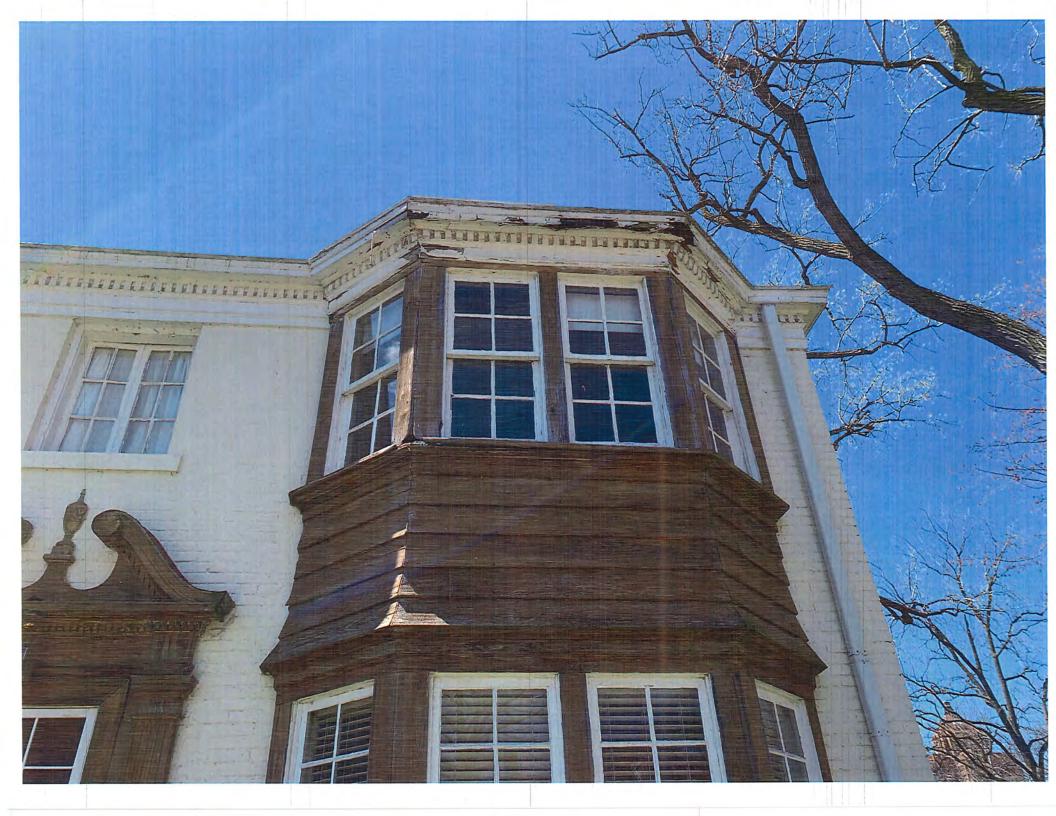






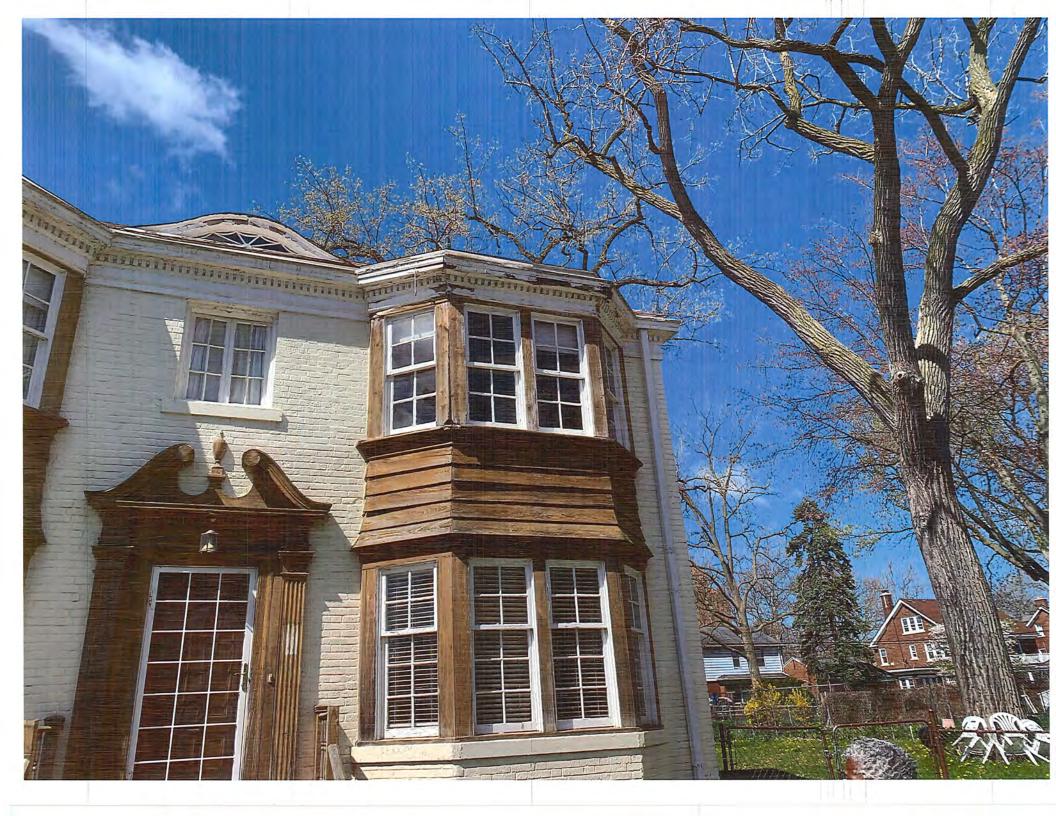


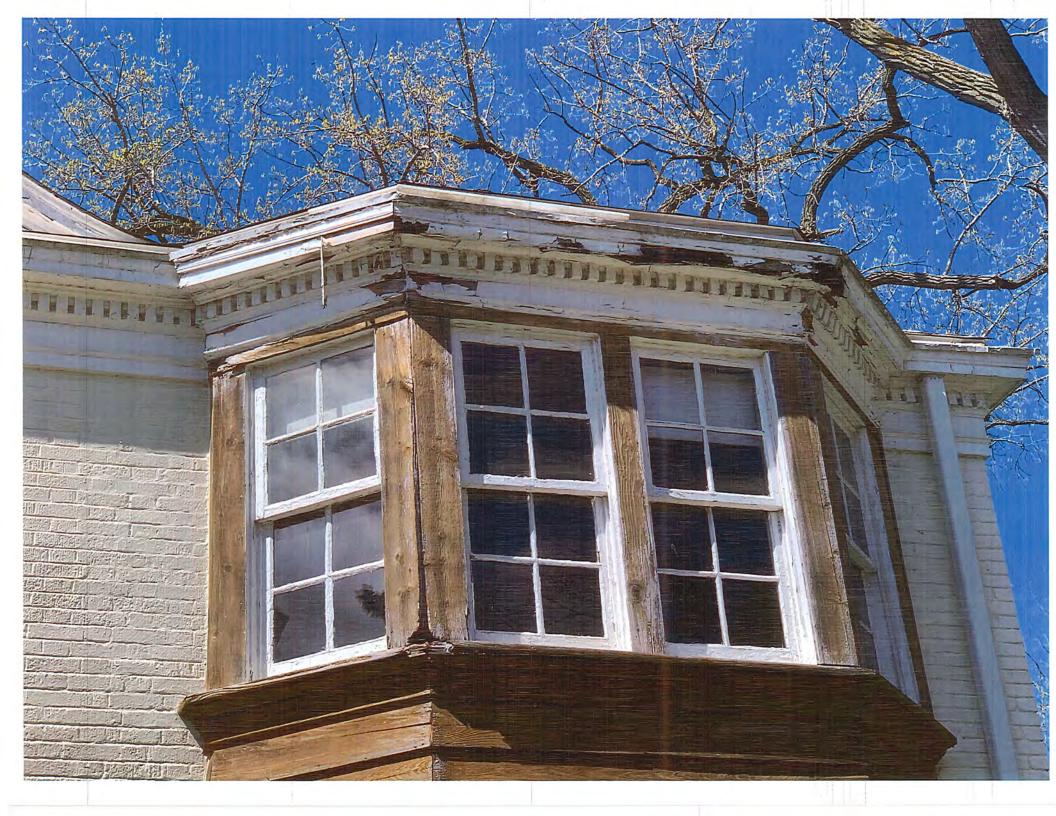




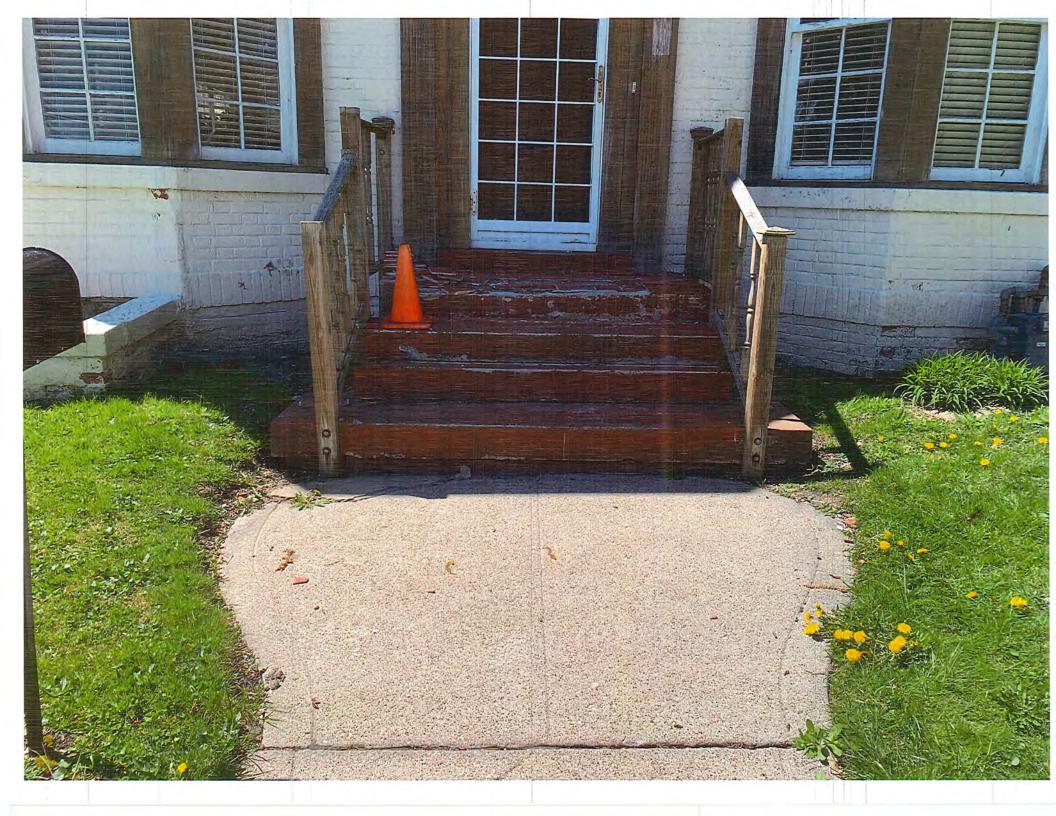


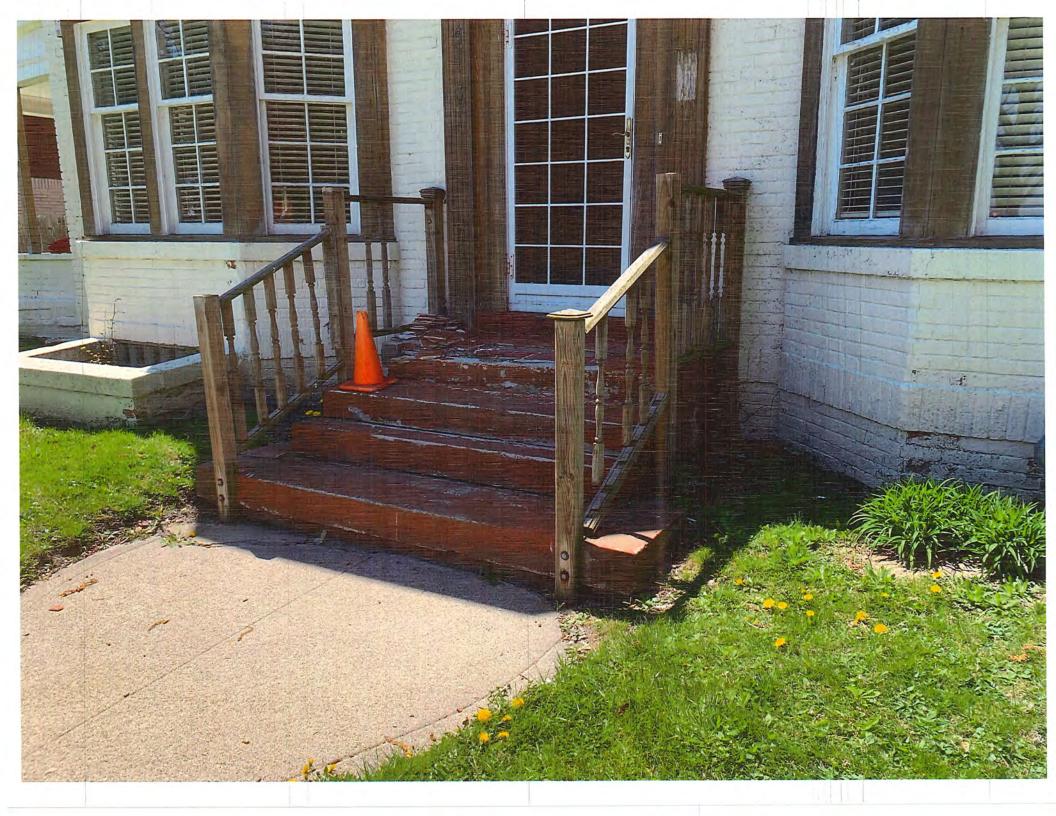


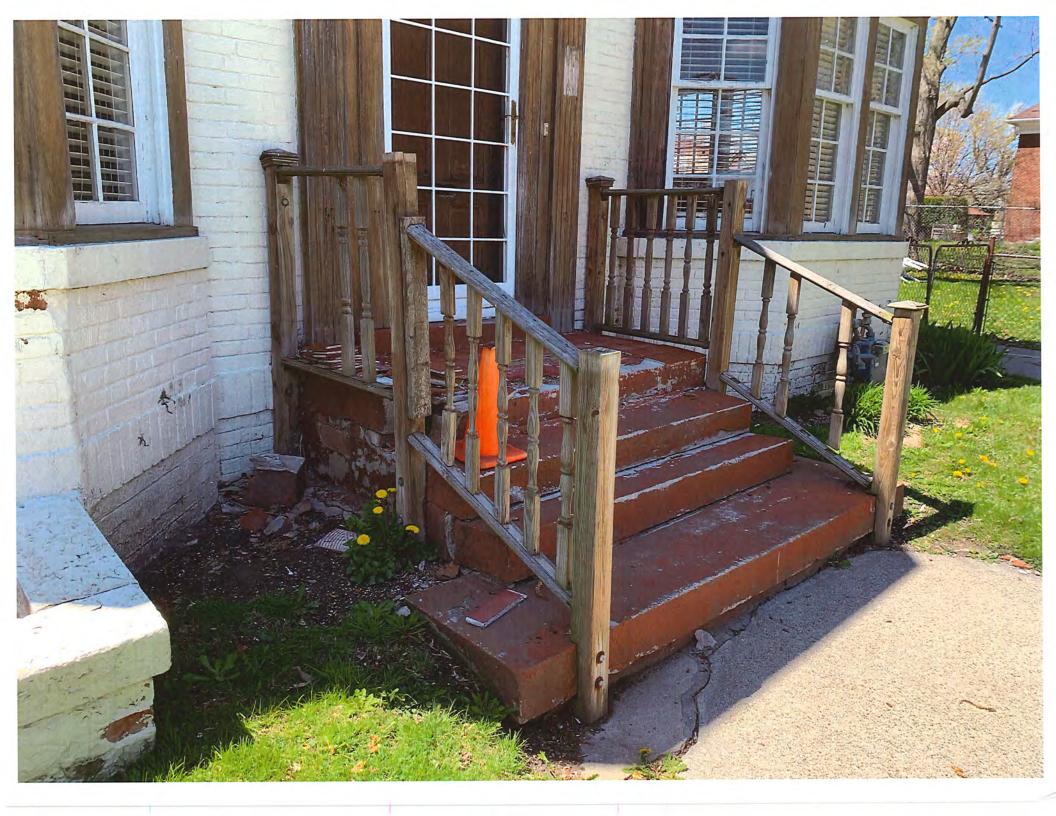






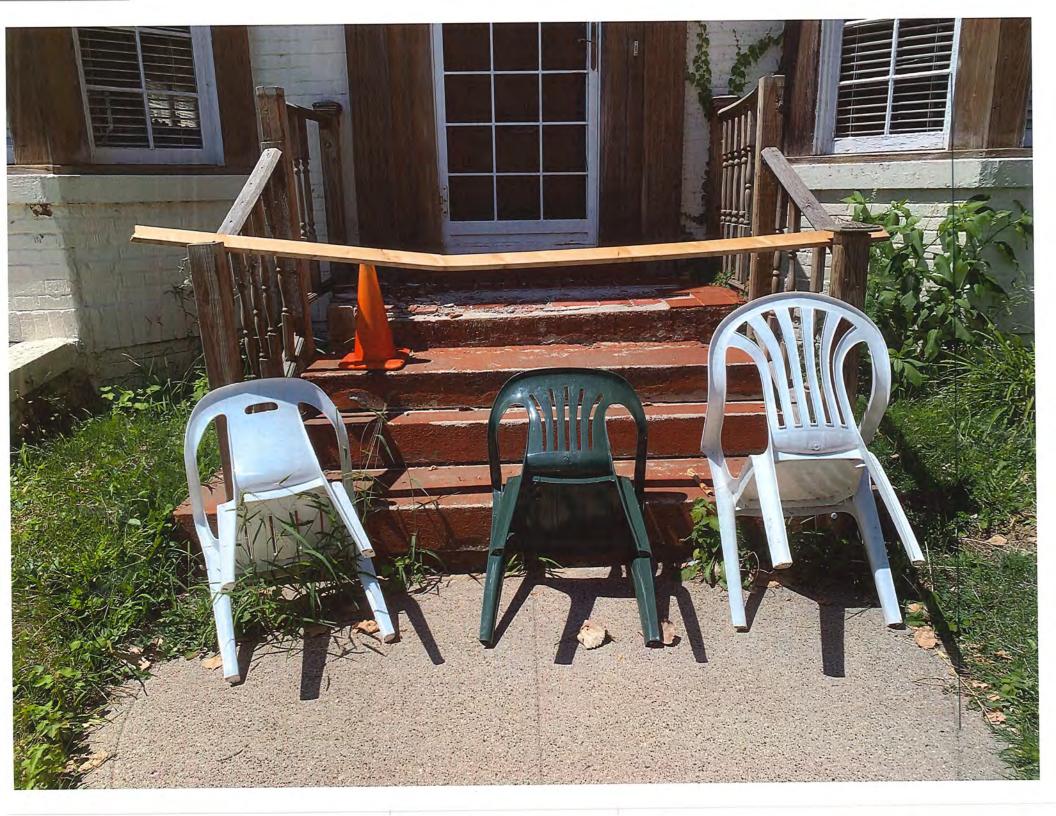


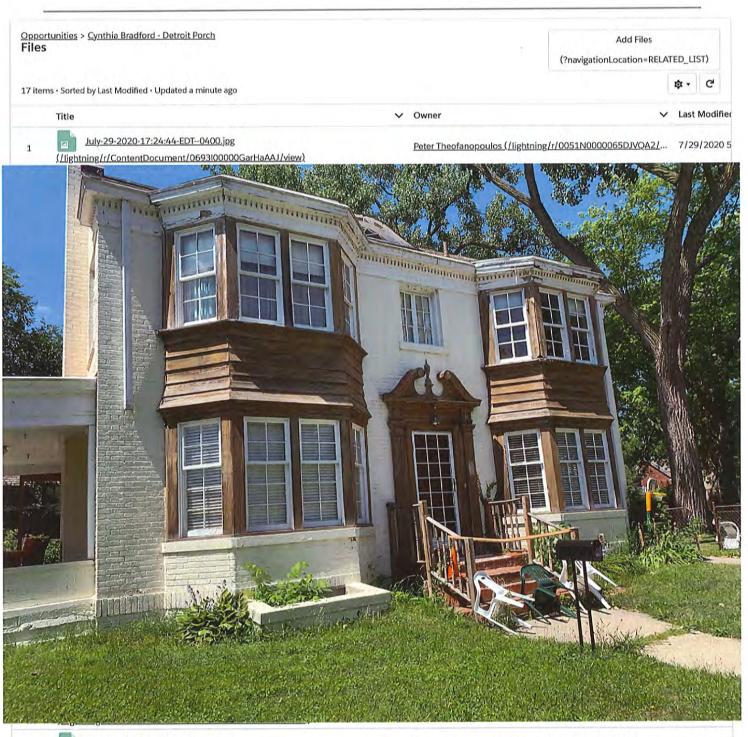












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### Cynthia Bradford (/lightning/r/ContentDocument/0693100000FHEFPAA5/view)

Tamie Moss (/lightning/r/0051N0000065DFiQAM/view) 5/1/2020 5:4

5/2/2020 9:5

Peter Theofanopoulos (/lightning/r/0051N0000065DJVQA2/...

## Google Maps 515 Parkview Dr



Image capture: Jun 2019 © 2020 Google

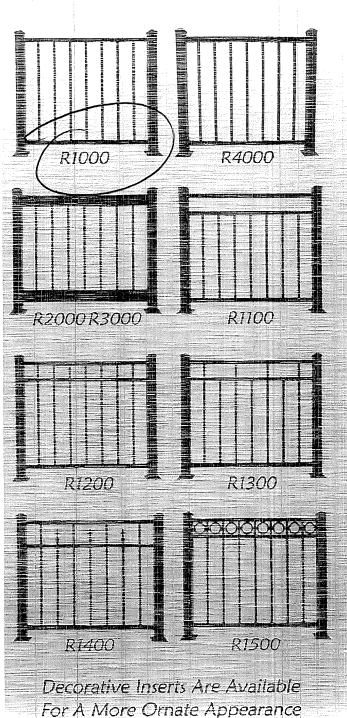
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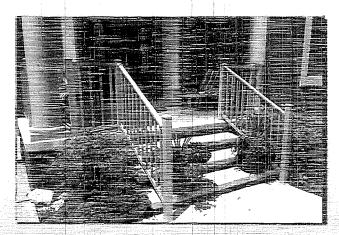
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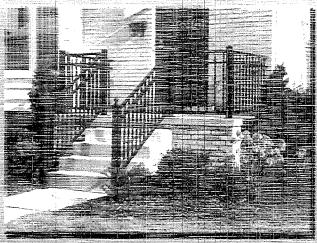


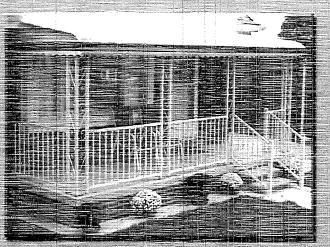
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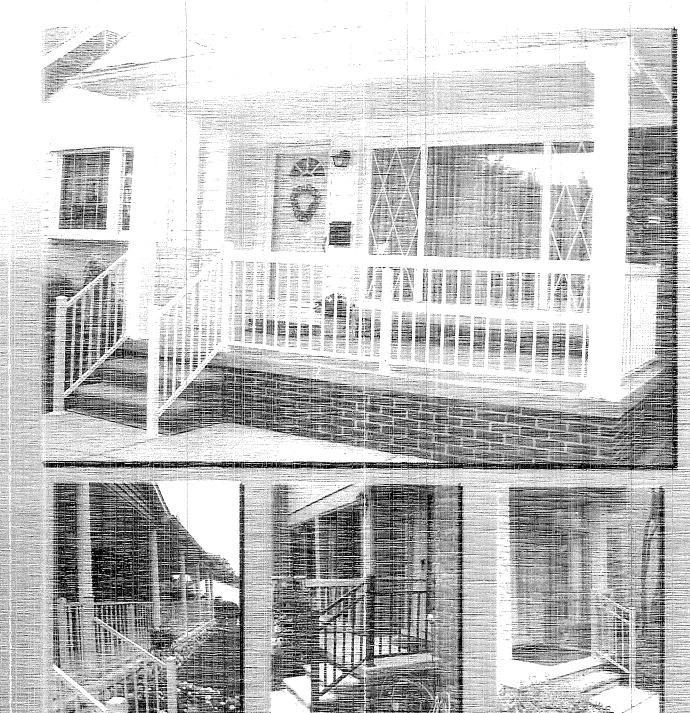
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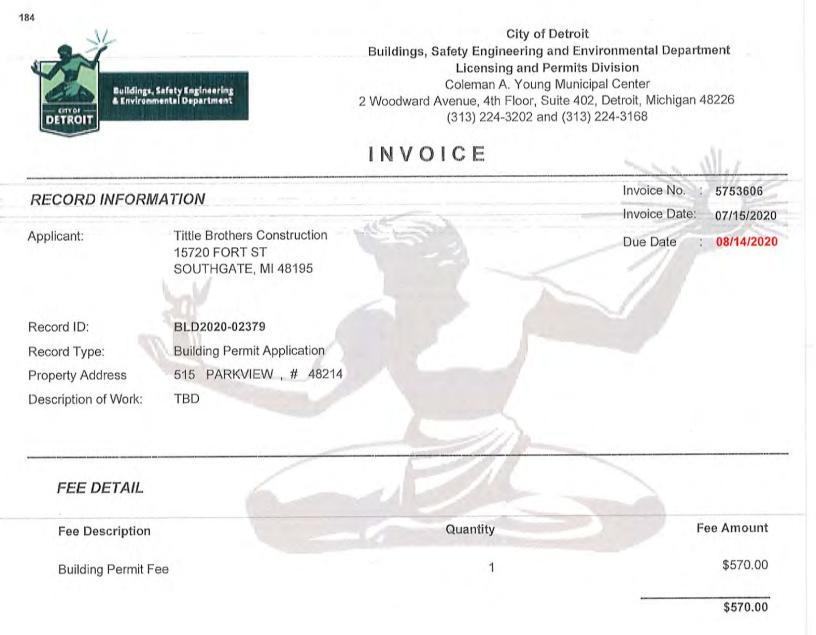








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