

Enlarged Detroit Zoning Map





PROPERTY DESCRIPTION

(PER RECORD LEGAL DESCRIPTION PROVIDED BY CLIENT, TITLE COMMITMENT NO. 65747504, DATED APRIL 9, 2019)

LAND SITUATED IN THE CITY OF DETROIT IN THE COUNTY OF WAYNE IN THE STATE OF MICHIGAN.

PARCEL 1:  
ALL OF LOT 1 AND THE EASTERLY PART OF LOT 2, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 2 AND RUNNING THENCE SOUTH 80 DEGREES WEST 23.80 FEET; THENCE NORTH 30 DEGREES WEST 79 FEET MORE OR LESS TO THE SOUTHERLY LINE OF A BRICK BUILDING; SITUATED ON SAID LOT 2; THENCE NORTHERLY THROUGH THE CENTER OF THE EASTERLY WALL OF SAID BRICK BUILDING; 41 FEET MORE OR LESS TO THE SOUTHERLY LINE OF MICHIGAN AVENUE; THENCE NORTH 89 DEGREES 33 MINUTES EAST ALONG THE SOUTHERLY LINE OF SAID MICHIGAN AVENUE 24.64 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 2; THENCE SOUTH 30 DEGREES EAST 105.42 FEET TO THE POINT OF BEGINNING; BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS, EXCEPT ALL THAT PART TAKEN FOR THE WIDENING OF MICHIGAN AVENUE.

ALSO,  
THE WEST 27.55 FEET OF THE EAST 52.63 FEET ON THE NORTH LINE, BEING THE WEST 26.4 FEET ON THE SOUTH LINE OF LOT 2 LYING SOUTH OF AND ADJACENT TO MICHIGAN AVENUE, AS WIDENED; BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

ALSO,  
LOTS 12, 13 AND 14, BLOCK 79 AND FULL VACATED ALLEY ADJACENT TO AND NORTH OF LOTS 13 AND 14 AND THE EAST 5 FEET OF LOT 12 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

PARCEL 2:  
TRIANGULAR PORTION OF LOT 2, BEING WEST 6.51 FEET ON NORTH LINE AND THE EAST LINE RUNNING TO THE SOUTHWEST CORNER, ALSO THE EAST 38.48 FEET ON NORTH LINE BEING EAST 44.90 FEET ON SOUTH LINE OF LOT 3, ALL EXCEPT MICHIGAN AVENUE AS WIDENED; BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

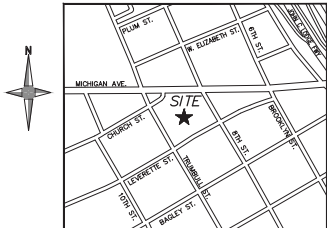
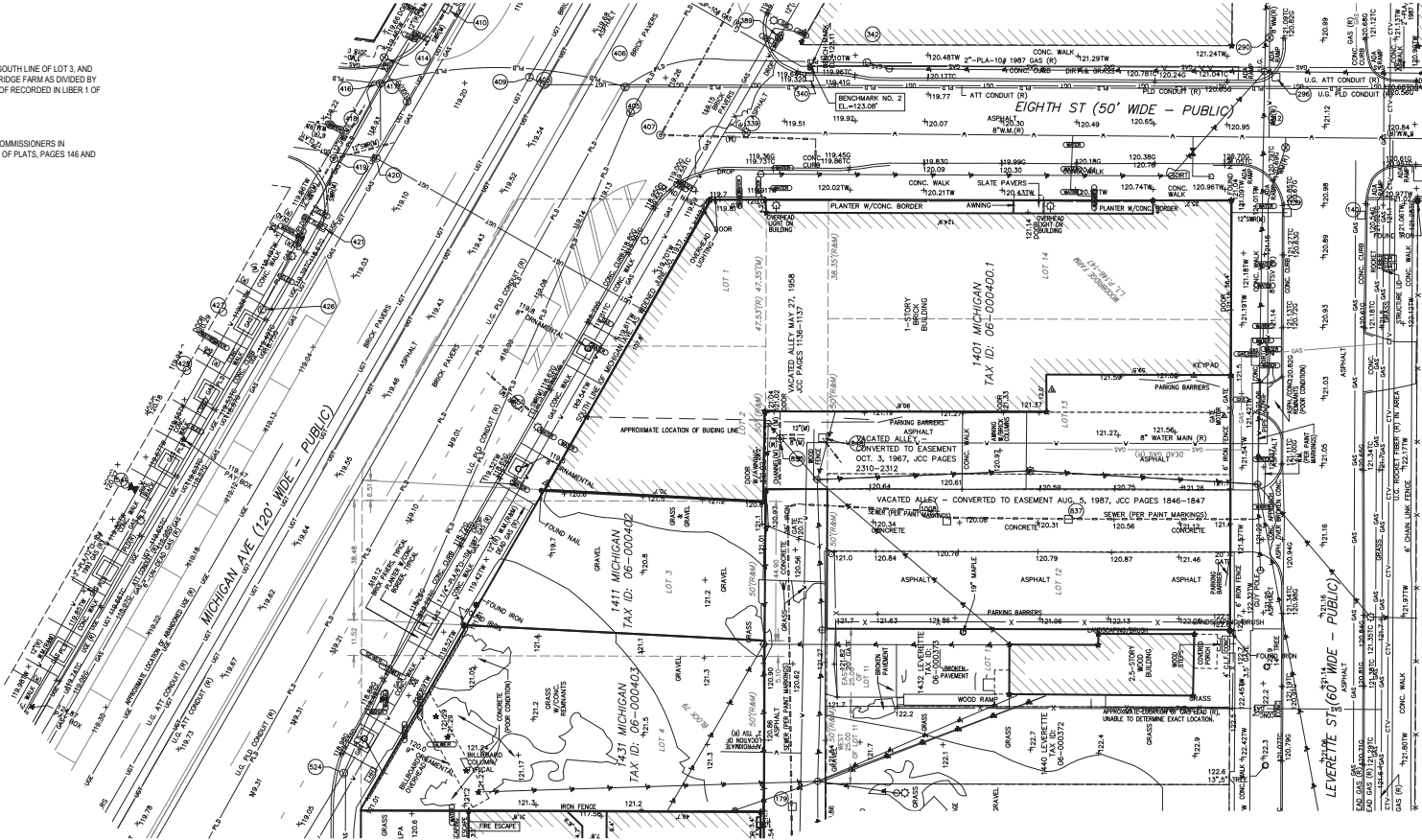
CLIENT REFERENCE: 1401 & 1411 MICHIGAN AVE, DETROIT, MI 48216-1323

PROPERTY DESCRIPTION

RECORD LEGAL DESCRIPTIONS FOR CHURCH PARCELS  
(PER TAX RECORDS)

1431 MICHIGAN AVENUE  
TAX ID NO. 06-000403  
THE WEST 11.52 FEET ON THE NORTH LINE AND THE WEST 5.10 FEET ON THE SOUTH LINE OF LOT 3, AND ALL OF LOT 4, EXCEPT MICHIGAN AVENUE AS WIDENED; BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

1950 TRUMBULL  
TAX ID NO. 06-000374.82  
ALL OF LOTS 5 AND 6, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.



LOCATION MAP  
(NOT TO SCALE)

LEGEND - EXISTING

SECTION LINE	○ SAN. MH
E/ PAVEMENT	○ C.O. SAN. CLEAN OUT
CURB	△ SAN. RISER
E/ GRATE	△ SAN. PUMP STATION
CL. ROAD	△ COME. MH
E/ WALK	○ GATE VALVE
RAILROAD	○ HYDRANT
E/ BRICK	△ WATER VALVE
MISC. LINE	△ WATER METER
○ FENCE	△ POST INDICATOR VALVE
GUARD RAIL	△ WELL HEAD
WALL	○ FDC CONNECTION
BLOC. LINE	△ STORM MH
OVERHEAD WIRES	△ CATCH BASIN
RAILING	△ BEEHIVE CB
OVERHANG LINE	△ CULVERT E.S.
T/ BANK	△ ROOF/DOWN SPOUT
CL. DITCH/STREAM	○ C.O. STORM CLEAN OUT
SHRUB LINE	○ ROUND CB
TREE LINE	○ LIGHT POLE
WETLAND LINE	○ UTILITY POLE
STM	△ ELEC. TRANS.
SAN. LINE	○ UG TELE. LINE
W	UG TELE. TV LINE
GAS	△ PAINT STRIPS
UG	△ COMBINED SEWER
LOT	△ FLD LINE
CTV	△ STEAM LINE
TEL	△ ELECTRIC OVERHEAD
	△ TELEPHONE OVERHEAD
	△ GAS METER
	△ GAS RISER
	△ GAS VALVE
	△ GAS MH
	△ TELE. RISER
	△ TELE. MH
	△ TELE. CROSS BOX
	△ CABLE RISER
	△ PAY PHONE
	○ MANHOLE
	△ SIGN
	△ PROT. POST/GUARD POST
	△ GUY
	△ DECIDUOUS TREE
	△ CONIFEROUS TREE
	△ DEAD TREE
	△ UTILITY FLAG
	△ OVERHANG
	△ BLOC. CORNER (FIELD LOCATED)
	△ HANDICAP PARKING
	△ WETLAND FLAG
	△ BUS/SHRUB
	△ PARKING METER
	△ RESIDENTIAL MAILBOX
	△ U.S. MAILBOX
	△ CAMP
	△ RCP
	△ G.L.
	△ FOUND IRON
	△ FOUND NAIL
	△ TELE. CROSS
	△ SECTION COR.
	△ FENCE POST
	△ BENCHMARK
	△ FOUND PIPE
	△ FOUND MON.
	△ ASPH. ASPHALT
	△ CONC. CONCRETE
	△ A.C. AIR CONDITIONER
	△ G.P. GUARD POST
	△ C.L.F. CHAIN-LINK FENCE
	△ D.L. DOOR LEDGE
	△ F.F. FINISHED FLOOR
	△ O.V. OVERHANG
	△ S.I. SET IRON
	△ F.J.P. FOUND IRON PIPE
	△ M. MEASURED
	△ R. RECORD
	△ F.M. FOUND MONUMENT
	△ S.N. SET NAIL
	△ C.M.P. CORRUGATED METAL PIPE
	△ RCP
	△ G.L. GROUND LIGHT

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

NOTES

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- NO BOUNDARY SURVEY WAS PERFORMED BY GIFFELS-WEBSTER ENGINEERS, INC. AT TIME OF SURVEY.
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- LEGAL DESCRIPTION WAS PREPARED FROM FIELD MEASUREMENTS, CLIENT PROVIDED DOCUMENTS AND TAX ASSESSOR'S RECORDS.
- SEE SHEET 201 FOR SCHEDULE OF STRUCTURES

BENCHMARK DATA

(CITY OF DETROIT) DATUM

BENCHMARK NO. 1  
SET MAG SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE ON THE WEST SIDE OF TRUMBULL AVENUE, 150 FEET NORTH OF THE CENTER OF LEVETTES STREET.  
ELEVATION: 122.31  
(SHOWN GRAPHICALLY)

BENCHMARK NO. 2  
ARROW ON HYDRANT (WITH YEAR STAMP 1940) AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
ELEVATION: 122.09  
(SHOWN GRAPHICALLY)

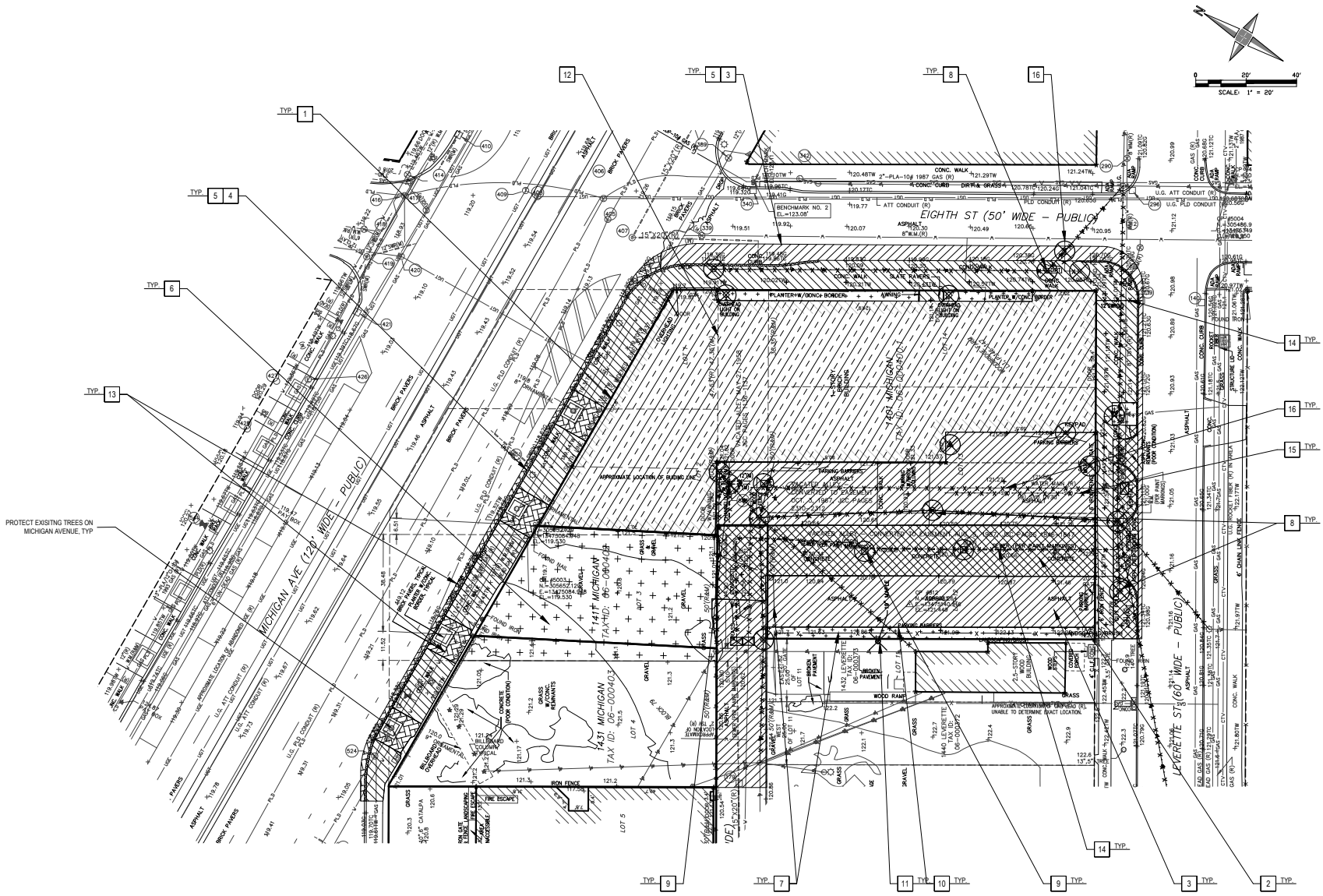
04.17.2020	SD Progress Pricing
Drawn	■ Preliminary
SP	□ Construction
Checked	□ Record
TT	Approved
MM	Do not scale
Bldgpk Number	Use figured dimensions only
Job Number	
19685-01D	
Title	Existing Conditions

Sheet  
C-200

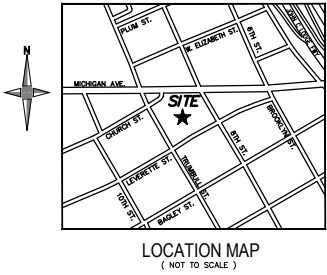
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V:\1985-010 Corktown Hotel\Design\CD\Work\_Sheet\C-300 Demolition.dwg



1 DEMOLITION PLAN  
C-300 1" = 20'



- DEMOLITION PLAN - LEGEND
- REMOVE/DEMOLISH UTILITY PIPE
  - REMOVE/DEMOLISH CURB AND GUTTER
  - REMOVE FENCE
  - REMOVE/DEMOLISH UTILITY STRUCTURE
  - REMOVE TREE, SHRUB, OR ITEM
  - REMOVE EXISTING BUILDING
  - REMOVE CONCRETE PAVEMENT
  - REMOVE ASPHALT PAVEMENT
  - REMOVE CONCRETE SIDEWALK
  - REMOVE GRASS, BRUSH AND/OR DEBRIS

- DEMOLITION PLAN - KEY NOTES
- EXISTING PROPERTY LINE, TYP
  - REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
  - REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
  - REMOVE AND DISPOSE OF CONCRETE CURB, TYP
  - SAWCUT EXISTING PAVEMENT, TYP
  - CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
  - EXISTING FENCE AND FENCE POSTS TO BE REMOVED
  - COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVI/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
  - EXISTING CATCH BASIN/MANHOLE STRUCTURE TO BE REMOVED
  - REMOVE AND DISPOSE OF EXISTING WHEEL STOPS, TYP
  - EXISTING TREE TO BE REMOVED
  - REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
  - EXISTING BRICK PAVERS TO BE REMOVED AND SALVAGED FOR REUSE
  - EXISTING SEWER TO BE REMOVED
  - EXISTING GAS TO BE REMOVED/RELOCATED; COORDINATE WITH DTE GAS
  - EXISTING WATER PIPE AND STRUCTURES TO BE REMOVED; COORDINATE WITH DWSD

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**GODFREY DETROIT**

1401 Michigan Avenue  
Detroit, Michigan

04.17.2020 SD Progress Pricing

Drawn ☒ Preliminary  
SP ☐ Construction  
Checked ☐ Record  
TT ☐ Approved  
MM ☐ Bidpak Number

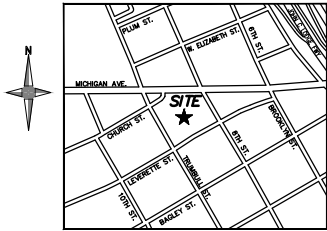
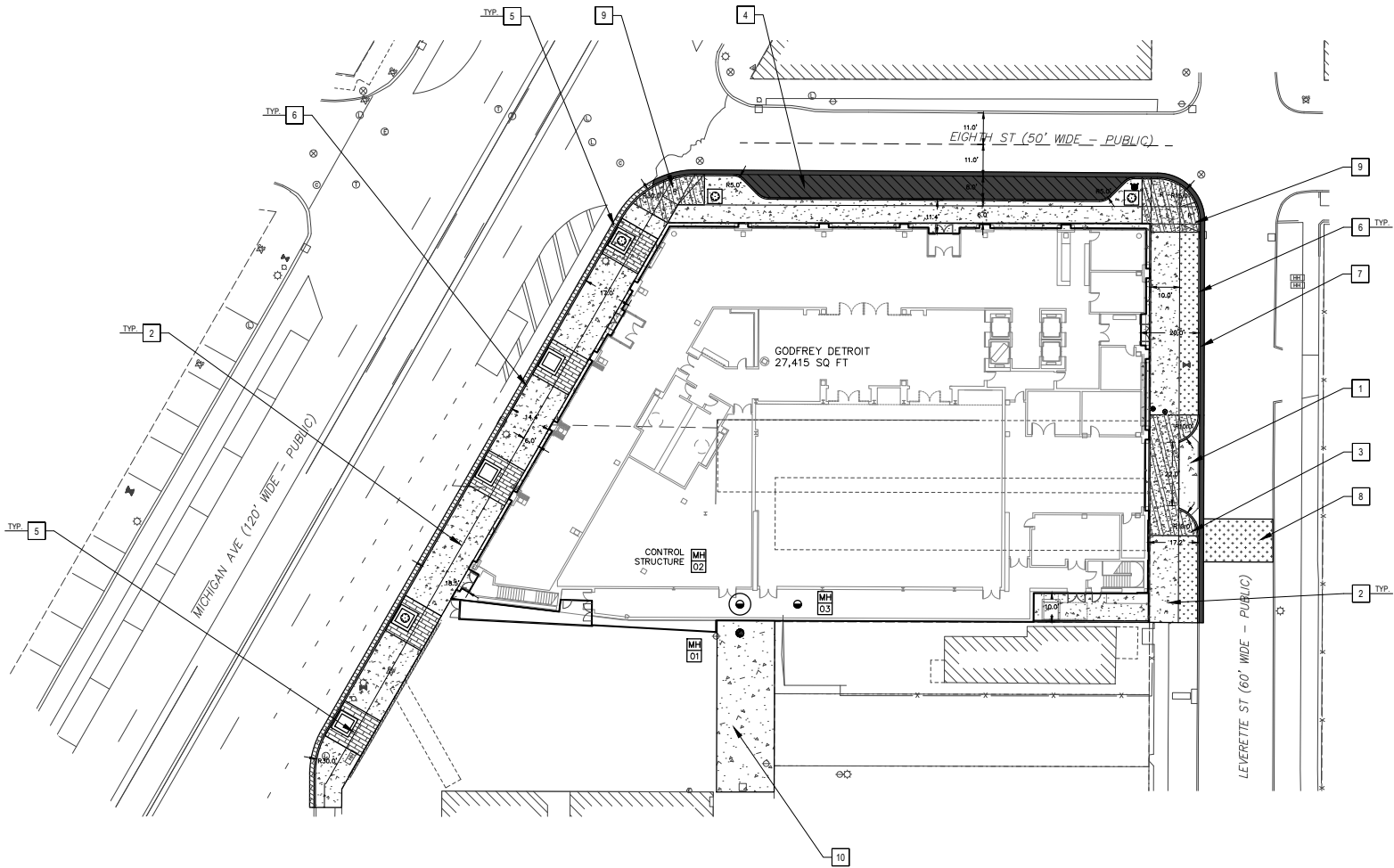
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Job Number  
**19685-01D**  
Title  
**Demolition**

Sheet  
**C-300**



V:\19850-1D Calktown Hotel\Design\CAD\Work Sheets\C-600 Geometrics and Paving Plan.dwg



LOCATION MAP  
( NOT TO SCALE )

PAVING PLAN - LEGEND

4" CONCRETE SIDEWALK PAVEMENT	
6" CONCRETE SIDEWALK PAVEMENT	
8" CONCRETE PAVEMENT	
BRICK PAVERS	
PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS	
ASPHALT PAVEMENT	
LANDSCAPING	

PAVING PLAN - KEY NOTES

#	NOTE
1	PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.
2	NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800
3	NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.
4	INSTALL ASPHALT PAVEMENT
5	INSTALL BRICK PAVERS
6	PROVIDE AND INSTALL NEW INTEGRAL CURB AND SIDEWALK. SEE DETAIL ON SHEET C-800.
7	2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB.
8	JOINT TO JOINT PAVEMENT REPAIR FOR INSTALLATION OF NEW UTILITIES PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
9	ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS
10	NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS

1 GEOMETRICS AND PAVING PLAN  
1" = 20'

04.17.2020 SD Progress Pricing

Drawn

SP

Checked

TT

Approved

MM

Bidpak Number

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☐ Construction

☐ Record

**Do not scale**

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Job Number

19685-01D

Geometrics and Pavin Plan

Sheet

C-600

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SECTION: 19685-01D-01

19685-01D-01

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Detroit, Michigan



\\DET-FILED2\Project\19685-01D Colltown Hotel\Design\CAD\Work Sheets\L-100 Landscape Plan.dwg

1 LANDSCAPE PLAN

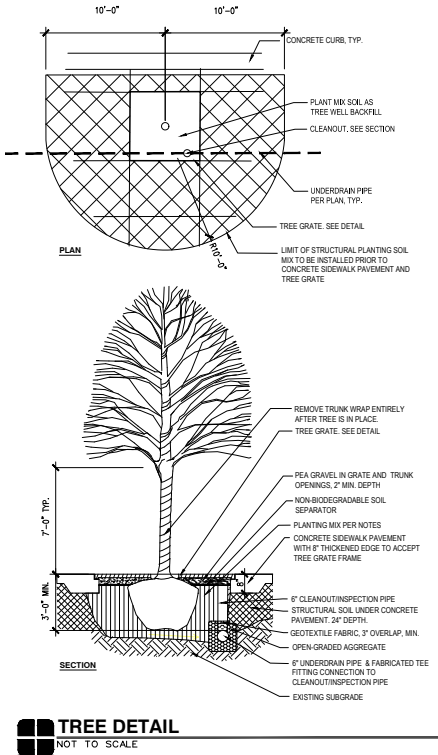
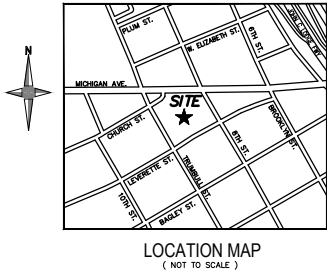
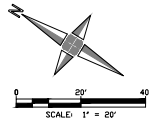
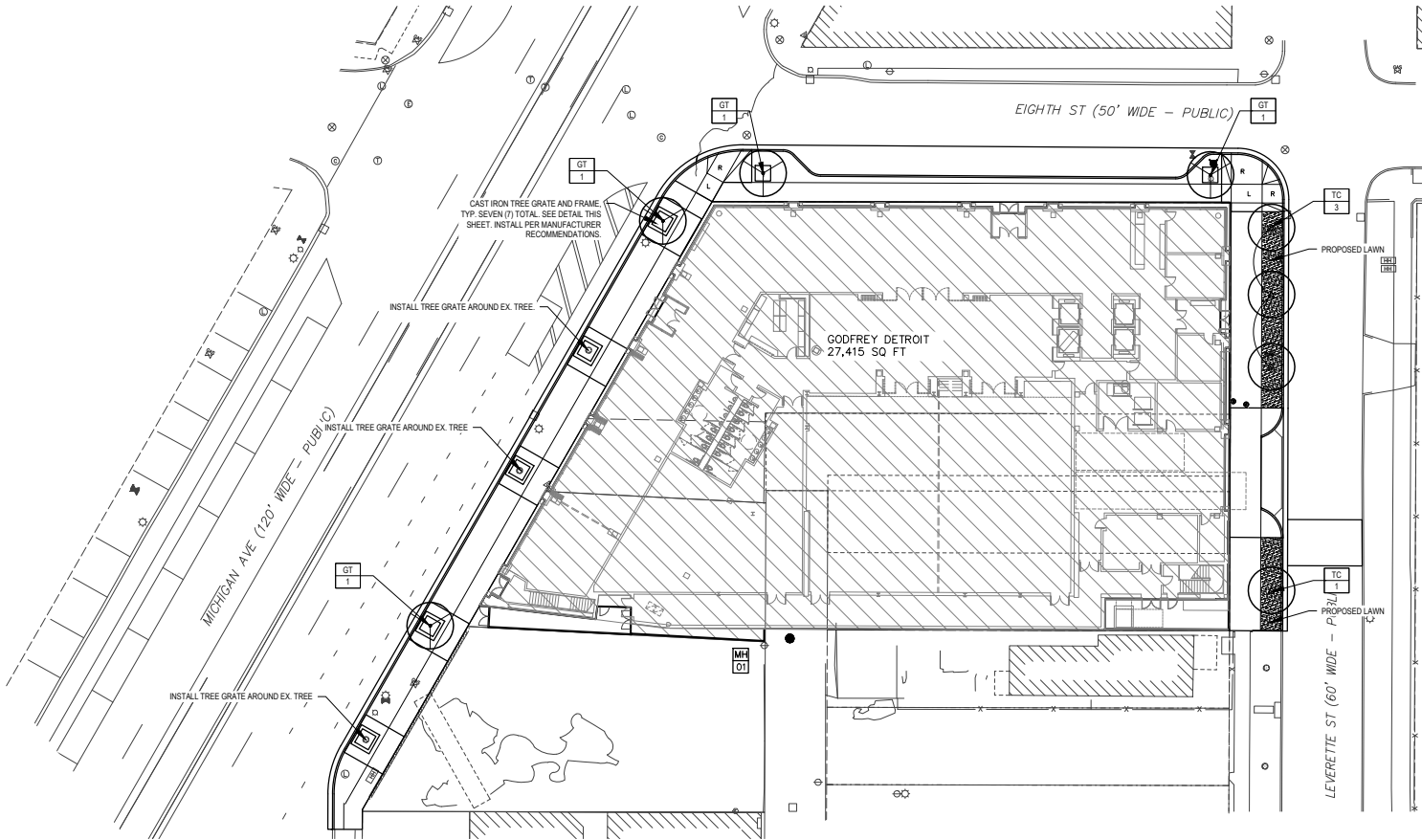
L-100 1" = 20'

- PLANT NOTES:**
- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
  - Planting soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preer" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
  - CU-Structural Soil shall be 80% 2-3" crushed stone aggregate, highly angular and no fines; 20% clay loam of less than 5% gravel, 25-30% sand, 20-40% silt, 25-40% clay, and 5 % min organic matter; and a hydrogel stabilizing agent that is a potassium copolymer mixed at 10% total moisture. CU-Structural Soil is installed and compacted in 6" lifts to no less than 95% modified proctor density.
  - Planting pockets shall be no deeper than twice the height of the root ball.
  - All tree wrap shall be removed upon planting.
  - Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/engineer prior to placement.
  - Grass seed for lawn restoration shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out.
  - Plants material warranties shall be covered by Watering and Cultivation for two growing seasons.
  - Remove the all burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
  - Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No.1 Grade.
  - Plant material shall be planted within the annual planting window of March 15 through November 15.
  - All plant ID tags are to remain until all plants are accepted on site.
  - Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.

- GENERAL NOTES:**
- All Construction shall conform to the current standards and specifications of local ordinances.
  - All areas not built, landscaped, or paved upon shall receive restoration and seed mix.
  - All plant bed areas shall be amply watered upon completion of plant material installation each day.
  - During installation and construction, the Contractor must provide a temporary watering method for all plant material until planted if stored on-site.
  - Contractor shall provide a water drip bag, such as a Gator Bag or similar, per tree installed to remain with the project. Include in unit price for each tree.

**LAWN SEED MIX:**

30% PERENNIAL RYEGRASS  
20% PAW KENTUCKY BLUEGRASS  
45% CREEPING RED FESCUE  
5% ANNUAL RYEGRASS  
4-6/1000 S.F. SEEDING RATE



PLANT LEGEND							
SYMBOL	TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
	DECIDUOUS TREES	GT		Gleditsia triacanthos f. inermis 'Skyline'	SKYLINE HONEY LOCUST	3" cal. B&B	
		TC		Tilia cordata 'Greenspire'	GREENSPIRE LINDEN	3" cal. B&B	

04.17.2020 SD Progress Pricing

Drawn ☒ Preliminary

SP ☐ Construction

Checked ☐ Record

TT Approved ☐ Do not scale

MM Bidpak Number Use figured dimensions only

Job Number

19685-01D

Title

Landscape Plan

Sheet

L-100

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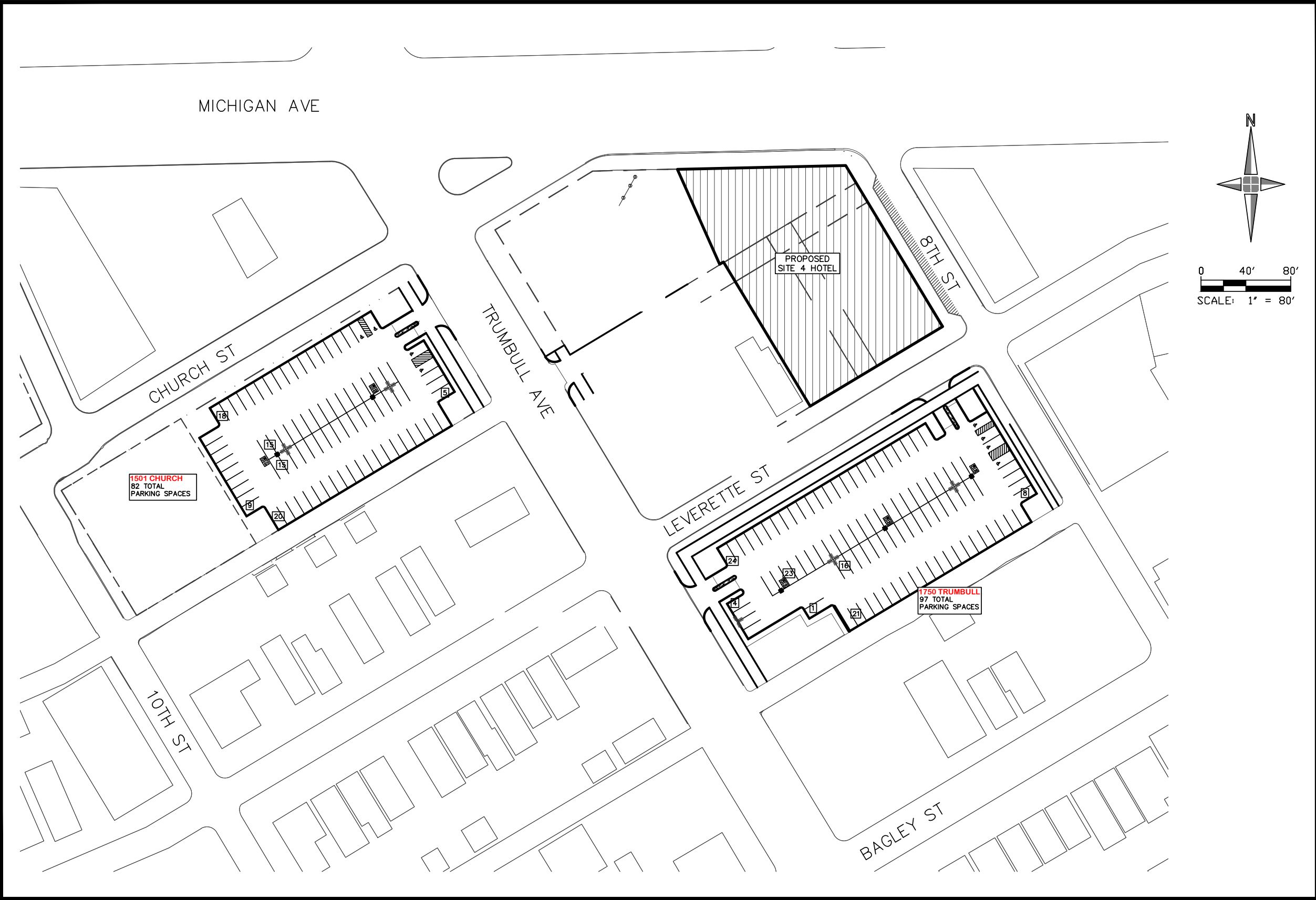
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Executive: MWM  
Manager: TET  
Designer: SLP  
Quality Control: MGD  
Section:



Know what's below.  
Call before you dig.

DATE:	ISSUE:
2020-03-23	Parking Schematic

Developed For:  
**Elkus Manfredi**

City of Detroit  
Wayne County  
MICHIGAN

Date: 2020-03-10  
Scale: AS SHOWN  
Sheet: EX1  
Project: 19695-01D

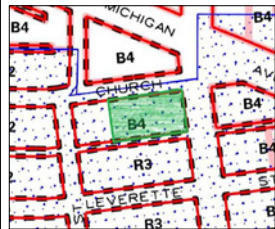
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PROPERTY DESCRIPTION

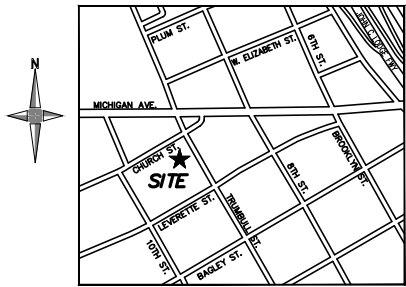
PROPERTY ENCOMPASSES PARCELS: 1501, 1525, 1533, 1537, AND 1541 CHURCH. THESE INDIVIDUAL PARCELS WILL BE COMBINED INTO A SINGLE PARCEL WITH THE 1501 CHURCH ADDRESS.

ZONING MAP



PLANT LIST

TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES	GT		Gleditsia triacanthos f. inermis 'Skyline'	SKYLINE HONEY LOCUST	3" cal. B&B	
	TC		Tilia cordata 'Greenspire'	GREENSPIRE LINDEN	3" cal. B&B	
	QR		Quercus robur 'Fastigiata'	ENGLISH OAK	3" cal. B&B	



LOCATION MAP  
( NOT TO SCALE )

SITE PLAN - KEY NOTES

- | #  | NOTE  |
|----|---|
| 1  | PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.   |
| 2  | NEW 4" CONCRETE SIDEWALK PAVEMENT PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS  |
| 3  | NEW 6" CONCRETE PAVEMENT WITH 6" MDOT 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR   |
| 4  | INSTALL ASPHALT: 1.5" MDOT 4C OVER 2" MDOT 3C WITH 8" 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR   |
| 5  | INSTALL PARKING BOOTH ISLAND, BARRIER ARM GATE, AND EQUIPMENT   |
| 6  | PROVIDE AND INSTALL NEW 6" CURB AND GUTTER, 18" WIDE GUTTER, REVERSE PAN  |
| 7  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 8  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 9  | PAVEMENT MARKINGS, 4" YELLOW, TYP.  |
| 10 | PAVEMENT MARKINGS, 4" BLUE- ADA COMPLIANT, TYP.   |
| 11 | 5' TALL ORNAMENTAL FENCE, BLACK; AMERSTAR AEGIS II STEEL OR EQUAL   |
| 12 | INSTALL INTERIOR LIGHTING   |
| 13 | CATCH BASIN PER DWSO STANDARDS AND SPECIFICATIONS. FINAL LOCATION, NUMBER OF CATCH BASINS, AND SEWER CONNECTION TBD.  |
| 14 | INSTALL TREE PER PLANT LIST   |

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Executive:	MWM
Manager:	TET
Designer:	SLP
Quality Control:	MWM
Section:	22 & 248
	T-02-S R-12-E

Professional Seal:



DATE:	ISSUE:
2020-04-24	Site Plan

Developed For:  
**Godfrey Detroit**  
  
1404 Michigan Avenue  
Detroit, Michigan

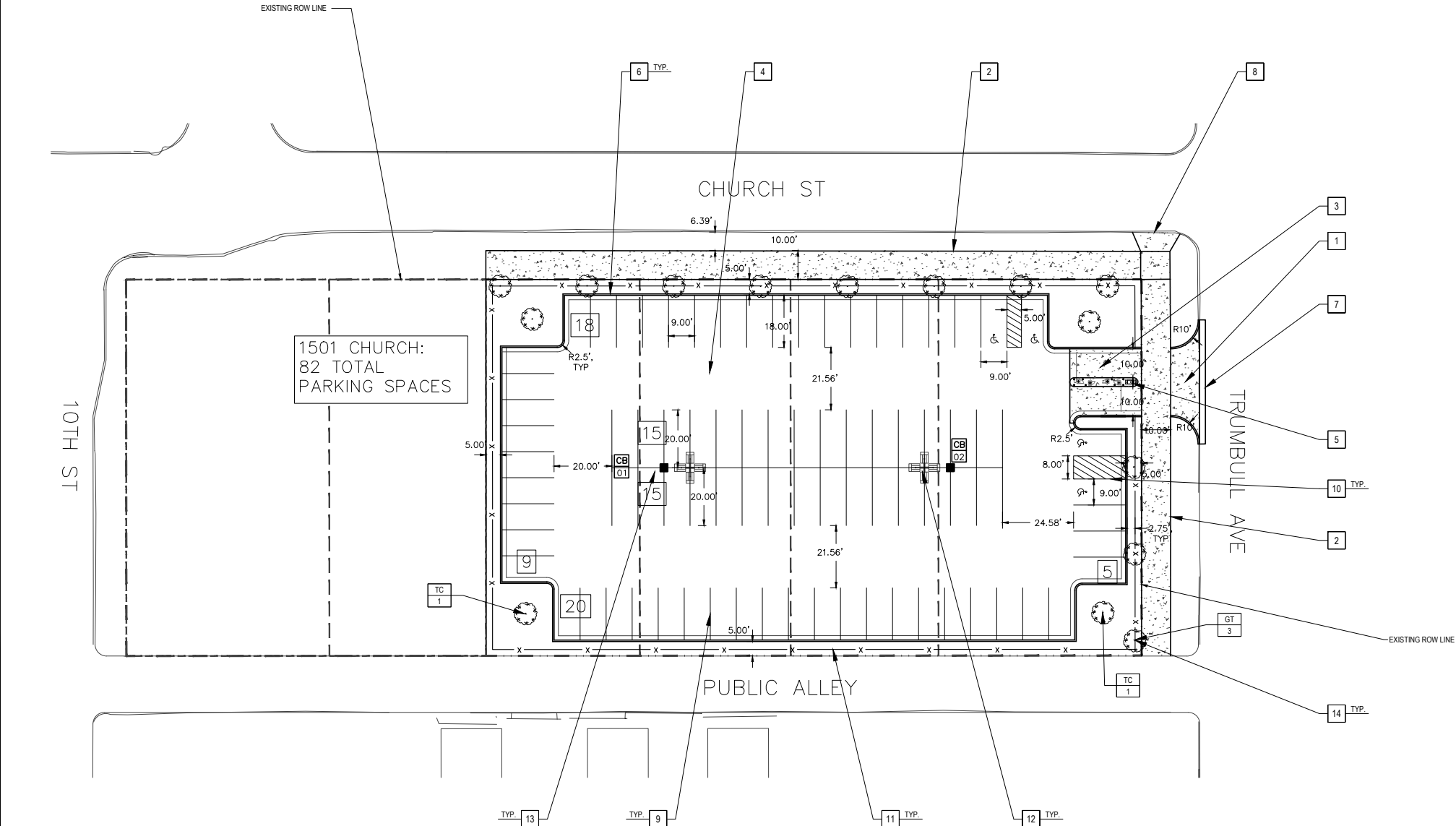
1501 Church  
Site Plan

Corktown Hotel Parking Lots

City of Detroit  
Wayne County  
MICHIGAN

Date:	2020-04-24
Scale:	1"=20'
Sheet:	C1
Project:	19695-01d

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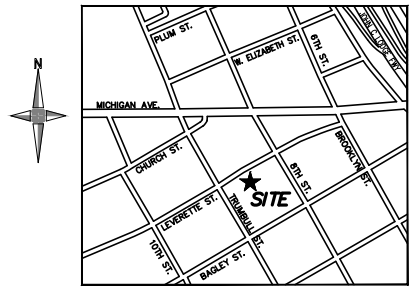


V:\19695-01D Corktown Hotel\Design\CAD\Parking\_Lots\1501 Church Site Plan.dwg

PROPERTY DESCRIPTION

PROPERTY ENCOMPASSES PARCELS: 1403, 1411, 1421, 1431, 1441 LEVERETTE AND 1742 AND 1750 TRUMBULL. THESE INDIVIDUAL PARCELS WILL BE COMBINED INTO A SINGLE PARCEL WITH THE 1750 TRUMBULL ADDRESS.

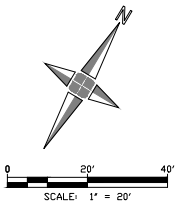
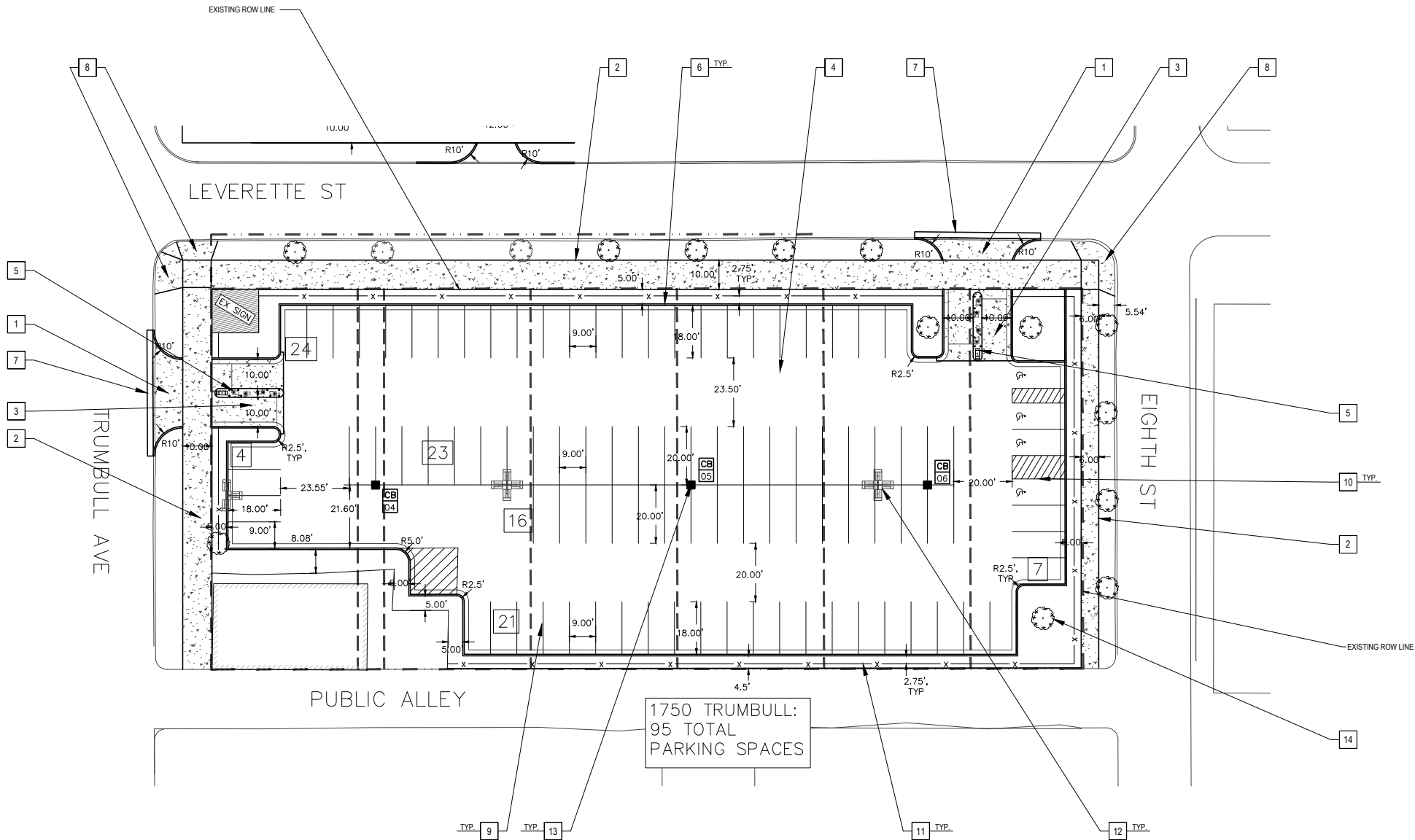
ZONING MAP



LOCATION MAP  
( NOT TO SCALE )

SITE PLAN - KEY NOTES

- | #  | NOTE  |
|----|---|
| 1  | PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.   |
| 2  | NEW 4" CONCRETE SIDEWALK PAVEMENT PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS  |
| 3  | NEW 6" CONCRETE PAVEMENT WITH 6" MDOT 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR   |
| 4  | INSTALL ASPHALT: 1.5" MDOT 4C OVER 2" MDOT 3C WITH 8" 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR   |
| 5  | INSTALL PARKING BOOTH ISLAND, BARRIER ARM GATE, AND EQUIPMENT   |
| 6  | PROVIDE AND INSTALL NEW 6" CURB AND GUTTER, 18" WIDE GUTTER, REVERSE PAN  |
| 7  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 8  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 9  | PAVEMENT MARKINGS, 4" YELLOW, TYP   |
| 10 | PAVEMENT MARKINGS, 4" BLUE- ADA COMPLIANT, TYP  |
| 11 | 5' TALL ORNAMENTAL FENCE, BLACK; AMERSTAR AEGIS II STEEL OR EQUAL   |
| 12 | INSTALL INTERIOR LIGHTING   |
| 13 | CATCH BASIN PER DWSO STANDARDS AND SPECIFICATIONS. FINAL LOCATION, NUMBER OF CATCH BASINS, AND SEWER CONNECTION TBD.  |
| 14 | INSTALL TREE  |



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Manager:	TET
Designer:	SLP
Quality Control:	MWM
Section:	22 & 248
	T-02-S R-12-E

Professional Seal:



DATE:	ISSUE:
2020-04-24	Site Plan

Developed For:

Godfrey Detroit

1404 Michigan Avenue  
Detroit, Michigan

1750 Trumbull  
Site Plan

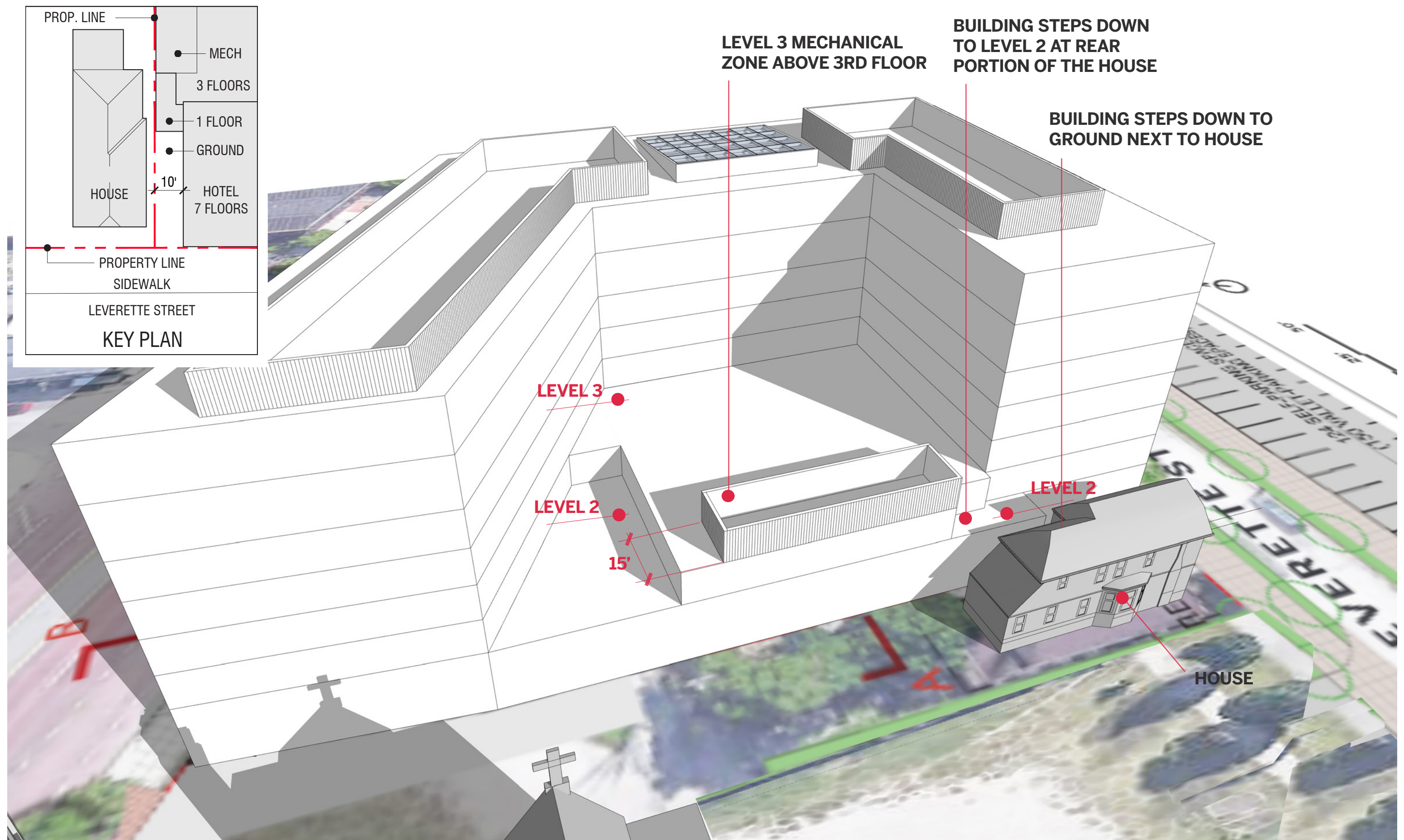
Corktown Hotel Parking Lots

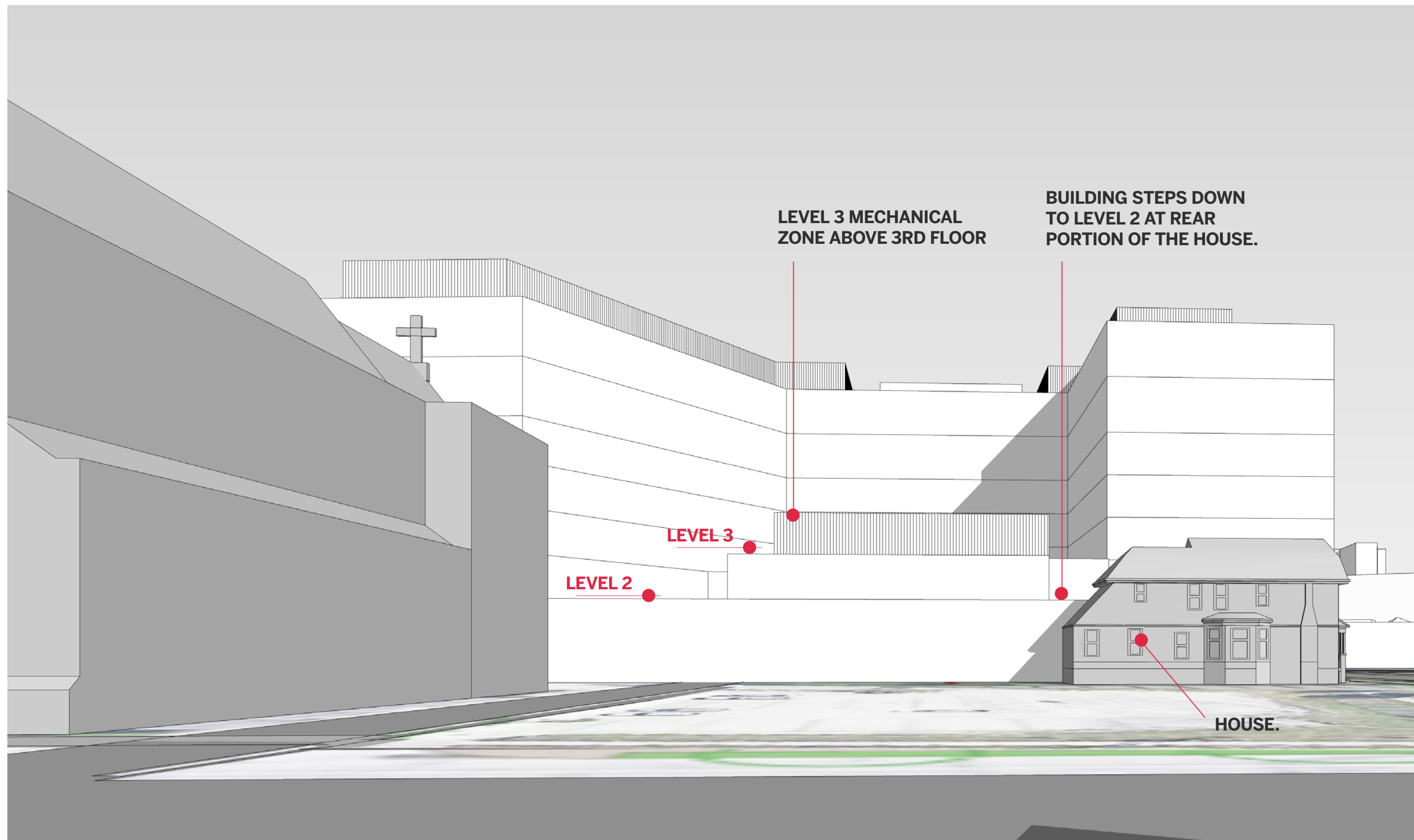
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Wayne County  
MICHIGAN

Date:	2020-04-24
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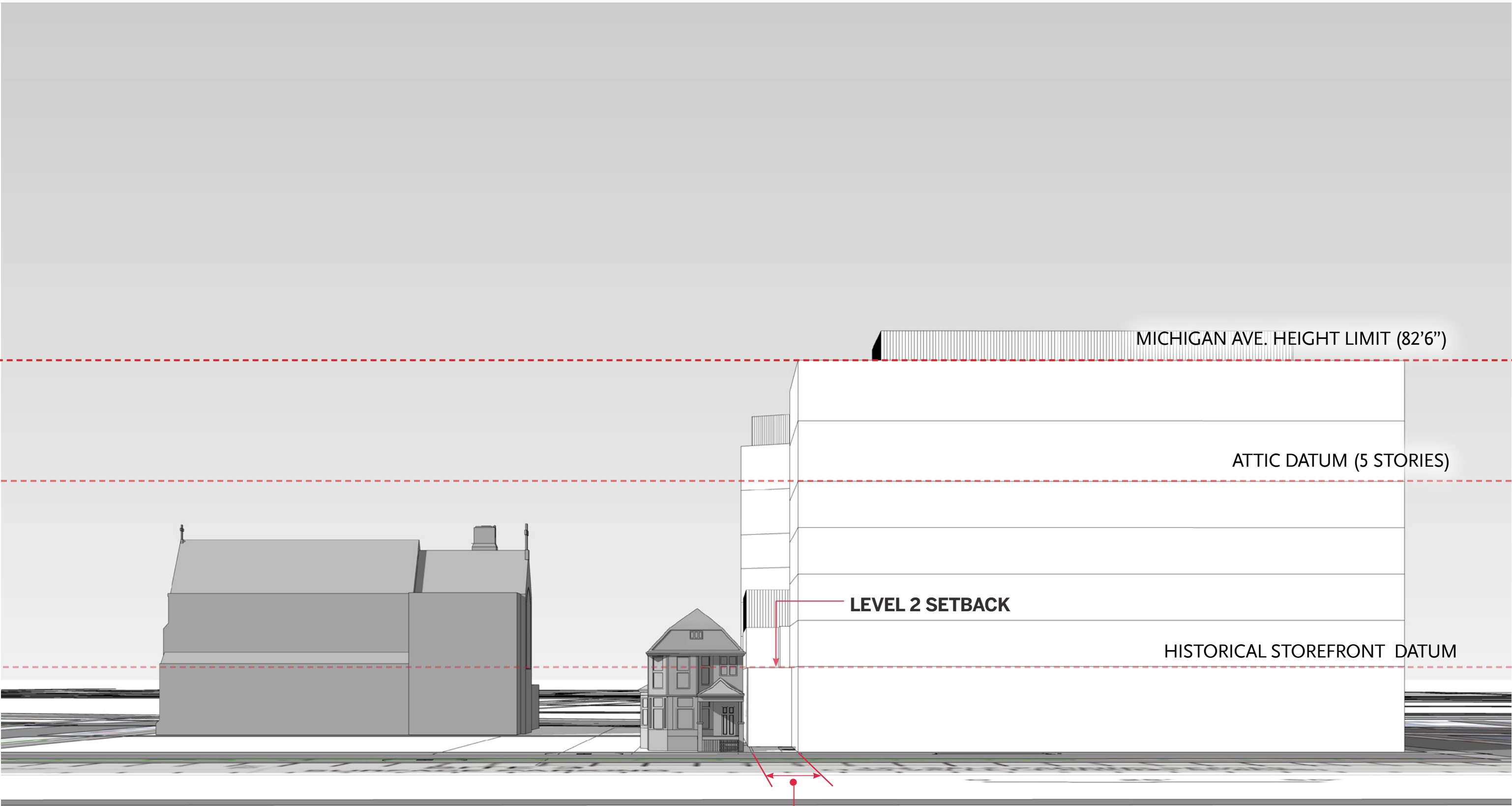
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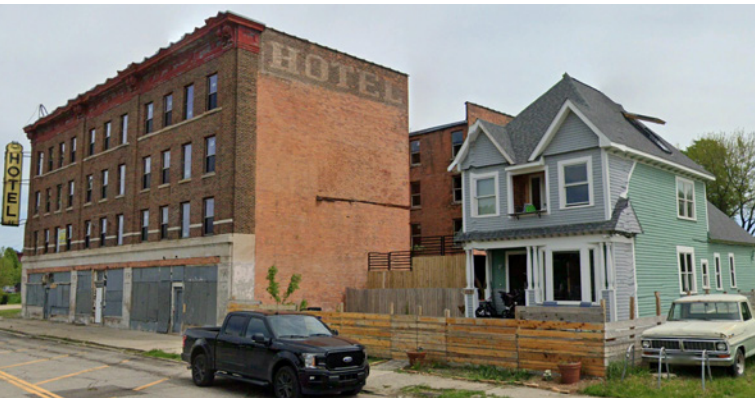






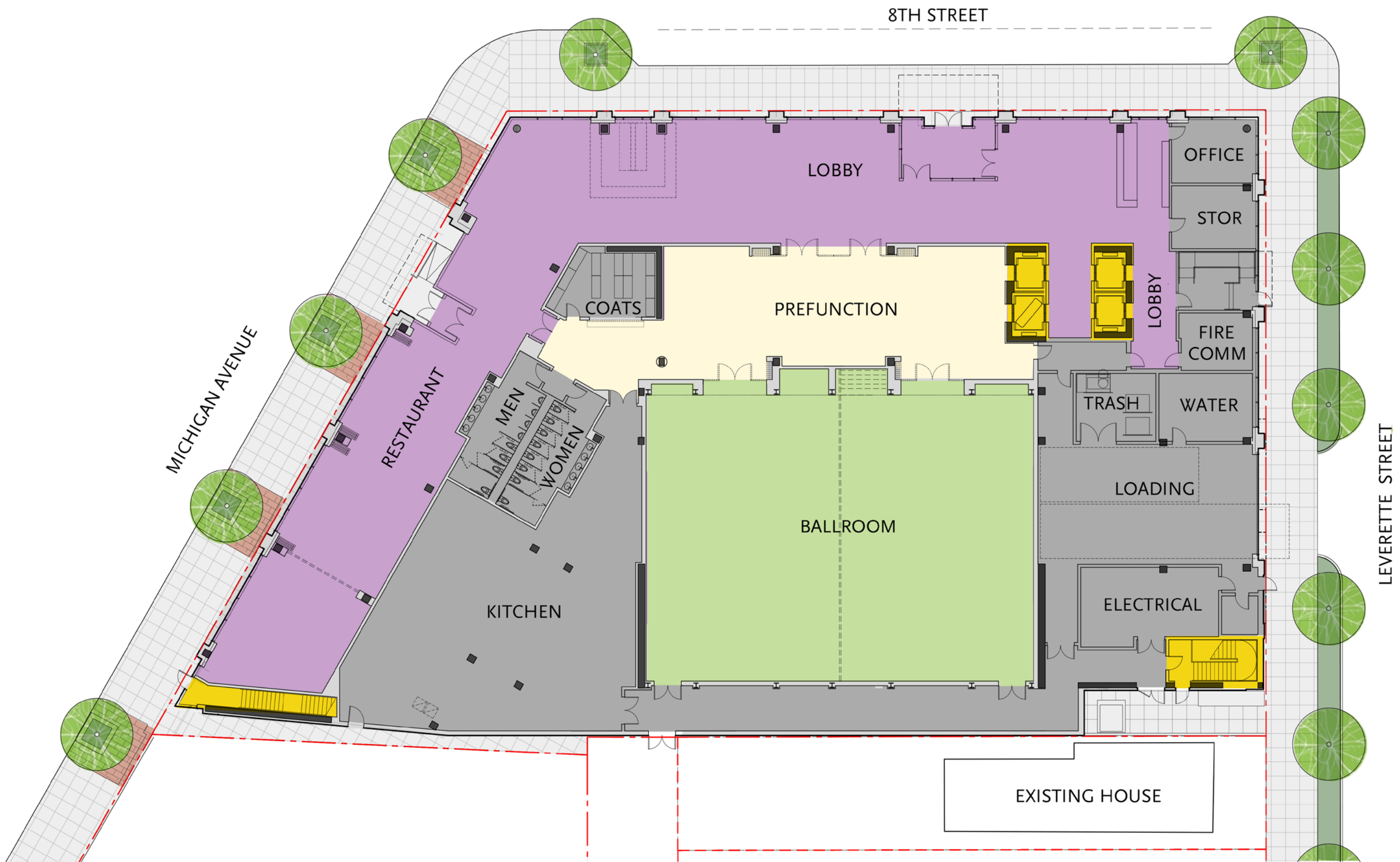






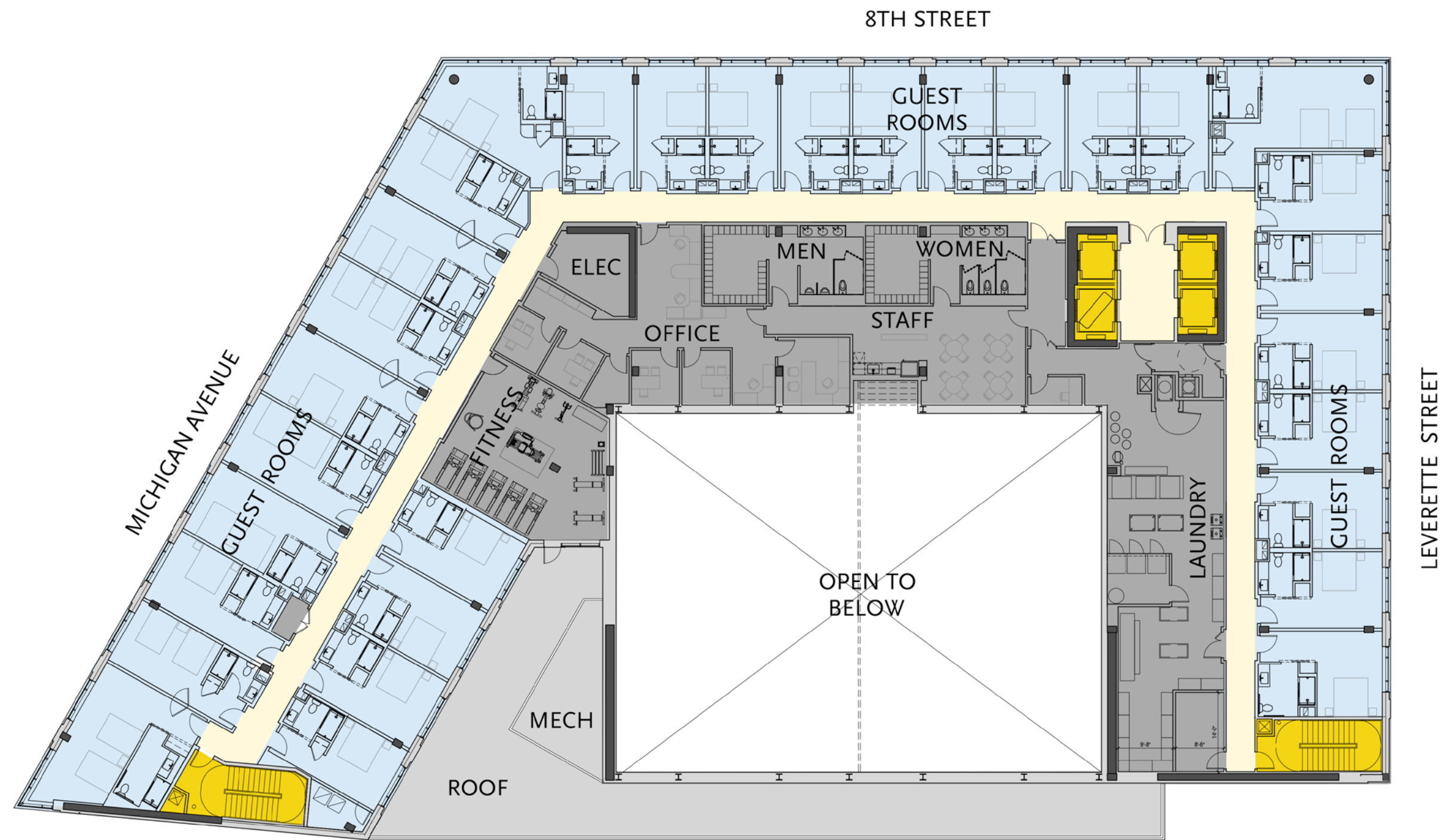
# Corktown Juxtapositions of Large/Small Structures



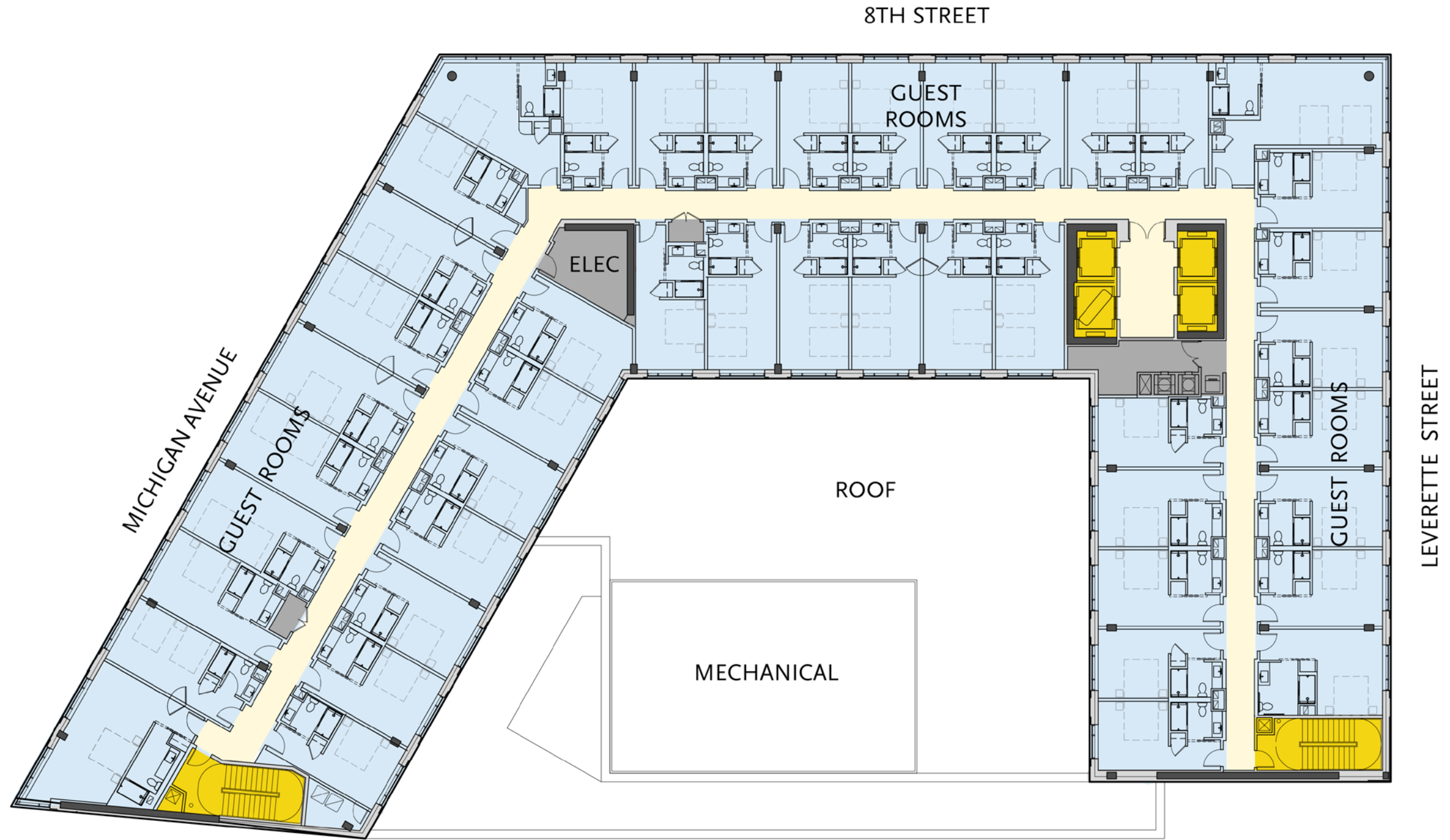


Ground Level Plan



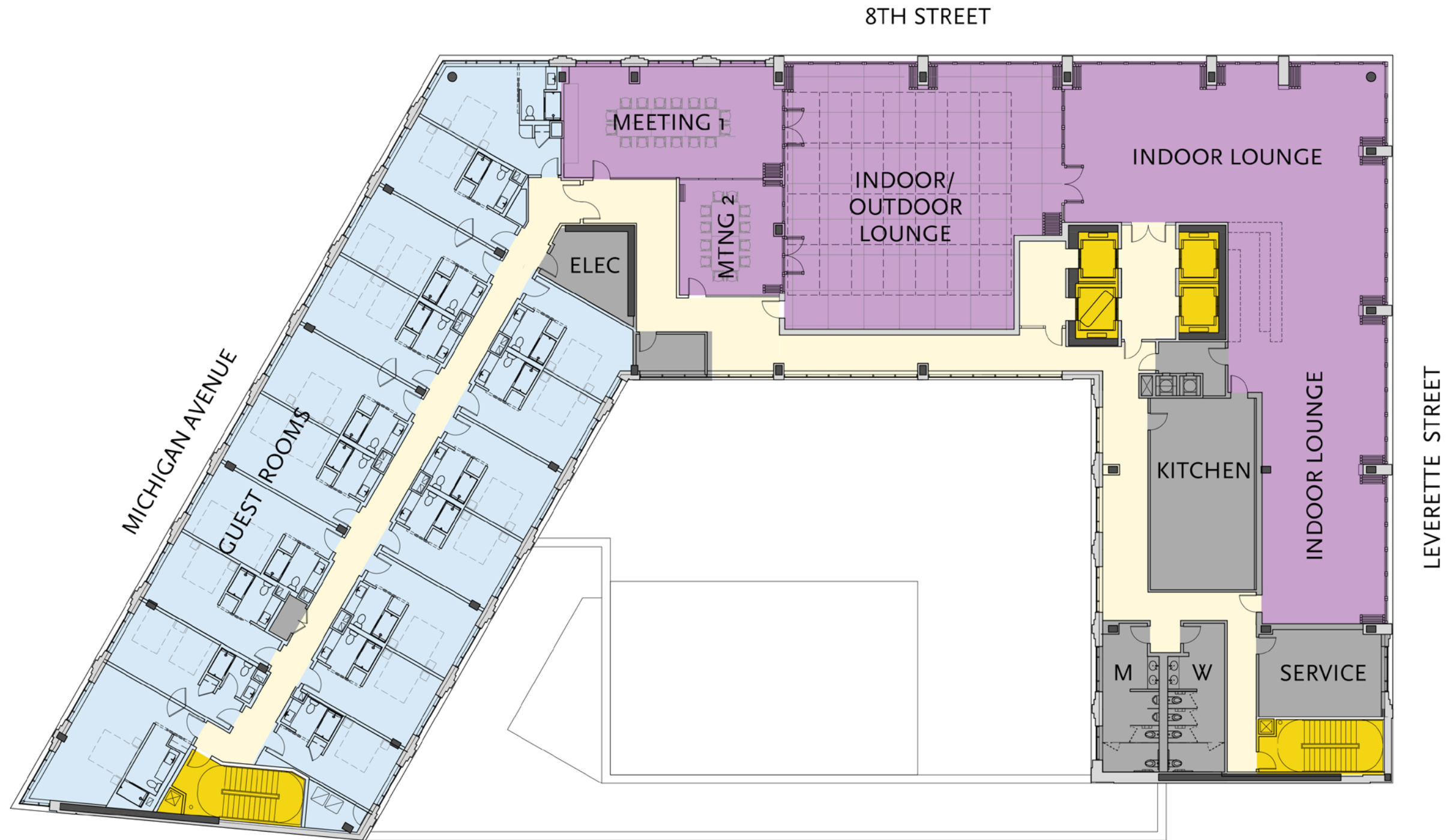


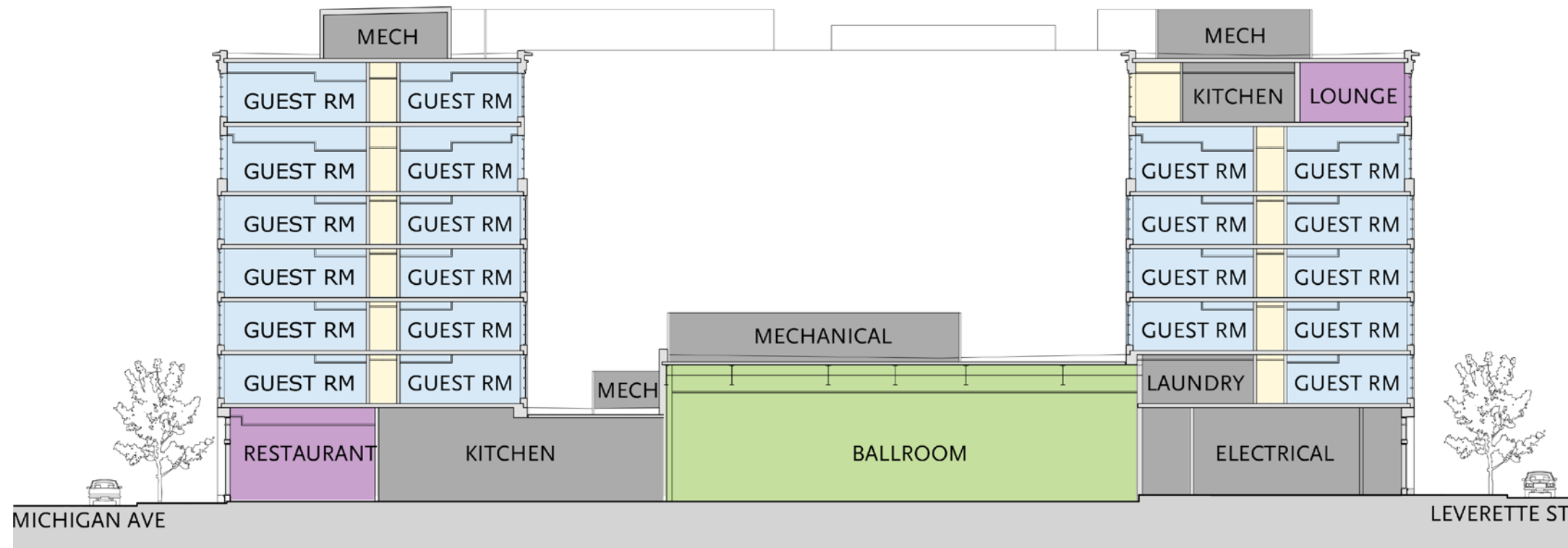
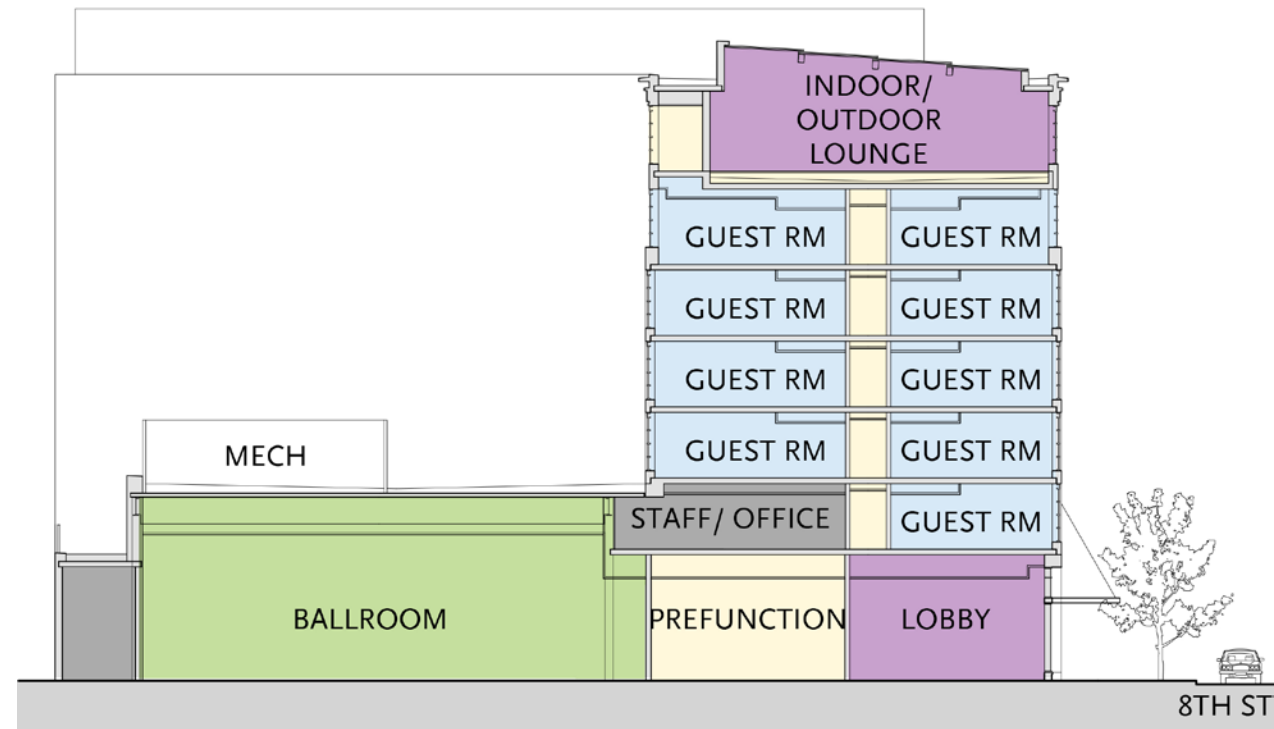




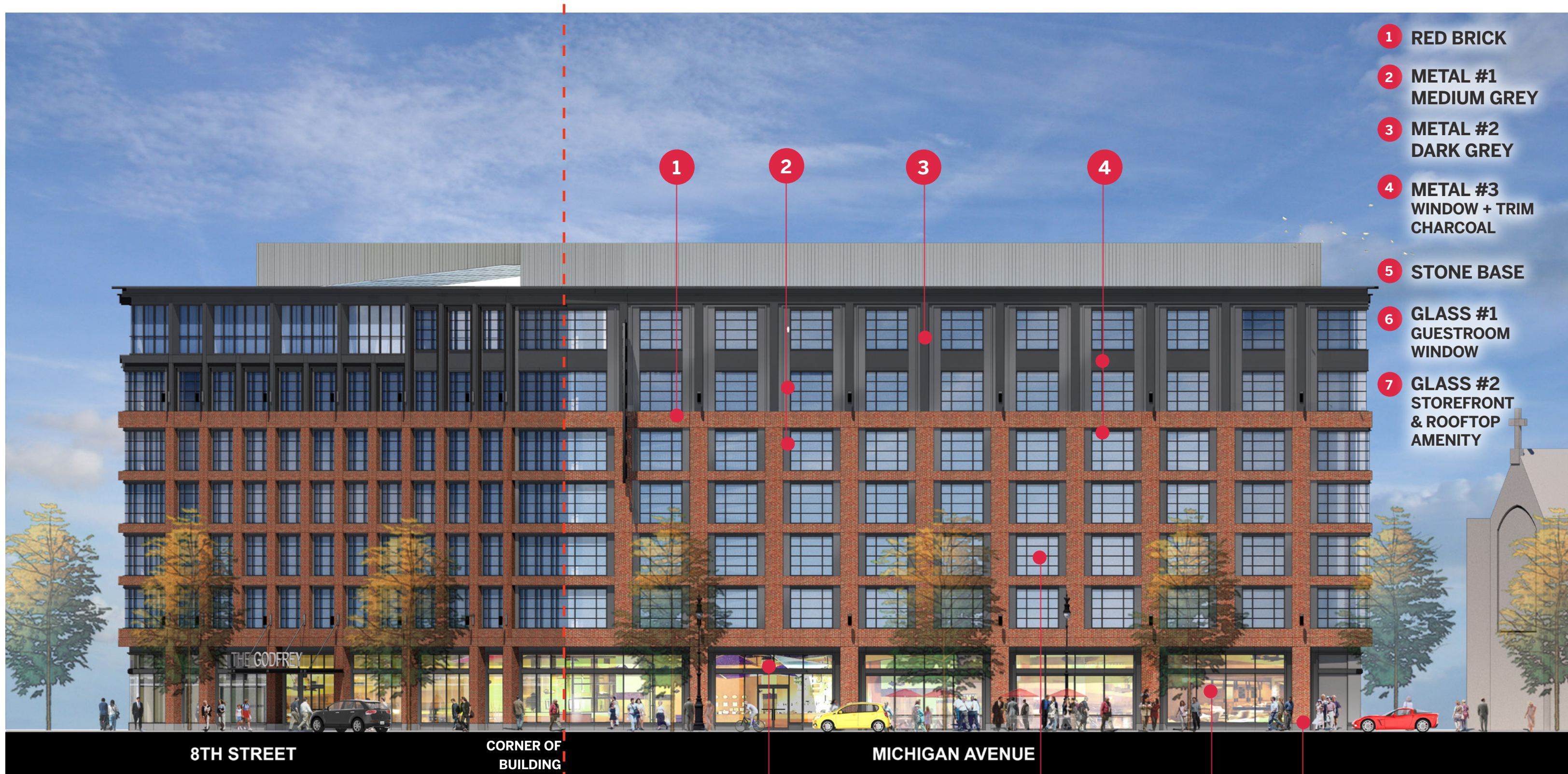








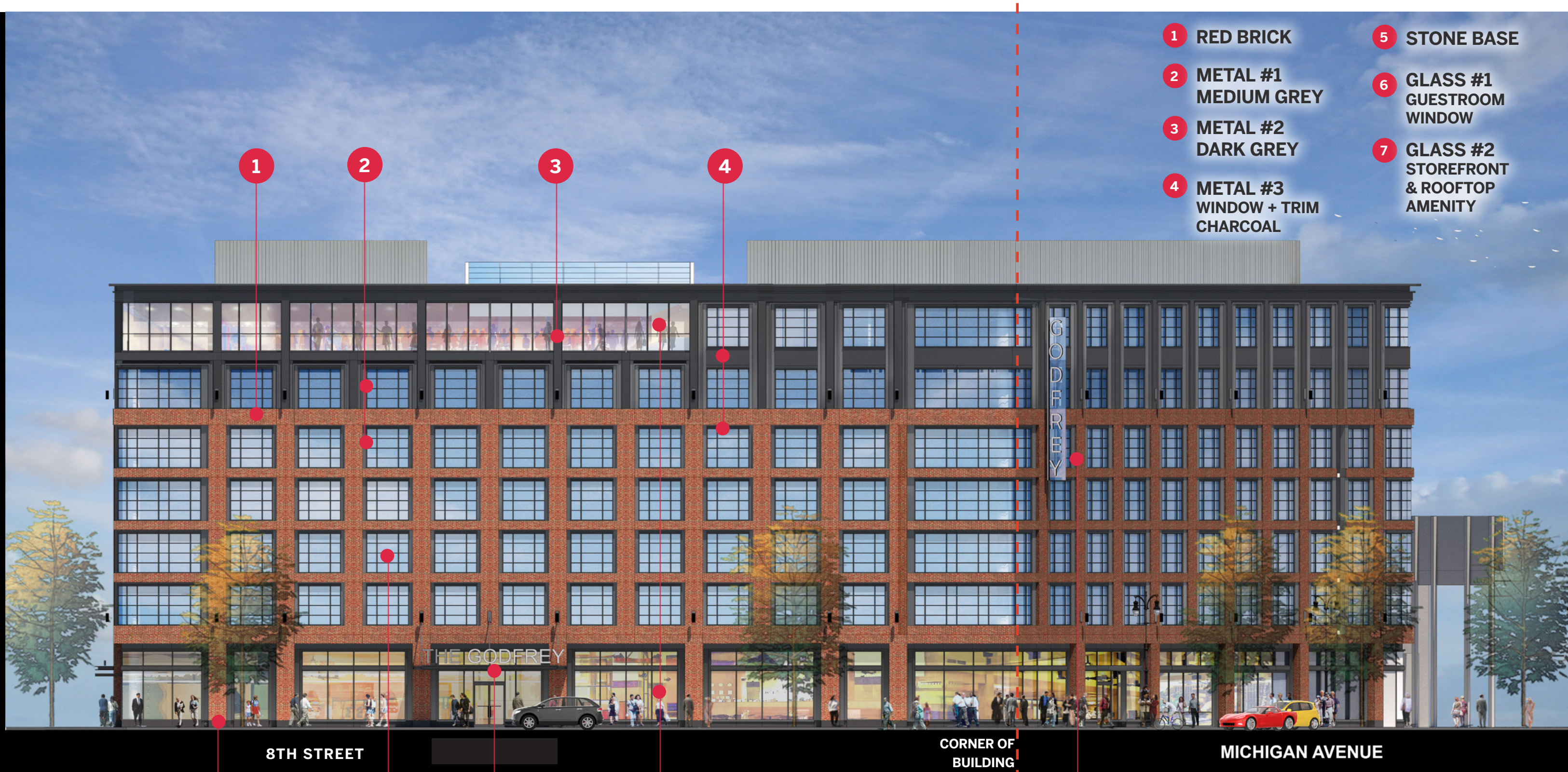




**Restaurant Entry Sign**  
Aproximate Dimensions:  
1'-0" x 12'-0"

## Michigan Avenue Elevation





- 1 RED BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 WINDOW + TRIM CHARCOAL
- 5 STONE BASE
- 6 GLASS #1 GUESTROOM WINDOW
- 7 GLASS #2 STOREFRONT & ROOFTOP AMENITY

8TH STREET

CORNER OF  
BUILDING

MICHIGAN AVENUE

**Hotel Entry Sign**  
Approximate  
Dimensions:  
2'-0" x 25'-0"

**Michigan Avenue Blade Sign**  
Approximate Dimensions:  
3'-0" x 30'-0"

## 8th Street Elevation

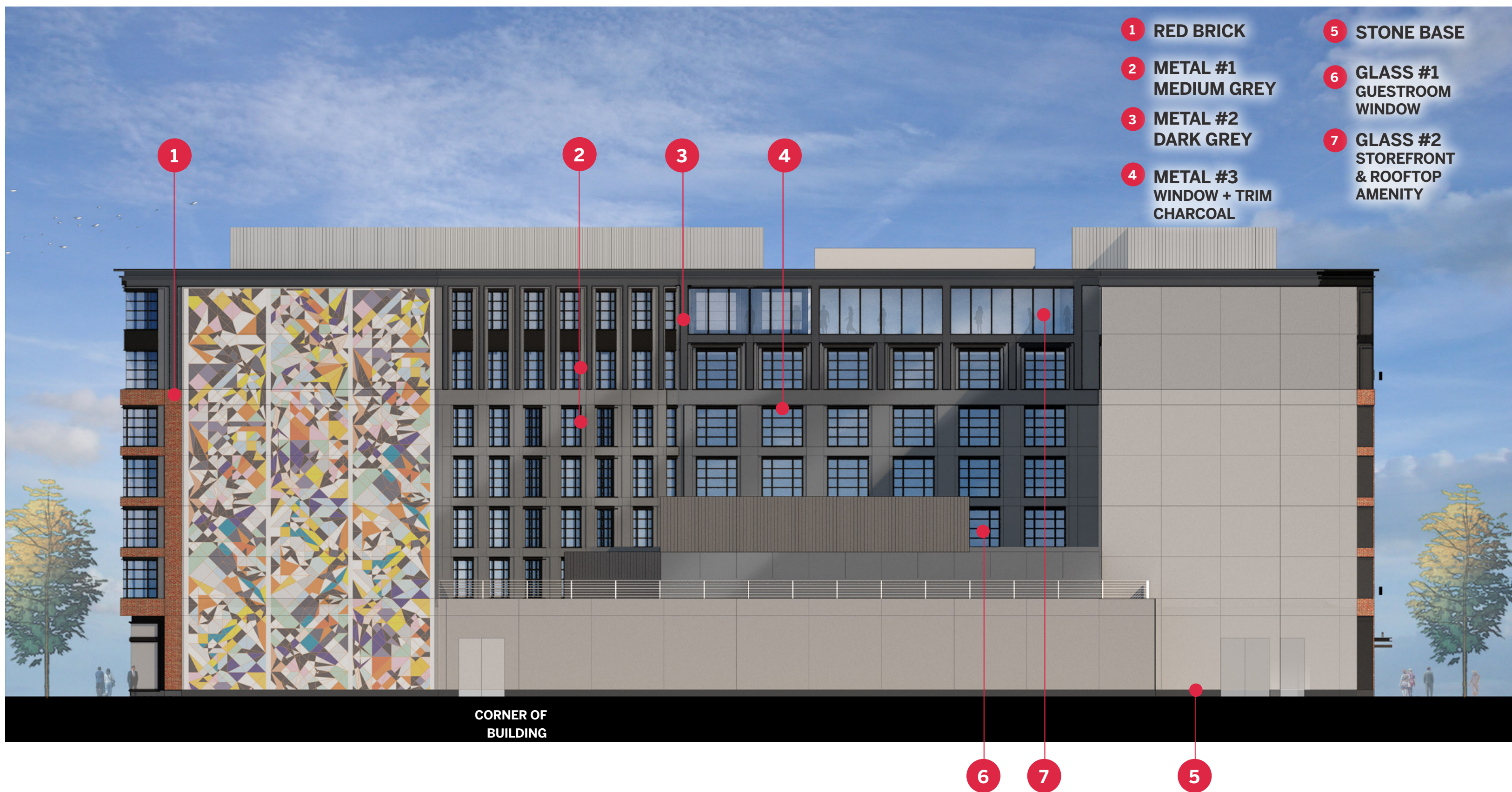




**Roof Lounge Entry Sign**  
Aproximate Dimensions:  
1'-0" x 12'-0"

## Leverette Street Elevation





**Courtyard Elevation**





EXISTING MICHIGAN AVE



MICHIGAN AVENUE





EXISTING 8TH STREET



8TH STREET



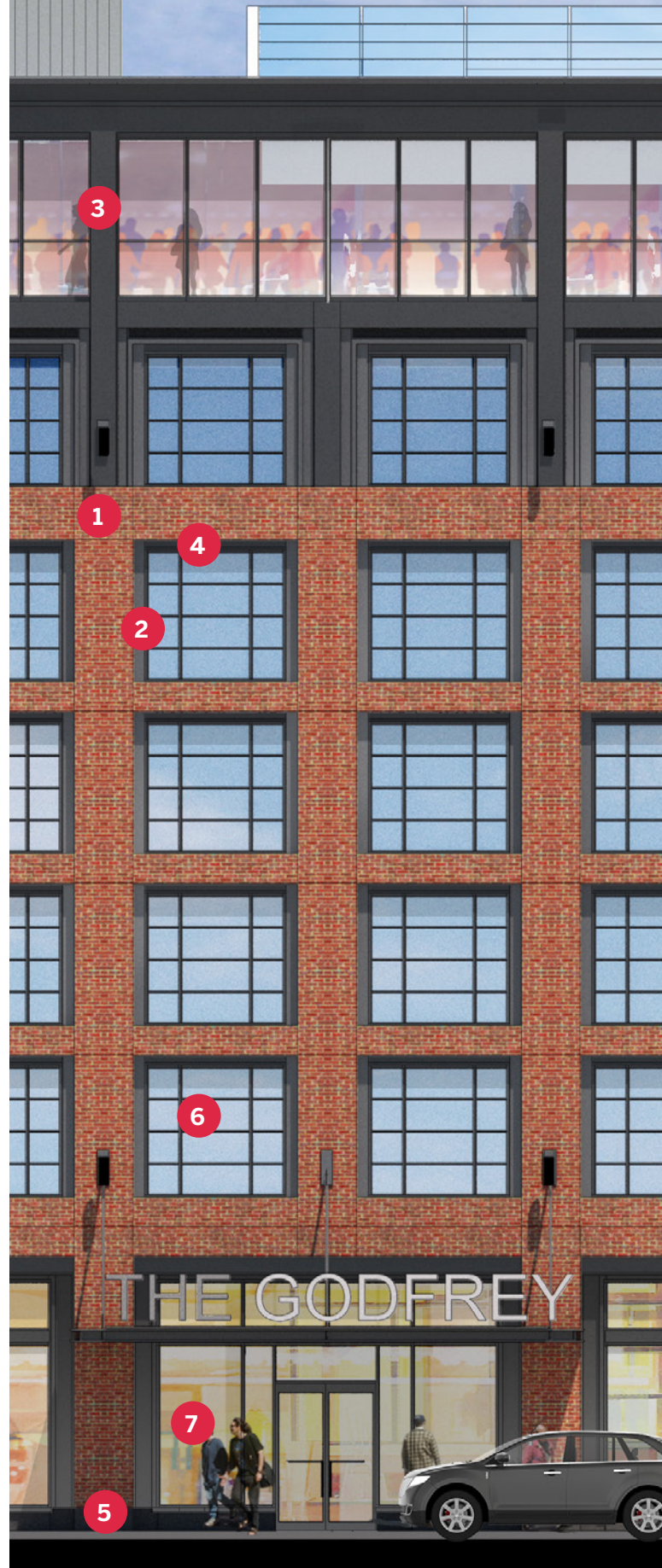


EXISTING LEVERETTE STREET

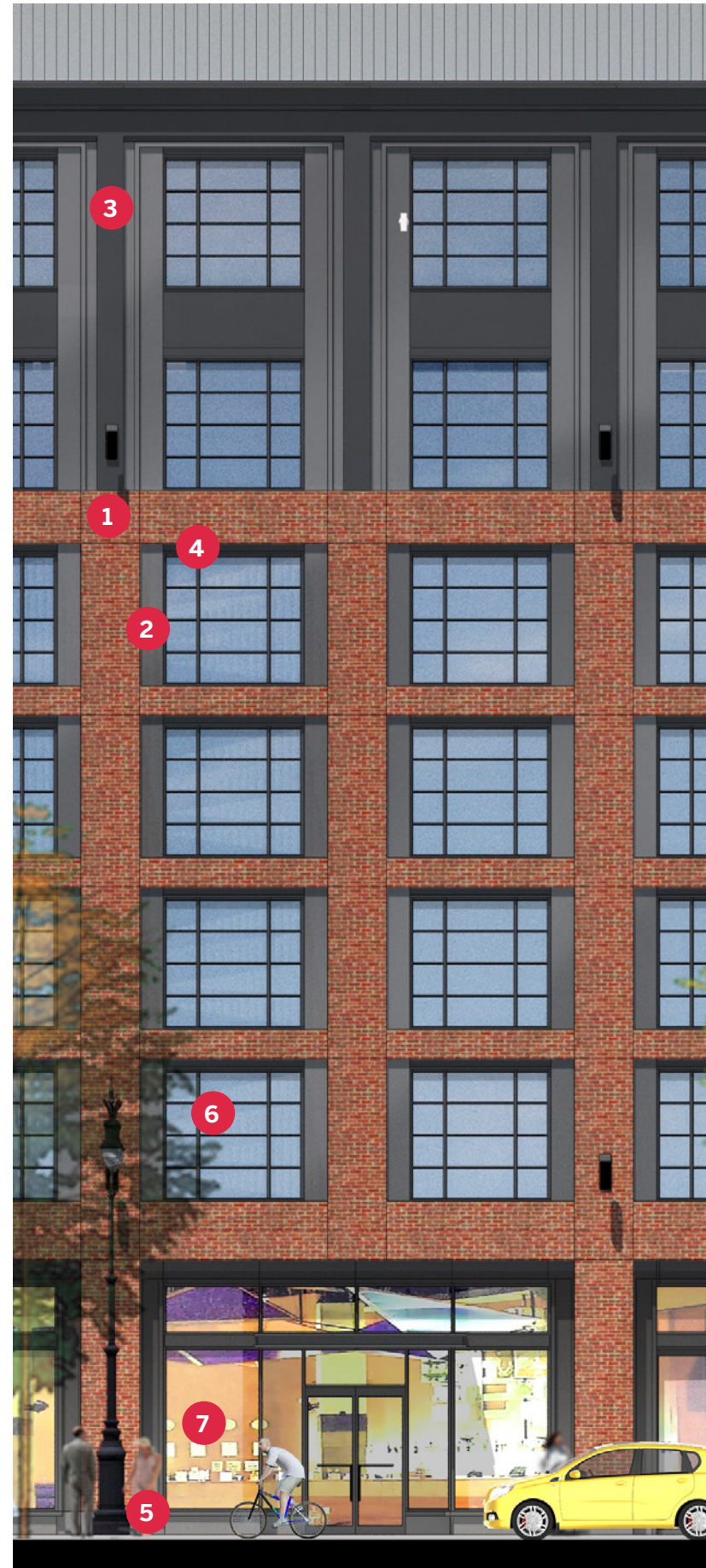
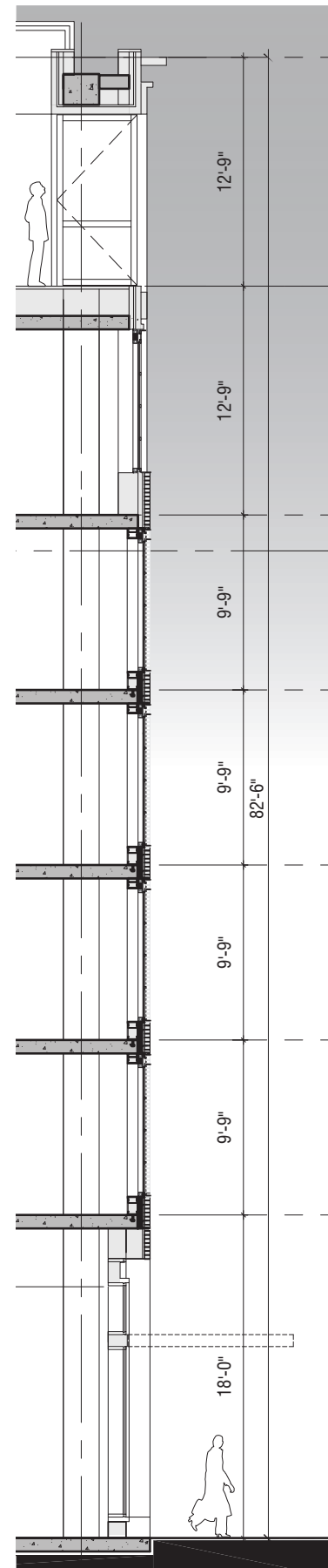


LEVERETTE STREET

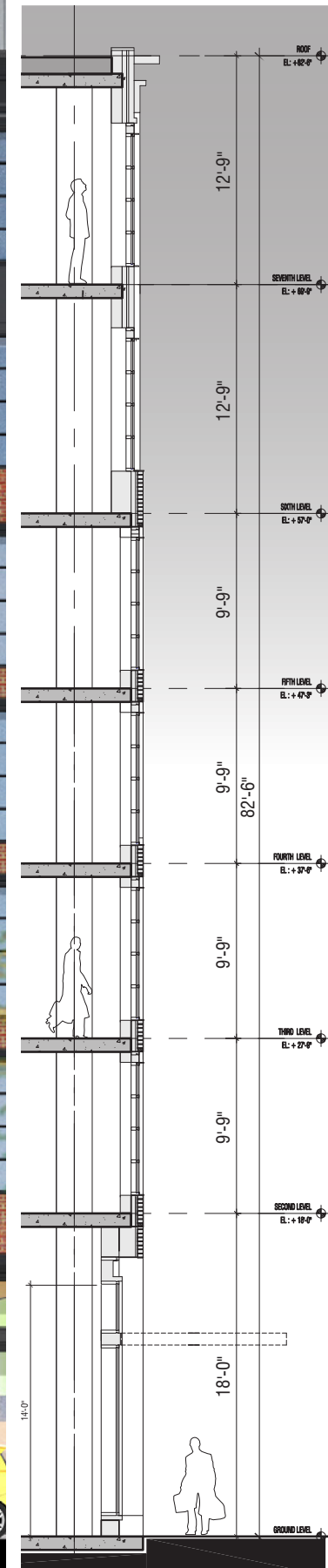




8TH STREET

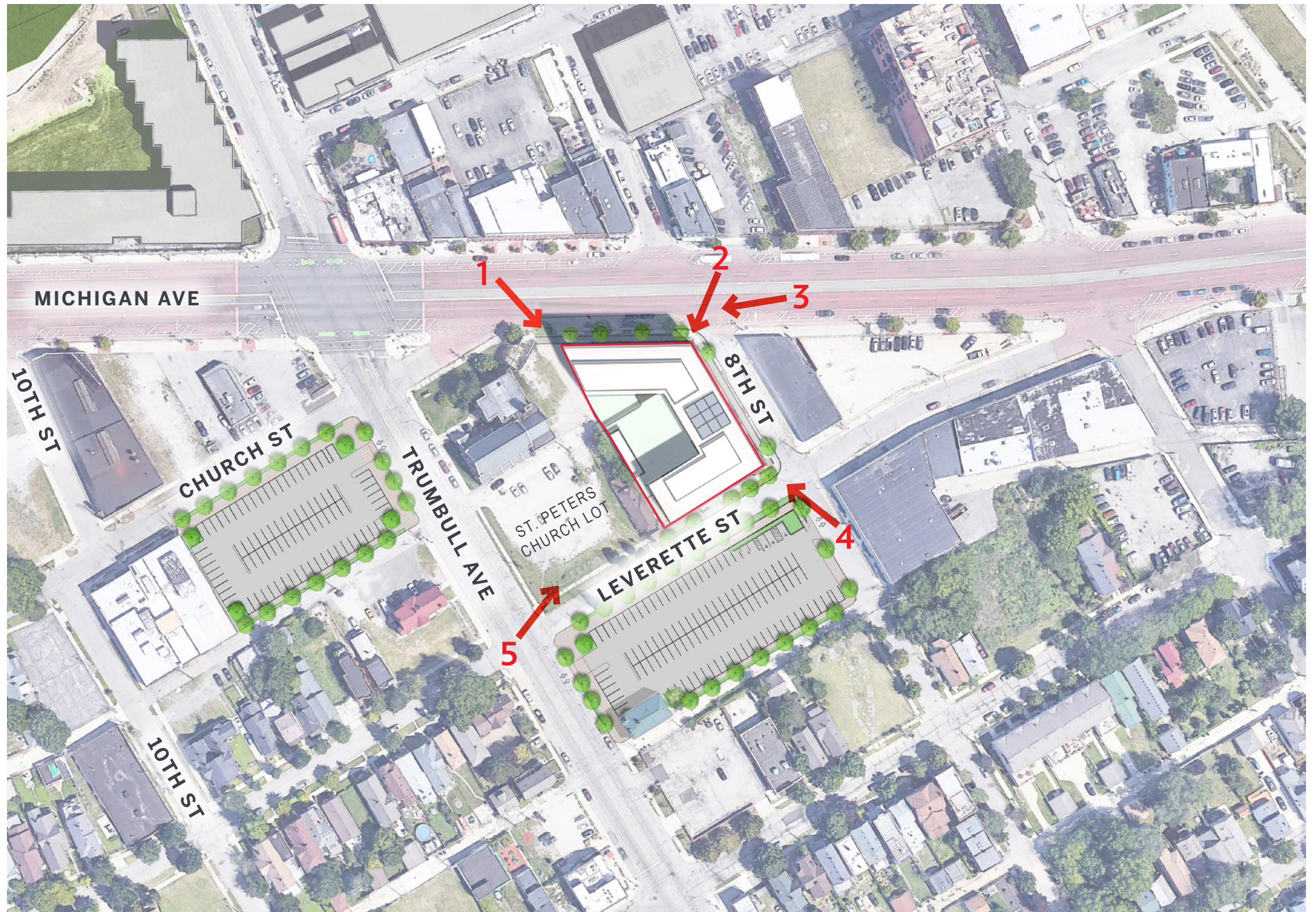


MICHIGAN AVENUE



- 1 RED BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 WINDOW MULLION + TRIM CHARCOAL
- 5 STONE BASE
- 6 GLASS #1 GUESTROOM WINDOW
- 7 GLASS #2 STOREFRONT & ROOFTOP AMENITY









**View 1 (from Michigan Avenue Looking South East)**





**View 2 (from Michigan Avenue Looking South West)**





**View 3 (from Michigan Avenue Looking West)**





© ELKUS MANFREDI ARCHITECTS

**View 4 (From Leverette Street Looking North West)**





© ELKUS MANFREDI ARCH

**View 5 (from Leverette Street Looking North East)**





**CHECKER BUILDING**  
Elton Park, Detroit



**THE FACTORY**  
Ford Campus, Detroit



**MICHIGAN AVENUE STOREFRONT**  
Corktown, Detroit



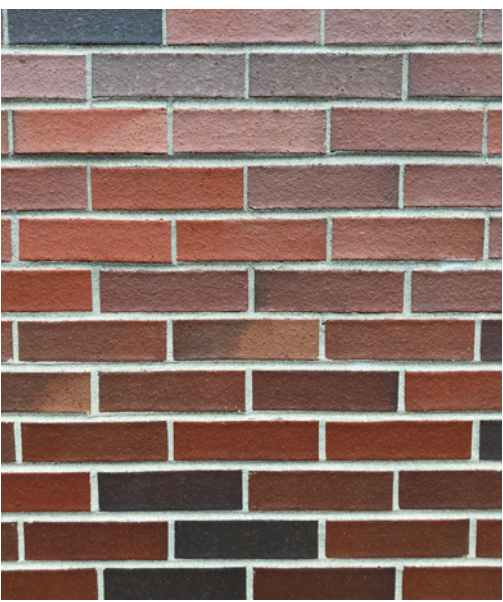
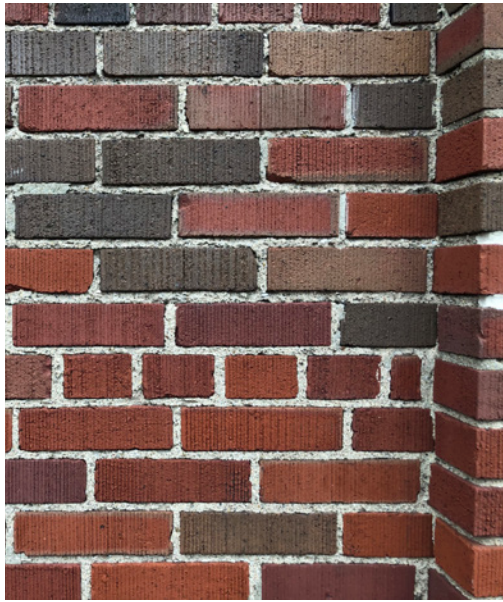
**THE CRAWFORD**  
Corktown, Detroit



**OTTAVIAVIA RESTAURANT**  
Corktown, Detroit



**TRUMBULL MARKET**  
Corktown, Detroit







**RED BRICK & CORNICE**



**DARK GREY METAL FRAME / MULLION**



**GREY METAL PANEL**



