



**▲ LOCATION PLAN**

**GENERAL NOTES**

1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTORS AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR / CONSTRUCTION MANAGER) AND/OR A SPECIFIC TRADE (SUBCONTRACTOR).
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION UNLESS OTHERWISE AGREED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL OBTAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THESE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, JOYS, OR TIE-DOWNS IF NECESSARY. MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADJACENTLY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE), AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPED DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION / DIRECTION PRIOR TO.
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL, AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF-SITE IN A SAFE AND LEGAL MANNER.
26. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

**GENERAL NOTES**

27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT HIS/HER OWN COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY 2015 MICHIGAN BUILDING CODE, NFPA 10 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGN, COMPLYING WITH ICC 117.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT DISCHARGE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.9 P.199 OF THE 2015 MI BUILDING CODE.
37. DECORATIONS (PRIVATE CURTAINS, DRAPES, SHADES, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

**LEGEND**

	CONCRETE MASONRY UNIT
	BRICK
	CONCRETE
	INSULATION (BATT, CELLULOSE, SPRAY-FOAM)
	RIGID INSULATION
	PLYWOOD
	METAL
	FINISHED WOOD
	WOOD (ROUGH CONTINUOUS)
	WOOD (ROUGH NON-CONTINUOUS / BLOCKING)
	GLASS
	ALUM
	COLUMN LINE IDENTIFICATION
	PARTITION TYPE
	DEMOLITION KEYNOTE
	FOUNDATION KEYNOTE
	ARCHITECTURAL KEYNOTE
	ROOF KEYNOTE
	CEILING PLAN KEYNOTE
	STRUCTURAL KEYNOTE
	ELEVATION KEYNOTE
	VERTICAL HEIGHT ELEVATION
	WINDOW TYPES/SCHEDULE NUMBER
	DOOR TYPES/SCHEDULE NUMBER
	MATERIAL SPECIFICATION NUMBER
	REVISION NUMBER
	PLAN DETAIL TAG
	DETAIL NUMBER - SHEET NUMBER
	SECTION TAG
	SECTION NUMBER - SHEET NUMBER
	SHEET IDENTIFICATION NUMBER
	DISCIPLINE DESIGNATOR - ARCHITECTURAL SHEET
	SHEET SEQUENCE NUMBER - NUMBER IDENTIFYING EACH SHEET IN SET
	SHEET TYPE DESIGNATOR

**PROJECT INFORMATION**

**PROJECT ADDRESS:**  
**229 EDMUND PLACE, DETROIT, MI 48201**  
**PARCEL NUMBER: 01000717, 01000719-0**  
**LEGAL DESCRIPTION:**  
**N EDMUND PL 10W 10FT OF 9BLK 7 BRUSH SUB L2 P25 PLATS, WCR 1/43 60 X 150**  
**NORTH EDMUND PLACE EAST, THE WEST 36.5 FEET OF THE EAST 40 FEET OF LOT 9 BLOCK 7 BRUSH PARK SUBDIVISION OF PART OF PARK LOTS 14 AND 15 AS RECORDED IN LIBER2, PAGE 25 OF PLATS, WAYNE COUNTY RECORDS 1/43 36.5 X 150.**  
**PROJECT DESCRIPTION:**  
**REHABILITATION OF AN EXISTING HISTORIC MULTI-FAMILY HOUSE INTO A RECONFIGURED MULTI-FAMILY RESIDENTIAL BUILDING-MRCEB.**  
**WITH AN ADDITION OFF THE REAR OF A DUPLEX RESIDENTIAL BUILDING - MRC.**  
**APPLICABLE CODES:**  
**ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO:**  
**1. 2015 MICHIGAN RESIDENTIAL CODE - BUILDING ADDITION**  
**2. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - ALTERATION LEVEL 3. PERFORMANCE COMPLIANCE METHOD.**  
**3. 2015 MICHIGAN MECHANICAL CODE**  
**4. 2015 MICHIGAN PLUMBING CODE**  
**5. 2017 MICHIGAN ELECTRICAL CODE**

**ZONING DATA:**  
**A. ZONING DISTRICT: PD-H WITH OVERLAY H SEC. 25-2-76**  
**B. SITE AREA CALCULATIONS**  
**0. EXISTING PARCEL SIZE**  
**a. 96.4' x 150'-0"**  
**b. 14,475 SQFT / 0.33 ACRE**  
**1. LOT AREA COVERAGE - BY RIGHT**  
**a. SHALL BE APPROPRIATE TO THE NATURE OF THE PROJECT AND RELATE WELL TO SURROUNDING DEVELOPMENT (ZONING SEC. 61-11-14)**  
**2. LOT AREA COVERAGE - EXISTING**  
**a. 1,975 SQFT OF INTACT STRUCTURE**  
**b. +/-1,200 SQFT OF COLLAPSED STRUCTURE**  
**c. 2,975 SQFT / 9,000 SQFT = 33% COVERAGE**  
**3. LOT AREA COVERAGE - PROPOSED**  
**a. 1,975 SQFT OF INTACT STRUCTURE**  
**b. 1,900 SQFT NEW ADDITION**  
**c. 4,575 SQFT / 14,475 SQFT = 32% COVERAGE**

**BUILDING DATA:**  
**A. CONSTRUCTION CLASSIFICATION:**  
**1. EXISTING STRUCTURE: TYPE III-B**  
**2. ADDITION: TYPE V-B**  
**B. STORIES ABOVE GRADE: 3 AND 2**  
**C. BUILDING AREAS**  
**EXISTING STRUCTURE (NO CHANGE)**  
**1. BASEMENT: 1794**  
**2. FIRST LEVEL: 1794**  
**3. SECOND LEVEL: 1794**  
**4. THIRD LEVEL: 1794**  
**TOTAL: 7,174**  
**ADDITION**  
**1. BASEMENT: 1500**  
**2. FIRST LEVEL: 1500**  
**3. SECOND LEVEL: 1500**  
**4. THIRD LEVEL: 117**  
**TOTAL: 4,687**

**E. ENERGY EFFICIENCY**  
**CONFLY WITH SECTION 1102 - 2015 MI RESIDENTIAL CODE**  
**1. CLIMATE ZONE: 5A**  
**a. CEILING: R-38**  
**b. WOOD FRAMED WALL: R20 OR R13Cavity + RSHHEATHING**  
**c. MASS WALL: R13 / R17**  
**d. FLOOR: R20 OR FULL CAVITY, R19 MIN.**  
**e. BASEMENT WALL: R10/R13**  
**f. SLAB: R10 12" 0" DEEP**  
**g. CRAWL SPACE: R15 / R10**

**SIGNATURE BLOCK**  
**NAME OF AUTHORIZED REPRESENTATIVE**  
**(owner)**  
**(Architect) Christian Hurttianne Architects, LLC**  
**(General Contractor)**

**DRAWING ISSUE DATES**

NO.	DESCRIPTION	DATE
1	HDC AND CDC REVIEW	02.09.18
2	CPC SUBMISSION	03.08.18
3	CPC SUBMISSION- REVISED	06.07.18
4	CPC/HDC SUBMISSION	12.17.19

**ISSUED FOR:**

HDC AND CDC REVIEW	02.09.2018
CPC SUBMISSION	03.08.2018
CPC SUBMISSION - REVISED	06.07.2018
CPC/ HDC SUBMISSION	12.17.2019

# 229 EDMUND PLACE

229 EDMUND PLACE, DETROIT, MI 48201

**Doug and Kathy Quada**  
 808 Chesterfield Ave.  
 Birmingham, MI 48009

OWNER

**Christian Hurttianne Architects, LLC**  
 2111 Woodward Ave., Suite #201, Detroit, MI 48230  
 313.825.2005 brian@cha-c.com

ARCHITECT

**LM Engineering, LLC**  
 2315 Dequindre Road, Madison Heights, MI 48071  
 248.672.1895 Lawrence@LM-Engineering.net

STRUCTURAL

**Systems Solution**  
 4893 Rochester Road, Suite A, Troy, MI 48065  
 313.221.9933 ssc@systemsolution.net

MEP



CONTRACTOR







PUBLIC ALLEY 20 FT. WD.

S60°00'00"W 60.04'(M)

S60°00'00"W 36.50'

BLOCK 7

BLOCK 7

POSSIBLE PROPOSED FUTURE DEVELOPMENT AREA

LOT 10

LOT 11

HOUSE RUINED

EXIT. HOUSE #229 (UNDERCONSTRUCTION)

W. 36.5 FT. OF THE E. 40 FT. OF LOT 9 (VACANT)

W. 10 FT. OF LOT 9

N30°00'00"W 149.86'(M)

N30°00'00"W 149.86'(M)

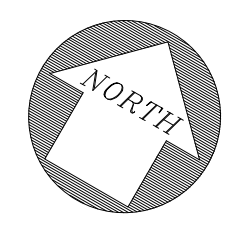
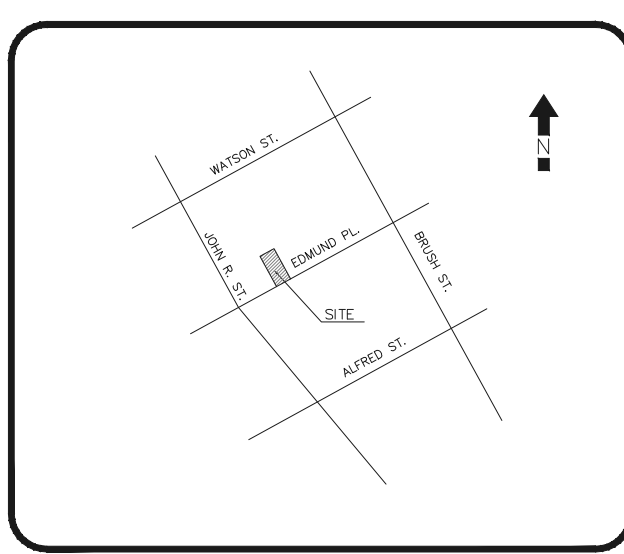
N60°00'00"E 50.04'(M)

N60°00'00"E 60.04'(M)

N60°00'00"E 36.50'

N60°00'00"E 410.32'(M)

EDMUND PLACE (60 FT. WD.)



LEGEND OF SYMBOLS & ABBREVIATIONS

- (M) FIELD MEASUREMENT
- (TYP.) TYPICAL
- EXIST. EXISTING
- CONC. CONCRETE
- R.O.W. RIGHT-OF-WAY
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- SIR SET IRON ROD
- BOUNDARY LINE
- OH OVERHEAD ELECTRIC LINES
- S SANITARY SEWER
- G GAS LINE
- W WATER LINE
- E UNDERGROUND ELECTRIC
- UTILITY POLE
- ⊙ STORM MANHOLE
- SQUARE CATCH BASIN
- GUY WIRE
- TREE
- CONC. SURFACE CONCRETE SURFACE
- ASPH. ASPHALT PAVEMENT

LEGAL DESCRIPTION: (AS PROVIDED BY CLIENT) PER WARRANTY DEED (G818610)

PARCELS OF LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, KNOWN AND DESCRIBED AS FOLLOWS, TO WIT:

LOT 10 AND THE WEST 10 FEET OF LOT 9, BLOCK 7, OF BRUSH SUBDIVISION, OF PART OF PARK LOTS 14 AND 15 AND PART OF BRUSH FARM ADJOINING, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, LIBER 2, PAGE 25 OF WAYNE COUNTY RECORDS.

COMMONLY KNOWN AS: 229 EDMUND PLACE, DETROIT WAYNE COUNTY, MI 48201

LEGAL DESCRIPTION: (PER QUIT CLAIM DEED L. 53946 P. 230)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE AND STATE OF MICHIGAN, TO WIT:

N EDMUND PL 10 W 10 FT OF 9 BLK 7 BRUSH SUB L. 2 P. 5 PLATS, WCR 1443 60 X 150.

PARCEL ID: 01000717 COMMONLY KNOWN AS: 229 EDMUND PLACE, DETROIT WAYNE COUNTY, MI 48201

FLOOD HAZARD NOTE:

THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREAS AS INDICATED BY "FIRM" THE FLOOD INSURANCE RATE MAP, MAP NUMBER 26163C0285E, PANEL 285 OF 575 CITY OF DETROIT, WAYNE COUNTY, MICHIGAN. COMMUNITY: CITY OF DETROIT NUMBER: 260222 PANEL: 0285 SUFFIX: E EFFECTIVE DATE: FEBRUARY 02, 2012 AS PREPARED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY.

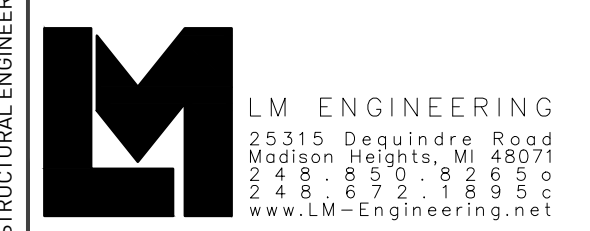
UTILITY NOTES:

ALL UTILITIES DEPICTED HEREON ARE FROM VISIBLE EVIDENCE. SURVEYOR DID NOT CONTACT SUBSURFACE UTILITY LOCATOR SERVICE. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS, EXACTNESS OF LOCATION OR ACCURACY THEREOF. THE CONTRACTOR / OWNER SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION OR ANY SITE MODIFICATION.



CHRISTIAN HURTITENNE ARCHITECTS 2111 WOODWARD AVE. #201 DETROIT, MI 48201 313.825.2005 CHA-C.COM

CONTRACTOR NOTE: ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING / PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.



229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

DATE	DESCRIPTION
1. 02.09.18	CLIENT REVIEW
2. 02.15.18	HDC AND CDC REVIEW
3. 02.16.18	CPC SUBMISSION
4. 08.13.18	PERMIT SUBMISSION
5. 02.06.18	CDC REVIEW
6. 10.31.18	OWNER UPDATES
7. 12.17.19	CPC/HDC SUBMISSION



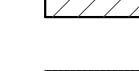
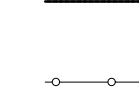


SURVEY

C1-00

## SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  PROPERTY LINE
-  PROPOSED NEW FENCE WITH GATES

## ZONING PD-H NOTE

SEC. 61-11-14 INTENSITY AND DIMENSIONAL STANDARDS:  
 LOT DIMENSIONS, SETBACKS, HEIGHT LIMITATIONS, LOT COVERAGE PERCENTAGES, AND FLOOR AREA RATIOS SHOULD BE APPROPRIATE TO THE NATURE OF THE PROJECT AND RELATE WELL TO SURROUNDING DEVELOPMENT.

## CONTRACTOR'S NOTE

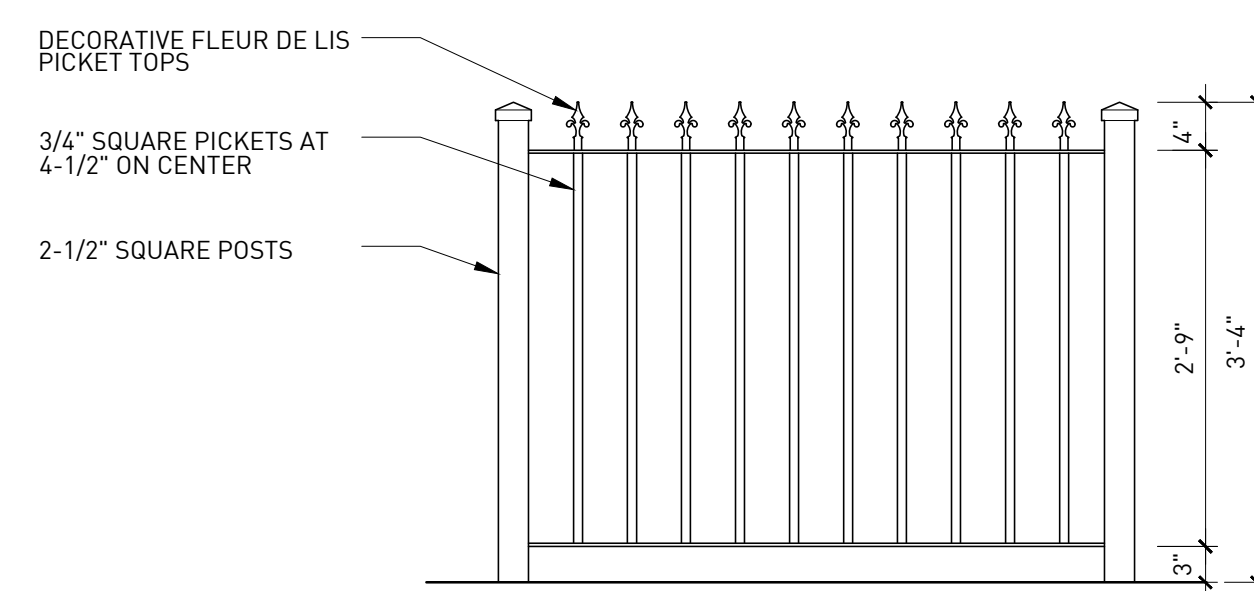
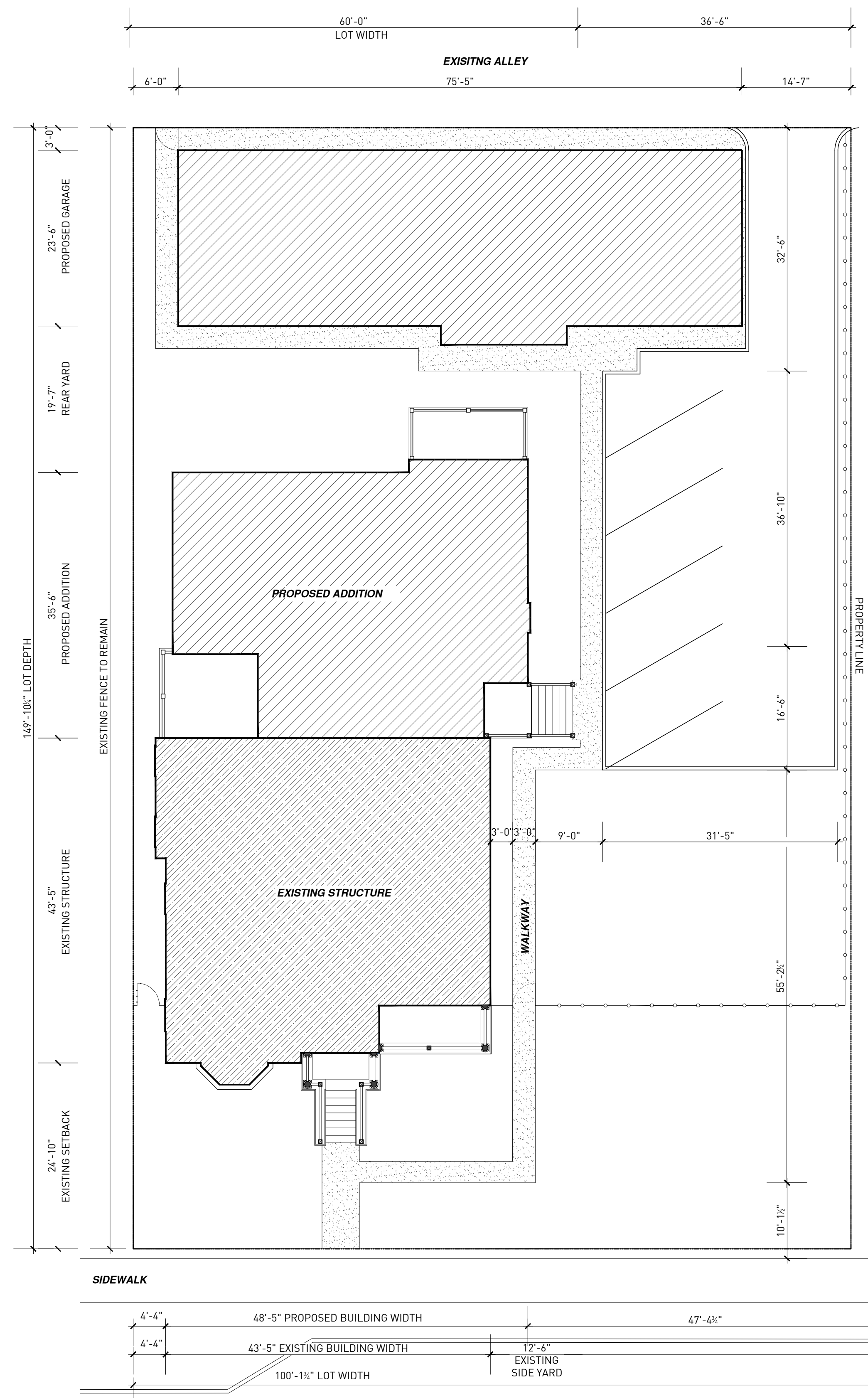
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

3 WORKING DAYS  
**BEFORE YOU DIG  
 CALL MISS DIG  
 1-800-482-7171**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

## GENERAL NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE STAKED-OUT BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
- EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



2 FENCE DETAIL

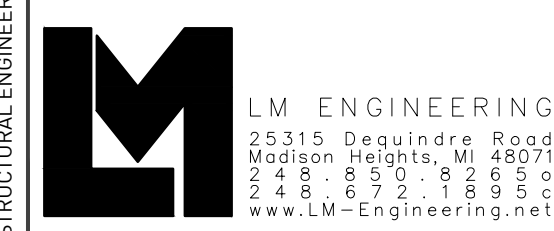
1 SITE PLAN

CONTRACTOR NOTE

STRUCTURAL ENGINEER

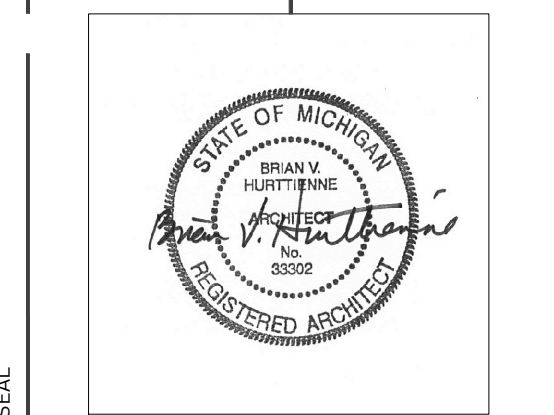
MEP ENGINEER

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229 EDMUND PLACE  
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 CPC/ HDC SUBMISSION

REVISIONS	DATE	DESCRIPTION
1.	02.09.18	CLIENT REVIEW
2.	02.15.18	HDC AND CDC REVIEW
3.	03.08.18	CPC SUBMISSION
4.	08.13.18	PERMIT SUBMISSION
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6.	10.31.18	OWNER UPDATES
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SITE PLAN

C1-01



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**SYSTEMS SOLUTION CONSULTANT**  
 4893 Rochester Road, Suite A, Troy  
 MI 48068  
 313.211.9933  
 ssc@SystemsSolution.net

### SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW WALL CONSTRUCTION (WOOD FRAMED)
- NEW VENEER WALL CONSTRUCTION (BRICK/WOOD FRAMING)
- DEMISING LINE

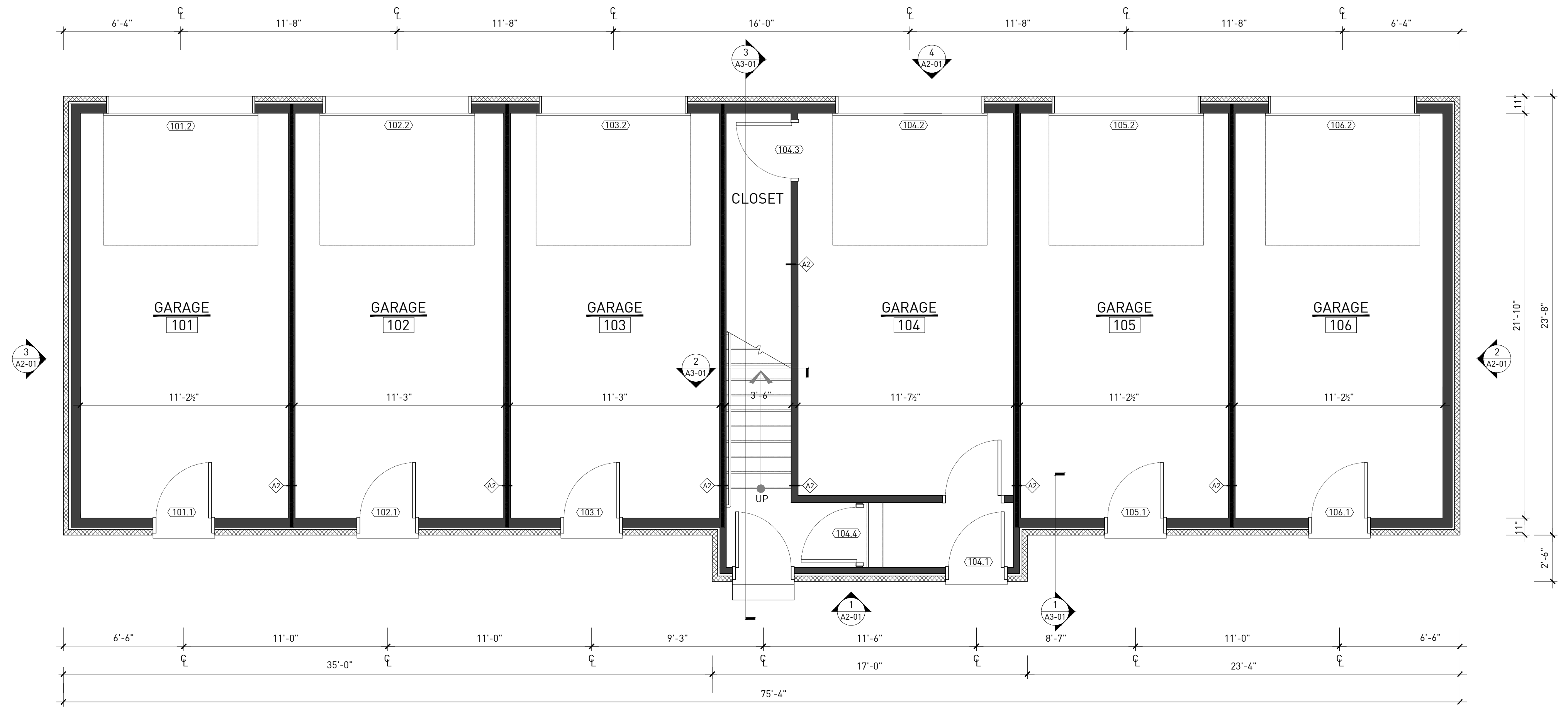
### ARCHITECTURE GENERAL NOTES

1. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2. FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
3. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
4. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
5. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.

### ARCHITECTURE PLAN KEY NOTES

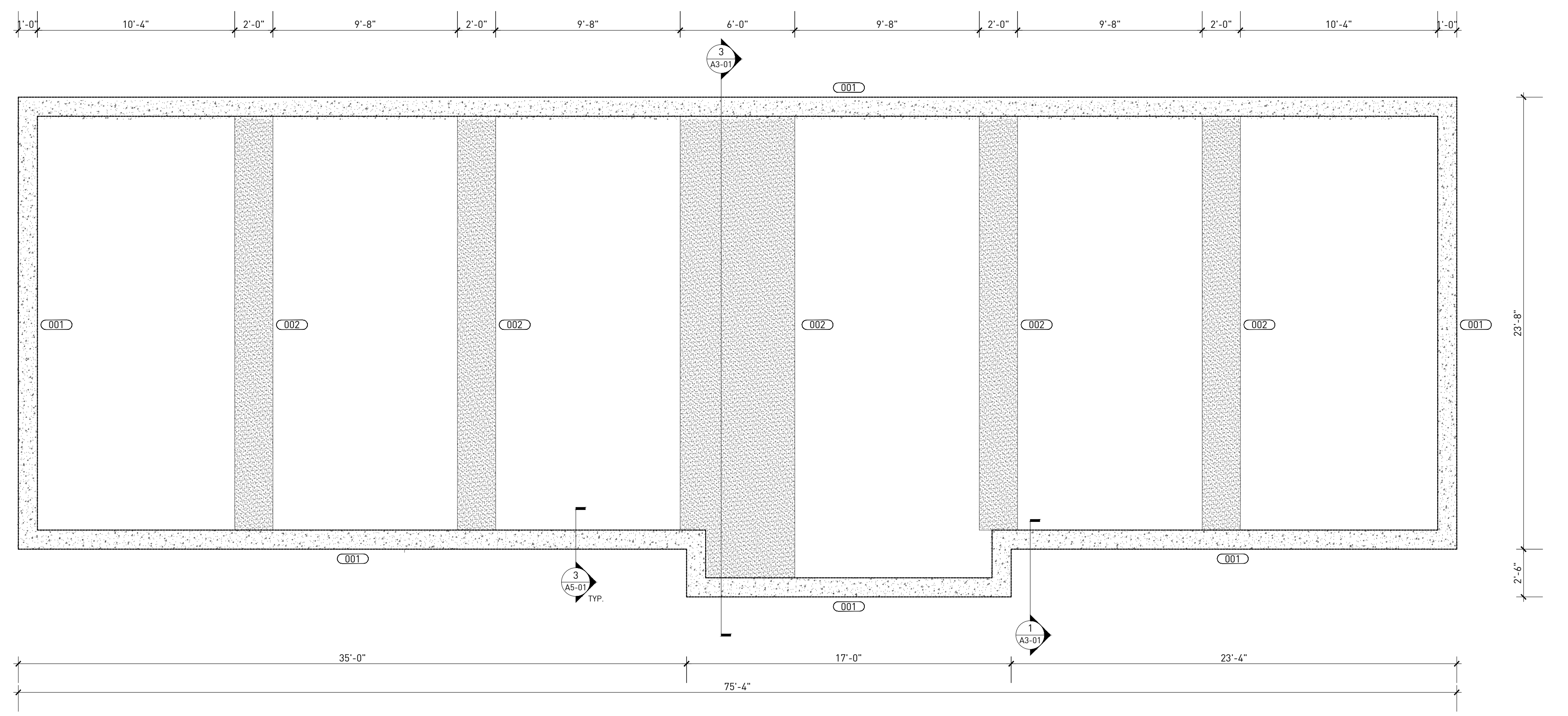
NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- (001)** 20" x 42" DEEP (MIN.) TRENCH FOOTING WITH (3) #5 TOP AND BOTTOM.
- (002)** 12" DEEP THICKENED SLAB WITH (3) #5 TOP AND BOTTOM. REFER TO DRAWING FOR WIDTH.



**1 FIRST LEVEL ARCHITECTURE PLAN**

SCALE: 1/4"=1'-0"



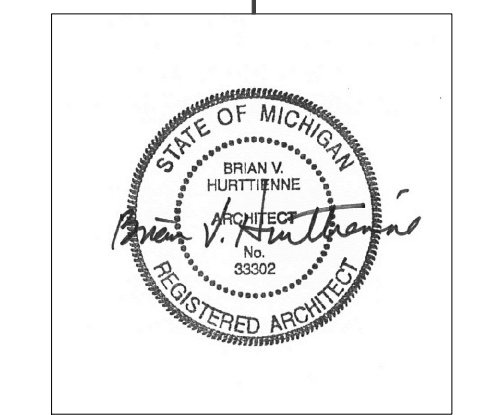
**2 FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

**229 EDMUND PLACE**  
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CPC/ HDC SUBMISSION

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**ARCHITECTURE PLANS**

**A1-11**

DRAWING NO.

SEAL

REVISIONS

MEP ENGINEER

STRUCTURAL ENGINEER

CONTRACTOR NOTE

CHA-C.COM

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CONSULTANT  
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MI 48065  
248.219.9333  
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## SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW WALL CONSTRUCTION (WOOD FRAMED)
- NEW VENEER WALL CONSTRUCTION (BRICK/ WOOD FRAMING)
- DEMISING LINE

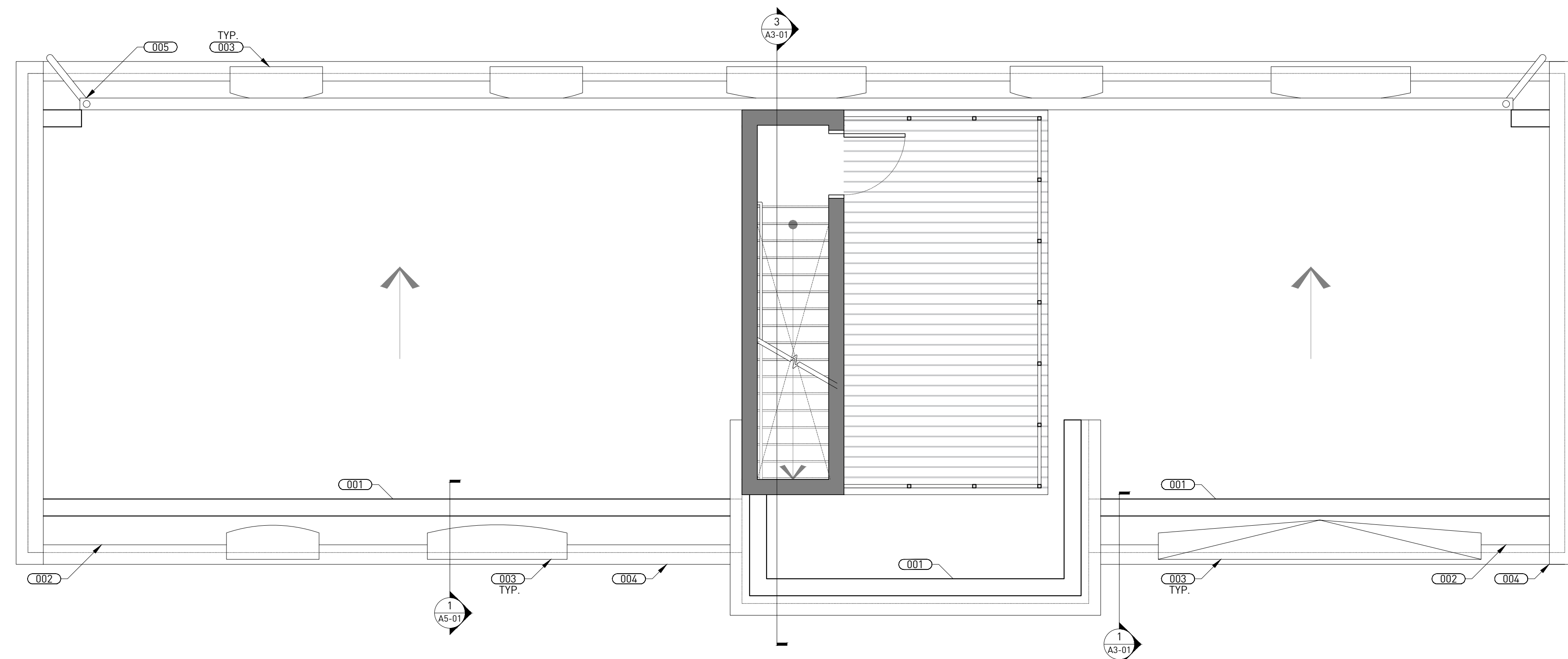
## ARCHITECTURE GENERAL NOTES

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## ARCHITECTURE PLAN KEY NOTES

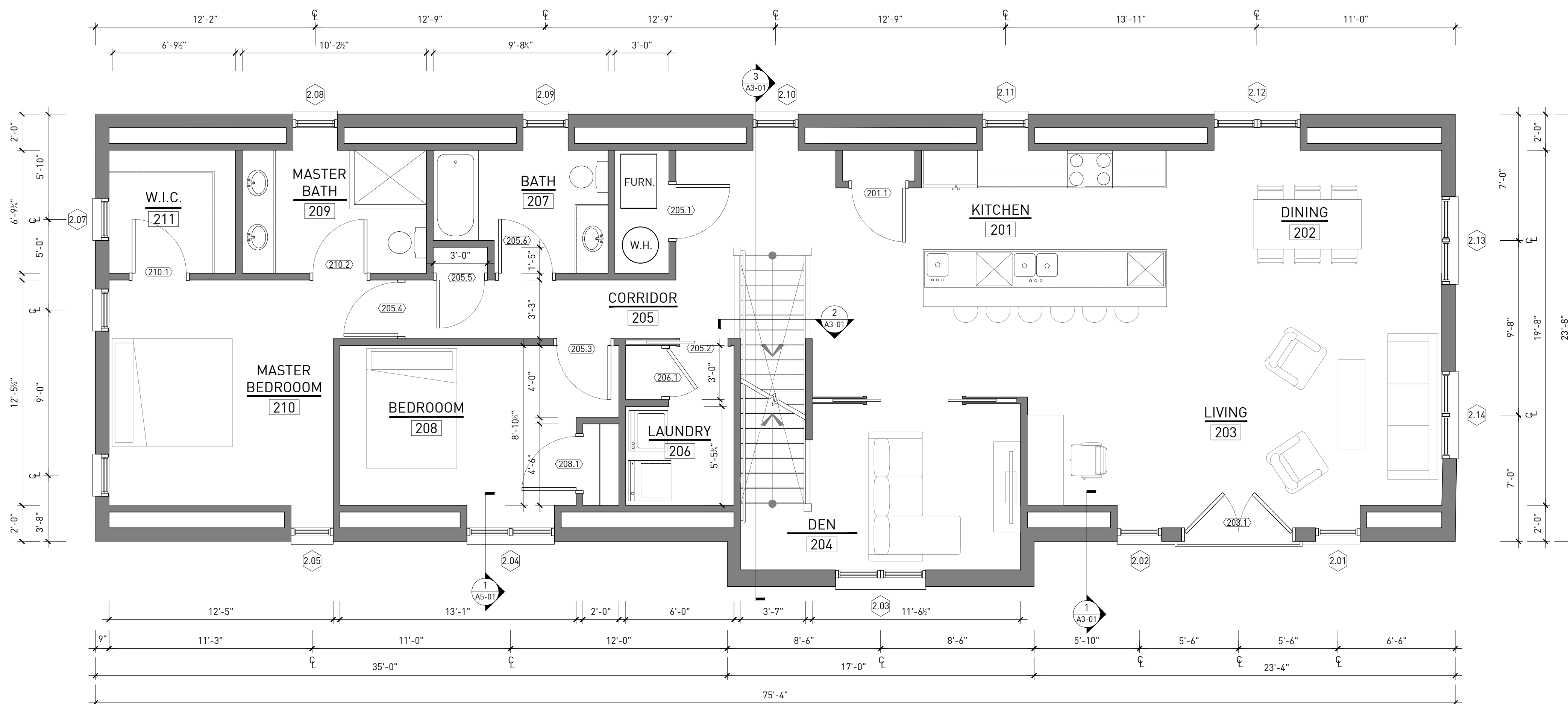
NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- PRESSURE SENSITIVE PARAPET CAP. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PAINT COLOR AND FINISH. SLOPE TO ROOF.
- GRAY-GREEN ROOF SLATE.
- ARCHED-ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM.
- PAINTED WOOD EAVE TRIM WITH ALUMINUM FLASHING.
- COPPER DOWNSPOUT AND GUTTER.



## 1 ROOF LEVEL ARCHITECTURE PLAN

SCALE: 1/4"=1'-0"



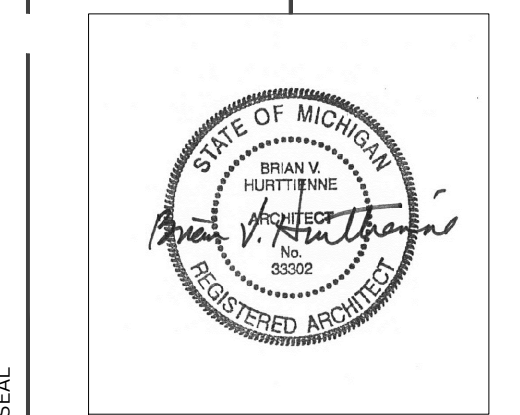
## 2 SECOND LEVEL ARCHITECTURE PLAN

SCALE: 1/4"=1'-0"

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CPC/ HDC SUBMISSION

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7.	12.17.19	CPC/HDC SUBMISSION



ARCHITECTURE PLANS

A1-12

DRAWING NO.

SEAL

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

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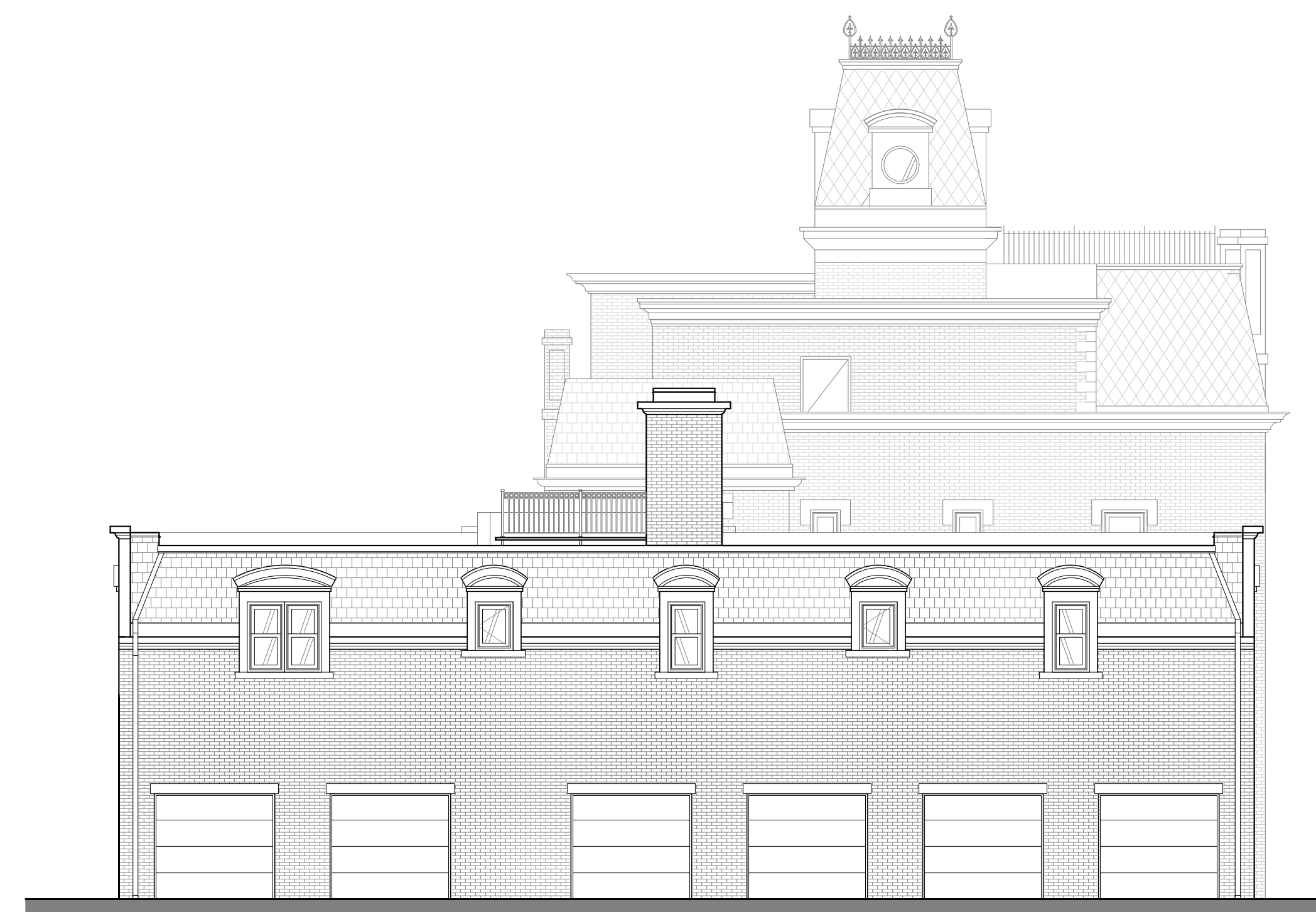
1 SOUTH FRONT ELEVATION

SCALE: 3/16"=1'-0"



2 EAST SIDE ELEVATION

SCALE: 3/16"=1'-0"



3 NORTH REAR ELEVATION

SCALE: 3/16"=1'-0"



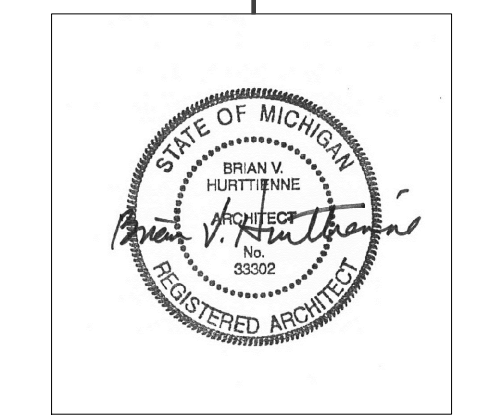
4 WEST SIDE ELEVATION

SCALE: 3/16"=1'-0"

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EXTERIOR ELEVATIONS

A2-00

DRAWING NO.

SEAL

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER



HIGH ROOF PARAPET  
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET  
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL  
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR  
ELEV. 0'-0" (GRADE)

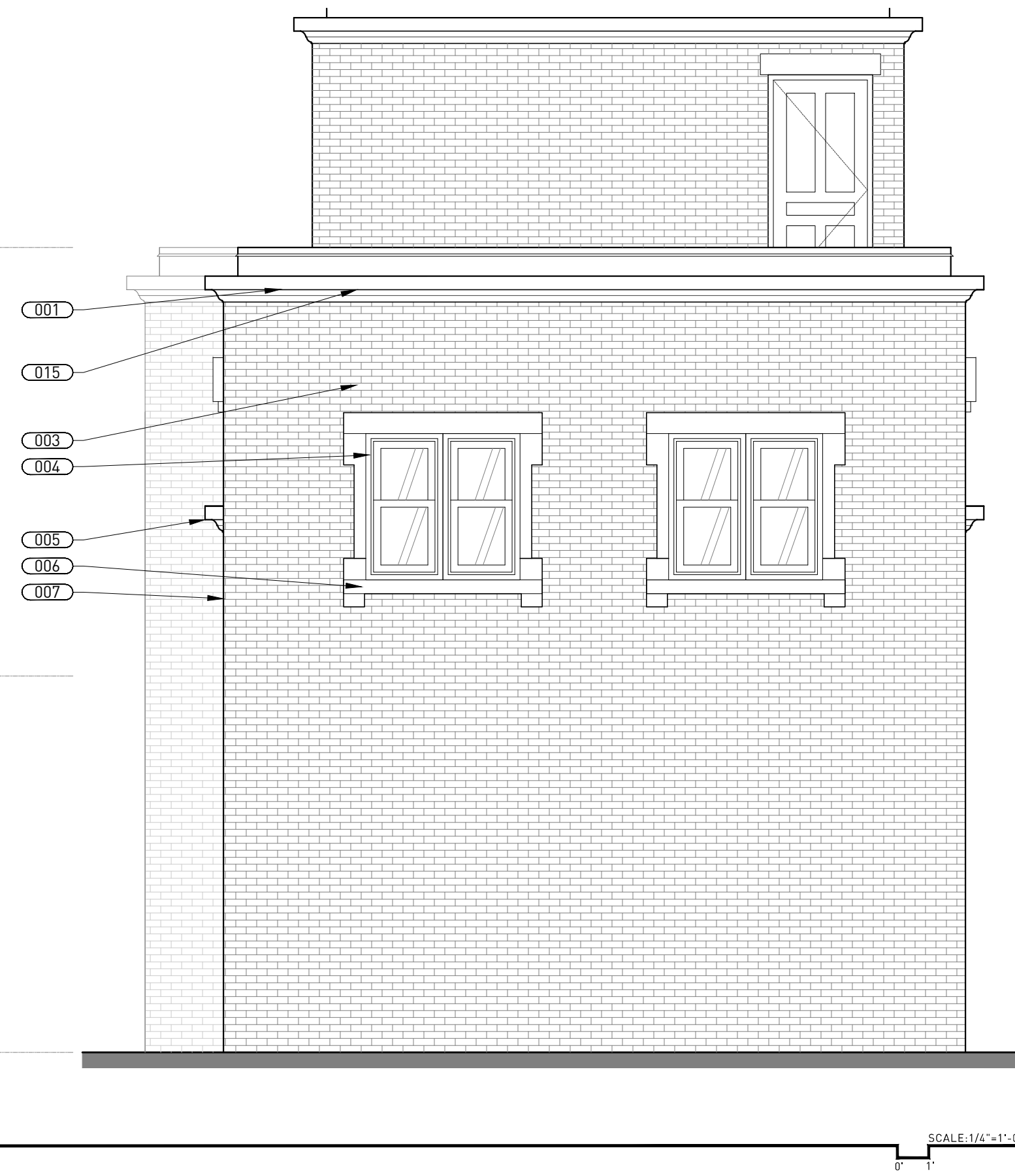


1 SOUTH ELEVATION

LOW ROOF PARAPET  
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL  
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR  
ELEV. 0'-0" (GRADE)



2 EAST ELEVATION

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ELEVATION KEY NOTES

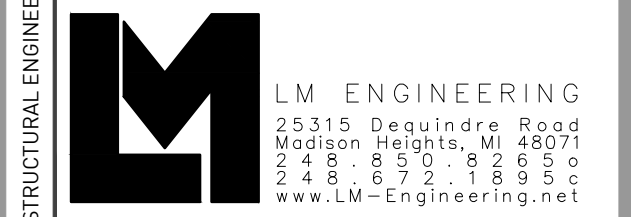
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- 001 ALUMINUM PARAPET CAP- LIMESTONE COLOR, OR TO MATCH SHINGLE COLOR.
- 002 GRAY-GREEN ROOF SLATE.
- 003 ARCHED-ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM.
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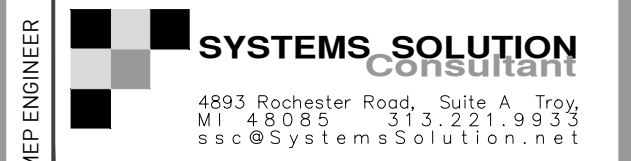


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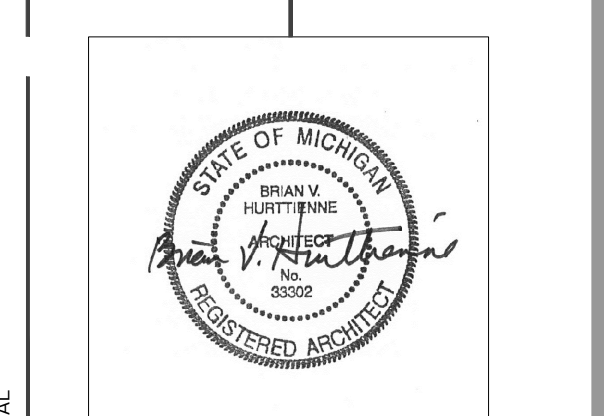


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EXTERIOR ELEVATIONS

A2-01



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## ELEVATION KEY NOTES

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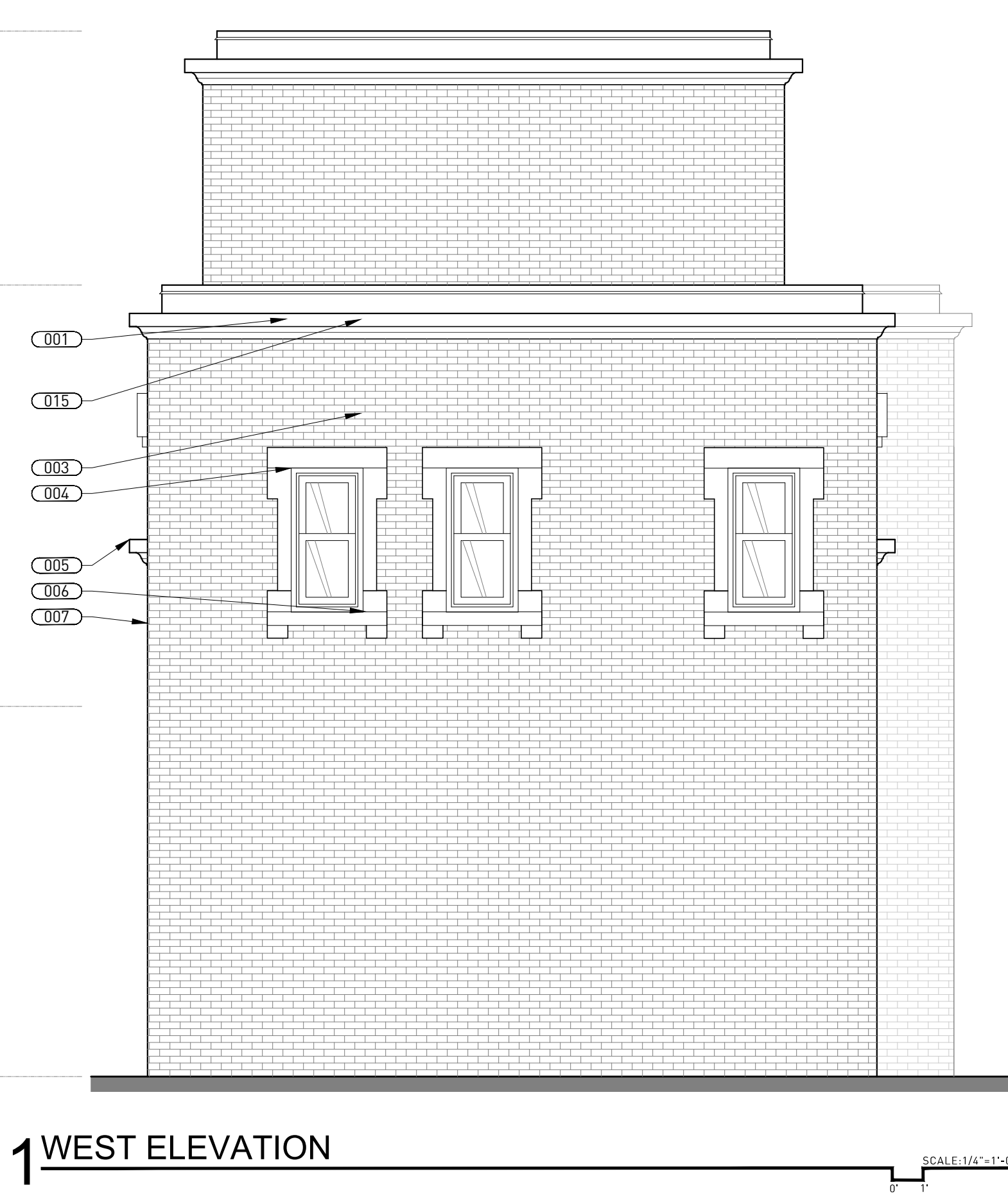
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HIGH ROOF PARAPET  
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET  
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL  
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR  
ELEV. 0'-0" (GRADE)



1 WEST ELEVATION

HIGH ROOF PARAPET  
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET  
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL  
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR  
ELEV. 0'-0" (GRADE)

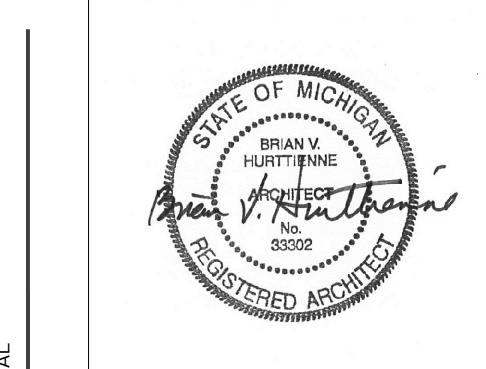


2 NORTH ELEVATION

229 EDMUND PLACE  
229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

REVISIONS	DATE	DESCRIPTION
1.	02.09.18	CLIENT REVIEW
2.	02.15.18	HDC AND CDC REVIEW
3.	02.18.18	CPC SUBMISSION
4.	08.13.18	PERMIT SUBMISSION
5.	09.06.18	CDC REVIEW
6.	10.31.18	OWNER UPDATES
7.	12.17.19	CPC/HDC SUBMISSION



EXTERIOR ELEVATIONS

A2-02

DRAWING NO.

SEAL

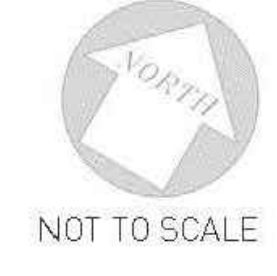
CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER



# 229 EDMUND PLACE // SITE PLAN



- BELOW-GRADE CISTERN
- EVERGREEN TREE SCREENING
- PERMEABLE PAVER SYSTEM
- 4 PARKING SPACES
- FLOWERING ORNAMENTAL TREE
- MULTI-STEM ORNAMENTAL TREE
- EVERGREEN TREE, TYP.
- BELOW-GRADE CISTERN
- STONE SEATWALL
- FIRE PIT
- BRICK PAVER, TYP.
- TRANSITION TO 72" IRON FENCE
- LANDSCAPED AREA, TYP.
- CONCRETE WALK
- 60" BRICK COLUMN, TYP.
- SEEDED LAWN, TYP.
- 48" IRON FENCE, TYP.
- SHADE TREE, TYP.

EXISTING TREE



**CHRISTIAN HURTIIENNE ARCHITECTS**  
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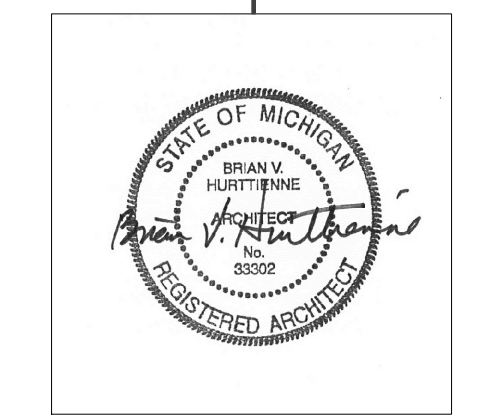
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**229 EDMUND PLACE**  
229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

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2.	02.15.18	HDC AND CDC REVIEW
3.	02.16.18	CPC SUBMISSION
4.	08.13.18	PERMIT SUBMISSION
5.	09.06.18	CDC REVIEW
6.	10.31.18	OWNER UPDATES
7.	12.17.19	CPC/HDC SUBMISSION



**LANDSCAPE PLAN**

**LA1-00**



229 EDMUND PLACE //  
STREET VIEW



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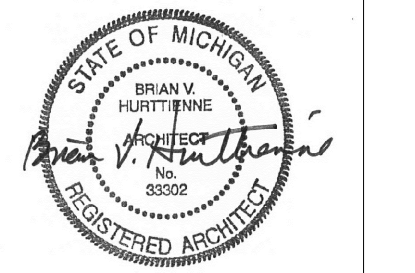
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CPC/ HDC SUBMISSION

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5.	09.06.18	CCC REVIEW
6.	10.31.18	OWNER UPDATES
7.	12.17.19	CPC/HDC SUBMISSION



LANDSCAPE  
EXTERIOR  
RENDERS

LA2-01



229 EDMUND PLACE //  
AERIAL VIEW



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LANDSCAPE  
EXTERIOR  
RENDERS

LA2-02