THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

Date:

General

Rehab

Based on the scope of work, additional documentation may

See www.detroitmi.gov/hdc for I scope-specific requirements.

I be required.

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

PROPERTY INFORMATION

Δ

P

P

PROPERTY INFORMATION			
ADDRESS:		AKA:	
HISTORIC DISTRICT:			
SCOPE OF WORK: Windows/ (Check ALL that apply) Windows/	Roof/Gutters/ Chimney	Porch/ Deck	Landscape/Fence/ Tree/Park
New Construction	Demolition	Addition	Other:

PPLICANT IDENTIFICATION

ALL EIGANT IDENTI				
Property Owner/ Homeowner	Contractor	Tenant or Business O	ccupant	Architect/Engineer/ Consultant
IAME:		_ COMPANY NAME:		
DDRESS:		_ CITY:	STATE:	ZIP:
HONE:	MOBILE:		_ EMAIL:	
PROJECT REVIEW R	FOLIEST CHE	CKLIST		
lease attach the following		-		
PLEASE KEEP FILE SIZE O	F ENTIRE SUBMIS	SION UNDER 30MB*	r —	

Completed Building Permit Application (highlighted portions only)

ePLANS Permit Number (only applicable if you've already applied
for permits through ePLANS)

Photographs of ALL sides of existing building or site

Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)

Description of existing conditions (including materials and design)

Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair-of existing and/or construction of new is required)

Detailed scope of work (formatted as bulleted list)

Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

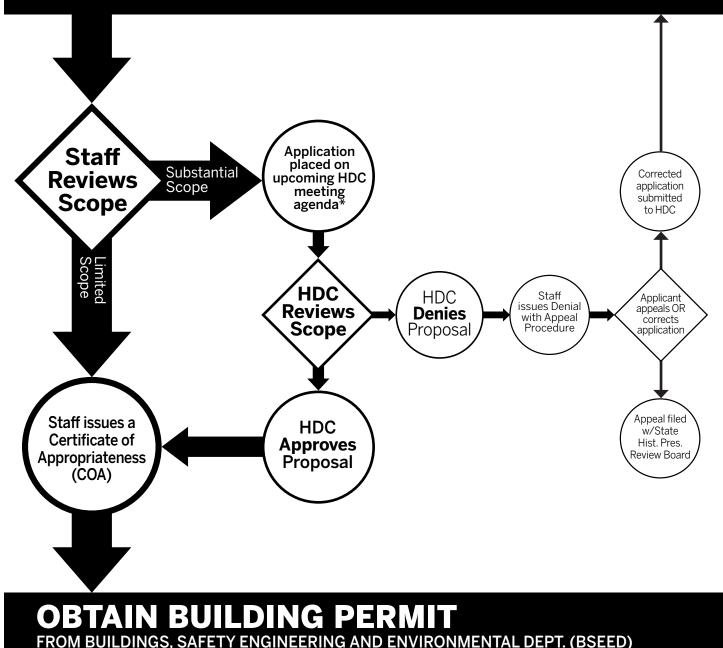
P2 - BUILDING PERMIT APPLICATION

PROPERTY INFORMATION				
	1			
Address:		Floor:	Suite#:Stories:	
AKA:				
Parcel ID#(s):				
Current Legal Use of Property:		_ Proposed l	Jse:	
Are there any existing buildings of	or structures on this parce	el?	Yes 🗌 No	
PROJECT INFORMATION				
Permit Type: New	Alteration Additio	n Demo	olition Correct Vio	latior
Foundation Only Chang				
Revision to Original Permit #:				
Description of Work (Describe in				
Description of Work (2000.00 m				
		IBC use chan	ge 🗌 No MBC use ch	nange
Included Improvements (Check	all applicable; these trade ar	eas require sepa	rate permit applications)	
HVAC/Mechanical Elec	ctrical Plumbing	Fire Spri	nkler System 🗌 Fire	Aları
Structure Type				
New Building Existing	Structure 🗌 Tenant S	pace 🗌 (Garage/Accessory Buildi	ng
Other: Size of		· <u> </u>		-
Construction involves changes to	-		No	
(e.g. interior demolition or construction	· –			
Use Group: Type	e of Construction (per curr	ent MI Bldg Coc	le Table 601)	
Estimated Cost of Construction				
Structure Use	By Contractor		By Department	
Residential-Number of Units:	_ Office-Gross Floor Are	a	Industrial-Gross Floor Area	
Residential-Number of Units: Commercial-Gross Floor Area:				
	Institutional-Gross Floo	or Area	Other-Gross Floor Area	
Commercial-Gross Floor Area: Proposed No. of Employees: PLOT PLAN SHALL BE submitted of	List materials to be stored in big separate sheets and sh	or Area [n the building: _ all show all ea	Other-Gross Floor Area _	nts
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IDENTIFICATION (All Fields Required) Property Owner/Homeowner Property Owner/Homeowner is Permit Applicant Name: Company Name: Address: _____ City: _____ State: __Zip: _____ Mobile: Phone: Driver's License #: Email: **Contractor** Contractor is Permit Applicant Representative Name: Company Name: City: State: Zip: Address: Phone: _____ Mobile: _____ Email: _____ City of Detroit License #: TENANT OR BUSINESS OCCUPANT Name: _____ Phone: _____ Email: _____ ARCHITECT/ENGINEER/CONSULTANT Architect/Engineer/Consultant is Permit Applicant Name: State Registration#: Expiration Date: City: State: Zip: Address: Email: Mobile: Phone: HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.) I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit. Print Name: ______ Signature: ______ Date: _____ Subscribed and sworn to before me this _____day of _____20 ____A.D. ____County, Michigan Signature: _____ My Commission Expires: ____ PERMIT APPLICANT SIGNATURE I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be (Permit Applicant) Print Name: Driver's License #: Expiration: Subscribed and sworn to before me this _____day of _____20 ____A.D. _____County, Michigan Signature: _____ My Commission Expires: _____ Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines. This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information. P2 - BUILDING PERMIT

HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS

SUBMIT COMPLETE APPLICATION TO HDC STAFF



* THE **COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH,** TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT **www.detroitmi.gov/hdc**

April 22, 2020

Detroit Historic District Commission Planning & Development Department City of Detroit 2 Woodward Avenue, Suite 808, Detroit, MI 48226

Re: HDC Submittal Info – Clark Park Building Improvements, 1130 Clark Street, Detroit, MI

HDC Staff:

Please see the below information as requested. Description of existing Conditions (including materials and design)

Clark Park is within the Hubbard Farms Historic District. Along with the Park improvements submitted and reviewed during the April HDC meeting, four of the buildings within Clark Park will also be undergoing improvements.

The four buildings consist of A) recreation center, C) men's toilet and maintenance building, D) women's rest room building and E) a former warming shelter. Of these, only the recreation center is currently occupied, and heavily used by park staff and visitors. The men's and women's rest room buildings were closed to the public in 1991. The former skating shelter building is not occupied and is currently used for miscellaneous storage.

A) Recreation Center (c.1922. Renovated c.1980)

The Rec Center is a single story structure of approximately 3,400 s.f. with an unfinished attic and mechanical mezzanine. The building is constructed of a multi-wythe brick exterior laid in an English bond with decorative soldier course banding with tile inlay framing each wall (Photo A3). The original wood in-swing awning windows are set above eye level to provide privacy, light and ventilation to the locker rooms. The original arched pavilion openings have been filled-in with brick, windows and an exterior metal screen (c.1980, Photo A1). The main floor is a concrete grade slab. The roof is dimensional asphalt shingle on plywood deck and a rafter frame in fair condition. The roof is hipped with flared eaves and decorative exposed rafter ends. There are gutters and downspouts (connected to underground) on all four sides. There are a few roof penetrations, mostly plumbing vents.

- B) Building B is not in scope
- C) Men's Toilet and Maintenance Building (c1889)

The building is a single story structure with a rest room portion of 385 s.f. and a maintenance portion of 438 s.f. The building was constructed of multi-wythe large red brick walls, concrete floors, and a gabled wood rafter roof with exposed rafter ends. The rest room portion of the building was taken out of service in 1991 and is not occupied. The building is in poor condition. Brick joints are failing, the roof is deteriorated and the windows are boarded. It appears that areas of graffiti on the brick and stone have been painted over.

The south entry to the toilet room portion of the building has a gabled brick entryway with a half circle window at the gable end and two, low, stone arched openings at the east and west. The brick and stone have been painted on the south elevation. The western arch is boarded and the eastern arch has a security gate in front of a wood door. Both the boarding and door are in fair condition. It is assumed these were both open arches at one time. Once through the entryway, there is a doorway into the restroom.

The entry has a slab approximately 6" above grade, with another 6" step up into the toilet room. The gabled roof has exposed wood rafter ends and the roofing is in poor condition. The stone and brick wall has settled and fallen away from the main building. Joints show displacement in and out of plane of the wall.

The maintenance portion of the building has a pair of wood panel doors with lites, in poor condition. The wood jamb and brickmold trim are also deteriorated.

Roofing consists of a single layer of standard 3-tab asphalt shingle with ridge vents and a single wall attic louver in the east and west gables. The shingles are extremely weathered. Roof decking is wood plank over rafters, condition unknown due to access. The decorative rafter tails are exposed and the soffit material consists of tongue and groove boards, both in fair condition. Gutters and downspouts are missing on two of the three elevations, only gutter brackets remain. The east elevation has non-original gutters and downspouts that are failing

D) Women's Rest Room Building (c.1893)

The building is a single story structure of 485 s.f. housing a rest room space and a mechanical space. The building was constructed of multi-wythe brick and stone walls, concrete floors, and a hipped wood rafter roof. The building was taken out of service in 1991 and is not occupied. The building is on the National Register for Historic Places.

The brick and stone façade overall are in good condition, with minor joint failure. The northwest building corner has settled, resulting in an in-plane displacement and crack along mortar joints. Brick joints on the east face are damaged, and an adjacent eave fascia board is damaged. Decorative brick above the window on the east face south corner is missing. The brick has been painted.

Eight wood windows, two on each façade, have been boarded with plywood. The arched wood frames, sash and muntins are generally intact however, most glass is missing.

There are two doors with transoms serving the east and west facades. The condition and style are difficult to assess because they are covered with a painted wood panel. The transom appears to be a screen as opposed to glass.

Roofing consists of a single layer of standard 3-tab asphalt shingle. The shingles are extremely weathered and have failed. Roof decking is wood plank over rafters, condition unknown due to access. Gutters and downspouts are missing.

E) Former Warming Shelter (c.1906)

The building is a tall single story, single space structure of 2,300 s.f. The building walls are constructed of multi-wythe red brick and wood panels on all sides. The wood panels are infill added to seal and cover original large openings that allowed the building to serve as an open-air pavilion when door sashes were raised. The building floor is concrete on grade. The roof is an open timber framework supported by eight 10-inch diameter wood columns. The building is used for miscellaneous storage.

Exterior brick at entries is generally in good condition. The brick at the northern, eastern and southern arched entries has been painted and some discoloration and peeling was observed.

Wood trim is in fair condition but requires paint. Several exceptions include: the trim at the top of the south middle door has failed and several of the decorative wood corner pilasters have missing pieces or are damaged and need to be replaced or repaired, to match.

The original large wood operable doors on all four sides of the pavilion are covered with horizontal wood siding on the exterior, but exposed on the interior. The doors appear to be intact, save for glazing in several of the units. The uppermost sash is fixed and has an expanded metal screen on the exterior. The doors were originally fitted with pulleys and counterweights for ease of lifting, and these may be intact but could not be accessed. Counterweight ropes had been removed.

The double swing doors and transoms within the arched openings on all four sides of the pavilion are in poor condition. The northern pair are the original wood panel with glass lites. The western pair are original but partly covered so condition was not evident. Both the southern and eastern pair are flush wood with a metal panel attached on the exterior.

The concrete floor slab has heaved and spalled. Column bases and the building slab edge appear to be intact and have not moved.

The roof consists of a single layer of dimensional asphalt shingle. The shingles are in good condition. Roof decking is wood plank over 4x6 rafters, with the rafters in turn supported by a framework of 8x8 beams to 10" diameter wood columns with 10-foot height to column capital. Roof framework is generally in good condition and is intact except for connections at two column capitals. Beams bearing on the capitals have separated from the column.

Gutters and downspouts: Aluminum gutters are full of plant growth and tree debris, and are bent and sagging in several locations. Downspouts are missing.

Description of project

The proposed scope of work is intended to stabilize the condition of the three existing vacant structures, while preparing them for future phases when the buildings will be re-activated and re-purposed, In addition, the improvements to the Recreation Center will result in minor exterior work including exterior door replacement and new toilet room ventilation systems which will require vent hoods on the roof.

Exterior Scope

- A) Recreation Center (c.1922. Renovated c.1980)
 - Two new roof vents due to the addition of Toilet room ventilation system
 - Replace the exterior doors with new hollow metal doors with lites and new hardware
- B) Building B is not in scope
- C) Men's Toilet and Maintenance Building (c1889)
 - Exterior site demolition and new sidewalks
 - To prevent further deterioration, the existing entry will be re-constructed with the salvaged materials to match the existing. Document the brick and stone entry before removing it entirely, including the roof. Salvage the window as well as the brick and stone as much as possible. Remove the entry slab and footings and construct a new concrete footing to frost depth. Provide a new floor slab raised to match the level of the existing. Reconstruct the masonry entry walls and roof to match the original configuration, using the salvaged brick and stone, with the following exception.
 - When re-constructing the south wall, create a full height arch where the half round window is. This will serve as and accessible (ADA) entry to the future toilet rooms, as well as allow visibility into the entry for security reasons.
 - All brick joints on the building will be repaired and pointed.
 - Brick and stone cleaning will follow the City of Detroit Historic District Masonry Cleaning Guidelines and use the gentlest means possible.
 - Repair or, where severely deteriorated, replace siding boards to match.

- Remove existing exterior boards over windows and replace with shutters per drawings. Ensure that at least two windows per space are open behind a louvered shutter to provide ventilation during the mothball phase.
- Document existing maintenance room doors, jamb and brickmold for potential future replication when building is activated. Remove doors, jamb and brickmold and replace with flush, insulated hollow metal doors, frame and new hardware. Apply brickmold to match existing.
- Remove loose caulk and paint. Re-caulk around entire building and prep and repaint all windows, wood siding, soffits, rafter ends, fascias, trims and rake boards with a weather resistant paint system.
- The roofing shingles will be removed and the roof deck examined for damage or weakness. Replace the roofing and deck as required with dimensional 25-year shingle, vapor barrier, and plywood deck.
- Remove what is left of the gutters, downspouts and brackets. Replace with new in a color to match the trim. Downspouts should not tie into the sewers; provide splashblocks.
- Provide exterior wall packs for security- see Electrical and cut sheets.
- D) Women's Rest Room Building (c.1893)
 - New sidewalks
 - Repair the failed brick joints specifically at the northwest corner and in general for tuckpointing of all joints. Replace missing brick.
 - Replace (non-original) flat trim boards with 1x smooth trim boards. Note- a bid alternative, is to restore or replace historic trim to match existing.
 - Prep, caulk and repaint exterior trim and brick.
 - For aesthetics until building is re-activated, replace exterior plywood in windows with paneled shutters. See drawings.
 - Repaint existing doors. As a bid alternative, perform an assessment of doors which are currently covered with metal sheet. If determined to be original to the building, restore the transom, door and frame and provide new hardware. Secure the openings with painted plywood panels until doors can be reinstalled.
 - The roofing shingles will be removed and the roof deck examined for damage or weakness. Replace the roofing and deck as required with a dimensional 25-year shingle and vapor barrier.
 - Provide exterior wall packs for security- see Electrical and cut sheets.
- E) Former Warming Shelter (c.1906)
 - Exterior site demolition and new sidewalks
 - Repaint painted portions around north, east and south entries.
 - Repair south entry wood trim and decorative wood corner pilasters, to match existing.
 - Caulk entire exterior and at interior jambs.

- All exposed wood surfaces should be prepared and re-painted with a weather resistant paint. Exterior paint color to be a light stone color similar to Historic District Style and Color Guide B:16 light grayish olive.
- Remove the wood siding cover from all openings without damage to doors and trim.
- Carefully remove, salvage and tag all sectional door sash for storage offsite for future restoration. (Three sash per opening). Protect the existing jambs tracks and pulleys with a temporary new jamb painted with a weather resistant paint system.
 - Alternative Bid 1B: Same as base bid above except leave all transoms in place. Replace missing and broken glass and provide minor repairs ensuring glass is secure. Prep, paint and caulk.
 - Alternative Bid 2B: Same as alternative 1B except all transoms and sectional doors to remain. Remove loose and broken glass, raise doors into pockets and secure in place.
 Prep and paint exposed section of door panel. Clean glass.
 - Alternative 2C: Provide new interior and exterior security screens in the transom openings to protect the glass from vandalism.
- Carefully remove, salvage and tag the two pairs of original wood swing doors and all four half-round transom sash for storage offsite for future restoration. Remove the two pairs of flush doors for disposal. Repair or replace the wood jambs and trim to match the original. Prepare and paint with a weather resistant paint system.
- The concrete grade slab should be saw-cut and removed as required. A replacement reinforced slab can be placed over compacted drainable fill, rigid insulation, and a vapor barrier. Include conduit for future electrical.
- Existing roofing will remain. Replace gutters and downspouts with new aluminum and provide splashblocks.
- Provide exterior wall packs for security- see Electrical and cut sheets.

Sincerely,

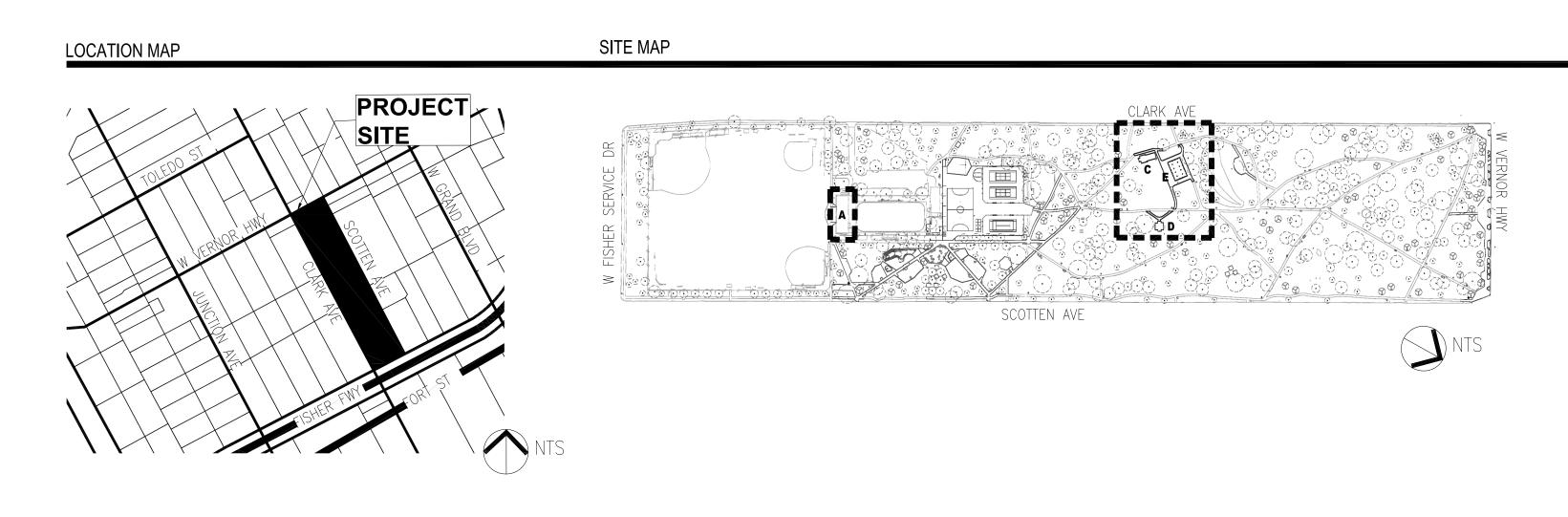
Janet C. Ford, RA Historical Architect HAA

CITY OF DETROIT General Services Department Detroit, Michigan

CLARK PARK **IMPROVEMENT PLAN - PHASE 1B 1130 CLARK STREET** DETROIT, MICHIGAN **ISSUED FOR HISTORIC DISTRICT COMMISSION REVIEW** 22 APR 2020

HAMILTON ANDERSON PROJECT NUMBER: 2018183.00

HamiltonAnderson architecture landscape architecture urban design



DESIGN TEAM

OWNER

CITY OF DETROIT GENERAL SERVICES DEPT 18100 MEYERS DETROIT, MI 48235 P 313 224 3484 F 313 628 0927

ARCHITECT LANDSCAPE ARCHITECT

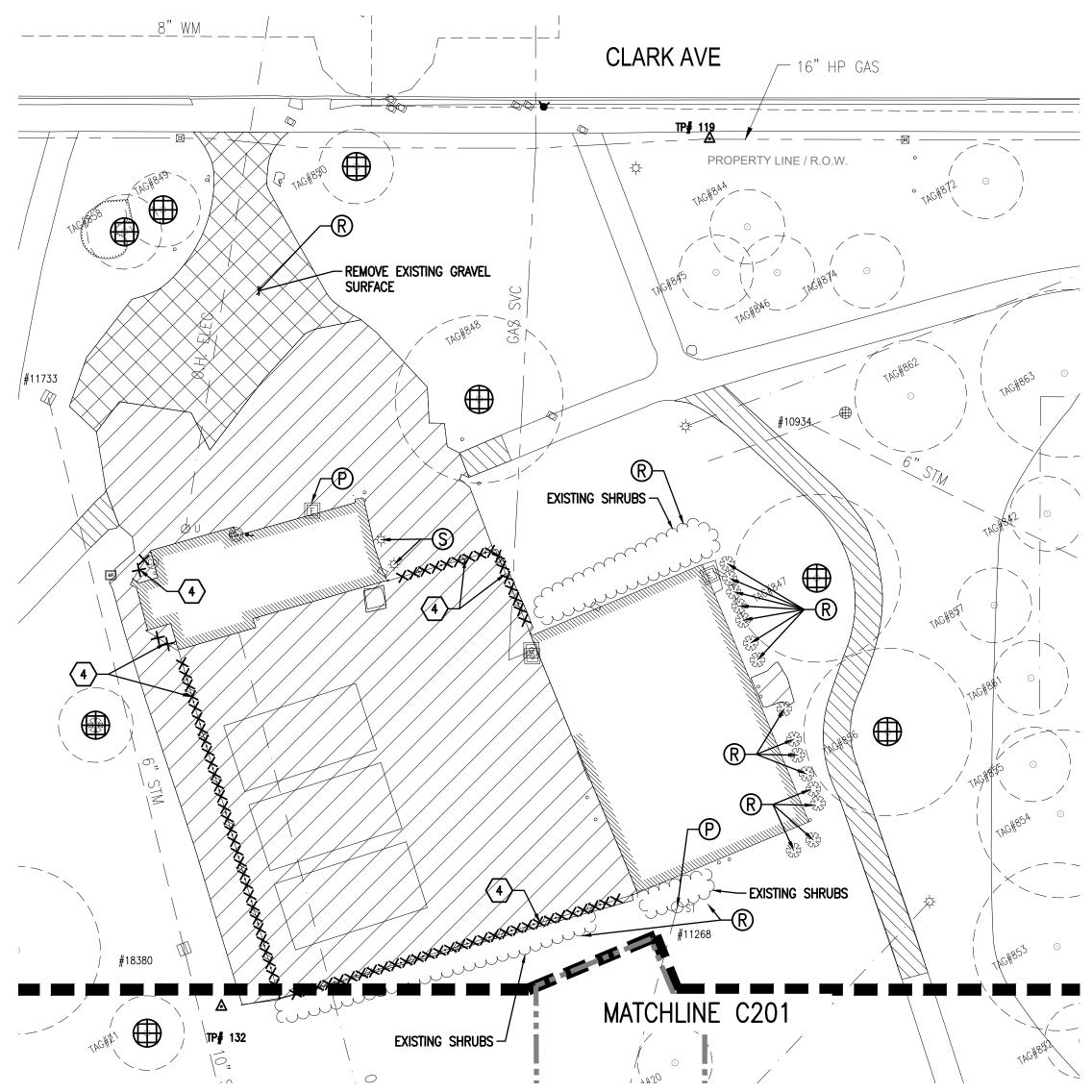
HAMILTON ANDERSON ASSOCIATES 1435 RANDOLPH

SUITE 200 DETROIT, MI 48226 P 313 964 0270 F 313 964 0170 www.hamilton-anderson.com

CIVIL, MEP & **STRUCTURAL**

OHM ADVISORS 1145 GRISWOLD ST SUITE 200 DETROIT, MI 48226 P 313 481 1250

	DRAWING INDEX
000	COVER SHEET
C200 C201 C300 C301	REMOVAL PLAN REMOVAL PLAN GRADING PLAN GRADING PLAN
L002 L300 L301 L400 L401	REFERENCE PLAN SITE MATERIALS PLAN SITE MATERIALS PLAN SITE LAYOUT PLAN SITE LAYOUT PLAN
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MP10 E001 ED10 E101 E301	GENERAL ELECTRICAL INFORMATION



architecture landscape architecture urban design

Hamilton Anderson Associates 1435 Randolph, Suite 200 Detroit, Michigan 48226 p 313 964 0270 f 313 964 0170 www.hamilton-anderson.com

OWNER

City of Detroit / General Services Department 18100 Meyers Rd Detroit, MI 48235 P 313 224 3484

CIVIL ENGINEER

Registration Seal

OHM Advisors 1145 Griswold St, Suite 200 Detroit, MI 48226 P 313 481 1250



Client City of Detroit General Services Department

ISSUE FOR OWNER REVIEW	01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title **REMOVAL PLAN**

Project Number: 2018183.00

Drawn By: AFT Approved By: PMD Scale: 1 INCH = 20 FEET

Drawing No.

C200

- NOTE: 1. ALL TREES WITHIN AND ADJACENT TO CONSTRUCTION AREA SHOULD BE PROTECTED BY TREE FENCE.
- 2. ALL UNDERGROUND UTILITIES ARE BASED ON SURFACE FEATURES AND FACILITY INFORMATION PROVIDED BY THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING AND WORKING AROUND UTILITIES AND SHALL CONTACT MISS DIG PRIOR TO PERFORMING ANY WORK ON SITE
- <u>LEGEND</u>
- \bigoplus PROTECT TREE
- **∠**−® REMOVE ITEM
- PROTECT ITEM , P
- SALVAGE ITEM <u>, s</u>
- REMOVE SEWER, CURB OR UTILITY $\cdot \times \times \times \times \times \cdot$
 - REMOVE HMA SURFACE
- REMOVE MISC PAVEMENT
 - REMOVE SIDEWALK
- DEMOLISH BUILDING / STRUCTURE

REMOVAL/SALVAGE KEY

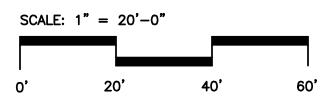
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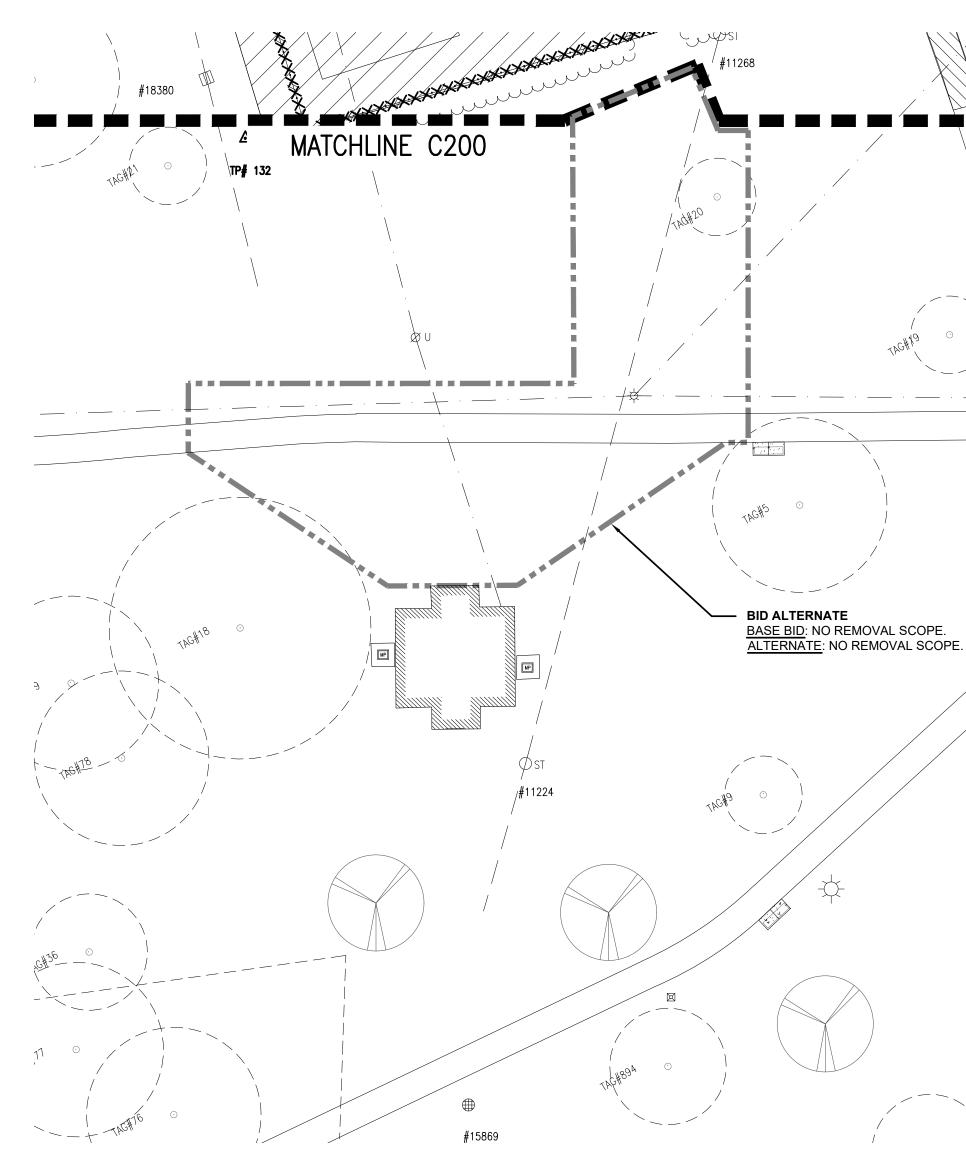
 $\langle 3 \rangle$

4

- $\langle 1 \rangle$ Sewer, Rem, Less than 24 inch
 - Dr Structure, Rem
 - Bench, Rem
 - Fence, Rem (BY GSD PDU)







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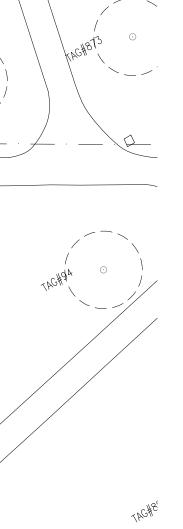
Project CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title **REMOVAL PLAN**

Project Number: 2018183.00

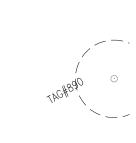
Drawn By: AFT Approved By: PMD Scale: 1 INCH = 20 FEET

Drawing No.

C201







OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING AND WORKING AROUND UTILITIES AND SHALL CONTACT MISS DIG PRIOR TO PERFORMING ANY WORK ON SITE



Φ	
(R	REMOVE ITEM

- PROTECT ITEM ,-®
- ,-S SALVAGE ITEM

REMOVE SEWER, CURB OR UTILITY $\cdot \times \times \times \times \cdot$

REMOVE HMA SURFACE

REMOVE MISC PAVEMENT

- REMOVE SIDEWALK
- DEMOLISH BUILDING / STRUCTURE

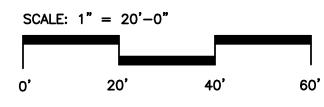
REMOVAL/SALVAGE KEY

 $\langle 2 \rangle$

 $\langle 3 \rangle$

- $\langle 1 \rangle$ Sewer, Rem, Less than 24 inch
 - Dr Structure, Rem
- Bench, Rem 4
 - Fence, Rem (BY GSD PDU)

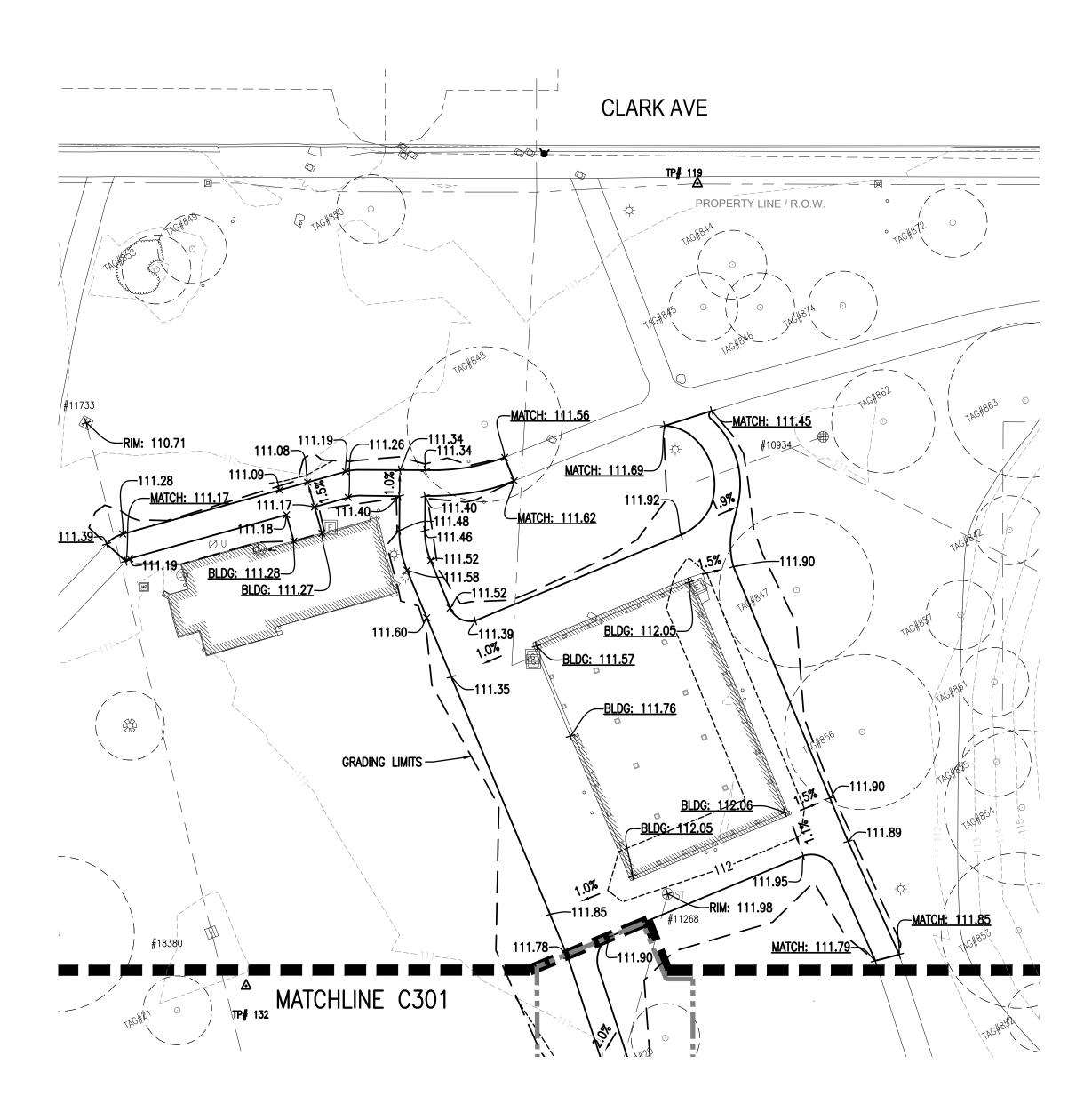




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NOTE: 1. ALL UNDERGROUND UTILITIES ARE BASED ON SURFACE

FEATURES AND FACILITY INFORMATION PROVIDED BY THE OWNER



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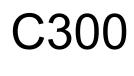
ISSUE FOR OWNER REVIEW	01 APRIL 2020

Project CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title GRADING PLAN

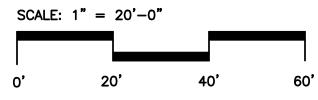
Project Number: 2018183.00

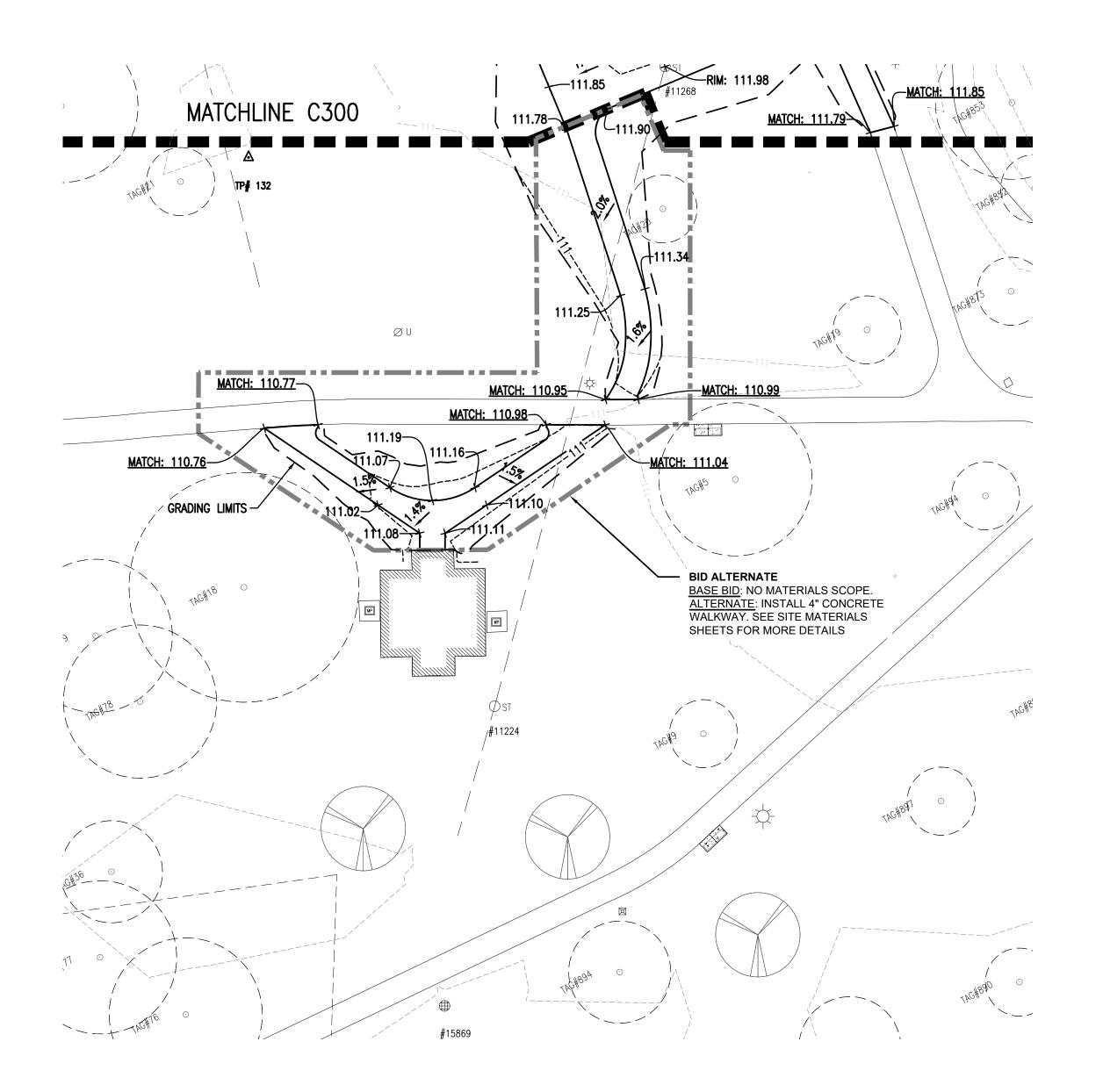
Drawn By: AFT Approved By: PMD Scale: 1 INCH = 20 FEET

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Project CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title GRADING PLAN

 Project Number:
 2018183.00

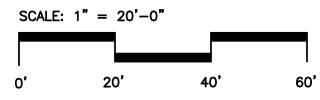
 Drawn By:
 AFT
 Approved By:
 PMD

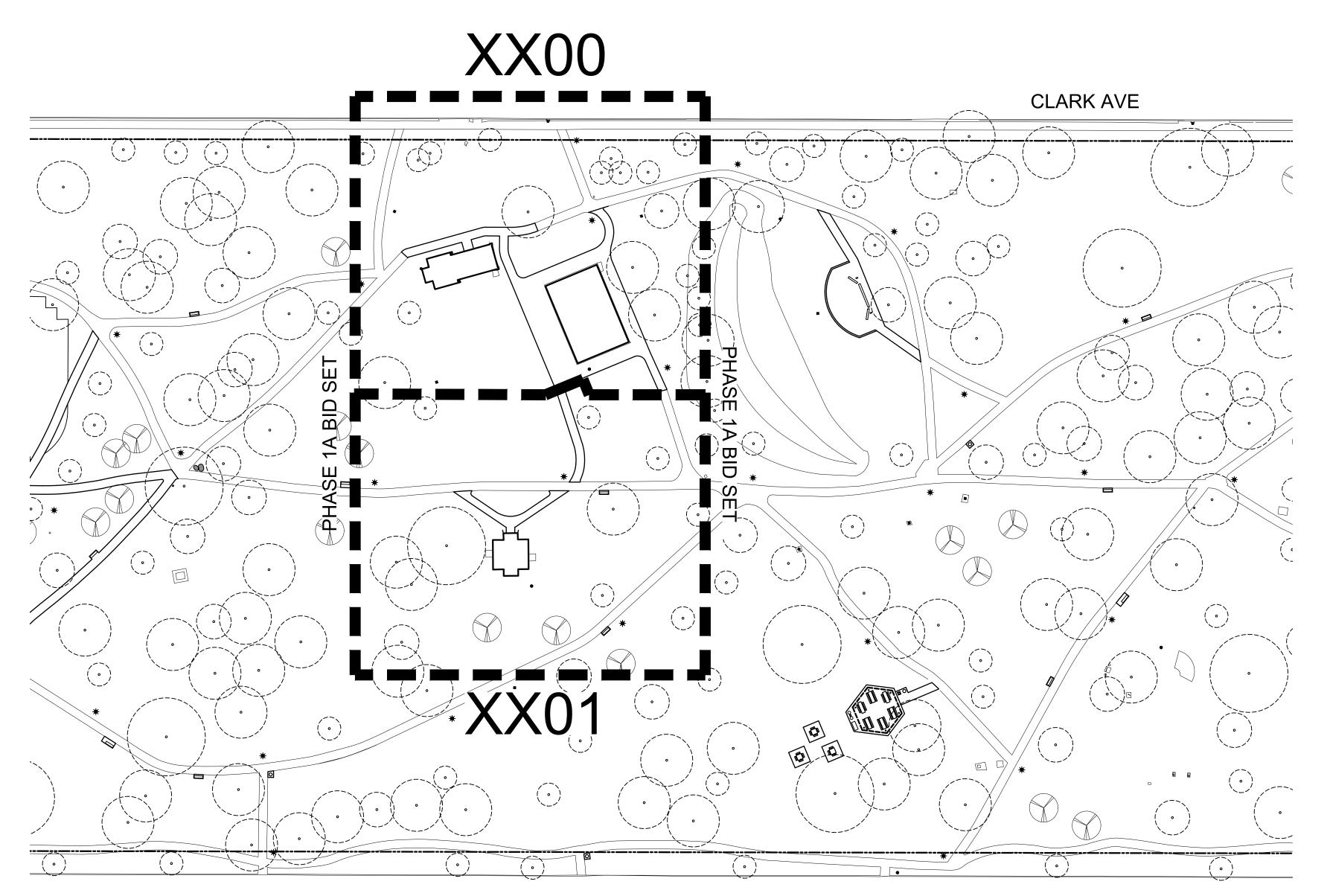
 Scale:
 1 INCH = 20 FEET

Drawing No.

C301







SCOTTEN AVE

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ISSUE FOR OWNER REVIEW	01 APRIL 2	020

Project **CLARK PARK IMPROVEMENT PLAN - PHASE 1B** Drawing Title

REFERENCE PLAN

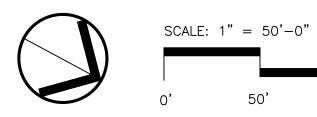
 Project Number: 2018183.00

 Drawn By: DQ
 Approved By: MS

 Scale: 1 INCH = 50 FEET

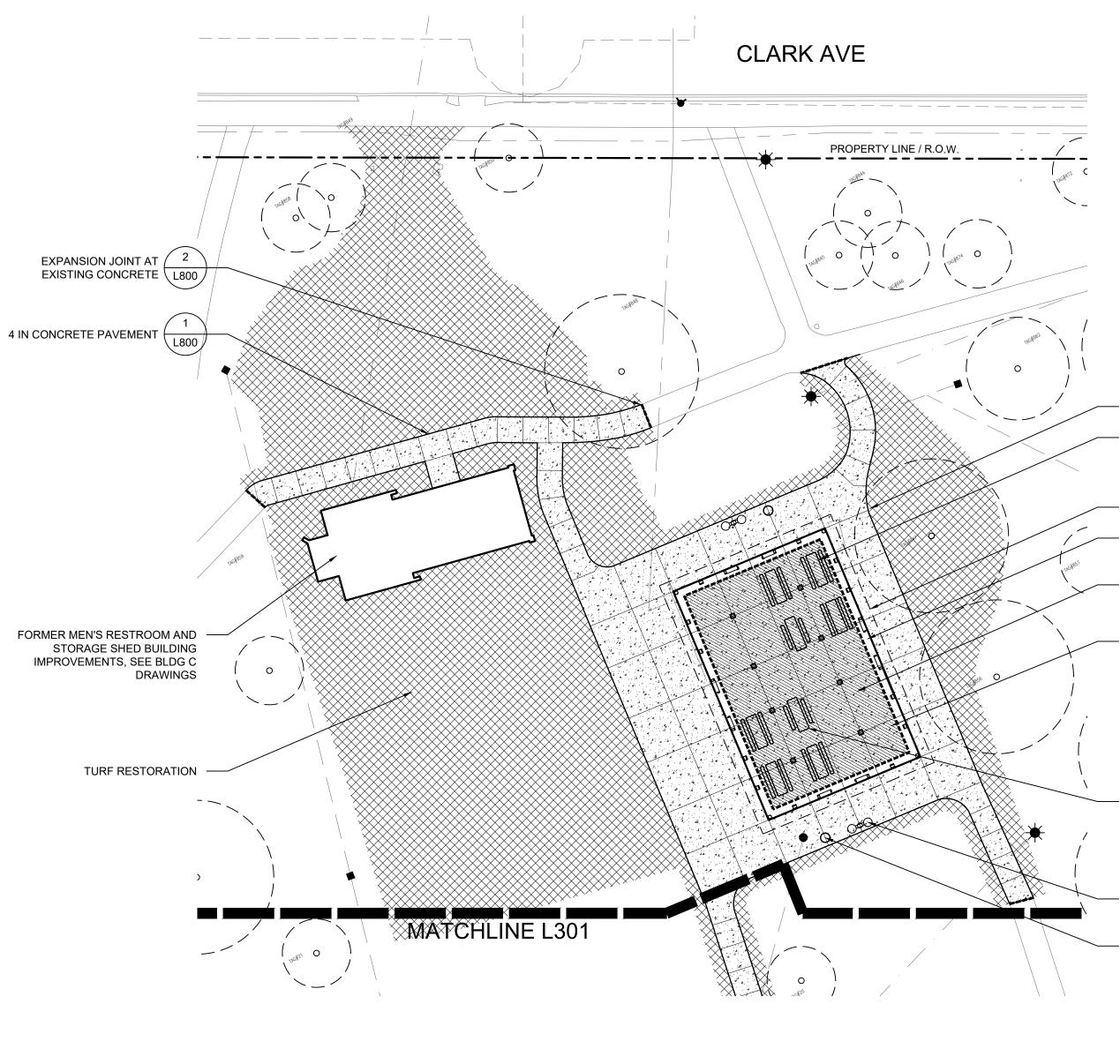
Drawing No.

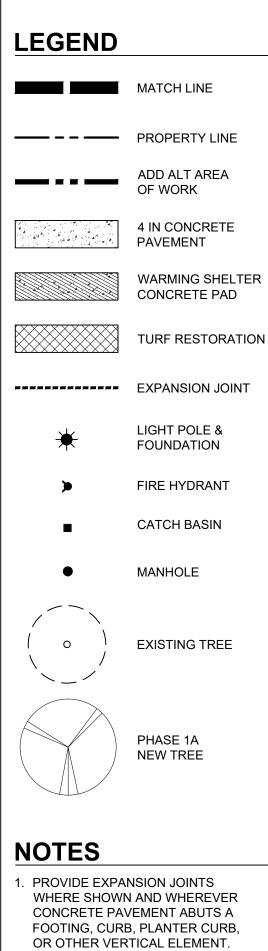
L002



100'

150'





2. CONTRACTOR TO RESTORE ALL TURF AREAS IMPACTED BY CONSTRUCTION OPERATIONS. ALL DISTURBED AREAS TO BE SEEDED WITH HYDROMULCH OVER 4" OF TOPSOIL. REFER TO SPECS. HamiltonAnderson

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Project CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

SITE MATERIALS PLAN

 Project Number: 2018183.00

 Drawn By: DQ
 Approved By: MS

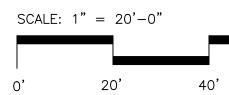
 Scale: 1 INCH = 20 FEET

Drawing No.

60'

L300





BUILDING OVERHANG

323300 PICNIC TABLE, SURFACE MOUNT PER MANUF. INSTRUCTIONS, TYP. OF 6

BUILDING OVERHANG

EXISTING CONCRETE, SEE BLDG E DRAWINGS

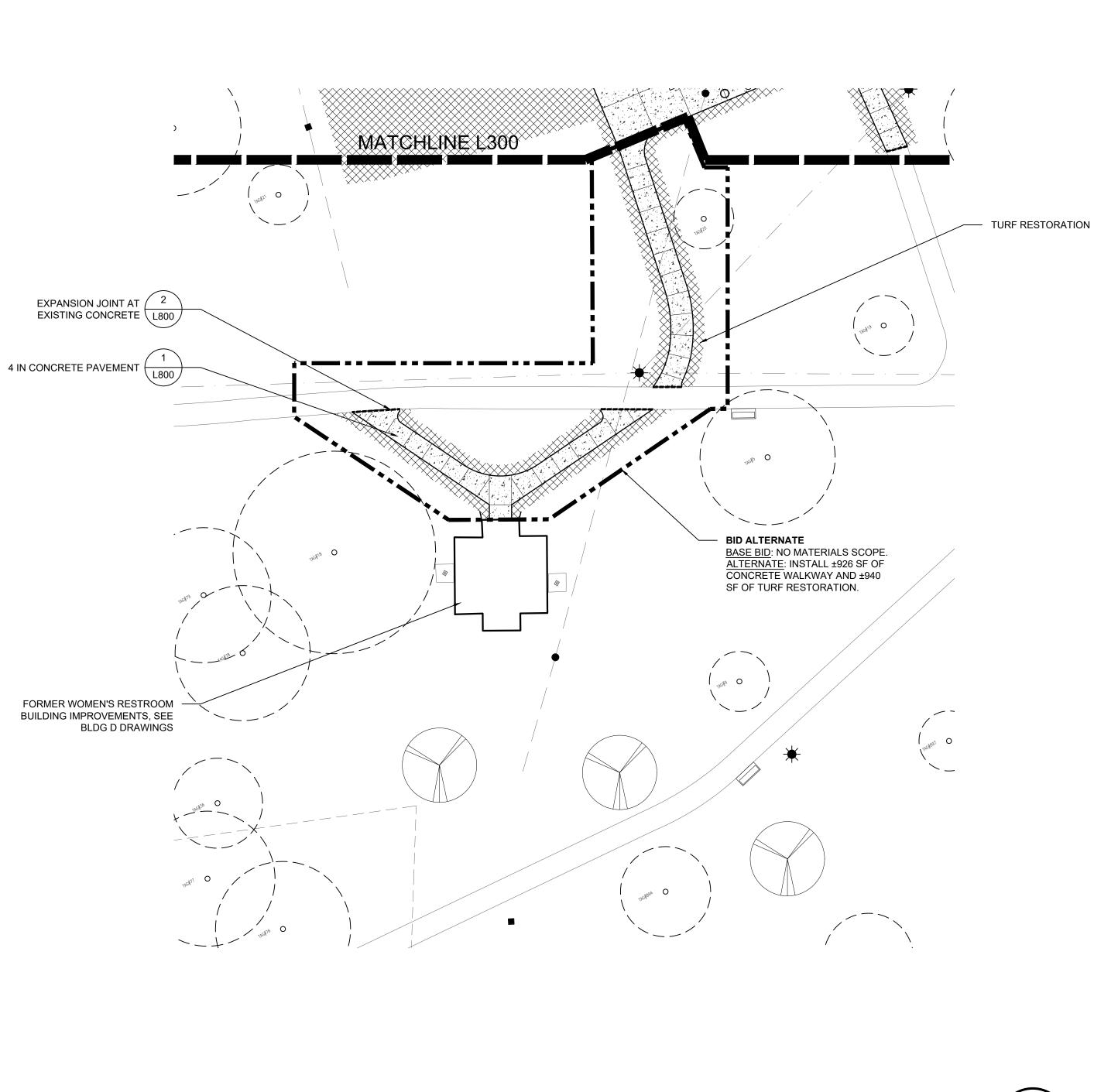
FORMER WARMING SHELTER BUILDING IMPROVEMENTS, SEE BLDG E DRAWINGS

NEW CONCRETE PAD, SEE BLDG E DRAWINGS

 323300 PICNIC TABLE, ADA, SURFACE MOUNT PER MANUF. INSTRUCTIONS, TYP. OF 2

> 323300 GRILL STATION, INSTALL PER MANUF. INSTRUCTIONS, TYP. OF 2

SURFACE MOUNT ANTI-TIPPING RING FOR WASTE RECEPTACLES, RINGS AND RECEPTACLES OPCI, TYP. OF 2



LEGEND	
	MATCH LINE
	PROPERTY LINE
	ADD ALT AREA OF WORK
	4 IN CONCRETE PAVEMENT
	WARMING SHELTER CONCRETE PAD
	TURF RESTORATION
	EXPANSION JOINT
*	LIGHT POLE & FOUNDATION
>	FIRE HYDRANT
-	CATCH BASIN
٠	MANHOLE
	EXISTING TREE
	PHASE 1A NEW TREE
NOTES	
CONCRETE PAV	AND WHEREVER EMENT ABUTS A , PLANTER CURB,
2. CONTRACTOR T TURF AREAS IMF CONSTRUCTION ALL DISTURBED SEEDED WITH H OVER 4" OF TOP SPECS.	PACTED BY OPERATIONS. AREAS TO BE YDROMULCH

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Project **CLARK PARK IMPROVEMENT PLAN - PHASE 1B** Drawing Title

SITE MATERIALS PLAN

 Project Number: 2018183.00

 Drawn By: DQ
 Approved By: MS

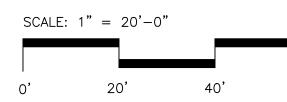
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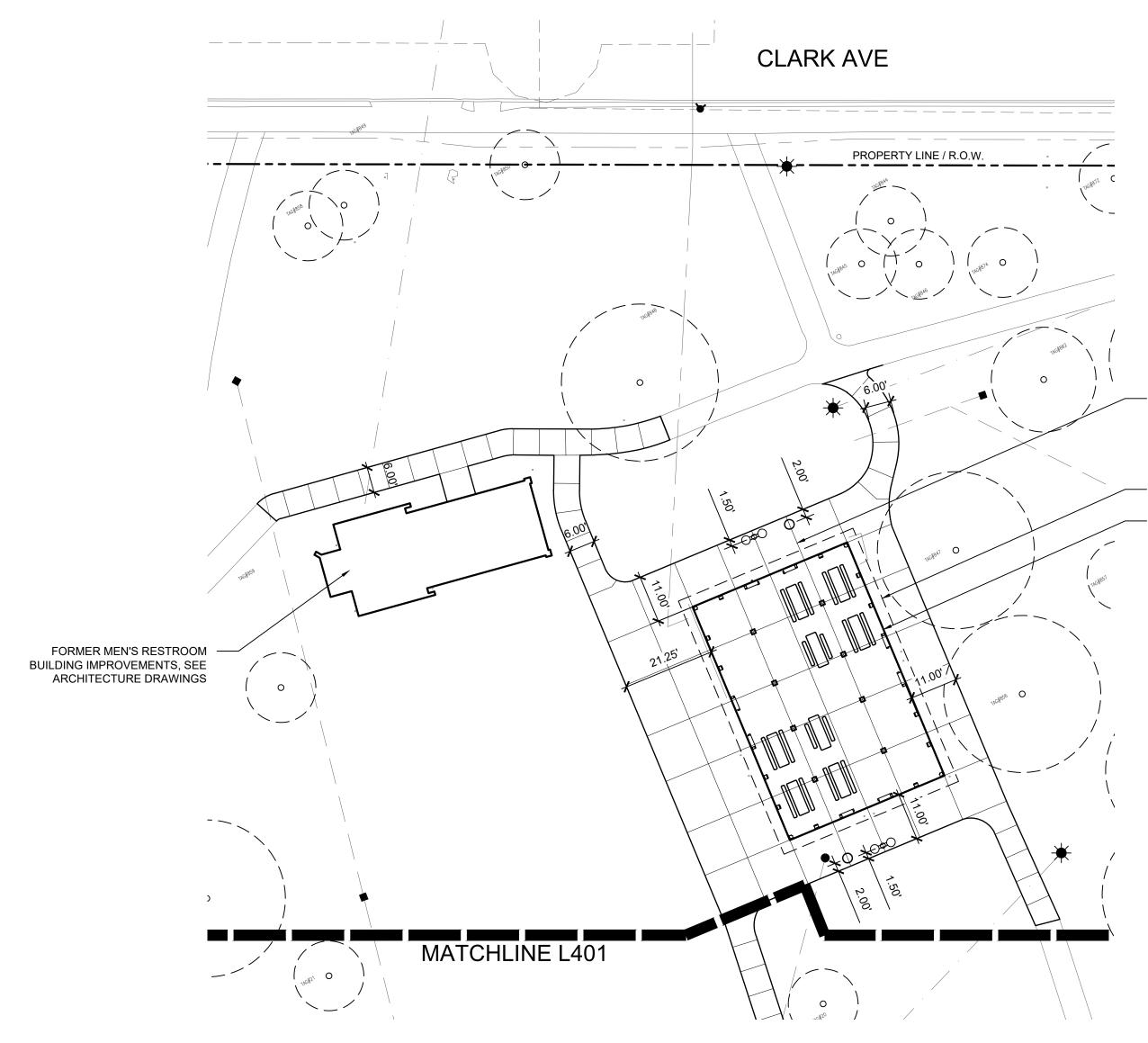
Drawing No.

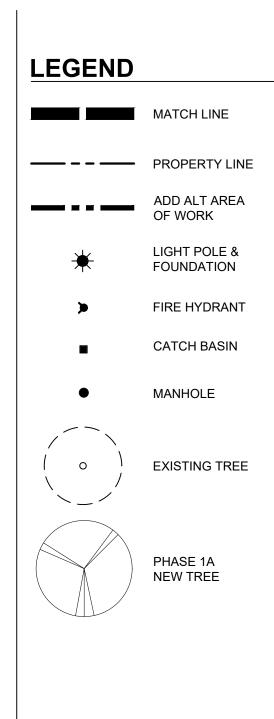
60'

L301









NOTES

STATED.

1. LAYOUT DIMENSIONS ARE FROM

BACK OF CURB UNLESS OTHERWISE

ALIGN EXTERIOR CONTROL JOINTS WITH INTERIOR CONTROL JOINTS, SEE ARCHITECTURE DRAWINGS

BUILDING OVERHANG

FORMER WARMING SHELTER BUILDING IMPROVEMENTS, SEE ARCHITECTURE DRAWINGS

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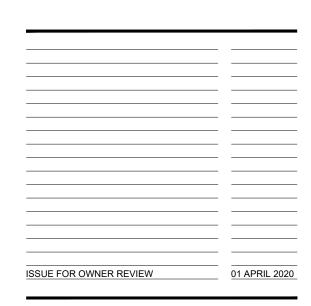
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Project **CLARK PARK IMPROVEMENT PLAN - PHASE 1B** Drawing Title

SITE LAYOUT PLAN

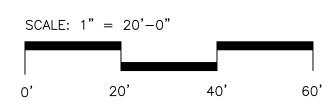
Project Number: 2018183.00 Drawn By: DQ Approved By: MS

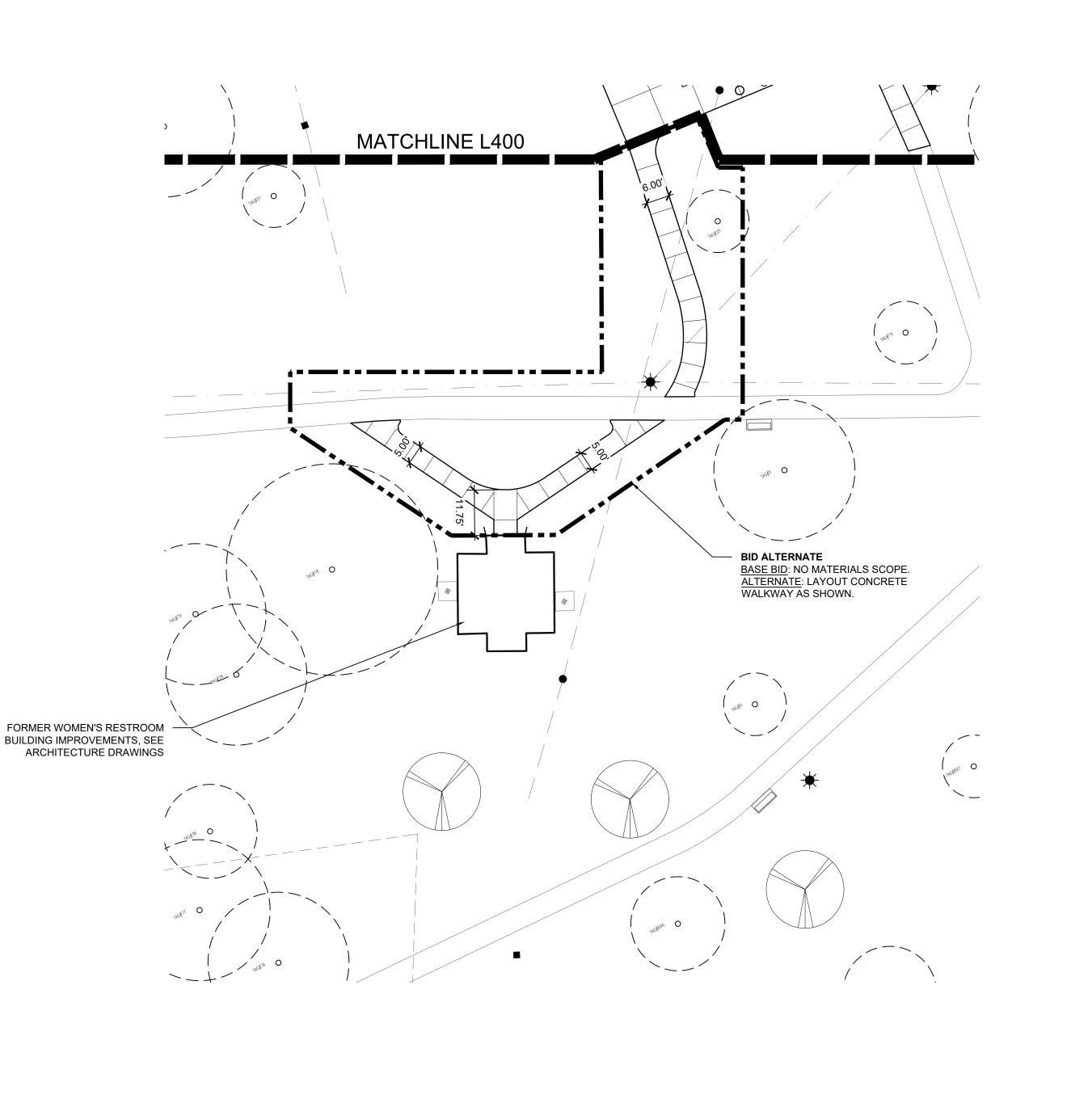
Scale: 1 INCH = 20 FEET

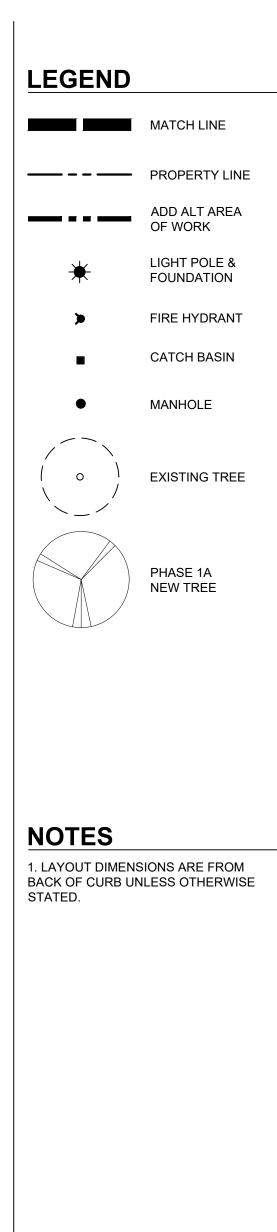
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Project **CLARK PARK IMPROVEMENT PLAN - PHASE 1B** Drawing Title

SITE LAYOUT PLAN

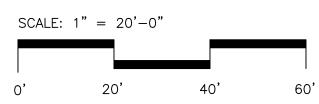
Project Number: 2018183.00
Drawn By: DQ Approved By: MS

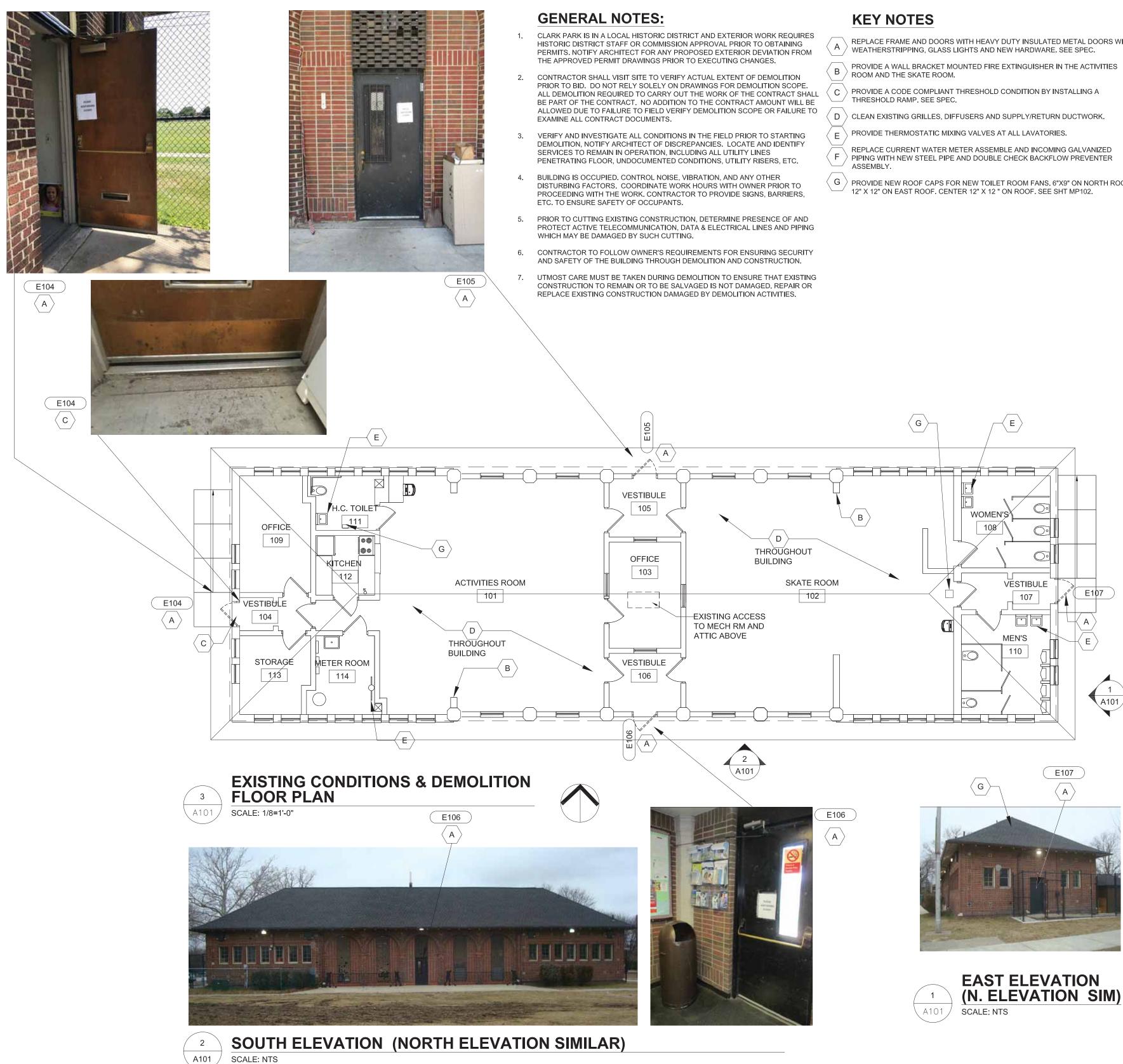
Scale: 1 INCH = 20 FEET

Drawing No.

L401







REPLACE FRAME AND DOORS WITH HEAVY DUTY INSULATED METAL DOORS WITH

PROVIDE NEW ROOF CAPS FOR NEW TOILET ROOM FANS. 6"X9" ON NORTH ROOF,

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ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG A PLANS AND ELEVATIONS

Project Number: 2018183.00		
Drawn By: JCF	Approved By:DZ	
Scale: AS SHOWN		

A101

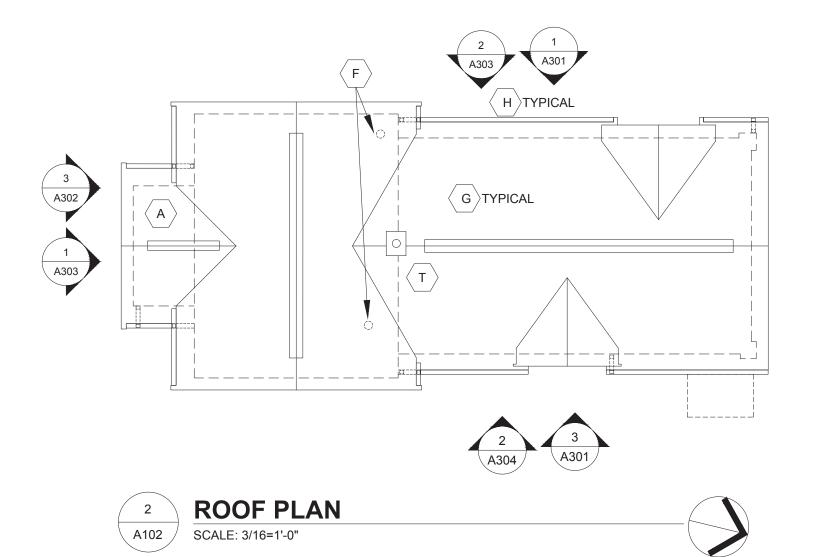
Drawing No.

- THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3. SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4 PARK OCCUPANTS.
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING
- 6. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

KEY NOTES

- EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK А MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

 - "V" GROOVE PANEL PER DETAIL.
- В
- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING. С
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE
- Е CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- ́F 〉 REMOVE EXISTING STACK VENTS.
- G SHINGLED ROOF VENTS AT RIDGES.
- \langle H \rangle REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS. NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.
- CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.



<u>(</u> N)

(P)

թ_______ թ______ թ_____

SCALE: 3/16=1'-0"

REFLECTED CEILING PLAN

А

3

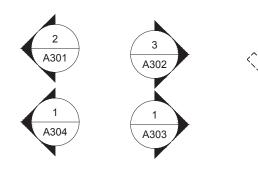
A102

p--q p--q

́Р`

þ<u>o</u>d

<u>b-d b-d b-d</u>





CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM

8.

9.

CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO

VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.

EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.

EXTERIOR ELEVATIONS: 9.1 REMOVE ALL SURFACE APPLIED UNUSED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.

- 9.2 EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE 10. DURING CONSTRUCTION.
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

TO MATCH EXISTING.

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH

PROVIDE A "V" GROOVE PANEL TO SECURE THE WESTERN OPENING, PER DETAIL.

PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

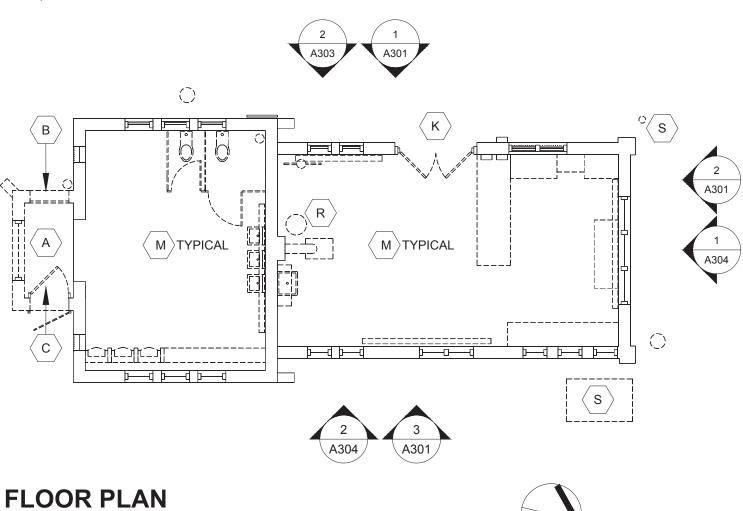
REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE

REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD

- \ DOORS: Ŕ OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD
 - OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.
- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP L AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING M FIXTURES. ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR Ν SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER ÓŌ
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; Р FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS Q J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC $\left< \mathbf{R} \right>$ COILS) SEE MEP.
- REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE. S

PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.

 \cup REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER PIPES



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CLARK PARK IMPROVEMENT PLAN -**PHASE 1B** Drawing Title

BLDG C FLOOR, ROOF & **CEILING PLANS**

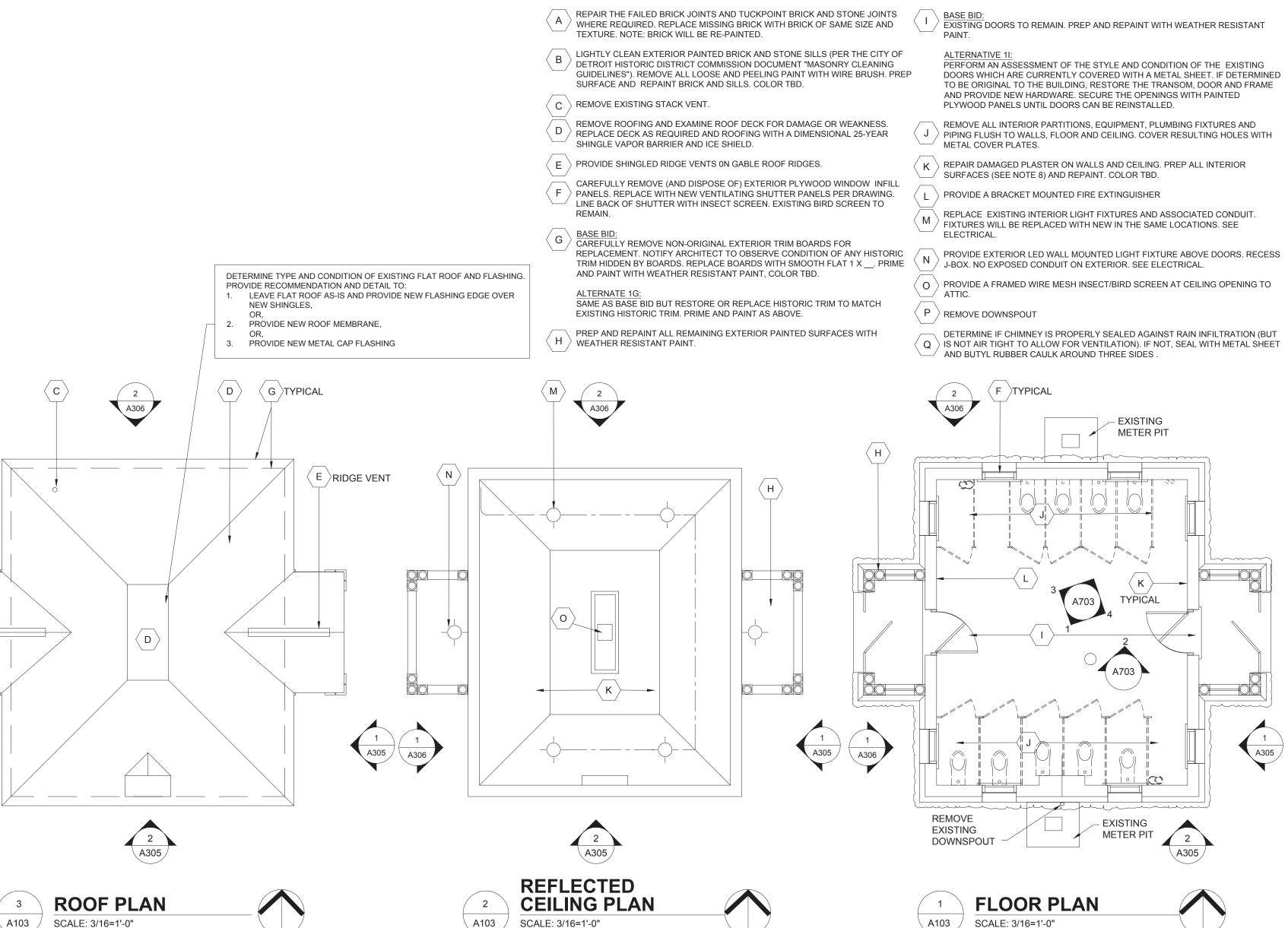
Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	
Scale: AS SHOWN		

Drawing No.

A102

- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3.
- 4 PARK USERS
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES



1 A306

HamiltonAnderson CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES ⁶. AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION. HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING architecture landscape architecture urban design PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES. CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION Hamilton Anderson Associates PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. 1435 Randolph, Suite 200 ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL ⁸. EXISTING PLASTER WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES Detroit, Michigan 48226 AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS. DUST AND DIRT. BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE p 313 964 0270 f 313 964 0170 REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO www.hamilton-anderson.com WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED. VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY City of Detroit / General Services Department OWNER EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE 18100 Meyers Rd SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK. Detroit, MI 48235 PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC. P 313 224 3484 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. **CIVIL ENGINEER** OHM Advisors DURING CONSTRUCTION. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE 1145 Griswold St, Suite 200 WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF Detroit, MI 48226 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S P 313 481 1250 REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION. DATA & ELECTRICAL LINES AND PIPING

ISSUE FOR OWNER REVIEW 01 APRIL 2020

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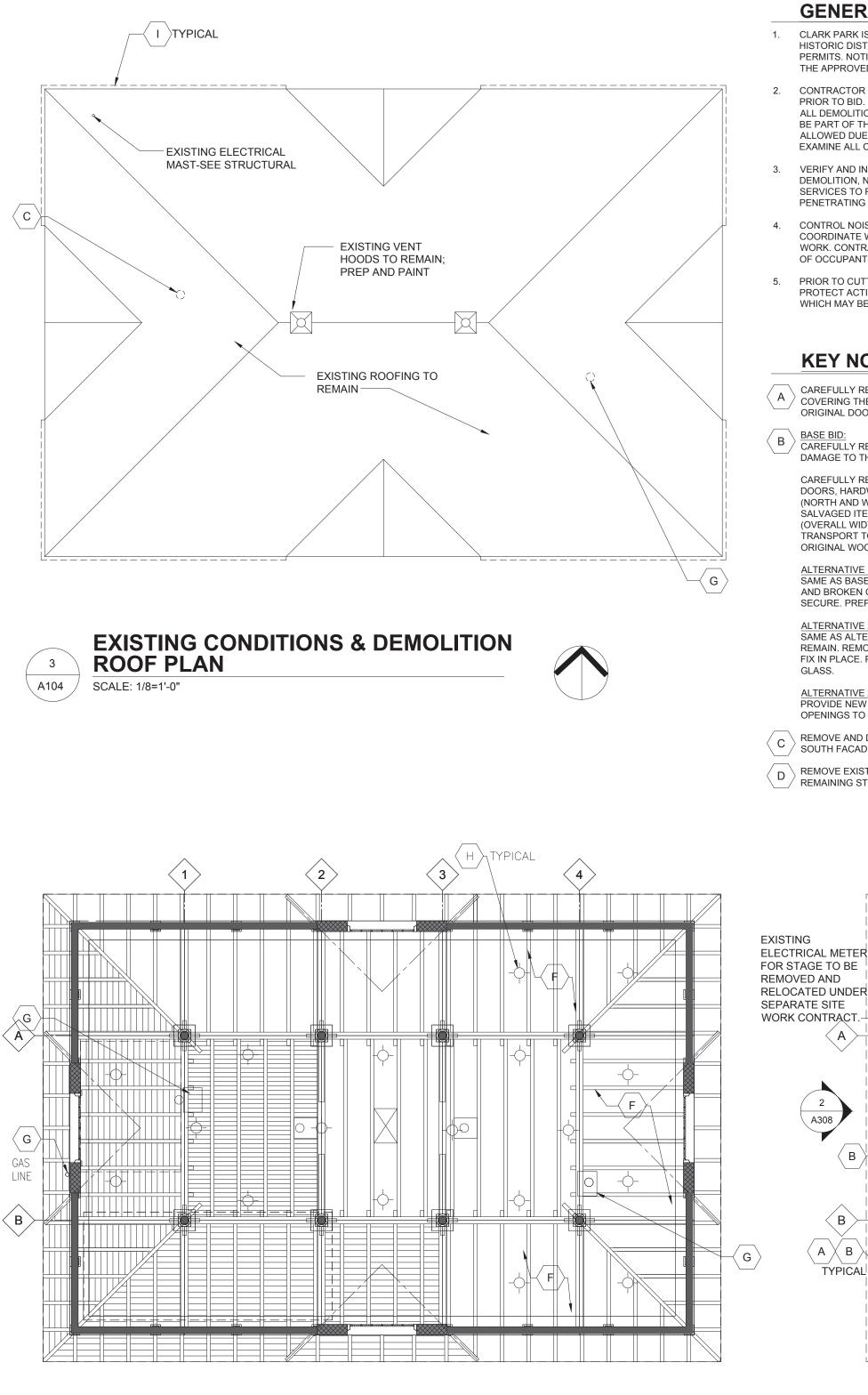
CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG D FLOOR, ROOF & **CEILING PLANS**

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

Drawing No











- EXAMINE ALL CONTRACT DOCUMENTS.
- OF OCCUPANTS.
- WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES

- ORIGINAL DOORS AND TRIM.
- BASE BID: CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID DAMAGE TO THE ORIGINAL TRANSOM WINDOWS.

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD. ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

ALTERNATIVE 1B: SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

ALTERNATIVE 2B: SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

ALTERNATIVE 2C PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND SOUTH FACADE)

REMAINING STORAGE UNITS AND MATERIALS.

CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.

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PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

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EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.

- EXTERIOR ELEVATIONS: 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
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- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S 11. REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

(E) NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE STRUCTURAL \langle F \rangle REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL

SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE

- WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; (H FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- $\langle \mathsf{K} \rangle$ REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS.
- REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
- \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
- \langle N \rangle LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.

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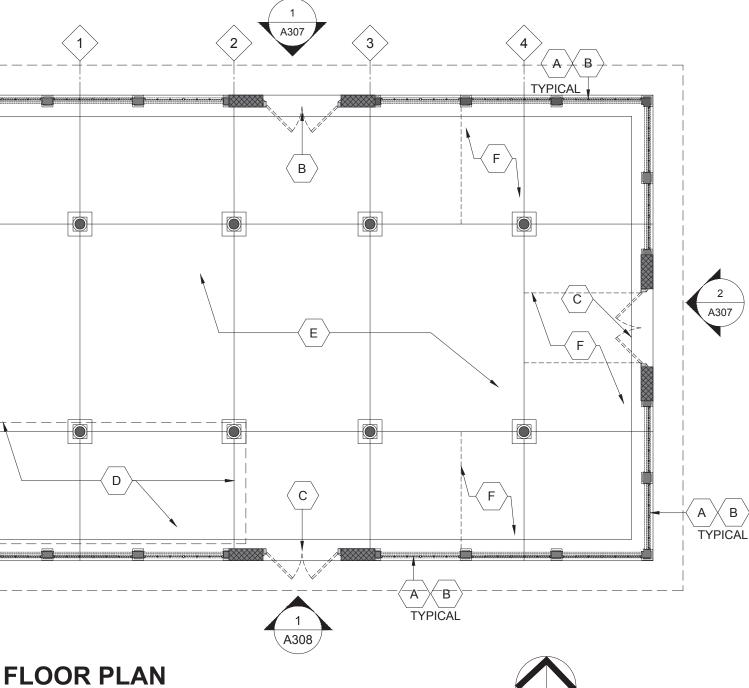
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CIVIL ENGINEER	OHM Advisors 1145 Griswold St, Suite 200 Detroit, MI 48226 P 313 481 1250
	Detroit, MI 48235 P 313 224 3484

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CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG E FLOOR, ROOF & **CEILING PLANS**

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ Scale: AS SHOWN

Drawing No

A104

- THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3. SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4 PARK OCCUPANTS.
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING
- 6. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

KEY NOTES

EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK Α MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

> OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

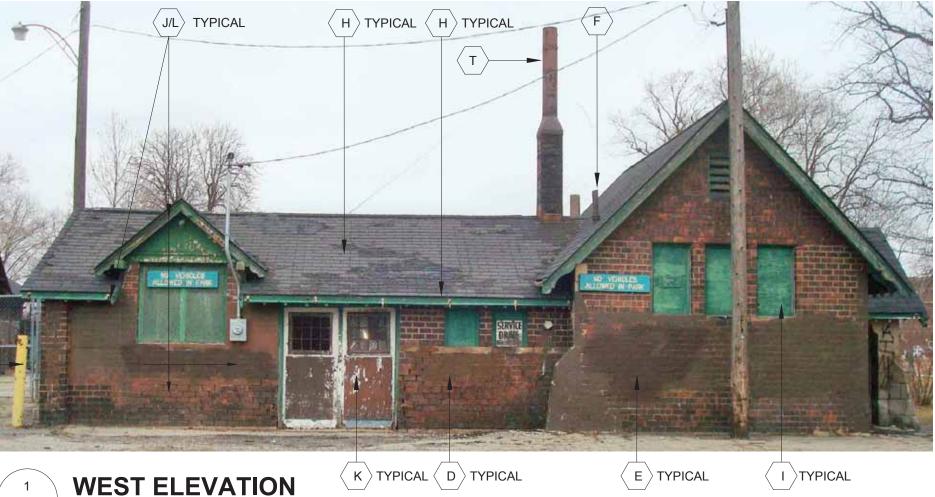
OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH "V" GROOVE PANEL PER DETAIL.

 \langle B \rangle provide a "V" groove panel to secure the western opening, per detail.

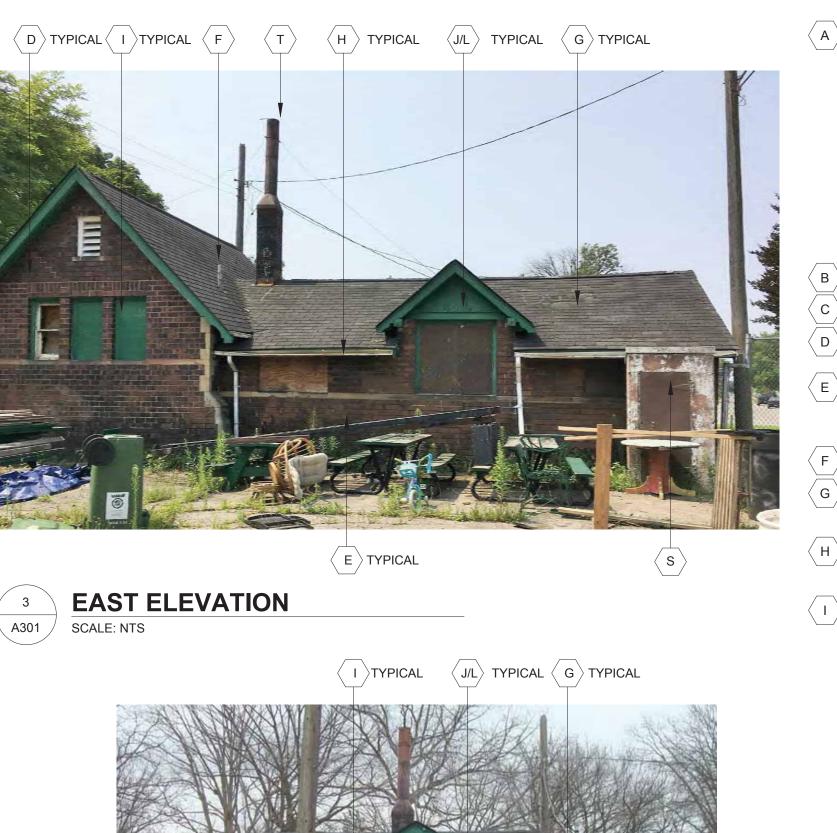
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- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D > JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE
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- REMOVE EXISTING STACK VENTS.
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CAREFULLY REMOVE (AND DISPOSE (PANELS. OBSERVE AND PHOTOGRAP ANY LOOSE BROKEN GLASS. REPLAC LOUVERED SHUTTER PANELS PER DR INSECT SCREEN. AT LEAST TWO WINE EXTERIOR AIR VENTILATION. SEE BLD SHUTTER DETAIL

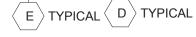








SCALE: NTS





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PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

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REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

- $\langle \kappa \rangle$ doors: OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD TO MATCH EXISTING.
 - OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.
- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING (M) ^P FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR Ν SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- 0 PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; ́Ρ FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS Q J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC R COILS) SEE MEP.
- S REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE.
- PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
- U REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER PIPES

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CLARK PARK **IMPROVEMENT PLAN -**PHASE 1B Drawing Title

BLDG C EXISTING ELEVATIONS

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

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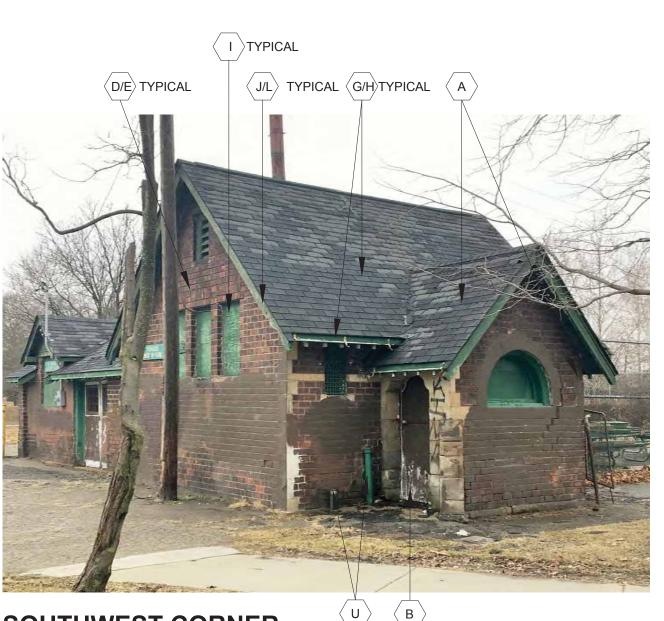
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SOUTHWEST CORNER SCALE: NTS





SOUTH ELEVATION SCALE: NTS

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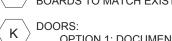
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- OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD F POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLC
- OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD F REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WIT MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.
- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PRI (L) angle AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYST
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING M FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR ANE CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR N \rangle SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- > PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER 0
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; Ρ FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS $\langle \mathsf{Q} \rangle$ J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC (R) COILS) SEE MEP.
- $\left| \mathsf{S} \right\rangle$ remove shed complete. Remove bollard complete.
- PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
- U REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER PIPES



SOUTH ENTRY

SCALE: NTS



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($\mathbf{\hat{n}}$
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OWNER	City of Detroit / General Services Department 18100 Meyers Rd Detroit, MI 48235 P 313 224 3484



City of Detroit General Services Department

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CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG C EXISTING ELEVATIONS

Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	
Scale: AS SHOWN		



- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION 2. PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING 3. DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF PARK OCCUPANTS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND 5. PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
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- 7. UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED, REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS, 8. CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- EXTERIOR ELEVATIONS: 9. 9.1 REMOVE ALL SURFACE APPLIED UNUSED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
 - 9.2 EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

KEY NOTES

A

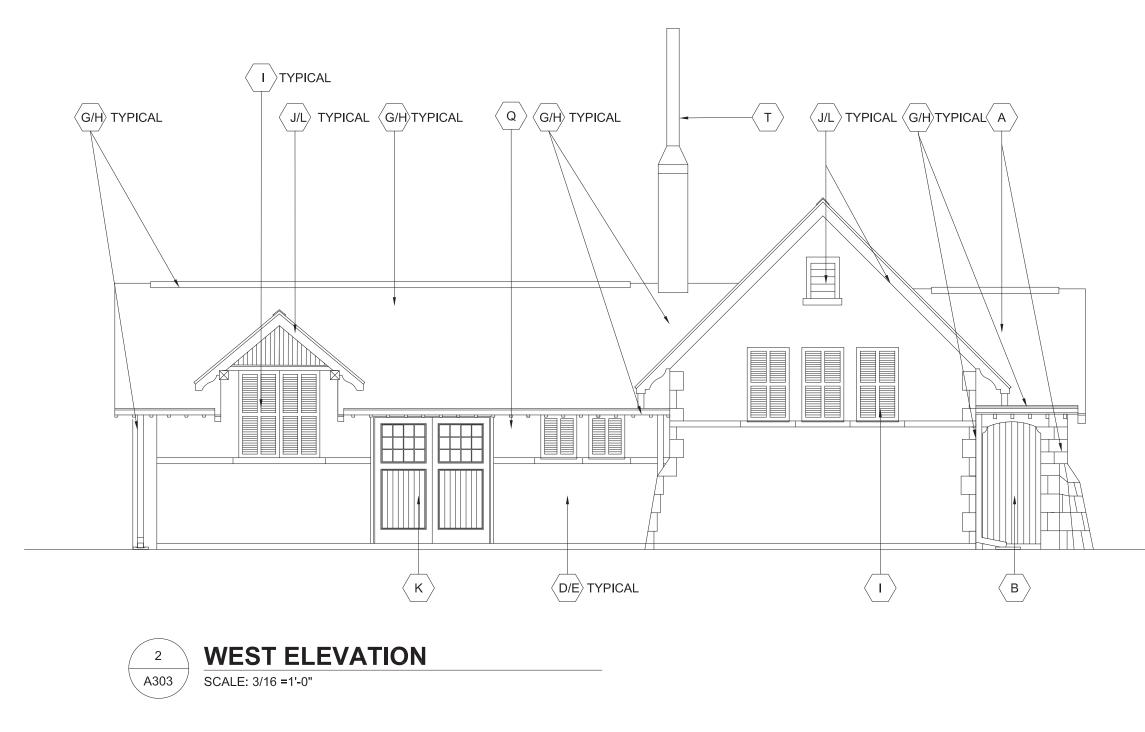
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EXISTING SOUTHERN ENTRY: DOCU MOLD AND ROOF STRUCTURE PRIOF ENTRY; SALVAGE AND CLEAN EXIST THE ENTRY SLAB AND FOOTINGS AN TO FROST DEPTH, PROVIDE A NEW F RECONSTRUCT THE MASONRY ENTR STONE TO MATCH THE ORIGINAL. D EXPOSED RAFTERS TO MATCH THE MATCH EXISTING, FINISHED IN PAIN

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL, PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH "V" GROOVE PANEL PER DETAIL.

- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D angle JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE
- E CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- F REMOVE EXISTING STACK VENTS.
- G SHINGLED ROOF VENTS AT RIDGES.
- (Η) NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.
- $\langle | |$ SHUTTER DETAIL.



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UPLICATE THE ROOF STRUCTURE WITH
EXISTING CONFIGURATION. NEW CEILING TO
ED BEAD BOARD.

 \langle B \rangle provide A "V" groove panel to secure the western opening, per detail.

PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

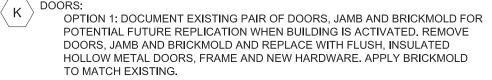
FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

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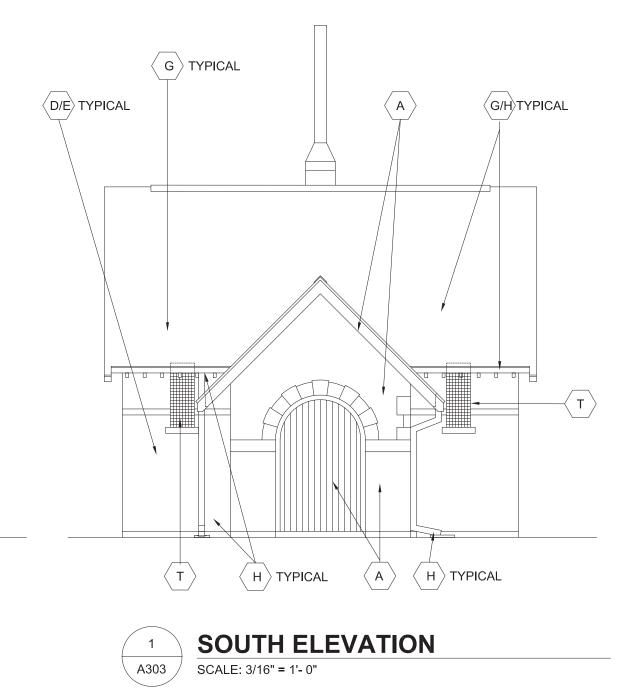
Detroit, MI 48226

P 313 481 1250



City of Detroit General Services Department

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ISSUE FOR OWNER REVIEW	01 APRIL 202

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG C ELEVATIONS

Project Number: 2018183.00	
Drawn By: JCF	Approved By:DZ
Scale: AS SHOWN	

A303

Drawing No.

- 1. CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
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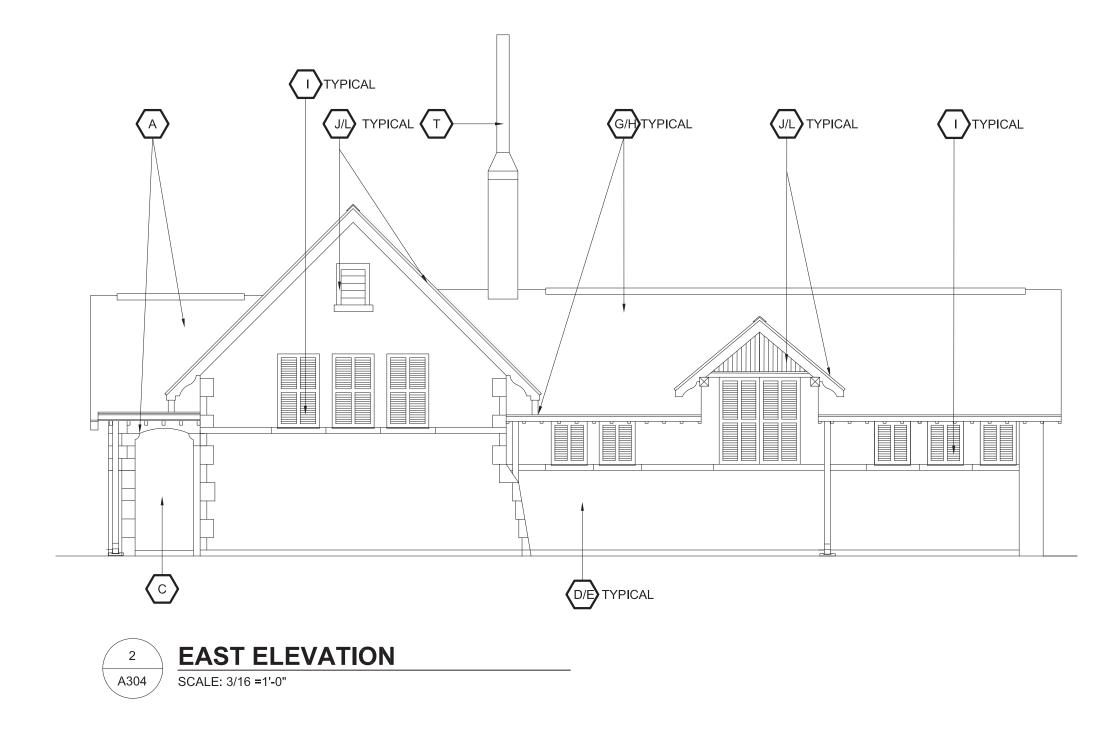
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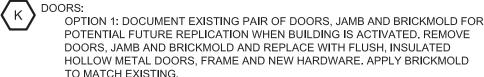
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 $\label{eq:relation} \ensuremath{\bigwedge}^{Q} \ensuremath{\mathsf{P}}^{\mathsf{PROVIDE}} \ensuremath{\mathsf{EXTERIOR}} \ensuremath{\mathsf{LED}} \ensuremath{\mathsf{W}}^{\mathsf{UNTED}} \ensuremath{\mathsf{LIGHT}} \ensuremath{\mathsf{FIXTURE}} \ensuremath{\mathsf{PER}} \ensuremath{\mathsf{PLANS}} \ensuremath{\mathsf{RECESS}} \ensuremath{\mathsf{SEC}} \ensuremath{\mathsf{SEC}} \ensuremath{\mathsf{PLANS}} \ensuremath{\mathsf{RECESS}} \ensuremath{\mathsf{RECSS}} \ensuremath{\mathsf{RECSS$

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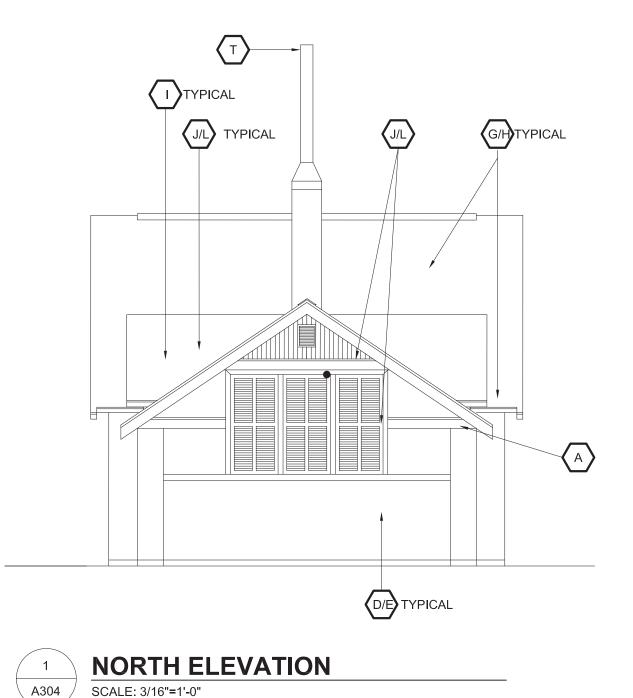
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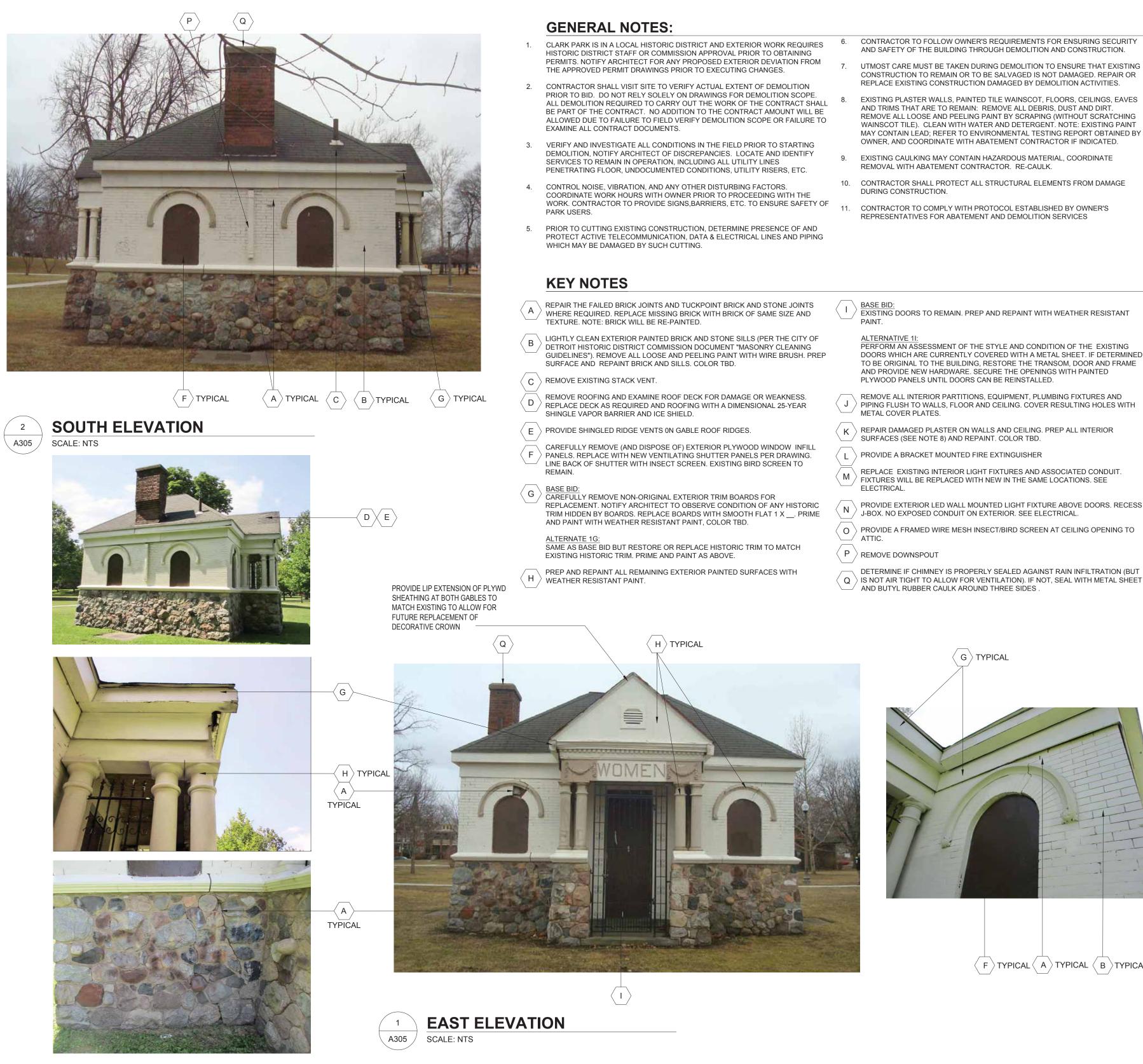
Project **CLARK PARK IMPROVEMENT PLAN - PHASE 1B** Drawing Title

BLDG C ELEVATIONS

Project Number: 2018183.00	
Drawn By: JCF	Approved By: DZ
Scale: AS SHOWN	

A304

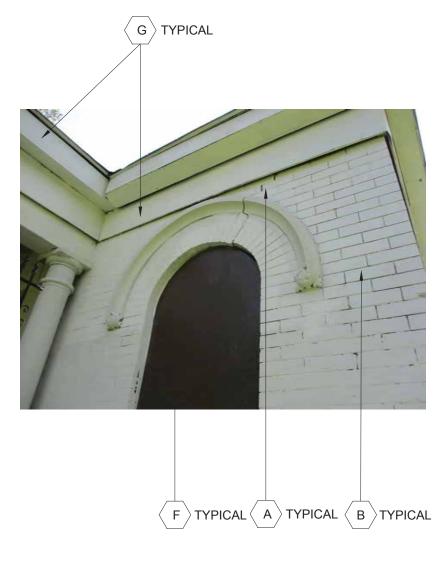
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RIC DISTRICT AND EXTERIOR WORK REQUIRES	6.	CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.		pe architecture urban design
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ELECTRICAL.



ISSUE FOR OWNER REVIEW	01 APRIL 202
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City of Detroit

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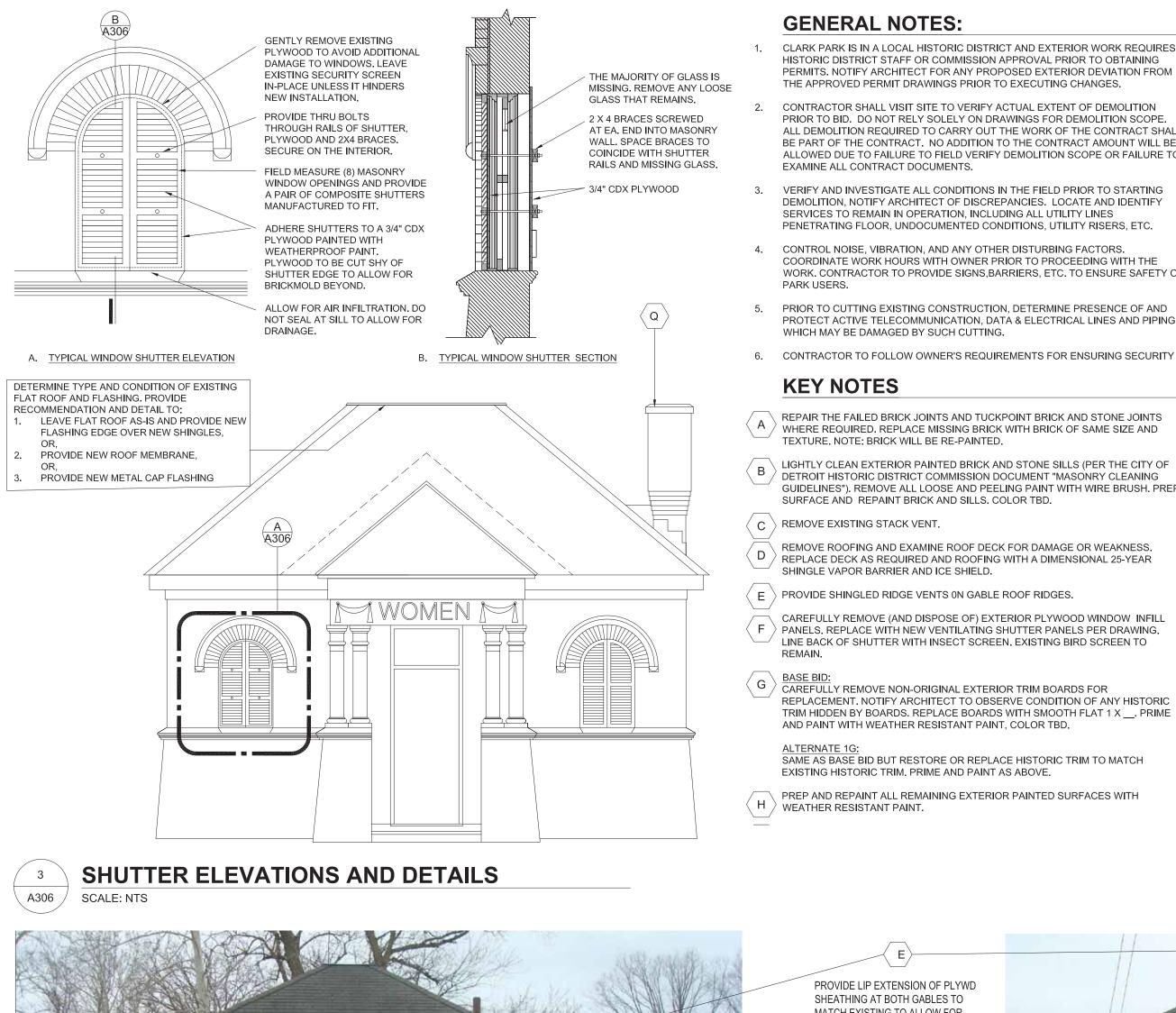
General Services Department

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

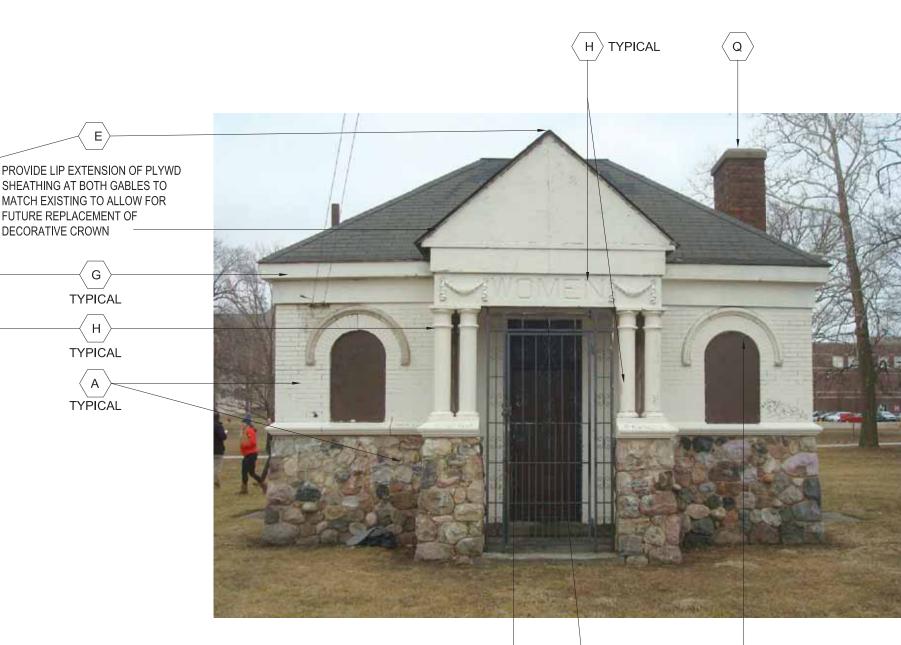
BLDG D ELEVATIONS

Project Number: 2018183.0	0
Drawn By: JCF	Approved By: DZ

Drawing No A305



FUTURE REPLACEMENT OF



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NORTH ELEVATION

SCALE: NTS

HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM

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VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF 11.

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY

REPAIR THE FAILED BRICK JOINTS AND TUCKPOINT BRICK AND STONE JOINTS WHERE REQUIRED. REPLACE MISSING BRICK WITH BRICK OF SAME SIZE AND

LIGHTLY CLEAN EXTERIOR PAINTED BRICK AND STONE SILLS (PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES"). REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. PREP

REMOVE ROOFING AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND ROOFING WITH A DIMENSIONAL 25-YEAR

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. REPLACE WITH NEW VENTILATING SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. EXISTING BIRD SCREEN TO

REPLACEMENT. NOTIFY ARCHITECT TO OBSERVE CONDITION OF ANY HISTORIC TRIM HIDDEN BY BOARDS. REPLACE BOARDS WITH SMOOTH FLAT 1 X . PRIME

SAME AS BASE BID BUT RESTORE OR REPLACE HISTORIC TRIM TO MATCH

PREP AND REPAINT ALL REMAINING EXTERIOR PAINTED SURFACES WITH

AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING PLASTER WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE 10. DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

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BASE BID EXISTING DOORS TO REMAIN. PREP AND REPAINT WITH WEATHER RESISTANT PAINT

ALTERNATIVE 1I: PERFORM AN ASSESSMENT OF THE STYLE AND CONDITION OF THE EXISTING DOORS WHICH ARE CURRENTLY COVERED WITH A METAL SHEET. IF DETERMINED TO BE ORIGINAL TO THE BUILDING, RESTORE THE TRANSOM, DOOR AND FRAME AND PROVIDE NEW HARDWARE. SECURE THE OPENINGS WITH PAINTED PLYWOOD PANELS UNTIL DOORS CAN BE REINSTALLED.

REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, PLUMBING FIXTURES AND J PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.

REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR Ŕ SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.

PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER Ĺ

REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT. M FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS, SEE ELECTRICAL.

PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE ABOVE DOORS. RECESS Ν J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL.

O \rangle PROVIDE A FRAMED WIRE MESH INSECT/BIRD SCREEN AT CEILING OPENING TO ATTIC.

 $|\mathsf{P}\rangle$ remove downspout

DETERMINE IF CHIMNEY IS PROPERLY SEALED AGAINST RAIN INFILTRATION (BUT \langle Q \rangle IS NOT AIR TIGHT TO ALLOW FOR VENTILATION). IF NOT, SEAL WITH METAL SHEET AND BUTYL RUBBER CAULK AROUND THREE SIDES



City of Detroit General Services Department

Registration Seal



A306

(N)

WEST ELEVATION

Drawn By: JCF

Scale: AS SHOWN

ISSUE FOR OWNER REVIEW

CLARK PARK

PHASE 1B

Project Number: 2018183.00

Drawing Title

IMPROVEMENT PLAN -

BLDG D ELEVATIONS

Approved By: DZ

01 APRIL 2020



SCALE: APPROXIMATELY 3/16 =1'-0"

A307

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9

CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

DSE OF) EXTERIOR WOOD SIDING INFILL
SECTIONAL DOORS TO AVOID DAMAGE TO THE

CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD.

SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

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- EXTERIOR ELEVATIONS: 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL. COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
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SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE \langle E \rangle New Reinforced Slab and Include conduit for future electrical. See STRUCTURAL

- F > REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; (H FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- $\langle \mathsf{K} \rangle$ REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS.
- REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
- \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
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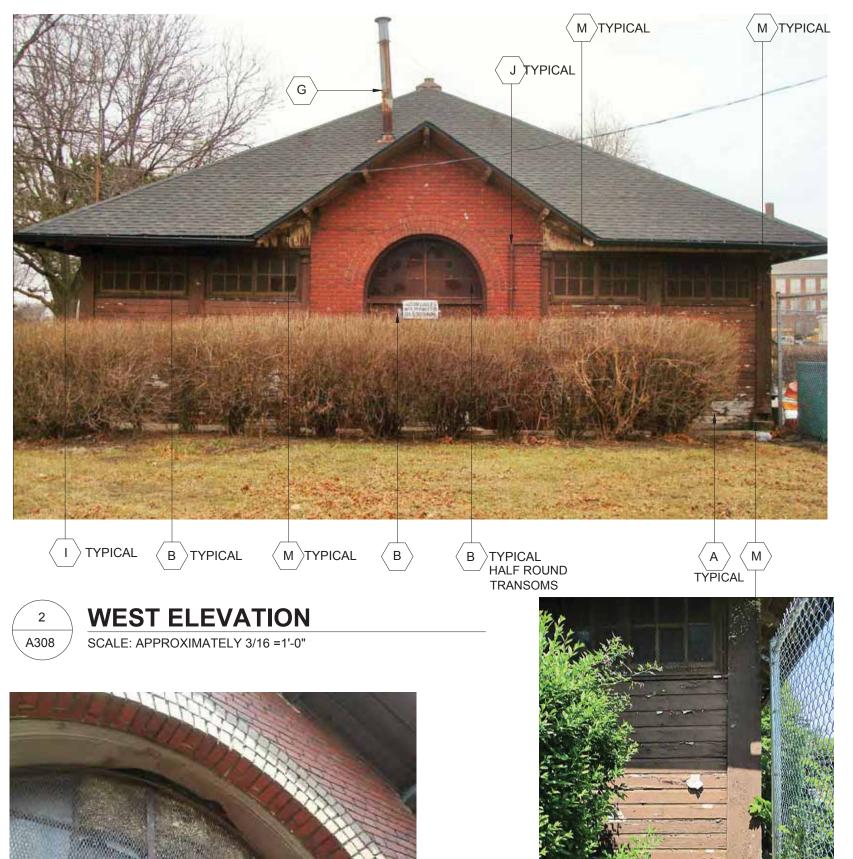
01 APRIL 202

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG E ELEVATIONS

Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	
Scale: AS SHOWN		





- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3
- OF OCCUPANTS.
- WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES

- CAREFULLY REMOVE (AND DISPO (\mathbf{A}) COVERING THE ORIGINAL WOOD ORIGINAL DOORS AND TRIM.
- BASE BID: B DAMAGE TO THE ORIGINAL TRANSOM WINDOWS

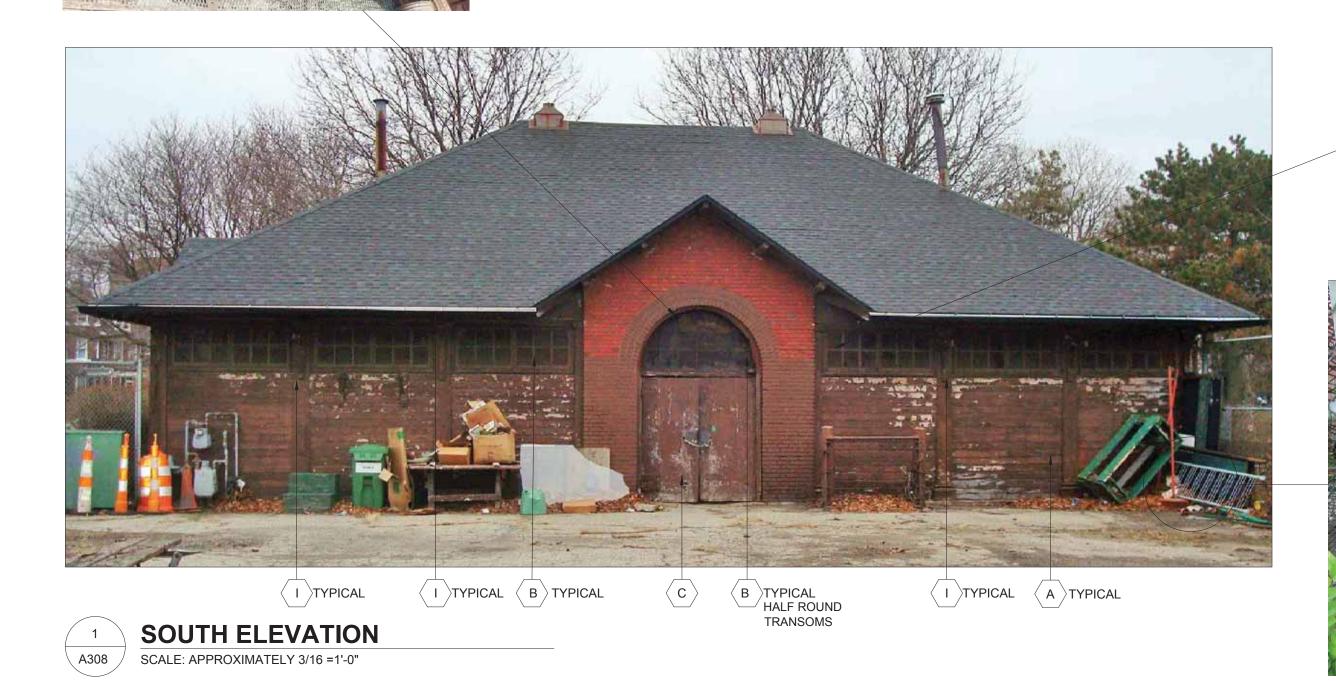
CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD. ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

ALTERNATIVE 1B SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

ALTERNATIVE 2B: GLASS

ALTERNATIVE 2C PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

- C) SOUTH FACADE)
- D REMAINING STORAGE UNITS AND MATERIALS.



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OSE OF) EXTERIOR WOOD SIDING INFILL	
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- SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE (E) NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE STRUCTURAL
- \langle F \rangle REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
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ISSUE FOR OWNER REVIEW	01 APRIL 20

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG E ELEVATIONS

Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	

A308

- THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3. SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4 PARK OCCUPANTS.
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING
- 6 CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

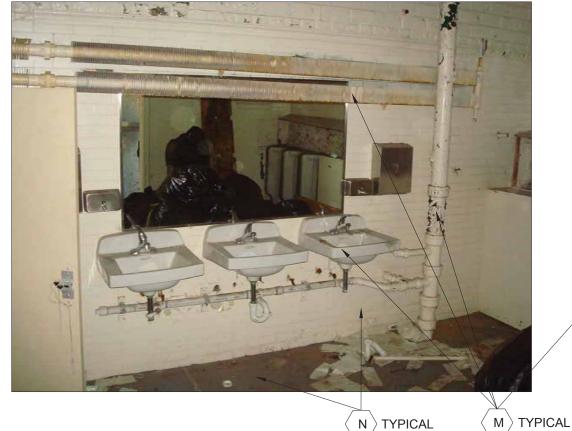
KEY NOTES

- EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK А MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

 - OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING "V" GROOVE PANEL PER DETAIL.
- B
- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING. С
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D \rangle JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm
- E CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- F REMOVE EXISTING STACK VENTS.
- G SHINGLED ROOF VENTS AT RIDGES.
- REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS. H) NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.

N > TYPICAL

ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.







WEST WINDOWS

A701



M > TYPICAL



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OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH

angle provide a "V" groove panel to secure the western opening, per detail.

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE

REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS, OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION, REMOVE LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
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REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING. $\langle \kappa \rangle$ doors:

OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD TO MATCH EXISTING

OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.

REMOVE LOOSE CAULK AND PAINT, CAULK AROUND ENTIRE BUILDING AND PREP L AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.

REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING \langle M \rangle FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.

REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR N SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.

PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER 0

REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; Ρ. FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE **FI FCTRICAL**

PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS Q J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.

REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC R COILS) SEE MEP.

REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE. S

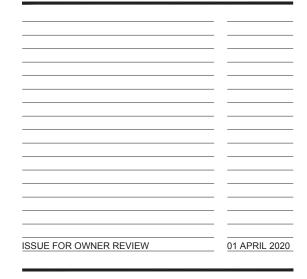
PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS Т WHERE INDICATED.

U REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER PIPES



City of Detroit General Services Department

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CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG C INTERIOR

Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	
Scale: AS SHOWN		

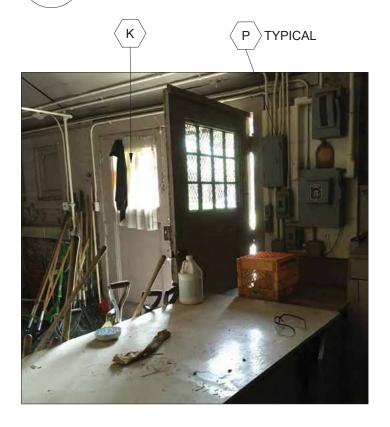
A701

- THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. PARK OCCUPANTS.
- WHICH MAY BE DAMAGED BY SUCH CUTTING
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

KEY NOTES

- EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

 - OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING "V" GROOVE PANEL PER DETAIL.
- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING. C
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm
- E CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- < F > REMOVE EXISTING STACK VENTS.
- G SHINGLED ROOF VENTS AT RIDGES.
- REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS. NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.
- ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.



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WATER SERVICE S.W. CORNER













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A702

WINDOWS

ABOVE WATER SERVICE

CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM

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CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO

VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH

 \langle B \rangle provide a "V" groove panel to secure the western opening, per detail.

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE

REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH

UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.

EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.

EXTERIOR ELEVATIONS 9.1 REMOVE ALL SURFACE APPLIED UNUSED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.

- 9.2 EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S 11. REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

REPAIR. OR WHERE SEVERELY DETERIORATED. REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

DOORS: κ OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD

TO MATCH EXISTING

- OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.
- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP L AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING angle FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR ' SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS Q J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC COILS) SEE MEP.
- REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE. S
 - PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
- U) REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER PIPES

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Drawing No

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ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG C INTERIOR

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ Scale: AS SHOWN





VIEW OF CEILING





VIEW SE - SOUTH WALL





VIEW TOWARDS NW CORNER

GENERAL NOTES:

- THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3. SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4. PARK USERS
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES

6.

- A TEXTURE. NOTE: BRICK WILL BE RE-PAINTED.
- B SURFACE AND REPAINT BRICK AND SILLS. COLOR TBD.
- C REMOVE EXISTING STACK VENT.
- D SHINGLE VAPOR BARRIER AND ICE SHIELD.
- PROVIDE SHINGLED RIDGE VENTS ON GABLE ROOF RIDGES. ÉE)
- REMAIN.
- BASE BID (G) CAREFULLY REMOVE NON-ORIGINAL EXTERIOR TRIM BOARDS FOR AND PAINT WITH WEATHER RESISTANT PAINT, COLOR TBD.
 - ALTERNATE 1G: SAME AS BASE BID BUT RESTORE OR REPLACE HISTORIC TRIM TO MATCH EXISTING HISTORIC TRIM. PRIME AND PAINT AS ABOVE.
- PREP AND REPAINT ALL REMAINING EXTERIOR PAINTED SURFACES WITH Н WEATHER RESISTANT PAINT.





CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM

PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO

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VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY

COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY

REPAIR THE FAILED BRICK JOINTS AND TUCKPOINT BRICK AND STONE JOINTS WHERE REQUIRED. REPLACE MISSING BRICK WITH BRICK OF SAME SIZE AND

LIGHTLY CLEAN EXTERIOR PAINTED BRICK AND STONE SILLS (PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES"). REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. PREP

REMOVE ROOFING AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND ROOFING WITH A DIMENSIONAL 25-YEAR

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS, REPLACE WITH NEW VENTILATING SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. EXISTING BIRD SCREEN TO

REPLACEMENT. NOTIFY ARCHITECT TO OBSERVE CONDITION OF ANY HISTORIC TRIM HIDDEN BY BOARDS. REPLACE BOARDS WITH SMOOTH FLAT 1 X __. PRIME

AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
 - EXISTING PLASTER WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
 - EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE 10. DURING CONSTRUCTION.
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES
- BASE BID: EXISTING DOORS TO REMAIN. PREP AND REPAINT WITH WEATHER RESISTANT PAINT
- ALTERNATIVE 11 PERFORM AN ASSESSMENT OF THE STYLE AND CONDITION OF THE EXISTING DOORS WHICH ARE CURRENTLY COVERED WITH A METAL SHEET. IF DETERMINED TO BE ORIGINAL TO THE BUILDING, RESTORE THE TRANSOM, DOOR AND FRAME AND PROVIDE NEW HARDWARE. SECURE THE OPENINGS WITH PAINTED PLYWOOD PANELS UNTIL DOORS CAN BE REINSTALLED.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, PLUMBING FIXTURES AND J angle PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLA
- REPAIR DAMAGED ERIOR K SURFACES (SEE N
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER (L)
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT. M FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.

PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE ABOVE DOORS. RECESS N J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL.

- \langle O \rangle PROVIDE A FRAMED WIRE MESH INSECT/BIRD SCREEN AT CEILING OPENING TO ATTIC.
- (P) REMOVE DOWNSPOUT
- DETERMINE IF CHIMNEY IS PROPERLY SEALED AGAINST RAIN INFILTRATION (BUT \langle Q \rangle is not air tight to allow for ventilation). If not, seal with metal sheet AND BUTYL RUBBER CAULK AROUND THREE SIDES .

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ISSUE FOR OWNER REVIEW	 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG D INTERIOR

Project Number: 2018183.00		
Drawn By: JCF	Approved By: DZ	
Scale: AS SHOWN		



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GENERAL NOTE

- 2. EXAMINE ALL CONTRACT DOCUMENTS.
- 3.
- 4 OF OCCUPANTS.
- 5. WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES

- CAREFULLY REMOVE (AND DISP ά COVERING THE ORIGINAL WOOD ORIGINAL DOORS AND TRIM.
- BASE BID B DAMAGE TO THE ORIGINAL TRANSOM WINDOWS

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX, WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD. ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

ALTERNATIVE 1B: SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

ALTERNATIVE 2B: GLASS

ALTERNATIVE 2C PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

- C SOUTH FACADE)
- D REMAINING STORAGE UNITS AND MATERIALS.

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CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.

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CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO

VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

6. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY

OSE OF) EXTERIOR WOOD SIDING INFI	LL
SECTIONAL DOORS TO AVOID DAMAG	E TO THE

CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- EXTERIOR ELEVATIONS: 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES
- SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE \langle E \rangle NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE STRUCTURAL
- $\left(\hspace{0.1 cm} \mathsf{F} \hspace{0.1 cm}
 ight)$ remove all overhead storage including non-original, non-structural WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE (H ELECTRICAL.
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- $\langle \mathsf{K} \rangle$ REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS.
- REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
- \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
- \langle N \rangle LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.

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CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG E INTERIOR

Project Number: 2018183.00	
Drawn By: JCF	Approved By: DZ
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PHOTO 2

NTS

REMOVE AND RETAIN GATE FOR REUSE

ed beted be eed be - REMOVE MULTI-WYTHE MASONRY ENTRY WALLS AND WALL STRIP FOOTINGS TO LIMITS OF MAIN BUILDING. PROTECT REMOVE DECORATIVE CORNER BUITRESS AND AND SALVAGE BRICK AND STONE FOR FOOTING. SALVAGE BRICK AND STONE FOR REUSE REUSE - SAW CUT AND REMOVE FLOOR SLAB AT ENTRY PHOTO 1------- REMOVE ENTRY ROOFING, SHEATHING AND WOOD FRAMING. REFER TO ARCHITECTURE DRAWINGS FOR LIMITS OF ROOFING REMOVAL FOR THE MAIN BUILDING - REMOVE METAL GATE AND RETAIN FOR REUSE p----d p----d PHOTO 2 --d p--t--d p--

1 MEN'S RESTROOM DEMO PLAN 1/4" = 1'-0"

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CIVIL ENGINEER

OHM Advisors 1145 Griswold St, Suite 200 Detroit, MI 48226 P 313 481 1250



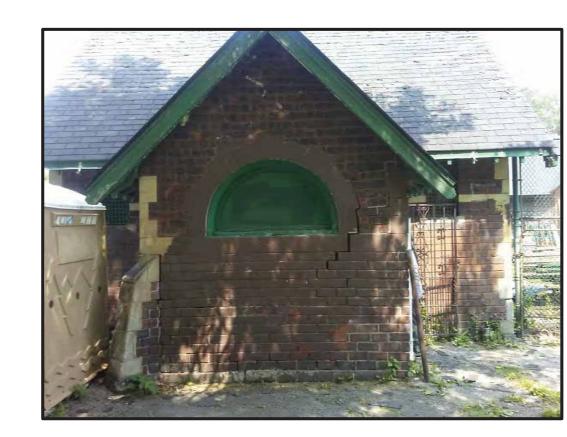
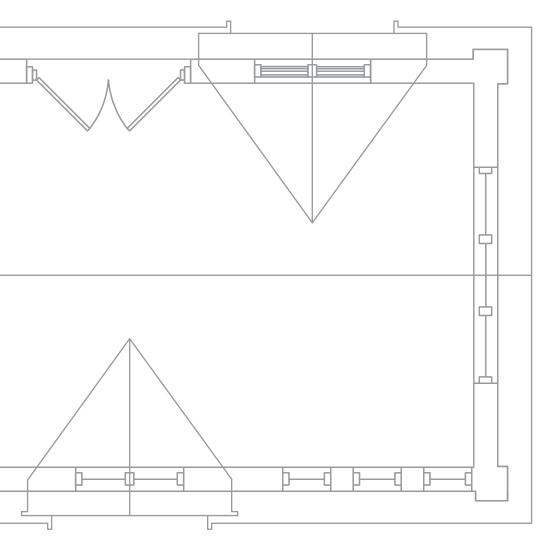


PHOTO 1 NTS



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Project

CLARK PARK IMPROVEMENT PLAN

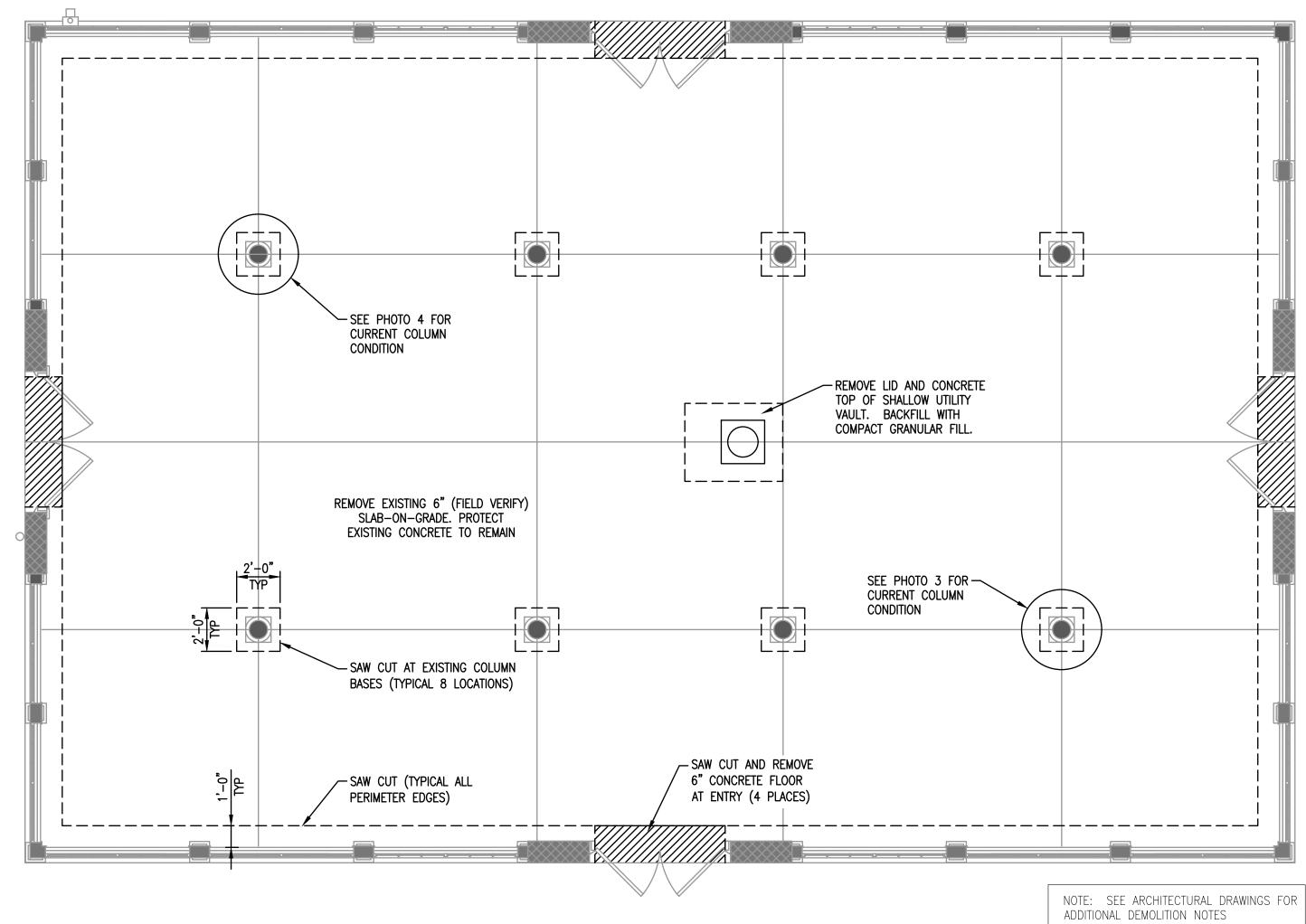
Drawing Title MEN'S RESTROOM DEMO PLAN AND DETAILS

Project Number: OHM 0880190030		
Drawn By: SM	Approved By:	MS
Scale: AS SHOWN		

Drawing No.







WARMING SHELTER DEMO PLAN 〔1〕

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Proiect

Drawing No.

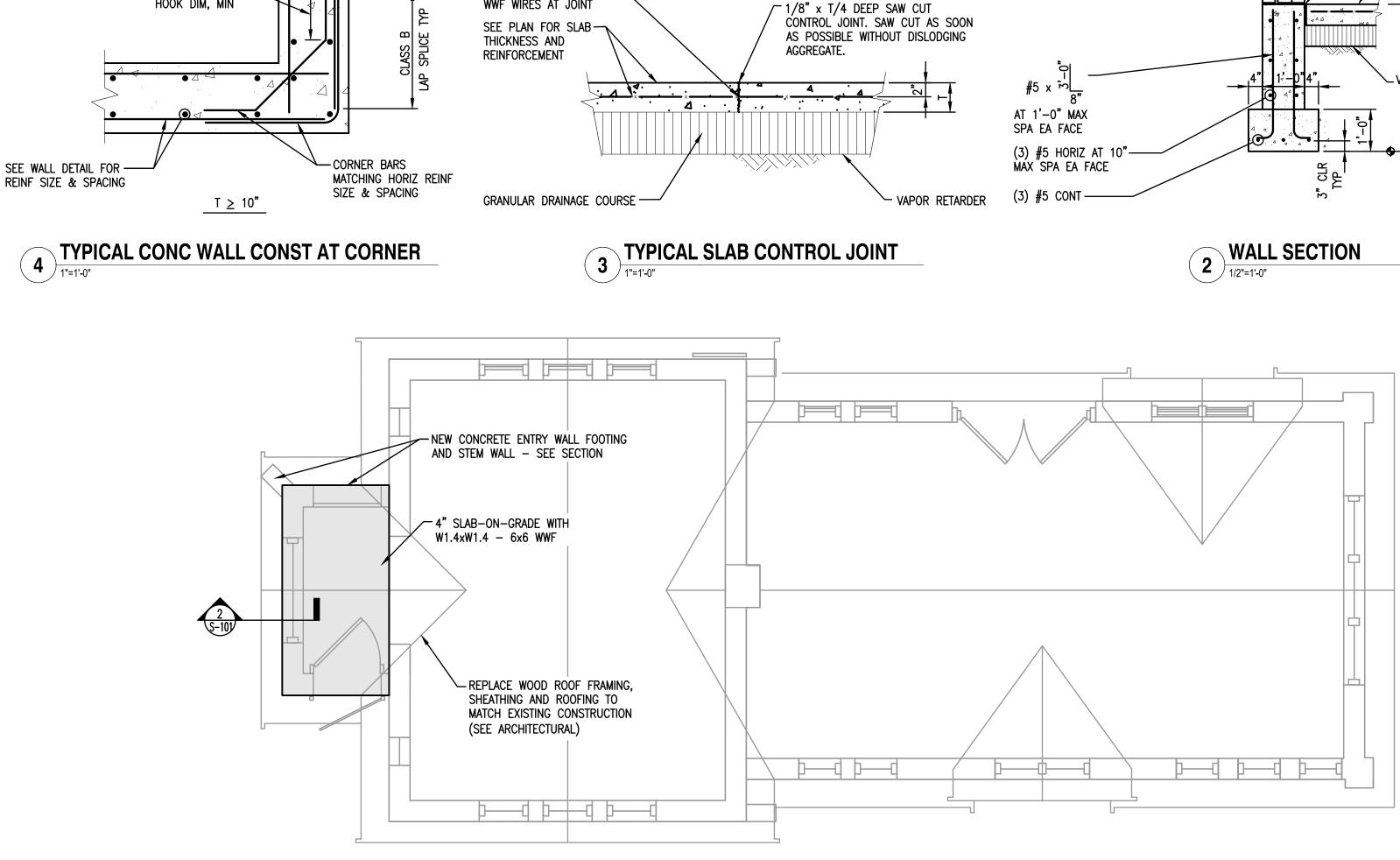
CLARK PARK IMPROVEMENT PLAN

Drawing Title WARMING SHELTER DEMO PLAN AND DETAILS

Project Number: OHM 0880190030		
Drawn By: SM	Approved By:	MS
Scale: AS SHOWN		

SD-102





2" MIN

4" MAX

FIELD CUT 1/2 OF -

WWF WIRES AT JOINT

 $\angle 1$

MATCH STD 90°-

HOOK DIM, MIN

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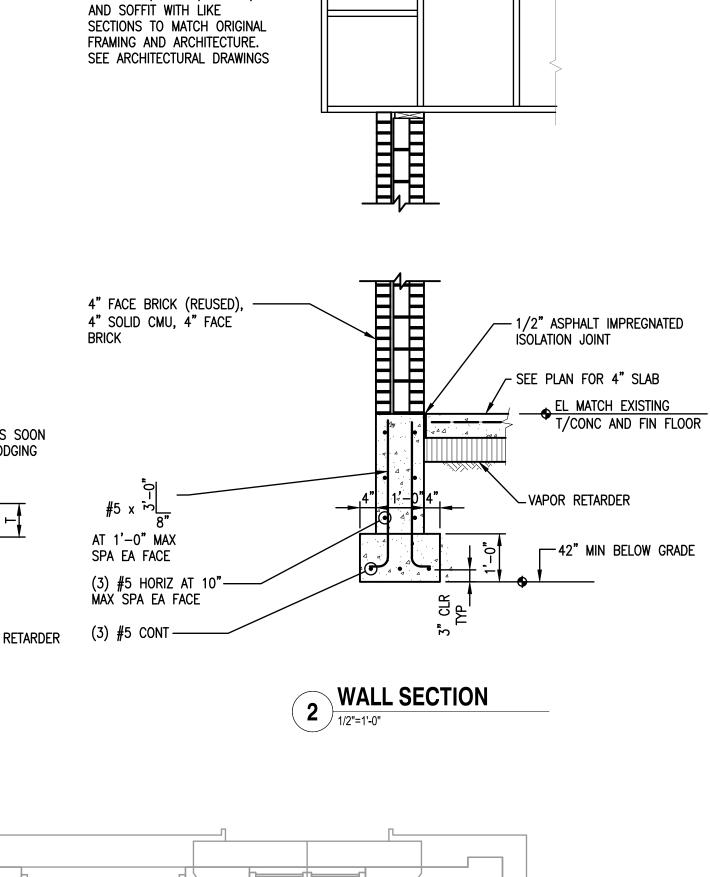


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CONTRACTOR SHALL REMOVE -

AND REPLACE ROOF DORMER

SHEATHING, FRAME, PLATES,

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Proiect

CLARK PARK IMPROVEMENT PLAN

Drawing Title

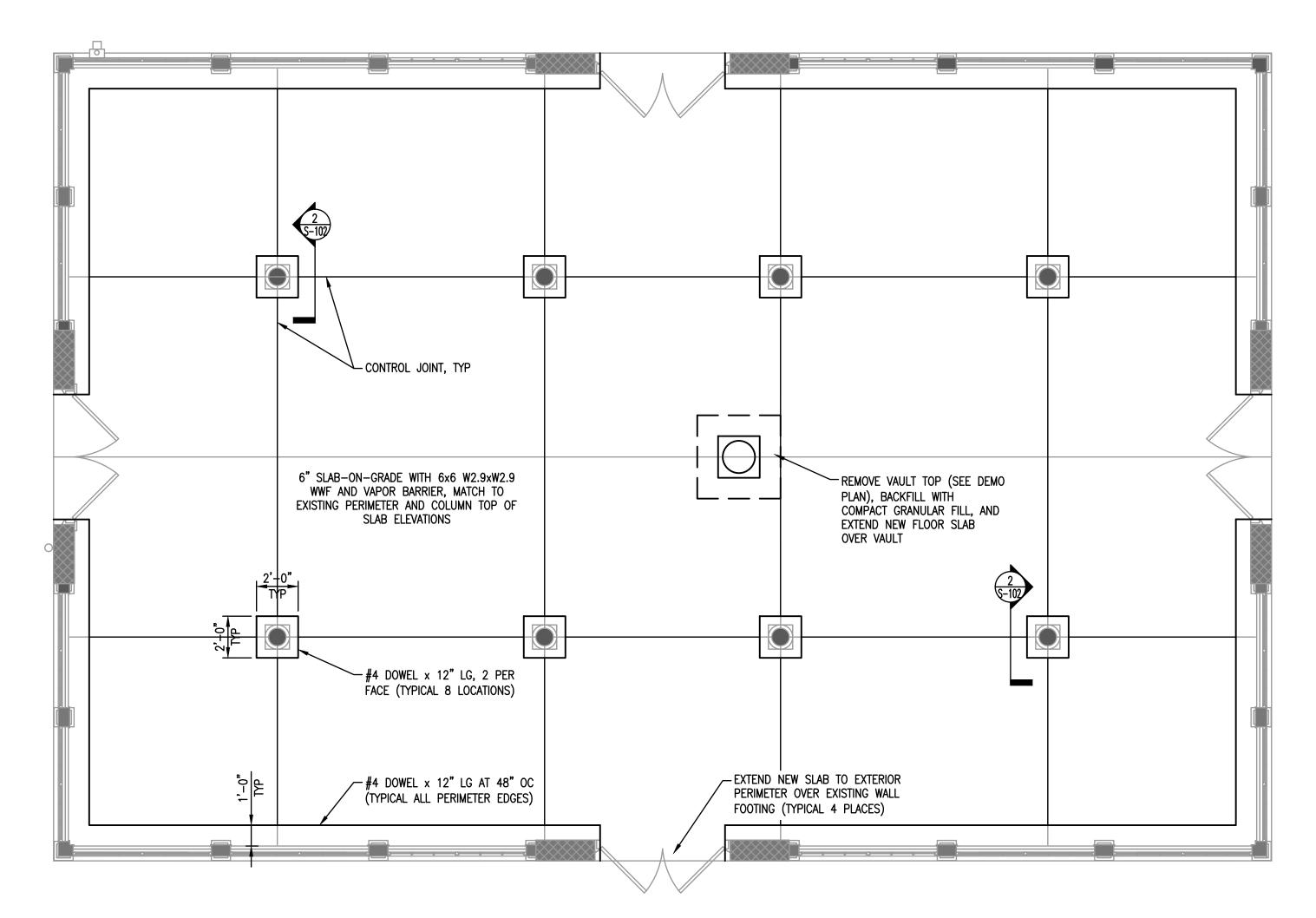
MENS RESTROOM CONSTRUCTION PLAN AND DETAILS

Project Number: OHM 088019003	0	
Drawn By: SM	Approved By:	MS
Scale: AS SHOWN		

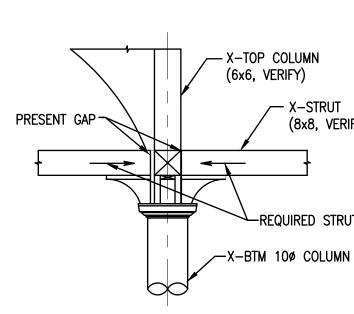
S-101



WARMING SHELTER CONSTRUCTION PLAN 〔1〕







NOTE: INDICATED CONNECTION AND FRAMING ARE APPROXIMATE. CONTRACTOR SHALL VERIFY CONDITIONS ARE DIMENSIONS.

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Proiect

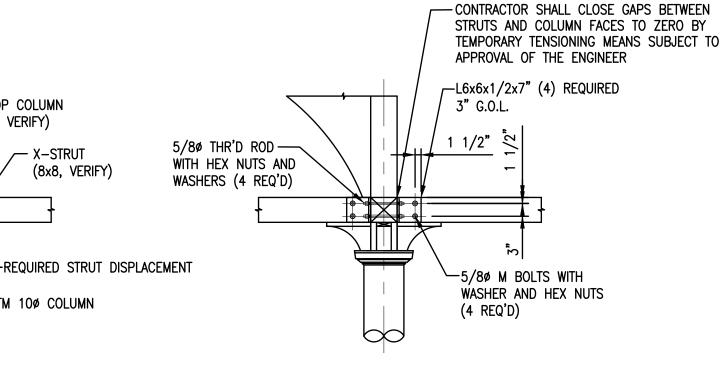
CLARK PARK IMPROVEMENT PLAN

Drawing Title WARMING SHELTER CONSTRUCTION PLAN AND DETAILS

Project Number: OHM 0880190030 Approved By: MS Drawn By: SM

Scale: AS SHOWN

Drawing No. S-102





X-STRUT

(8x8, VERIFY)



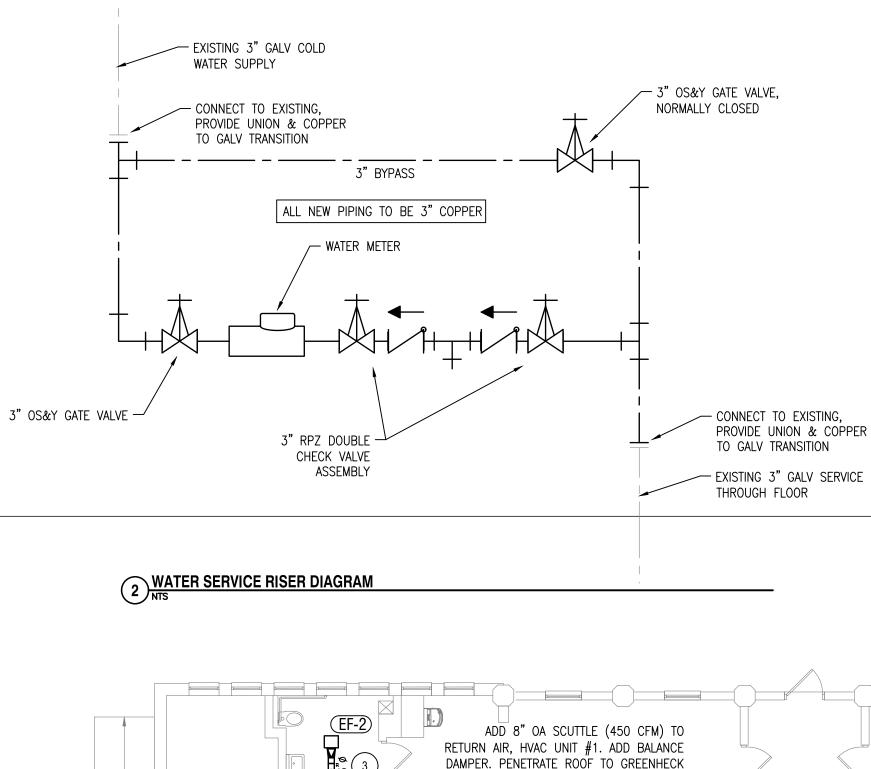


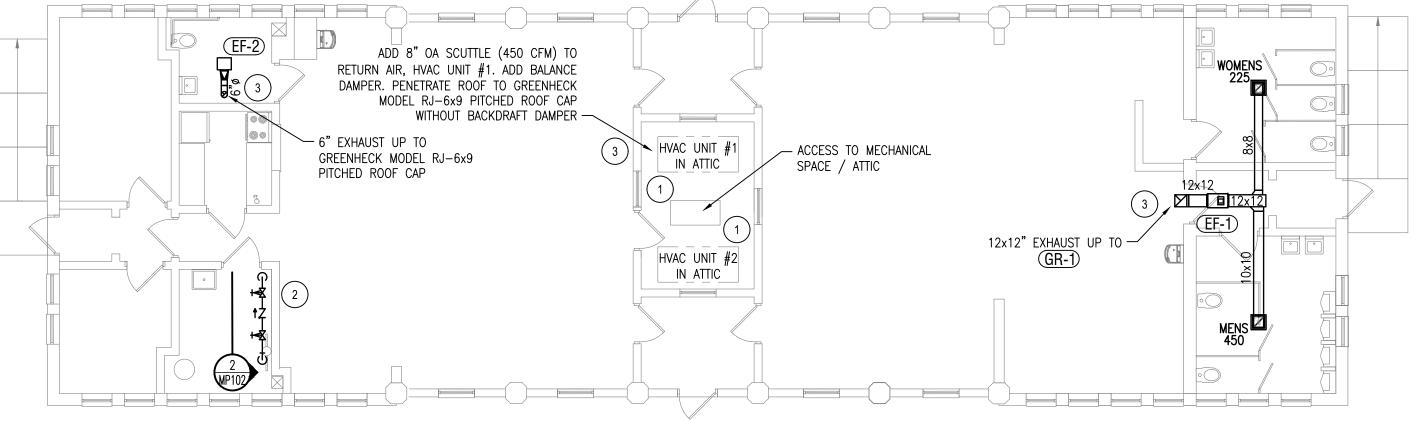
FAN	SCHEDUL	.E									
MARK	SERVICE	LOCATION	DRIVE	CFM	FAN RPM	FAN RPM (in wg)	MOTOR		MANUFACTURER	MODEL	REMARKS
MANN			TYPE				HP	ELECT	MANUFACTURER	MODEL	
EF-1	RESTROOMS	ATTIC	BELT	675	1550	0.5	<i>Y</i> 4	115/60/1	GREENHECK	BSQ-90	NOTE #1
EF-2	HC TOILET	CEILING	DIRECT	75	950	0.7	80 W	115/60/1	GREENHECK	SP-B110	NOTE #1
NOTE #1.	NOTE #1. FAN ODERATION TO BE TIED TO LICHTS / MOTION SENSOR										

NOTE #1: FAN OPERATION TO BE TIED TO LIGHTS / MOTION SENSOR

GRA	GRAVITY RELIEF HOOD SCHEDULE										
MARK	RK SERVICE LOCATION		TYPE	CFM	THROAT SIZE		VELOCITY	APD	MANUFACTURER	MODEL	REMARKS
					WIDTH	DEPTH	(fpm)	(in wg)	n wg)		
GR-1	EF-1	ROOF	EXHAUST	675	12	12	675	0.11	GREENHECK	FGR-12x12	NOTE #1

NOTE #1: PROVIDE WITH MOTORIZED DAMPER TIED TO FAN OPERATION





1 REC CENTER MECHANICAL & PLUMBING PLANS

DIFFUSER & GRILLE SCHEDULE									
								CF	-M
MARK	SUPPLY-DIFFUSER	RETURN-GRILLE	EXHAUST-GRILLE	SIZE	MANUF	MODEL	QTY	EACH	TOTAL
MENS			X	12X12	PRICE	80	1	450	450
WOMENS			Х	12X12	PRICE	80	1	225	225

MECHANICAL PLUMBING KEY NOTES

1 FURNACES & DUCT WORK IN ATTIC SPACE, CLEAN & VACUUM ALL EXISTING SUPPLY & RETURN DUCTS, GRILLES & DIFFUSERS. SEE MP201 FOR REFERENCE DRAWINGS

(2) REPLACE WATER SERVICE RISER, COORDINATE WITH CITY FOR SERVICE SHUT OFF.

(3) COORDINATE ROOF PENETRATION AND PATCHING WITH OTHER TRADES

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Project

CLARK PARK IMPROVEMENT PLAN

Drawing Title **REC CENTER MECHANICAL &** PLUMBING PLANS

REC CENTER	
Project Number: 2018183.00	
Drawn By: DK	Approved By: ST
Scale: AS SHOWN	

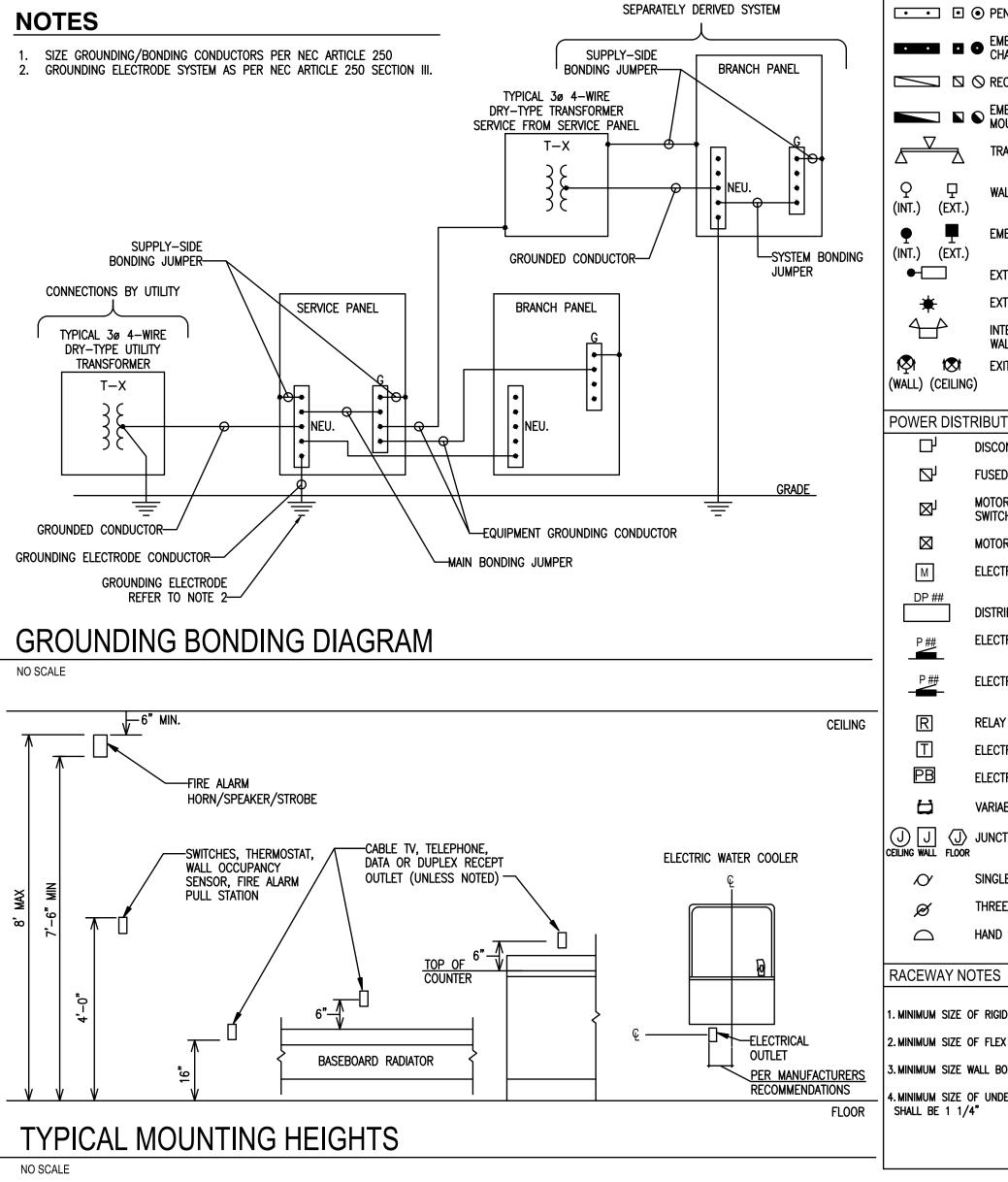
Drawing No.

MP102

ELEC. ABBREVIATIONS

_SPECIAI ø	- PHASE	F FA	FIRE ALARM	M MCB MDP	MAIN CIRCUIT BREAKER MAIN DISTRIBUTION PANEL	t Tel Trans	TELEPHONE TRANSFORMER	
A A AFF	AMPERE ABOVE FINISHED FLOOR	g GFCI GND	GROUND FAULT CIRCUIT INTERRUPTER EQUIPMENT GROUND	MH MISC MLO MTD	METAL HALIDE MISCELLANEOUS MAIN LUG ONLY MOUNTED	tv Typ U	Television Typical	
C CAT CB CMU CO. CUH	CONDUIT CATALOGUE CIRCUIT BREAKER CONCRETE MASONRY UNIT COMPANY CABIN UNIT HEATER	H HID HPS HVAC K	HIGH INTENSITY DISCHARGE HIGH PRESSURE SODIUM HEATING VENTILATION & AIR CONDITIONING	n Neu No P Pl	NEUTRAL NUMBER PILOT	UGE UH UNO V V VA	UNDERGROUND ELECTRIC UNIT HEATER UNLESS NOTED OTHERWISE	
e EC EF EWC	ELECTRICAL CONTRACTOR EXHAUST FAN ELECTRIC WATER COOLER	K KVA KW L	KEY OPERATED DEVICE KILOVOLT-AMPERES KILO-WATTS LIGHT EMITTING DIODE	r Recp	RECEPTACLE	W W WNC WP	WIRE WIRELESS NETWORK CONTROLLER WEATHERPROOF	

NOTES



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Know what's below. Call before you dig

TRICAL LEGEN	D			
TURES	RECEPTACLE OUTLETS	FIRE ALARM SYSTEM		
□ O SURFACE / CEILING MOUNT	Φ SIMPLEX RECEPTACLE	ନ୍ତ outdoor bell / chime		
■ ● EMERGENCY SURFACE / CEILING MOUNT	DUPLEX GROUNDED RECEPTACLE	S SMOKE DETECTOR		
	CTR MOUNTED ABOVE COUNTER G GFCI	$(\widehat{\mathbb{S}}_{A})_{A}$ smoke detector with audible base		
PENDANT / CHAIN MOUNT	GC GFCI – MOUNTED ABOVE COUNTER U DUAL USB PORTS	S COSMOKE/CARBON MONOXIDE DETECTOR		
■ ● EMERGENCY PENDANT / CHAIN MOUNT	WP WEATHERPROOF COVER W/ GFCI			
⊠ ⊗ RECESSED MOUNT	T TAMPERPROOF TC TAMPERPROOF ABOVE COUNTER	CEILING WALL CEILING WALL CALL FIRE ALARM HORN/STROBE		
S S EMERGENCY RECESSED	TGC TAMPERPROOF GFCI ABOVE CTR			
		EXERC FIRE ALARM STROBE		
TRACK STRIP	D DRYER RECEPTACLE	€< E FIRE ALARM HORN		
WALL MOUNT	QUADRUPLEX RECEPTACLE	FX FX FIRE ALARM SPEAKER/STROBE		
		€ ■ FIRE ALARM SPEAKER		
EMERGENCY WALL MOUNT		F FIRE ALARM PULL STATION		
EXTERIOR POLE MOUNT		The electro./mag door hold open		
EXTERIOR POST MOUNT	SWITCH OUTLETS SWITCHES: X = DESIGNATION BELOW	ELR END OF LINE RESISTOR		
INTERIOR EMERGENCY	Z = ZONE DESIGNATION DELOW	FS FIRE ALARM FLOW SWITCH		
WALL PACK St EXIT SIGN	SINGLE POLE 2 TWO POLE	PS FIRE ALARM PRESSURE SWITCH		
LING)	Z HIG FOLL 3 THREE WAY Z 4 FOUR WAY	TS FIRE ALARM TAMPER SWITCH		
ISTRIBUTION	_ Y _ DM DIMMER \$XF FAN	FAA FIRE ALARM ANNUNCIATOR PANEL		
DISCONNECT SWITCH	K KEY OPERATED	FACP FIRE ALARM CONTROL PANEL		
FUSED DISCONNECT SWITCH	M MOTION DETECTION P PILOT LIGHT	HSS HOOD SUPPRESSION SYSTEM FIRE		
MOTOR STARTER DISCONNECT	T TIMER			
SWITCH		TELEPHONE/COMMUNICATIONS		
MOTOR STARTER	SENSORS: X = DESIGNATION BELOW	CEILING WALL FLOOR FURNITURE $X \times X$		
ELECTRICAL METER	D DAYLIGHT C D CCUPANCY V VACANCY			
DISTRIBUTION PANEL	PB EMERGENCY STOP SWITCH	NX=NUMBER AND TYPE OF PORTS		
ELECTRICAL POWER PANEL SURFACE MOUNT	│			
ELECTRICAL POWER PANEL	PC PHOTOCELL	P PHONE PORT W WIRELESS ACCESS POINT		
FLUSH MOUNT	- CEILING MOUNTED PULL SWITCH	N = 1,2,3,4		
RELAY	WIRELESS NETWORK			
ELECTRICAL TRANSFORMER	XX = CONTROLLER INDICATOR	S SPEAKER		
ELECTRICAL PULL BOX	SECURITY	IC INTERCOM CALL BOX		
VARIABLE FREQUENCY DRIVE		ENTRANCE CALL SYSTEM		
J JUNCTION BOX	DC MAGNETIC SWITCH (DOOR CONTACT)	B BELL		
LOOR	DL ELECTRONIC DOOR LOCK	M MICROPHONE JACK		
SINGLE PHASE MOTOR		PS POWER SUPPLY		
THREE PHASE MOTOR		WG REQUIRES WIRE GUARD		
HAND HOLE	KEYPAD ENTRY DEVICE			
NOTES	WIRES			
		DEXISTING DEMOLISH		
ZE OF RIGID CONDUIT SHALL BE 3/4".	POWER CIRCUIT WIRING			
ZE OF FLEX CONDUIT SHALL BE 1/2".				
ZE WALL BOX IN CMU SHALL BE 4"X4".	SWITCH LOOP WIRING			
ZE OF UNDERGROUND CONDUIT 1/4"	UN-SWITCHED HOT WIRING			
	LOW VOLTAGE WIRING			

DATA WIRING

E-001

ISSUED FOR OWNER REVIEW

INFORMATION

Project Number: 2018183.00

CLARK PARK IMPROVEMENT

Approved By: LM

GENERAL ELECTRICAL

Project

PLAN

Drawing Title

Drawn By: RD

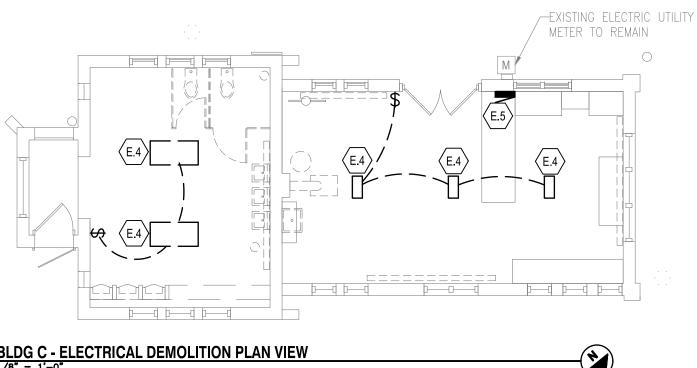
Drawing No.

Scale: AS SHOWN

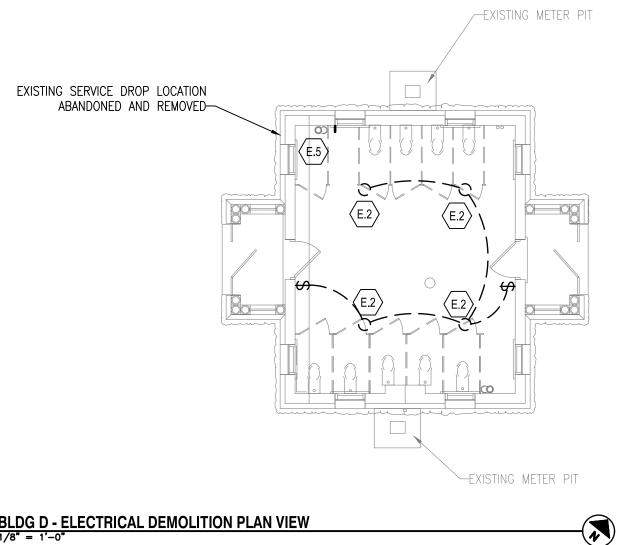
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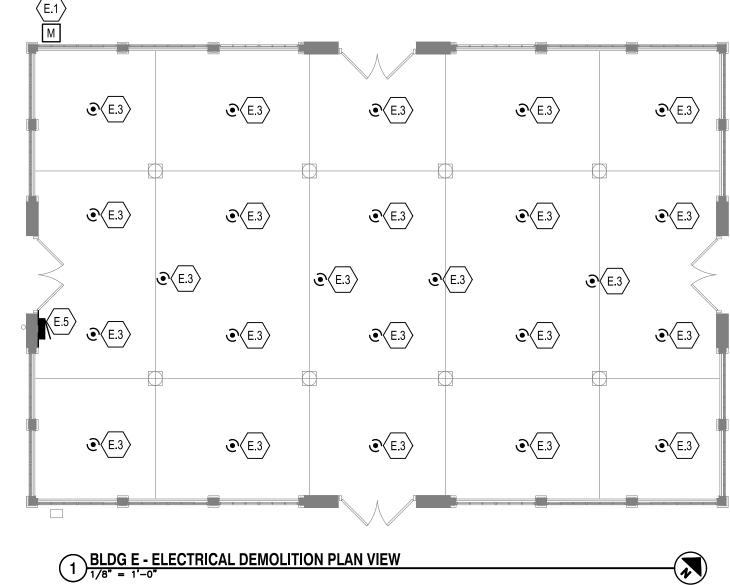
GENERAL DEMOLITION NOTES

- 1. DRAWINGS SHOW MAJOR DEMOLITION ONLY; THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION FOR THE COMPLETION OF THE WORK WHETHER EXPLICITLY SHOWN OR NOT.
- 2. THE OWNER RESERVES THE RIGHT TO KEEP ANY REMOVED EQUIPMENT OR MATERIALS. ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED LANDFILL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY EXTERIOR OPENINGS MADE FROM DEMOLITION WORK TO ENSURE THEY ARE 3. WEATHER TIGHT AT THE END OF EACH DAY.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING WHERE CONDUITS AND JUNCTION BOXES ARE REMOVED UNLESS 4. OTHERWISE NOTED.
- 5. ANY JUNCTION BOXES REMAINING IN PLACE THAT HAVE HAD DEVICES REMOVED ARE TO RECEIVE BLANK COVER PLATES MATCHING PROJECT REQUIREMENTS. 6. CONDUITS AND CONDUCTORS ABANDONED AS PART OF THE WORK SHALL BE DEMOLISHED WHERE NOT BURIED IN WALLS OR UNDERGROUND.
- CAP OR PLUG ANY ABANDONED CONDUITS THAT REMAIN.
- WHERE DEVICES ARE REMOVED FROM THE MIDDLE OF A CIRCUIT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-ROUTE THE CIRCUIT TO 7. MAINTAIN CIRCUIT INTEGRITY TO REMAINING DEVICES.
- CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND IN EXISTING CONDITIONS. 8. CONTRACTOR TO COORDINATE WITH THE OWNER OR ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE OF SHUTTING OFF OR DISCONNECTING 9. ANY UTILITIES. CONTRACTOR TO ENSURE ALL EXISTING SYSTEMS TO REMAIN ARE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE ENGINEER/OWNER. 10. CONTRACTOR TO TAKE ALL PRECAUTIONS NECESSARY TO PROTECT ITEMS NOT INTENDED TO BE DEMOLISHED AND TO RESTORE TO EXISTING
- CONDITIONS ANY ITEMS DAMAGED THAT WERE NOT INTENDED TO BE DEMOLISHED.









ELECTRICAL DEMOLITION KEY NOTES

- $\langle E.1 \rangle$ disconnect and remove electrical meter.
- E.2 DISCONNECT AND REMOVE EXISTING LIGHT SOCKETS,
- DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND (E.3) CONDUCTORS. CONDUIT EXISTING TO REMAIN.
- DISCONNECT AND REMOVE EXISTING LIGHTING, (E.4 CONDUCTORS AND CONDUIT.
- DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL (E.5) DISTRIBUTION EQUIPMENT.

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1 BLDG E - ELECTRICAL DEMOLITION PLAN VIEW

	_	
	_	
	-	
	-	
	-	
	-	
	-	
	-	

ISSUED FOR OWNER REVIEW

Project CLARK PARK IMPROVEMENT PLAN

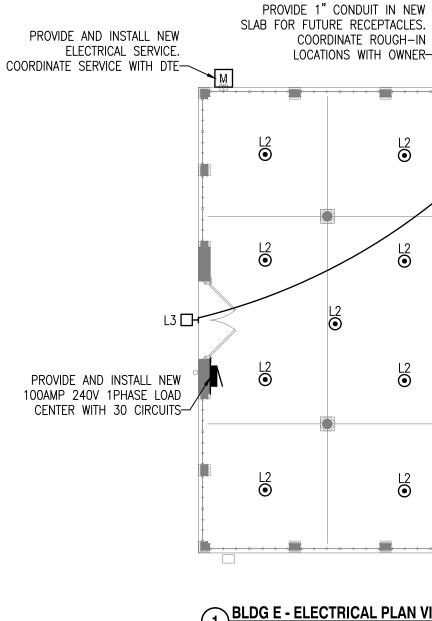
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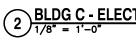
Drawing Title BLDGS C, D & E ELECTRICAL **DEMOLITION PLANS**

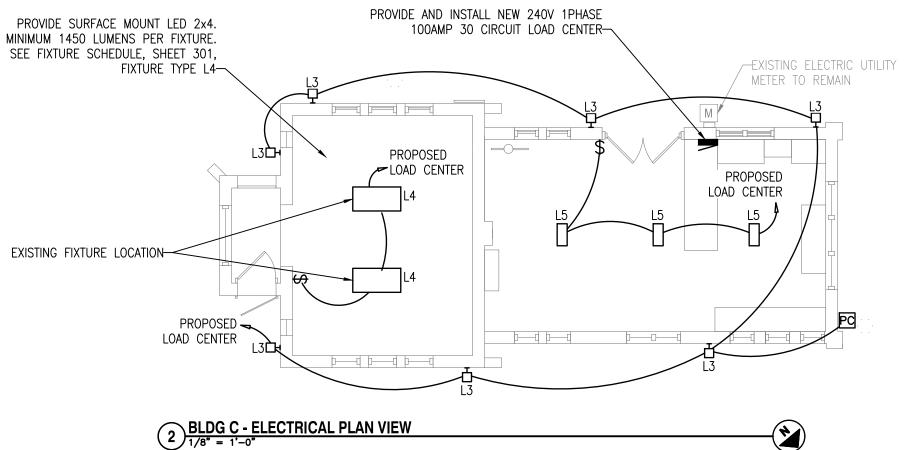
Project Number: 2018183.00	
Drawn By: RD	Approved By: LM
Scale: AS SHOWN	

Drawing No.

ED101







L2

L2

L2 •

L2 •

L2 •



PROVIDE AND INSTALL NEW

CENTER WITH 30 CIRCUITS-

M

L3🗗

00=

PROPOSED LOAD CENTER

-EXISTING METER PIT

PC

Ó=

Ч

-EXISTING METER PIT

<u>-00</u>

 \bigcirc

O

PROPOSED LOAD CENTER

100AMP 240V 1PHASE LOAD

PROVIDE AND INSTALL NEW ELECTRICAL SERVICE

COORDINATE SERVICE WITH DTE-

LED LAMPS SHALL PROVIDE MINIMUM 1025 LUMENS EACH. SEE FIXTURE SCHEDULE SHEET E-301, FIXTURE TYPE L1-

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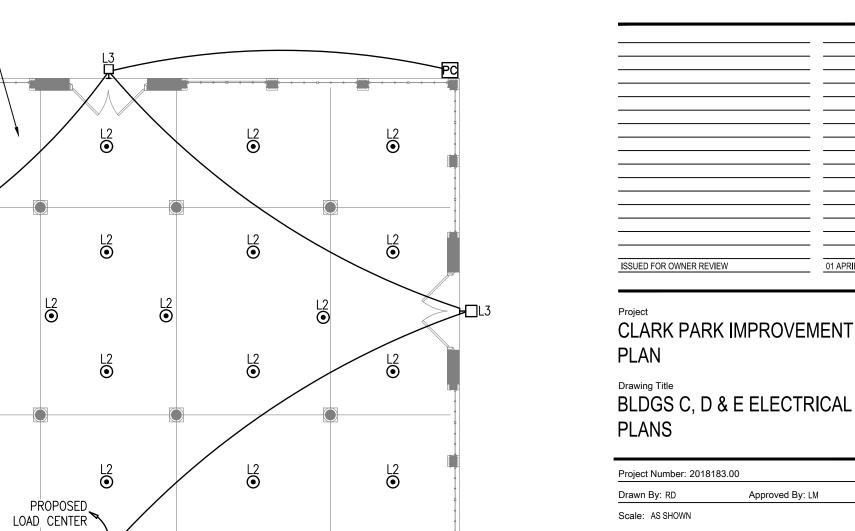
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Client

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E-101

Drawing No.

01 APRIL 2020

Approved By: LM

LIGH	T FIXTURE SCHE	DULE				
TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMPS	WATTS	REMARKS
		PHILLIPS	14A19/850/ND 120		14 WATTS	-
L1	LED LAMP	-	-	LED		
		-	-			
	LED PENDANT LIGHT	ANP LIGHTING	VW516 M009LD D W 40K RTC UNV ST 100GLPRGUPC	LED	11 WATTS	BOTTOM OF SHADE TO BE LEVEL WITH BOTTOM OF BEAM. STEM LENGTHS WILL VERY AND SHALL BE VERIFIED IN FIELD
L2		_	-			
		_	-			
	LED EXTERIOR WALLPAK	LITHONIA	WST LED P2 40K VF MVOLT	LED	30 WATTS	_
L3		_	-			
		_	-			
	2' X 4' LED SURFACE MOUNT	LITHONIA	CPX 2x4 4000LM 40K M2	LED	40 WATTS	_
L4		_	-			
		_	-			
		LITHONIA	CLX L24 1500LM SEF L/LENS MVOLT 40K 80CRI WH			
L5	2' CHAIN HUNG STRIP LIGHT	_	-	LED	11 WATTS	-
		-	-			

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Client

Registration Seal

ISSUED FOR OWNER REVIEW	01 APRIL 2020

Project CLARK PARK IMPROVEMENT PLAN

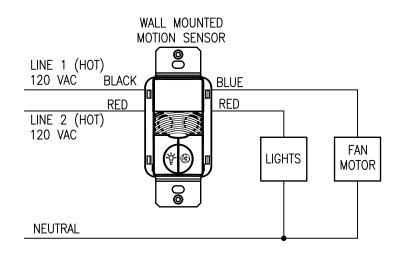
Drawing Title ELECTRICAL DETAILS AND SCHEDULES

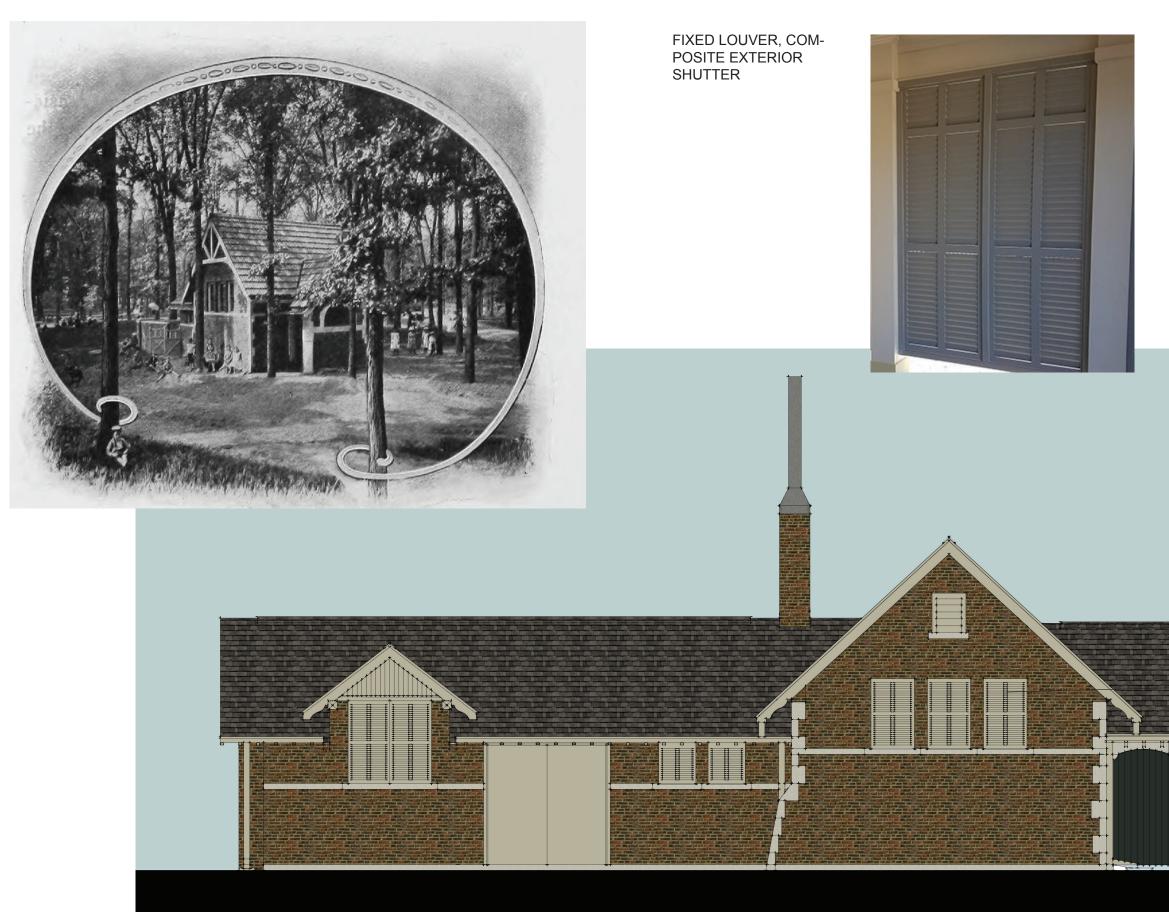
Project Number: 2018183.00	
Drawn By: RD	Approved By: LM
Scale: AS SHOWN	

Drawing No. E-301

<u>NOTE:</u> REFER TO PLAN FOR CIRCUITING.

1 EXHAUST FAN CONTROL DIAGRAM

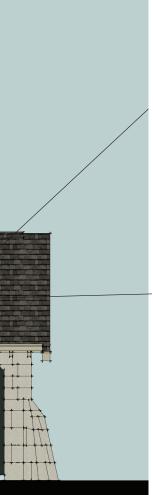




BUILDING C - FORMER MEN'S TOILET/MAINTENANCE BLDG

CLARK PARK IMPROVEMENT PLAN – PHASE IB





DIMENSIONAL SHINGLE-BASIS OF DESIGN: TIMBERLINE PEWTER GRAY

TRIM AND SHUTTER COLOR: MATCH STONE COLOR, SIMILAR TO HISTORIC DISTRICT COLOR STUDY B16, LIGHT GRAYISH OLIVE

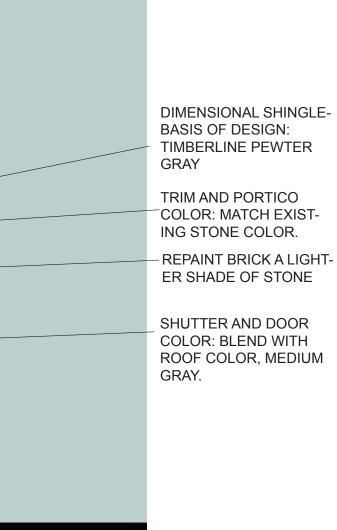




BUILDING D - FORMER WOMEN'S TOILET BLDG

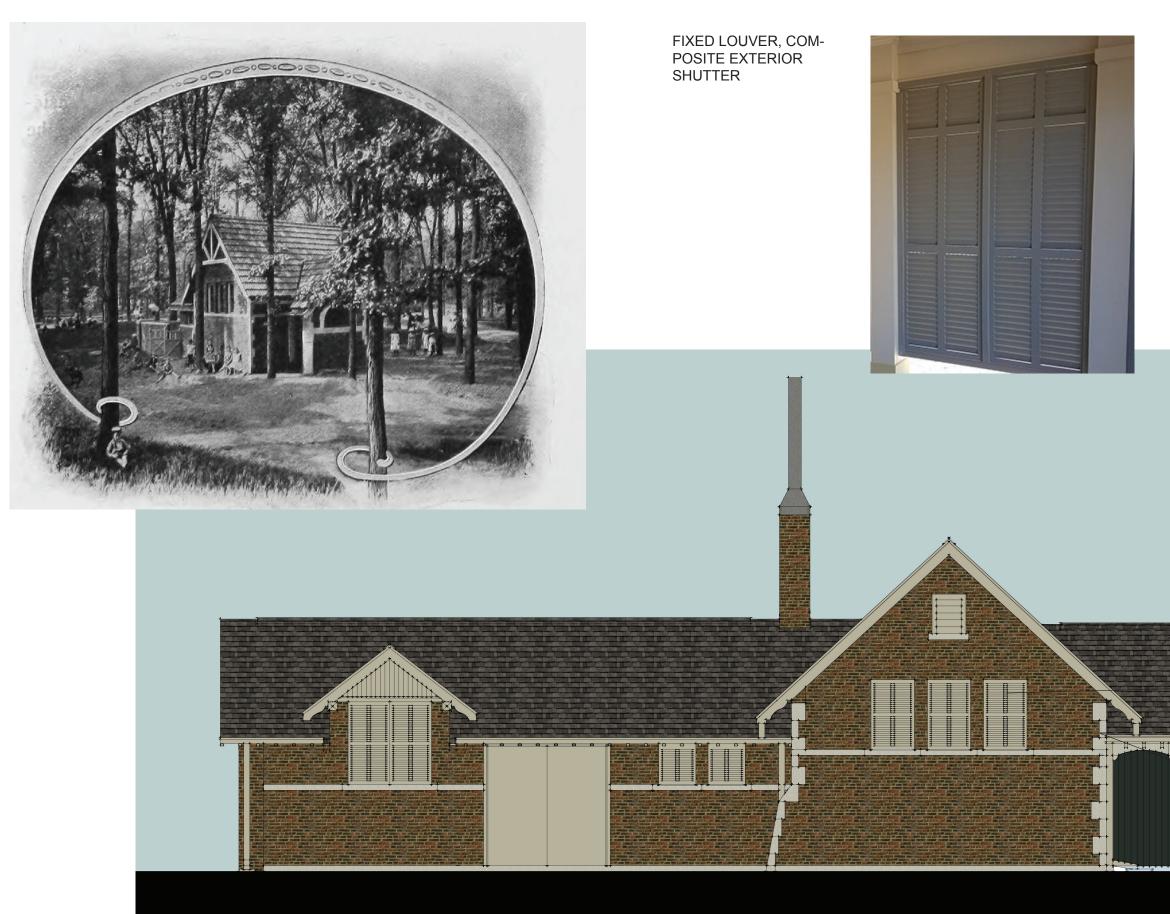
CLARK PARK IMPROVEMENT PLAN – PHASE IB







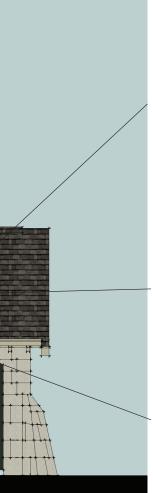
ОНМ



BUILDING C - FORMER MEN'S TOILET/MAINTENANCE BLDG

CLARK PARK IMPROVEMENT PLAN – PHASE IB





DIMENSIONAL SHINGLE-BASIS OF DESIGN: TIMBERLINE PEWTER GRAY

TRIM AND SHUTTER COLOR: MATCH STONE COLOR, SIMILAR TO HISTORIC DISTRICT COLOR STUDY B16, LIGHT GRAYISH OLIVE

NEW BOX STYLE GUT-TERS AND ROUND DOWNSPOUTS.

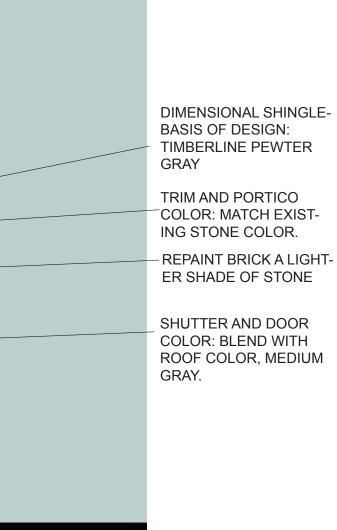




BUILDING D - FORMER WOMEN'S TOILET BLDG

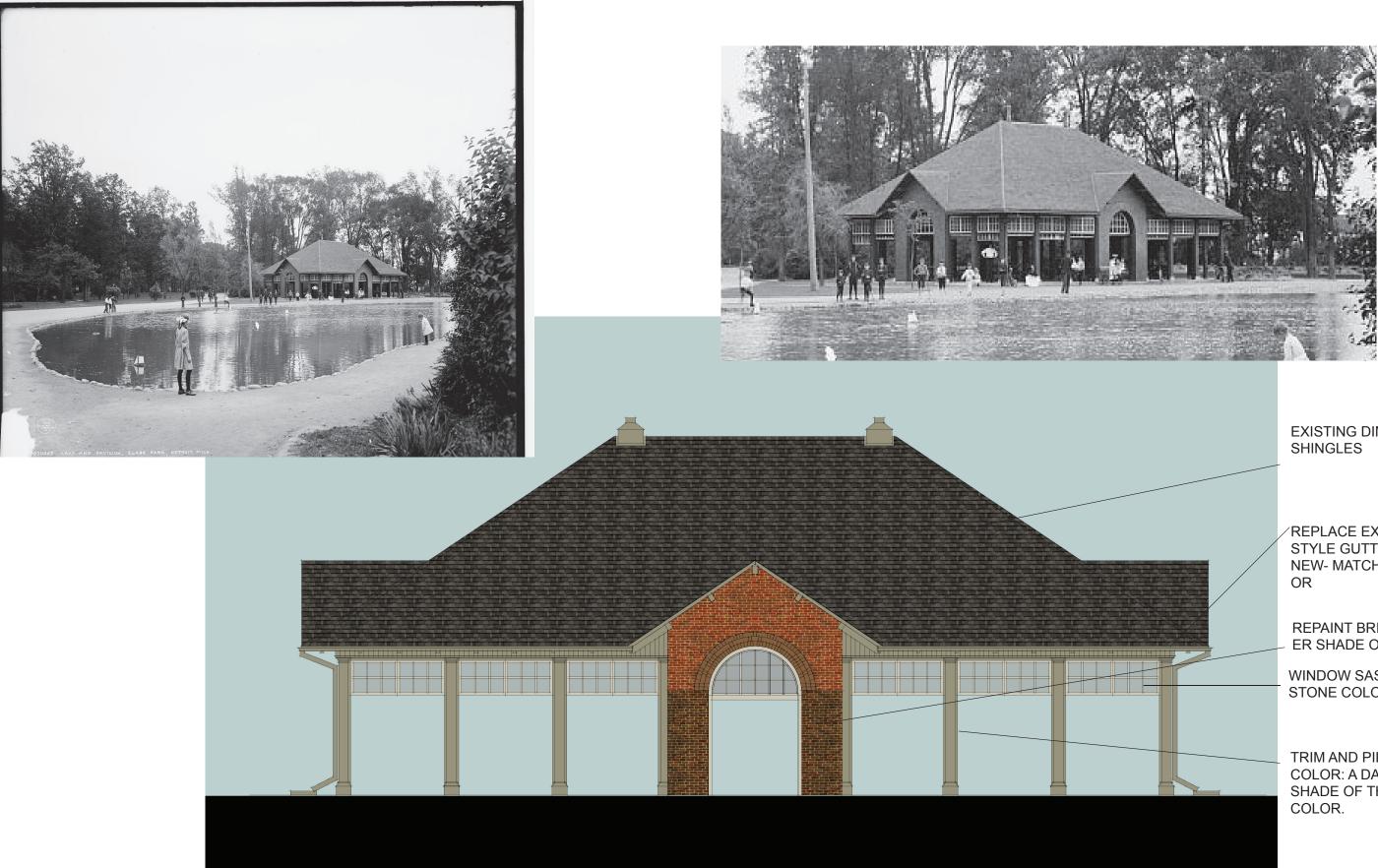
CLARK PARK IMPROVEMENT PLAN – PHASE IB







ОНМ



BUILDING E - WARMING SHELTER

CLARK PARK IMPROVEMENT PLAN – PHASE IB

EXISTING DIMENSIONAL

/REPLACE EXISTING K STYLE GUTTERS WITH NEW- MATCH TRIM COL-

REPAINT BRICK A LIGHT-ER SHADE OF BROWN

WINDOW SASH- LIGHT STONE COLOR

TRIM AND PILASTER COLOR: A DARKER SHADE OF THE STONE

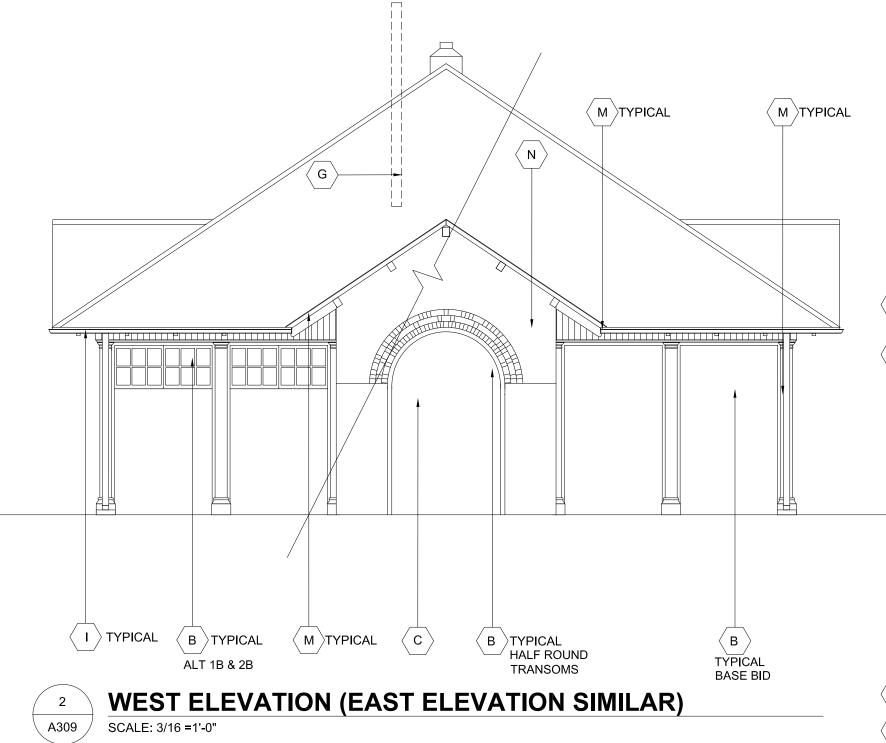


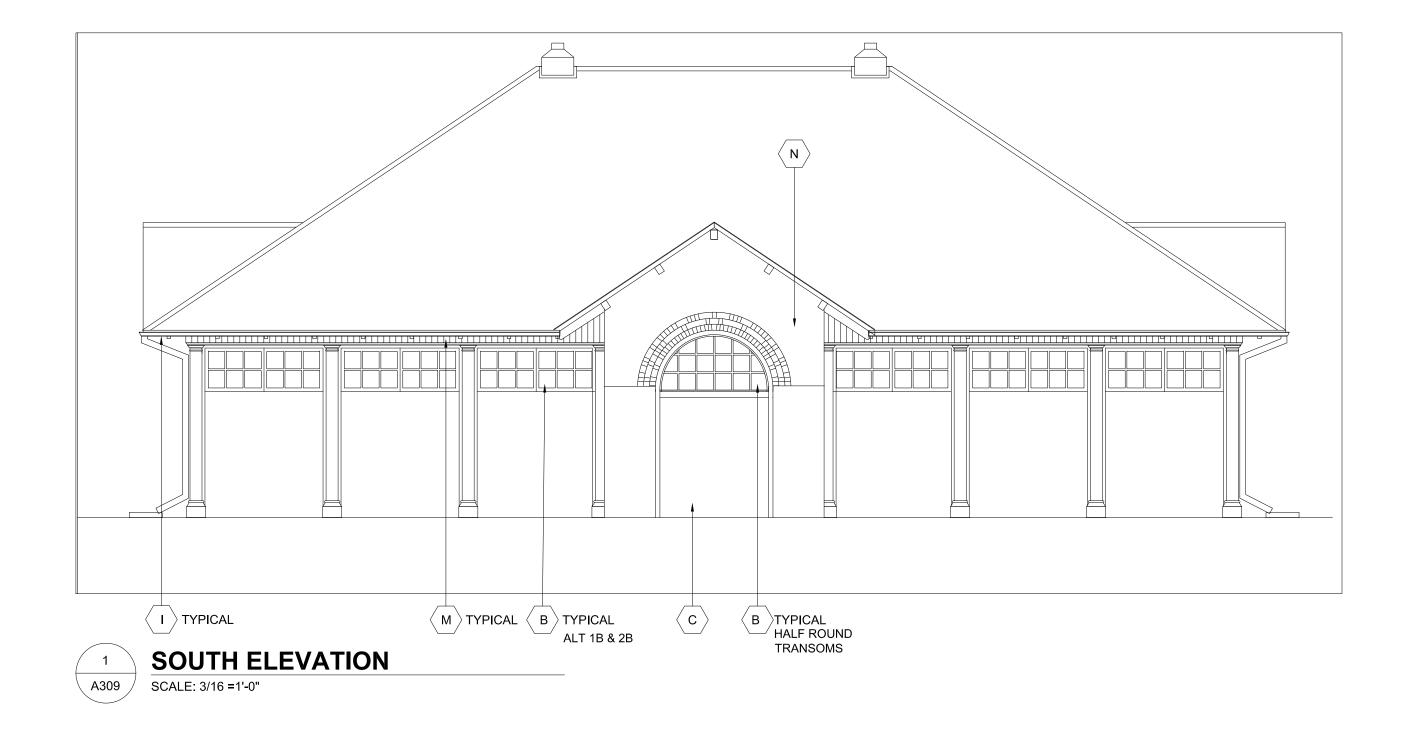
GENERAL NOTES:

- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION 2. PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. 4. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF OCCUPANTS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND 5. PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

KEY NOTES

- CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL А COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE ORIGINAL DOORS AND TRIM.
- BASE BID: В CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID DAMAGE TO THE ORIGINAL TRANSOM WINDOWS.
 - CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD. ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.
 - ALTERNATIVE 1B SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.
 - ALTERNATIVE 2B: GLASS.
 - ALTERNATIVE 2C: PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.
- REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND С SOUTH FACADE)
- REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS D REMAINING STORAGE UNITS AND MATERIALS.





CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING 7. CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- 9. EXTERIOR ELEVATIONS: 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
 - 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE 10. DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S 11 REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES
- SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE $\langle E \rangle$ NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE STRUCTURAL
- REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL < F WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; <н) FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND < K > PROTRUDING NAILS.
- REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ĹĹ ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
- PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND ́м〉 REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
- $\left< N \right>$ LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.

HamiltonAnderson

architecture landscape architecture urban design

Hamilton Anderson Associates 1435 Randolph, Suite 200 Detroit, Michigan 48226 p 313 964 0270 f 313 964 0170 www.hamilton-anderson.com

OWNER

CIVIL ENGINEER

City of Detroit / General Services Department 18100 Mevers Rd Detroit. MI 48235 P 313 224 3484 OHM Advisors 1145 Griswold St. Suite 200

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P 313 481 1250

Know what's **below**. Call before you dig

City of Detroit General Services Department

Registration Seal

ISSUE FOR OWNER REVIEW	01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG E ELEVATIONS-PROPOSED

Approved By:DZ	
	Approved By:DZ

Drawing No.





Building E Gutter with Rectangular downspouts

PLEASE CLICK ON GUTTERS BELOW FOR MORE PRODUCT DETAILS.

BOX GUTTERS

Default sorting

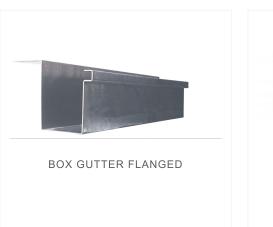




BEVELED BOX GUTTER



BOX GUTTER ANGLED FACE





BOX GUTTER SQUARE



Or Similar

Architectural Guide for Doors and Frames



Experience a safer and more open world

What began over 100 years ago as the dream of a mechanical engineer has grown into the world's leading manufacturer of steel doors and frames for commercial, industrial and institutional construction.



Ceco Door plant, Milan, TN

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Frame Details Masonry Flush Frames

Opening Doors to a Cleaner Environment



LEED® Certification Contribution

The Leadership in Energy and Environmental Design (LEED) Green Building Rating System[™] is the nationally accepted benchmark for the design construction, and operation of high performance green buildings. LEED promotes a whole-building approach to sustainability by recognizing performance in seven key areas of human and environmental health: sustainable sites, water efficiency, energy and atmosphere, materials and resources, indoor environmental quality, innovation in design and regional priority credits.

Ceco manufactures doors and frames from steel, one of the most recycled materials in North America. Each door is then put through rigorous life cycle testing that allows our door solutions to qualify for tornado and hurricane certification standards for strength and durability. The sustainable thinking that goes into each door allows it a long service life with cradle-to-cradle considerations taken into account.

Ceco can help to achieve prerequisites and accumulate points in the following categories and credit areas of LEED.

Examples of the Ceco commitment to sustainable building construction and improving energy efficiency include:

Total Recycled Content

- Steel doors and frames: up to 68.9%
- In one year alone by using 100% recycled cardboard packaging Ceco has:
 Saved 7,973 trees
 - Reduced local landfills by 640 cubic yards
 - Reduced waste water usage by 1,160,775 gallons
 - Saved 697,872 kWh of energy
 - Saved 253 tons of C02 emissions

Energy Efficiency

- In one year, Ceco recycled steel usage conserves 226 billion BTUs and the energy to power 7,500 homes
- Ceco thermal break frames incorporate insulating material for maximum heat retention in cold conditions

Department of Defense Case Study

Facility Type: Government

Location: San Antonio and Ft. Bragg, NC

<u>Solutions:</u> High performance openings from ASSA

ABLOY are delivering certified energy savings to Department of Defense (DoD) facilities, giving the government agency a trusted sustainable building component to comply with energy efficiency requirements for Federal facilities.

Find more case studies at <u>cecodoor.com</u> on the Sustainability page.

Transparency and Sustainable Construction



GreenCircle and ISO 14001 Certified

As today's consumers become more informed, there is an increasing demand for honesty and integrity from product suppliers like Ceco. Third-party certification of sustainability claims is essential in establishing credibility and developing consumer confidence.

GreenCircle has certified the following manufacturing claims.

- Carbon Footprint Reduction Facility 5% (Carbon Footprint Reduction includes both Scope 1 and Scope 2 emissions)
- Energy Usage Reduction 4%
- Waste to Landfill Reduction 3%
- Waste Diversion from Landfill 94% (Includes both hazardous and non-hazardous waste streams)
- ISO 14001:2004 Certified



Declare

Declare is a voluntary self-disclosure program aiming to transform the building materials industry towards healthier and more ecological products through ingredient transparency. Participating in Declare means this product has voluntarily self-disclosed all ingredients in order to promote transparency.

Environmental Product Declaration (EPD)

An EPD is a verified document that reports environmental data of products based on life cycle assessment (LCA) and other relevant information and in accordance with the international standard ISO 14025 (Type III Environmental Declarations).

An important aspect of EPD[®] is to provide the basis of a fair comparison of products and services by its environmental performance. EPDs can reflect the continuous environmental improvement of products and services over time and are able to communicate and add up relevant environmental information along a product's supply chain.

UL GREENGUARD Certification

ASSA ABLOY Group brands offer doors and frames certified to the GREENGUARD 2818 indoor air quality standard as well as the more stringent GREENGUARD Gold Standard (formerly GREENGUARD Children & Schools), helping ensure that the air you breathe in a building will be healthy and fresh.

Our doors and frames are GREENGUARD tested to meet the VOC testing requirements of LEED, CALGreen, International Green Construction Code and ASHRAE 189.1 and Collaborative for High Performance Schools.

Health Product Declaration (HPD)

After more than a year of development, green building industry leaders have released the Health Product Declaration (HPD) Open Standard Version 1, an open standard format for reporting contents and chemical hazards in building products.

The Living Building Challenge (LBC)

The Living Building Challenge (LBC) is an international sustainable building certification program created by the International Living Future Institute in 2006. LBC is a certification program that promotes the most advanced measurement of sustainability in the built environment for both new construction and renovation. ASSA ABLOY Door Group supports the Living Building Challenge process and uses our Declare labels to show that we meet the LBC Red List of chemicals to avoid. ASSA ABLOY Door Group solutions are the only products in our categories that meet the needs of the LBC / Declare program, identifying and clearly disclosing product ingredients and chemicals contained in our product. ASSA ABLOY Americas fully supports avoiding the use of Red List chemicals and will continue to act responsibly to ensure that our products meet the needs of our customers, while protecting them and our environment.

ASSA ABLOY is committed to sustainability by reducing its environmental impacts through developing smarter products incorporating innovative materials, advanced designs and production methods. The results of these efforts are third-party verified to add a level of accountability to our sustainability claims and helps us tell our sustainability story while providing a benchmark for ongoing improvement.

Installation Solutions



Create Lasting Beauty and Durability

Ceco is one of the few manufacturers with the capability to deliver both custom and standard commercial grade factory ColorStyle doors and frames. With a Ceco ColorStyle product, a building's project manager has more flexibility to complete the job correctly and on schedule.

ColorStyle paint is extremely durable and is factory applied in a controlled environment to ensure consistent and high quality results. The beauty of the finish cannot be matched by application of coatings at the job-site.

ColorStyle Doors and Frames

Superior Coverage and Durability

The coating applied at the factory is controlled and offers uniform coverage resulting in a smoother finish free of impurities.

Green Solution - Compliance with LEED EQ 4.1 and 4.2 for VOC levels at the job-site. Waste and solvent disposal is controlled at the factory and meet all of the requirements of the EPA.

Cleaner - Less mess and clean-up at the job-site and can be installed later in the construction process.

Lower Cost - Factory finishing is more efficient than job-site preparation and painting.

Faster - Faster project completion as the painting process at the jobsite has been eliminated.

Better - The factory electrostatic painting process is superior to field sprayed, rolled, or brushed on applications used at the job-site.

Test Standards - Meets ANSI A250.3 test procedure for acceptance criteria for steel doors and frames factory applied finished coatings. HAP (Hazardous Air Pollutant) free.

Energy Efficient Solutions



Mercury Energy Efficient Door and Thermal Break Frame

The Mercury Energy Efficient Door paired with the Mercury Thermal Break frame provides R-value/U-factor and air leakage performance rates that meet or exceeds ASHRAE 189.1, IGCC, ASHRAE 90.1, and NFRC standards while incorporating a new polyurethane foam formulation that is more sustainable. The Mercury door opening solution provides economical energy savings while improving Ceco's protection of the environment.

The Ceco Mercury thermal break frame is an energy efficient frame that incorporates a bonded thermal break with a Pemko S44 compression type weather-stripping. The new frame design is priced up to 10% less that the previous design from the factory and soon will be available for pickup at select ASSA ABLOY regional service centers.

The Mercury thermal break (MTB) frame has been independently tested for thermal performance with the Mercury Door U-Factor of (0.37), in accordance with NFRC 102-2014 and ASTM test methods and resistance to air infiltration with the Mercury Door (0.1 cfm sq ft), in accordance with NFRC 400 and ASTM test methods.

In addition to thermal performance, frost and condensation on the interior door frame face are significantly reduced with a thermal break frame. This is accomplished with a true thermally broken frame profile and delivers maximum protection against cold penetration through conduction. Mullions used in hollow metal transom/sidelite and borrowed-lite frames feature the same new thermal break design.

Strong, Energy Efficient Doorways In Any Weather Condition

Approximately 40% of all energy leakage comes from the building envelope* this includes exterior doorways. Trio-E doors installed with Ceco Door Thermal Break frames and Pemko Thermal Barrier Saddles help increase thermal retention and reduce energy leakage.

Trio-E delivers superior insulated values and strength plus, provides aesthetic qualities desired in today's commercial building applications. The "E" is for energy efficiency and Trio-E has the lowest U-Factor (0.36) for a steel stiffened door in the market today. The U-Factor of 0.36 was achieved in an operable condition (ASTM1363) using the Ceco Mercury Thermal Break and Pemko 273x3AFG Thermal Barrier Saddle. The Trio-E will provide years of strength and sustainable energy savings for any building.

End users do not have to sacrifice strength in order to achieve insulating performance. For example, Ceco Trio-E has been certified to a design pressure of +/-100 psf with a hurricane rated opening.

*Tony Woods, Air Tight Buildings, 2005



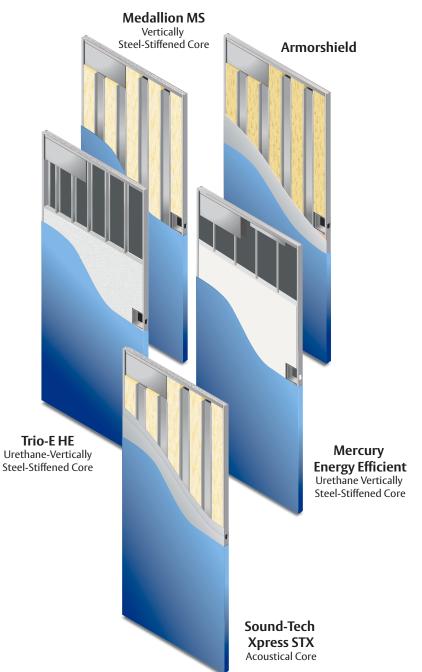


Steel Stiffened Door Details

Steel Stiffened

Ceco steel stiffened doors are designed with the combination of perimeter steel channels and core stiffeners to offer the industry's largest selection and most reliable and durable construction. They are used in areas where optimum security and susceptibility to vandalism or break-in are of paramount concern.

See Ceco's website For more information about available door series, core constructions and options at www.cecodoor.com



Sound-Tech Xpress (STC)

- Wide range of operable STC ratings from 32 to 66
- Competitive pricing including door, frame and all sealing hardware
- All door cores are lead and asbestos free
- 14 or 16 Gauge Face Skins
- Fire Rated up to 3 Hours
- Quiet Noise Doors can help achieve LEED requirements for sound and recycled content

Trio and Trio-E

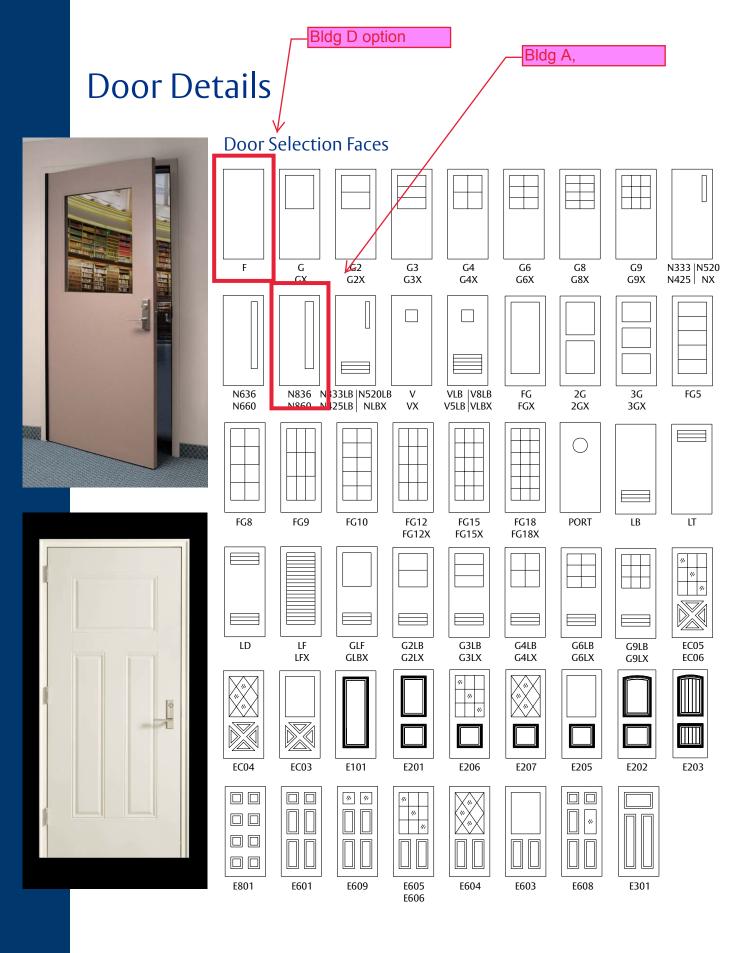
- Standard Fiberglass Insulation
- Standard Polyurethane Insulation
- 16 Gauge Top & Bottom Channels
- 1-3/4 Inches Thick
- 22 Gauge Stiffeners
- 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Sizes from 2068 to 4080
- Interlock Seam Construction

Mercury

- Maximum 40 to 90 singles and 80 to 90 pairs
- 18 to 14 gauge cold rolled or zinc coated steel face sheets Embossed panel face sheet options
- Fire rated up to 3 hours UL10C and UL10B (40 x 70 and 60 x 70 max size)
- Tested to NFRC 102-2014 thermal standard and and NFRC 400 air performance standard
- EPD / HPD documentation submitted to UL Environment - GreenCircle
- **GREENGUARD** Gold Certified

Medallion

- 1-3/4" (44.4mm) custom construction seam/ seamless
 - design rated for heavy duty to maximum-duty use
- 22 gauge vertical steel stiffeners spaced 6" apart, welded to face sheets every 5"
- Fiberglass insulation to limit thermal and sound transmission
- Lock edge beveled 1/8" in 2" (1:16)
- Inverted end channels welded to both face sheets
- 7 gauge (4.2 mm) steel hinge reinforcement Rust inhibitive prime paint base coat meets ANSI A250.10



Standard Frame Details

Standard Frames

Design flexibility utilizing frames with made-to-order profiles and dimensions. Within tooling limits, Ceco frames can be specified in made-to-order dimensions for depth, throat, face, rabbet, soffit, or backbend to include a caulking groove, shadow box, splayed trim line, splayed top, stepped rabbet and others.

Series S frames have precision die-cut corners with positive locking tabs to assure rigid assembly connections. Available in hundreds of profiles and dimensions in either knock-down or set-up & welded.

For masonry, wood or metal studs wall, installed either to cap or butt the wall. Three or four piece door frames, Borrowed Lites, Side Lites, or Transom Frames.

SU indicates a standard frame with "unequal" frame rabbets SQ indicates a standard frame with "equal" frame rabbets SR indicates a standard frame with "one" frame rabbet SC indicates a standard cased frame with no rabbet

16, 14, and 12 gauge steel Cold rolled, A60 or G90 galvanized steel.

Fire label:

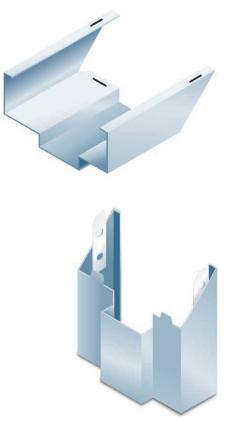
Up to three hours (UL10B and UL10C) Underwriters Laboratories (Applied or Embossed) Warnock Hersey (Applied or Embossed) Factory Manual (Applied Only)

Sizes Available: Cased Openings 3" to 14" depth Single Rabbet 16 and 14 gauge, 3" to 14" 12 gage, 3-3/8" to 14" Double rabbet 16 and 14 gauge, 4-5/8" to 14" 12 gauge, 5-1/4" to 14"

Hinge preparations: ANSI A156.7, 4-1/2".

Strike preparations: ANSI 4-7/8" universal A115.1 and A115.2





Weather-Stripped Frames





Weather-Stripped Frames

Weather-Stripped frames provide best draft control available (for energy efficiency), and provides you with a high quality, functional, aesthetically pleasing opening.

- 18 and 16 gauge steel
- Kerf pocket with compression weatherstrip
- Fire label: up to three hours (UL10B and UL10C)
 - Underwriters Laboratories(Applied or Embossed)
 - Warnock Hersey (Applied or Embossed)
 - Factory Manual (Applied only)

Series SQW and SRW Frames

Series SQW and SRW frames for 1-3/4" doors are formed from commercial quality cold rolled steel conforming to ASTM A1008 ...or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653. Frames are knocked down (K.D.) field assembled type or welded unit type. Head and jamb members of K.D. frames have diecut mitered corners that interlock rigidly when field assembled. Door stops are 5/8" high and have an integral kerf with foam filled, fire rated, compression type gasket (weatherstrip).

Single or double rabbet profile sizes are available in depths from 3-5/8" thru 14" (in 1/8" increments). Twist-in anchors are available for new masonry, wood stud, metal stud or existing opening wall conditions (indicate which). Welded floor anchors or extra jamb anchors are provided to anchor sill. Welded-in jamb anchors are also available.

Series DQW and DRW Slip-On Drywall Frames

Series DQW and DRW slip-on drywall frames for 1-3/4" doors are formed from commercial quality cold rolled steel conforming to ASTM A1008 or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653. Frames are knocked down, field assembled type. Components have diecut mitered corners that interlock rigidly when field assembled. Single rabbet and double rabbet profiles are sized to fit wall thicknesses from 2-5/8" thru 13" (in 1/8" increments). Door stops are 5/8" high and have an integral kerf with foam filled, fire rated, compression type gasket (weatherstrip). Frame faces are 2" except double rabbet profiles are available with 4" face heads. Adjustable, compression type anchors are welded to jambs and allow frame installation, plumbing and squaring after wallboard is applied (To adjust anchors use Phillips head screw driver). Components have backbend-returns that protect the wall surface during installation. Sill anchoring is by means of screws through dimpled holes in faces. Welded on sill strap anchors are also available (optional). 18 gauge maximum size is 30x70 single & 60x70 double swing.

The ASSA ABLOY Group is the global leader in access solutions. Every day, we help billions of people experience a more open world.

ASSA ABLOY Opening Solutions leads the development within door openings and products for access solutions in homes, businesses and institutions. Our offering includes doors, frames, door and window hardware, locks, perimeter fencing, access control and service.



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For Building C, Men's t. rm and maintenance bldg.

Downspouts to be round.

BOX GUTTER FLANGED

BOX GUTTERS FLANGED FROM RUTLAND GUTTER SUPPLY or similar

Rutland Gutter Supply have an extensive range of rain gutters as well as all the additional roof gutter parts and gutter supplies necessary to complete your rain gutter system and we can ship worldwide.

All our gutters are manufactured from the highest quality materials in our Orlando Florida factory, we can also custom make any type of guttering to your exact requirements.

Flanged box gutter sizes and materials

Rutland's flanged box gutters come in many different sizes, standard lengths is 10ft.

If you don't see the size you require please contact us for help.

5 inch 6 inch 7 inch **tbd- based on field verification** 8 inch 9 inch 10 inch

Rutland's box gutters come in many different materials please see below



Rutland's experienced team are always available to answer any of your questions and offer you a competitive quotes please click on the request a quote button below.

Click here to view cad drawing

Request A Quote

Category: Box Gutters.



DESCRIPTION

PRODUCT DESCRIPTION RELATED PRODUCTS



BEVELED BOX GUTTER



BOX GUTTER ANGLED FACE



CUSTOM LENGTH BOX GUTTERS



BOX GUTTER SQUARE