STAFF REPORT: 05/13/2020 MEETING PREPARED BY: J. ROSS

APPLICATION NUMBER: 20-6726

ADDRESS: 1130 CLARK AND 4301 W. VERNOR (CLARK PARK)

HISTORIC DISTRICT: HUBBARD FARMS

APPLICANT: CITY OF DETROIT GENERAL SERVICES DIVISION (JOHN DERUITER

AND JEFF KLEIN)/ DETROIT)/JANET FORD (ARCHITECT-HAA)

DATE OF COMPLETE APPLICATION: 04/27/2020

SCOPE: REHAB EXISTING BUILDINGS

EXISTING CONDITIONS

Established in 1891, Clark Park contains 24 acres and is bounded by West Vernor, Scotten, Clark, and Lafayette Streets. According to an 1891 newspaper article, the park "...was the only tract of forest timber left in the city. The park was home to a variety of trees including oak, elm, hickory, ash, and hawthorn, measuring 60 feet tall...many being over 200 years old." Clark Park initially consisted of a series of winding gravel walkways with circular spaces of approximately 20' located at intersections. A large fountain was also originally located within the park. The park underwent its first major renovation in 1910 and has been altered a number of times since. Specifically, as per the Detroit Historic Designation Advisory Board, "...trees and foliage has been removed to create softball fields and playgrounds. Today, only a few trees remain..." at the park edges. Non-historic extant elements include playground equipment, courts, benches and tables, and a picnic shelter. More active uses, to include a recreation field; tennis court; playground; and ice rink are located at the southern half of the park while the walkways and more passive amenities including benches are situated at the park's northern half.

A number of historic-age buildings are extant within the park to include the following:

- Recreation Center
- Men's Toilet/Maintenance Building
- Women's Rest Room
- Warming Shelter (former)

As per the applicant, only the Recreation Center is currently occupied, and heavily used by park staff and visitors. The men's and women's restroom buildings were closed to the public in 1991. The former Warming Shelter building is not occupied and is currently used for miscellaneous storage. Please see the applicant's submission, which provides an architectural description and outlines the current condition of these buildings.

PROPOSAL

The applicant submitted a proposal to this body for review at the April 15, 2020 meeting in which they were seeking approval to add new landscaping, hardscaping, and playground equipment within Clark Park. The Commission reviewed and approved that proposal. The *current submission* represents a second phase of the project, which includes rehabilitation of the following buildings in Clark Park:

• Recreation Center

- Men's Toilet/Maintenance Building
- Women's Rest Room
- Warming Shelter (former)

The application also includes the removal of existing landscaping (shrubs) and hardscape near the Warming Shelter and the Men's Toilet/Maintenance Building. Specifically, the current proposal includes the following as per the attached submission:

Recreation Center

- Install two new roof vents due to the addition of Toilet room ventilation system, 6"X9" on the north roof and 12" X 12" on east roof
- Replace four non-historic exterior doors and frame with new hollow metal doors with lites and new hardware

Men's Toilet and Maintenance Building

- Re-construct existing historic-age (south) entry with the salvaged materials to match the existing. Document the brick and stone entry before removing it entirely, including the roof. Salvage the window as well as the brick and stone as much as possible. Remove the entry slab and footings and construct a new concrete footing to frost depth. Provide a new floor slab raised to match the level of the existing. Reconstruct the masonry entry walls and roof to match the original configuration, using the salvaged brick and stone, according to the following:
 - o At south wall reconstruct according to one of the following two treatments:
 - Option # 1 (preferred by applicant) = When re-constructing the south wall, expand current opening to full height arch, and install a new v-groove wood panel in the opening
 - Option # 2 = reconstruct south wall to match existing, repair and install exiting arched window
 - o At west arched opening, install a new v-groove wood panel
 - At east arched opening replace existing, replace existing wood panel with new security door (material not specified)
- Repoint mortar throughout
- Clean brick and stone as per City of Detroit Historic District Masonry Cleaning Guidelines, using the gentlest means possible.
 - Remove peeling paint and graffiti using wire brush. Where paint remains, remove using the gentlest mean possible (specific method not provided)
- Repair or, where severely deteriorated, replace wood siding boards to match existing
- Remove existing exterior boards over windows and replace with shutters per drawings.
 - o Ensure that at least two windows per space are open behind a louvered shutter to provide ventilation during the mothball phase.
- Remove all west elevation paired historic wood doors in their entirety, to include doors, jamb and brickmold and replace as per the following:
 - Option # 1 (preferred by applicant) = Document existing maintenance room doors, jamb and brickmold for potential future and install flush, insulated hollow metal doors, frame and new hardware. Apply brickmold to match existing.
 - Option # 2 = Document existing maintenance room doors, jamb and brickmold

and replicate to match existing

- Remove loose caulk and paint all exterior wood elements. Re-caulk around entire building and prep and repaint all windows, wood siding, soffits, rafter ends, fascia, trim and rake boards with a weather resistant paint system (color not specified).
- The roofing shingles will be removed and the roof deck examined for damage or weakness. Replace the roofing and deck as required with dimensional 25-year shingle, vapor barrier, and plywood deck (color black).
- Remove what is left of the gutters, downspouts and brackets. Replace with new aluminum gutters and downpouts in a color to match the trim (finish color not specified). Downspouts should not tie into the sewers; provide splashblocks.
- Provide exterior wall packs for security (style/type not indicated)

Women's Rest Room Building

- Repair the failed brick joints specifically at the northwest corner and in general for tuckpointing of all joints. Replace missing brick where necessary with new of the same size and texture
- At soffit/fascia area, remove existing non-historic replace flat trim boards and undertake one of the following treatments:
 - Option # 1 = Replace with new 1x smooth trim boards and paint (see submission)
 - Option # 2 = If historic trim board remain underneath the existing, retain and restore or replace historic trim to match existing and paint (see submission)
- Prep, caulk and repaint exterior wood trim (color see submission)
- Clean exterior masonry using the gentlest means possible. Remove loose and peeling paint at brick with wire brush and repaint (color see submission)
- For aesthetics until building is re-activated, replace exterior plywood in windows with paneled shutters. See drawings.
- At existing exterior doors, undertake one of the following treatments:
 - Option # 1 = Retain and repaint existing doors (color not specified)
 - Option # 2 = Perform an assessment of doors which are currently covered with metal sheet. If determined to be original to the building, restore the transom, door and frame and provide new hardware. Reinstall when rehabilitated. Secure the openings with painted plywood panels until doors can be reinstalled
- The roofing shingles will be removed and the roof deck examined for damage or weakness. Replace the roofing and deck as required with a dimensional 25-year shingle and vapor barrier (color black)
- Provide exterior wall packs for security (style/type not indicated)
- Remove existing downspout at south elevation

Former Warming Shelter

- Repaint painted portions of brick around north, east and south entries (color see submission)
- Repair south entry wood trim and decorative wood corner pilasters, to match existing.
- At wood trim around exterior openings, caulk entire exterior and at interior jambs.
- All exposed wood surfaces should be prepared and re-painted with a weather resistant

- paint. Exterior paint color to be a light stone color similar to Historic District Style and Color Guide B:16 light grayish olive.
- At all historic-age overhead doors, remove the non-historic wood siding covering from without damage to doors and trim and undertake one of the following treatments:
 - Option #1 (preferred by applicant) = Carefully remove, salvage and tag all remaining historic sectional doors and transoms above sash for storage offsite for future restoration. (Three sash per opening). Protect the existing jambs tracks and pulleys with a temporary new jamb painted with a weather resistant paint system.
 - Option #2 = Carefully remove, salvage and tag all remaining historic sectional doors while leaving all transoms in place. Replace missing and broken glass and provide minor repairs ensuring glass is secure. Prep, paint and caulk.
 - Option #3 = Retain and repair all transoms and sectional doors. Remove loose and broken glass, raise doors into pockets and secure in place. Prep and paint exposed section of door panel. Clean glass
 - Option #4 = Retain and repair all transoms and sectional doors. Remove loose and broken glass, raise doors into pockets and secure in place. Prep and paint exposed section of door panel. Clean glass Provide new interior and exterior security screens in the transom openings to protect the glass from vandalism.
- At the north and west elevation gabled-roof, arched entrances, carefully remove, salvage and tag each of the remaining pairs of original wood swing doors. Undertake the following treatment in re: to the existing historic-age and at both entrances/above each set of doors:
 - Option #1 (preferred by applicant) = Carefully remove, salvage and tag each of the remaining arched transoms for storage offsite for future restoration
 - Option # 2 = Retain and repair both transoms
 - Option # 3 = Retain and repair both transoms; provide new interior and exterior security screens in the transom openings to protect the glass from vandalism.
- At the east and south elevation gabled-roof, arched entrances, remove the two pairs of non-historic flush doors for disposal. Undertake the following treatment in re: to the existing historic-age and at both entrances/above each set of doors:
 - Option #1 (preferred by applicant) = Carefully remove, salvage and tag each of the remaining arched transoms for storage offsite for future restoration.
 - Option # 2 = Retain and repair both transoms
 - Option # 3 = Retain and repair both transoms; provide new interior and exterior security screens in the transom openings to protect the glass from vandalism
- The concrete grade slab should be saw-cut and removed as required. A replacement reinforced slab can be placed over compacted drainable fill, rigid insulation, and a vapor barrier. Include conduit for future electrical.
- Existing roofing will remain. Replace gutters and downspouts with new aluminum and provide splashblocks (color not specified).
- Provide exterior wall packs for security (style/type not indicated)

Hardscape and Landscape

- To the west of the Men's Toilet and Maintenance Building, at entrance to park from Clark, remove existing gravel and concrete surface and portion of sidewalk
 - o Add new turf/grass and new concrete sidewalk at that location

- Remove existing walkway directly to the north of the Warming shelter
 - o Add new concrete walkways at that location
 - o Add new concrete apron/seating area outside of Warming Shelter
- To the east/rear of the Men's Toilet and Maintenance Building, in the open storage area, remove the existing chain-link fencing and hardscape
 - Add new turf/grass and at that location
- Remove existing shrubs (European Privet Hedges) at the Men's Toilet and Maintenance Building and Warming Shelter
- At/to the east of Women's Toilet, add new concrete walkways which lead to the new concrete apron/seating area outside of Warming Shelter

STAFF OBSERVATIONS AND RESEARCH

- The applicant has provided historic photos to indicate that the privet hedges proposed for removal are not from the early 20th century. He has further stated that they are not native and are generally ornamental shrubs. It is staff's opinion that they are not character defining
- The historic photos also reveal that the hardscape and fencing proposed for replacement is not historic age. It is staff's opinion that it is not character defining
- The paint proposed for removal at the Men's Toilet and Maintenance Building appears to have been added to cover up graffiti. The exterior brick appears not to be painted throughout

ISSUES

- As noted above, the paint proposed for removal at the Men's Toilet and Maintenance Building appears to have been added to cover up graffiti and the exterior brick appears not to be painted throughout. Also, it does appear to staff that several areas of the brick which are painted appear to be in deteriorated condition. The applicant proposes to remove this paint from the brick using the "gentlest means possible", however, the specific technique for removing the paint has not been outlined in the current submission. Staff cannot recommend the removal of this paint until the process for the paint removal has been outlined and vetted to ensure that it will not further damage the brick.
- In re: to the proposed removal and storage of historic doors and transoms at the Warming Shelter building, note that the applicant proposes to store them at an offsite location to be re-installed at an unnamed future date. It is staff's opinion that these doors and transom windows are character-defining features and that their removal and storage at an unnamed location for installation at an unnamed time in the future would detract from the building's historic character and would be tantamount to their permanent removal (in the absence of a clearly-stated timeframe or desire for immediate reinstallation).
- The applicant has noted they need to expand the current arched window opening at the Men's Toilet Building's, south elevation, to accommodate for an ADA/accessible entrance. The south elevation is highly visible, and it is staff's opinion that the arched opening and window are character-defining and that the proposed alteration would detract from the building's historic character.
- The applicant is seeking approval to repaint the painted masonry at the exterior walls of the Women's Restroom and Former Warning Shelter. If this treatment includes the removal of existing paint, it should be done so using the gentlest means possible to prevent the compromise of the weather-proof surface of the brick. If the face surface of the brick is

damaged during cleaning/paint removal and the interior material of the brick is exposed, the brick is vulnerable to moisture penetration and deterioration. When the brick is repainted, it is important to avoid a fully waterproof paint coating such as latex paint as it will prevent the brick from "breathing" properly and will likely cause further deterioration including brick spalling and paint failure as water gets trapped between the brick and the paint coating. See the following link for guidance on painting historic brick https://architecturaltrust.org/preservation-by-prevention-paint-and-historic-brick/

RECOMMENDATION

It is staff's opinion that the project, in general, will not destroy historic materials that characterize the property and therefore recommends that the Commission issue a Certificate of Appropriateness (COA) for the project because it meets the Secretary of the Interior Standards (SOI) for Rehabilitation. In particular, Standards #:

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence

However, staff does recommend that the Commission issue the above-referenced COA with the following conditions:

- The applicant shall submit a final proposal which outlines the proposed finish color for any new gutters and downspouts to staff for review and approval prior to commencing the work
- The applicant shall submit a detailed proposal which outlines the condition of the brick at the Men's Toilet and Maintenance Building and the specific technique which they intend to employ to remove the existing paint. If staff determines that the work does not meet the standards/has the potential to further damage the brick, the project shall be forwarded to the Commission for review at a regular meeting.
- Any extant historic-age exterior doors, windows, or transoms shall be retained and either repaired or maintained in situ "as is." If rehabilitation and removal is necessary, they must be immediately reinstalled upon the completion of their repair.
- The current arched window opening at the Men's Toilet Building's south elevation, shall not be expanded/shall be retained according to the existing materiality and dimensions. The current arched window sash shall also be retained and either repaired or maintained in situ "as is." If rehabilitation and removal is necessary, the window must be immediately reinstalled upon the completion of its repair.
- The applicant shall submit the cutsheets for all proposed exterior light fixtures to HDC staff for review and approval prior to commencing the work. If staff determines that the fixtures detract from the historic character of the buildings/do not meet the standards, the project shall be forwarded to the Commission for review at a regular meeting.

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

Data.

City of Detroit - Planning & Development Department 2 Woodward Avenue, Suite 808 Detroit, Michigan 48226

Detroit, Michigan 48226			Date
PROPERTY INFOR	RMATION		
ADDRESS:		AKA:	
HISTORIC DISTRICT:_			
	Windows/ Roof/Gutters Doors Chimney	Porch/ Deck	Landscape/Fence/ General Tree/Park Rehab
	New Construction Demolition	Addition	Other:
APPLICANT IDEN	TIFICATION		
Property Owner/ Homeowner	Contractor	Tenant or Business Occupant	Architect/Engineer/ Consultant
NAME:	COMP	ANY NAME:	
ADDRESS:	CITY:	STATE	: ZIP:
PHONE:	MOBILE:	EMAIL:	:
PROJECT REVIEW	REQUEST CHECKLIST		
	ing documentation to your re		
PLEASE KEEP FILE SIZE	E OF ENTIRE SUBMISSION UN	DER 30MB	NOTE:
Completed Buildi	ng Permit Application (<mark>highl</mark> i	ighted portions only)	Based on the scope of work,
ePLANS Permit Number (only applicable if you've already applied		additional documentation maybe required.	
for permits through	n ePLANS)		See www.detroitmi.gov/hdc for
Photographs of Al	LL sides of existing building or	site	scope-specific requirements.
	aphs of location of proposed vow existing condition(s), design		
Description of exi	sting conditions (including n	naterials and design)	
	oject (if replacing any existing er than repairof existing and		
Detailed scope of	work (formatted as bulleted	list)	
Brochure/cut she	ets for proposed replacemen	t material(s) and/or pro	oduct(s), as applicable
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Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

			Date:
PROPERTY INFORMATION			
Address:	Flo	oor:Suite	#:Stories:
AKA:			
Parcel ID#(s):			
Current Legal Use of Property:	F	Proposed Use:	
Are there any existing buildings o			
PROJECT INFORMATION			
Permit Type:	Alteration Addition	Demolition	Correct Violation
Foundation Only Change	_		
Revision to Original Permit #:			
Description of Work (Describe in			
Description of Work		, je v o je o v ojy a ood oo v v o v	
	☐ MBC	use change	No MBC use change
Included Improvements (Check	all applicable; these trade areas	require separate perm	nit applications)
HVAC/Mechanical Elec	trical Plumbing	Fire Sprinkler Sy	stem Fire Alarn
Structure Type		_ , ,	Ш
New Building Existing S	tructure Tenant Spac	e Garage/	Accessorv Buildina
Other: Size o	 ·		
Construction involves changes to			
(e.g. interior demolition or construction t	•		,
Use Group: Type		MI Bldg Code Table 6	501)
Estimated Cost of Construction			
Structure Use	\$By Contractor	¥	By Department
Residential-Number of Units:	Office Gross Floor Area	Industria	al-Gross Floor Area
Commercial-Gross Floor Area:			
Proposed No. of Employees:	- 		
PLOT PLAN SHALL BE submitted o			
(must be correct and in detail). SHO	DW ALL streets abutting lot,	indicate front of lo	ot, show all buildings,
existing and proposed distances to			on Next Page)
	or Building Department U		
Intake By:	Date:	Fees Due:	DngBld? No
Permit Description:			
Current Legal Land Use:	Prop	oosed Use:	
Permit#:I	Date Permit Issued:	Permit Cos	t: \$
Zoning District:	Zoning G	rant(s):	
Lots Combined? Yes	No (attach zoning c	learance)	
Revised Cost (revised permit applicate	tions only) Old \$	New \$	<u> </u>
Structural:	Date:	Notes:	
Zoning:	Date:	Notes:	
Other:	Date:		

IDENTIFICATIO	N (All Fields Requi	ired)			
Property Owner/H	Homeowner	Property O	wner/Hom	eowner is Permi	t Applicant
Name:		Cor	npany Nar	me:	
Address:		City)	State:	Zip:
Phone:		Мо	bile:		
Contractor	Contractor is Perm				
Representative Nar	me:		Company N	lame:	
Address:		City:)	State:	Zip:
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City of Detroit Licer	nse #:				
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Name:	Phone:		En	naii:	
ARCHITECT/EN	IGINEER/CONSU	LTANT	Architect/E	Engineer/Consulta	nt is Permit Applicant
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on this permit appli requirements of the inspections related	I am the legal owner cation shall be completed in the complete city of Detroit and taken to the installation/work corporation any portion any portion and the corporation and portion and	eted by me. I a lke full respons rk herein descr	am familiar sibility for a ribed. I sha	with the applica all code complian Il neither hire no	ble codes and nce, fees and r sub-contract to any
Print Name:	(Homeowner)	Signature:			Date:
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Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.



HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS

SUBMIT **COMPLETE APPLICATION** TO HDC STAFF **Application Staff** placed on Substantial Corrected **Reviews** upcoming HDC application Scope meeting Scope submitted agenda³ to HDC **HDC HDC** Staff **Applicant** issues Denial appeals OR Reviews **Denies** with Appeal corrects Scope Proposal Procedure application Appeal filed Staff issues a **HDC** w/State Certificate of **Approves** Hist. Pres. **Appropriateness** Review Board **Proposal** (COA)

OBTAIN BUILDING PERMIT

FROM BUILDINGS, SAFETY ENGINEERING AND ENVIRONMENTAL DEPT. (BSEED)

* THE **COMMISSION MEETS REGULARY AT LEAST ONCE PER MONTH,** TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH. (SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT WWW.detroitmi.gov/hdc

April 22, 2020

Detroit Historic District Commission Planning & Development Department City of Detroit 2 Woodward Avenue, Suite 808, Detroit, MI 48226

Re: HDC Submittal Info - Clark Park Building Improvements, 1130 Clark Street, Detroit, MI

HDC Staff:

Please see the below information as requested.

Description of existing Conditions (including materials and design)

Clark Park is within the Hubbard Farms Historic District. Along with the Park improvements submitted and reviewed during the April HDC meeting, four of the buildings within Clark Park will also be undergoing improvements.

The four buildings consist of A) recreation center, C) men's toilet and maintenance building, D) women's rest room building and E) a former warming shelter. Of these, only the recreation center is currently occupied, and heavily used by park staff and visitors. The men's and women's rest room buildings were closed to the public in 1991. The former skating shelter building is not occupied and is currently used for miscellaneous storage.

- A) Recreation Center (c.1922. Renovated c.1980)
 - The Rec Center is a single story structure of approximately 3,400 s.f. with an unfinished attic and mechanical mezzanine. The building is constructed of a multi-wythe brick exterior laid in an English bond with decorative soldier course banding with tile inlay framing each wall (Photo A3). The original wood in-swing awning windows are set above eye level to provide privacy, light and ventilation to the locker rooms. The original arched pavilion openings have been filled-in with brick, windows and an exterior metal screen (c.1980, Photo A1). The main floor is a concrete grade slab. The roof is dimensional asphalt shingle on plywood deck and a rafter frame in fair condition. The roof is hipped with flared eaves and decorative exposed rafter ends. There are gutters and downspouts (connected to underground) on all four sides. There are a few roof penetrations, mostly plumbing vents.
- B) Building B is not in scope
- C) Men's Toilet and Maintenance Building (c1889)

 The building is a single story structure with a rest room portion of 385 s.f. and a maintenance portion of 438 s.f. The building was constructed of multi-wythe large red brick walls, concrete floors, and a gabled wood rafter roof with exposed rafter ends. The rest room portion of the building was taken out of service in 1991 and is not occupied. The building is in poor condition. Brick joints are failing, the roof is deteriorated and the windows are boarded. It appears that areas of graffiti on the brick and stone have been painted over.

The south entry to the toilet room portion of the building has a gabled brick entryway with a half circle window at the gable end and two, low, stone arched openings at the east and west. The brick and stone have been painted on the south elevation. The western arch is boarded and the eastern arch has a security gate in front of a wood door. Both the boarding and door are in fair condition. It is assumed these were both open arches at one time. Once through the entryway, there is a doorway into the restroom.

The entry has a slab approximately 6" above grade, with another 6" step up into the toilet room. The gabled roof has exposed wood rafter ends and the roofing is in poor condition. The stone and brick wall has settled and fallen away from the main building. Joints show displacement in and out of plane of the wall.

The maintenance portion of the building has a pair of wood panel doors with lites, in poor condition. The wood jamb and brickmold trim are also deteriorated.

Roofing consists of a single layer of standard 3-tab asphalt shingle with ridge vents and a single wall attic louver in the east and west gables. The shingles are extremely weathered. Roof decking is wood plank over rafters, condition unknown due to access. The decorative rafter tails are exposed and the soffit material consists of tongue and groove boards, both in fair condition. Gutters and downspouts are missing on two of the three elevations, only gutter brackets remain. The east elevation has non-original gutters and downspouts that are failing

D) Women's Rest Room Building (c.1893)

The building is a single story structure of 485 s.f. housing a rest room space and a mechanical space. The building was constructed of multi-wythe brick and stone walls, concrete floors, and a hipped wood rafter roof. The building was taken out of service in 1991 and is not occupied. The building is on the National Register for Historic Places.

The brick and stone façade overall are in good condition, with minor joint failure. The northwest building corner has settled, resulting in an in-plane displacement and crack along mortar joints. Brick joints on the east face are damaged, and an adjacent eave fascia board is damaged. Decorative brick above the window on the east face south corner is missing. The brick has been painted.

Eight wood windows, two on each façade, have been boarded with plywood. The arched wood frames, sash and muntins are generally intact however, most glass is missing.

There are two doors with transoms serving the east and west facades. The condition and style are difficult to assess because they are covered with a painted wood panel. The transom appears to be a screen as opposed to glass.

Roofing consists of a single layer of standard 3-tab asphalt shingle. The shingles are extremely weathered and have failed. Roof decking is wood plank over rafters, condition unknown due to access. Gutters and downspouts are missing.

E) Former Warming Shelter (c.1906)

The building is a tall single story, single space structure of 2,300 s.f. The building walls are constructed of multi-wythe red brick and wood panels on all sides. The wood panels are infill added to seal and cover original large openings that allowed the building to serve as an open-air pavilion when door sashes were raised. The building floor is concrete on grade. The roof is an open timber framework supported by eight 10-inch diameter wood columns. The building is used for miscellaneous storage.

Exterior brick at entries is generally in good condition. The brick at the northern, eastern and southern arched entries has been painted and some discoloration and peeling was observed.

Wood trim is in fair condition but requires paint. Several exceptions include: the trim at the top of the south middle door has failed and several of the decorative wood corner pilasters have missing pieces or are damaged and need to be replaced or repaired, to match.

The original large wood operable doors on all four sides of the pavilion are covered with horizontal wood siding on the exterior, but exposed on the interior. The doors appear to be intact, save for glazing in several of the units. The uppermost sash is fixed and has an expanded metal screen on the exterior. The doors were originally fitted with pulleys and counterweights for ease of lifting, and these may be intact but could not be accessed. Counterweight ropes had been removed.

The double swing doors and transoms within the arched openings on all four sides of the pavilion are in poor condition. The northern pair are the original wood panel with glass lites. The western pair are original but partly covered so condition was not evident. Both the southern and eastern pair are flush wood with a metal panel attached on the exterior.

The concrete floor slab has heaved and spalled. Column bases and the building slab edge appear to be intact and have not moved.

The roof consists of a single layer of dimensional asphalt shingle. The shingles are in good condition. Roof decking is wood plank over 4x6 rafters, with the rafters in turn supported by a framework of 8x8 beams to 10" diameter wood columns with 10-foot height to column capital. Roof framework is generally in good condition and is intact except for connections at two column capitals. Beams bearing on the capitals have separated from the column.

Gutters and downspouts: Aluminum gutters are full of plant growth and tree debris, and are bent and sagging in several locations. Downspouts are missing.

Description of project

The proposed scope of work is intended to stabilize the condition of the three existing vacant structures, while preparing them for future phases when the buildings will be re-activated and re-purposed, In addition, the improvements to the Recreation Center will result in minor exterior work including exterior door replacement and new toilet room ventilation systems which will require vent hoods on the roof.

Exterior Scope

- A) Recreation Center (c.1922. Renovated c.1980)
 - Two new roof vents due to the addition of Toilet room ventilation system
 - Replace the exterior doors with new hollow metal doors with lites and new hardware
- B) Building B is not in scope
- C) Men's Toilet and Maintenance Building (c1889)
 - Exterior site demolition and new sidewalks
 - To prevent further deterioration, the existing entry will be re-constructed with the salvaged materials to match the existing. Document the brick and stone entry before removing it entirely, including the roof. Salvage the window as well as the brick and stone as much as possible. Remove the entry slab and footings and construct a new concrete footing to frost depth. Provide a new floor slab raised to match the level of the existing. Reconstruct the masonry entry walls and roof to match the original configuration, using the salvaged brick and stone, with the following exception.
 - When re-constructing the south wall, create a full height arch where the half round window is. This will serve as and accessible (ADA) entry to the future toilet rooms, as well as allow visibility into the entry for security reasons.
 - All brick joints on the building will be repaired and pointed.
 - Brick and stone cleaning will follow the City of Detroit Historic District Masonry Cleaning Guidelines and use the gentlest means possible.
 - Repair or, where severely deteriorated, replace siding boards to match.

- Remove existing exterior boards over windows and replace with shutters per drawings.
 Ensure that at least two windows per space are open behind a louvered shutter to provide ventilation during the mothball phase.
- Document existing maintenance room doors, jamb and brickmold for potential future replication when building is activated. Remove doors, jamb and brickmold and replace with flush, insulated hollow metal doors, frame and new hardware. Apply brickmold to match existing.
- Remove loose caulk and paint. Re-caulk around entire building and prep and repaint all
 windows, wood siding, soffits, rafter ends, fascias, trims and rake boards with a weather
 resistant paint system.
- The roofing shingles will be removed and the roof deck examined for damage or weakness. Replace the roofing and deck as required with dimensional 25-year shingle, vapor barrier, and plywood deck.
- Remove what is left of the gutters, downspouts and brackets. Replace with new in a color to match the trim. Downspouts should not tie into the sewers; provide splashblocks.
- Provide exterior wall packs for security- see Electrical and cut sheets.

D) Women's Rest Room Building (c.1893)

- New sidewalks
- Repair the failed brick joints specifically at the northwest corner and in general for tuckpointing of all joints. Replace missing brick.
- Replace (non-original) flat trim boards with 1x smooth trim boards. Note- a bid alternative, is to restore or replace historic trim to match existing.
- Prep, caulk and repaint exterior trim and brick.
- For aesthetics until building is re-activated, replace exterior plywood in windows with paneled shutters. See drawings.
- Repaint existing doors. As a bid alternative, perform an assessment of doors which are currently covered with metal sheet. If determined to be original to the building, restore the transom, door and frame and provide new hardware. Secure the openings with painted plywood panels until doors can be reinstalled.
- The roofing shingles will be removed and the roof deck examined for damage or weakness.
 Replace the roofing and deck as required with a dimensional 25-year shingle and vapor barrier.
- Provide exterior wall packs for security- see Electrical and cut sheets.

E) Former Warming Shelter (c.1906)

- Exterior site demolition and new sidewalks
- Repaint painted portions around north, east and south entries.
- Repair south entry wood trim and decorative wood corner pilasters, to match existing.
- Caulk entire exterior and at interior jambs.

- All exposed wood surfaces should be prepared and re-painted with a weather resistant paint.
 Exterior paint color to be a light stone color similar to Historic District Style and Color Guide
 B:16 light grayish olive.
- Remove the wood siding cover from all openings without damage to doors and trim.
- Carefully remove, salvage and tag all sectional door sash for storage offsite for future restoration. (Three sash per opening). Protect the existing jambs tracks and pulleys with a temporary new jamb painted with a weather resistant paint system.
 - Alternative Bid 1B: Same as base bid above except leave all transoms in place. Replace missing and broken glass and provide minor repairs ensuring glass is secure. Prep, paint and caulk.
 - Alternative Bid 2B: Same as alternative 1B except all transoms and sectional doors to remain. Remove loose and broken glass, raise doors into pockets and secure in place.
 Prep and paint exposed section of door panel. Clean glass.
 - Alternative 2C: Provide new interior and exterior security screens in the transom openings to protect the glass from vandalism.
- Carefully remove, salvage and tag the two pairs of original wood swing doors and all four half-round transom sash for storage offsite for future restoration. Remove the two pairs of flush doors for disposal. Repair or replace the wood jambs and trim to match the original. Prepare and paint with a weather resistant paint system.
- The concrete grade slab should be saw-cut and removed as required. A replacement reinforced slab can be placed over compacted drainable fill, rigid insulation, and a vapor barrier. Include conduit for future electrical.
- Existing roofing will remain. Replace gutters and downspouts with new aluminum and provide splashblocks.
- Provide exterior wall packs for security- see Electrical and cut sheets.

Sincerely,

Janet C. Ford, RA Historical Architect HAA

CITY OF DETROIT General Services Department Detroit, Michigan

CLARK PARK IMPROVEMENT PLAN - PHASE 1B 1130 CLARK STREET DETROIT, MICHIGAN

ISSUED FOR HISTORIC DISTRICT COMMISSION REVIEW 22 APR 2020

HAMILTON ANDERSON PROJECT NUMBER: 2018183.00

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DRAWING INDEX COVER SHEET 000 REMOVAL PLAN REMOVAL PLAN **GRADING PLAN** C300 **GRADING PLAN** REFERENCE PLAN SITE MATERIALS PLAN SITE MATERIALS PLAN SITE LAYOUT PLAN SITE LAYOUT PLAN BLDG A PLANS & ELEVATIONS BLDG C FLOOR, ROOF & CEILING PLANS BLDG D FLOOR, ROOF & CEILING PLANS BLDG E FLOOR, ROOF & CEILING PLANS BLDG C EXISTING ELEVATIONS **BLDG C EXISTING ELEVATIONS** BLDG C ELEVATIONS **BLDG D ELEVATIONS BLDG D ELEVATIONS BLDG E ELEVATIONS** BLDG C INTERIORS (FOR REFERENCE) BLDG D INTERIORS (FOR REFERENCE) BLDG E INTERIORS (FOR REFERENCE) BLDG C DEMO PLAN AND DETAILS BLDG E DEMO PLAN AND DETAILS BLDG C CONSTR. PLAN AND DETAILS

S102 BLDG E CONSTR. PLAN AND DETAILS

MP102 BLDG A REC CENTER MECH & PLUMBING PLANS

E001 GENERAL ELECTRICAL INFORMATION

EDAGA PLANS FOR EXAMPLE AND ADDRESS OF THE PROPERTY OF THE PROPERTY

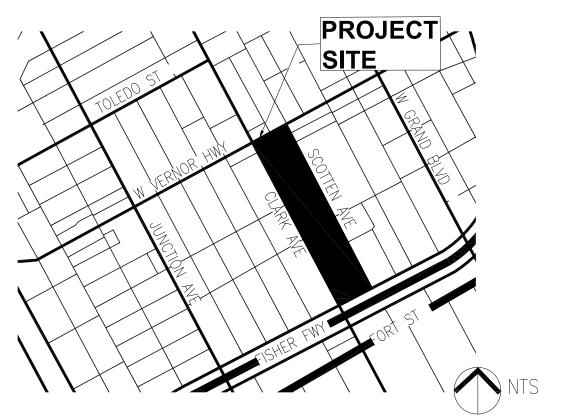
ED101 GENERAL ELECTRICAL INFORMATION

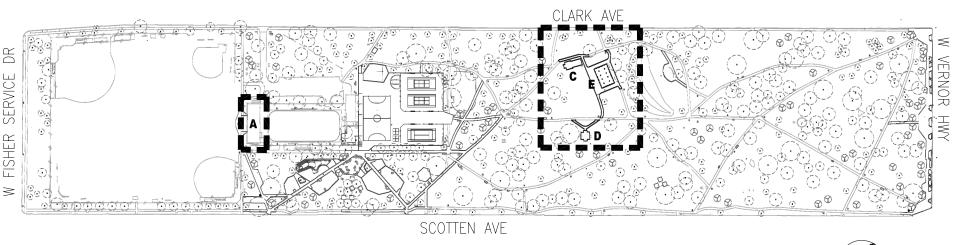
ED101 BLDGS C, D & E ELECTRICAL DEMOLITION PLANS

E101 BLDGS C, D & E ELECTRICAL PLANS

E301 ELECTRICAL DETAILS AND SCHEDULES







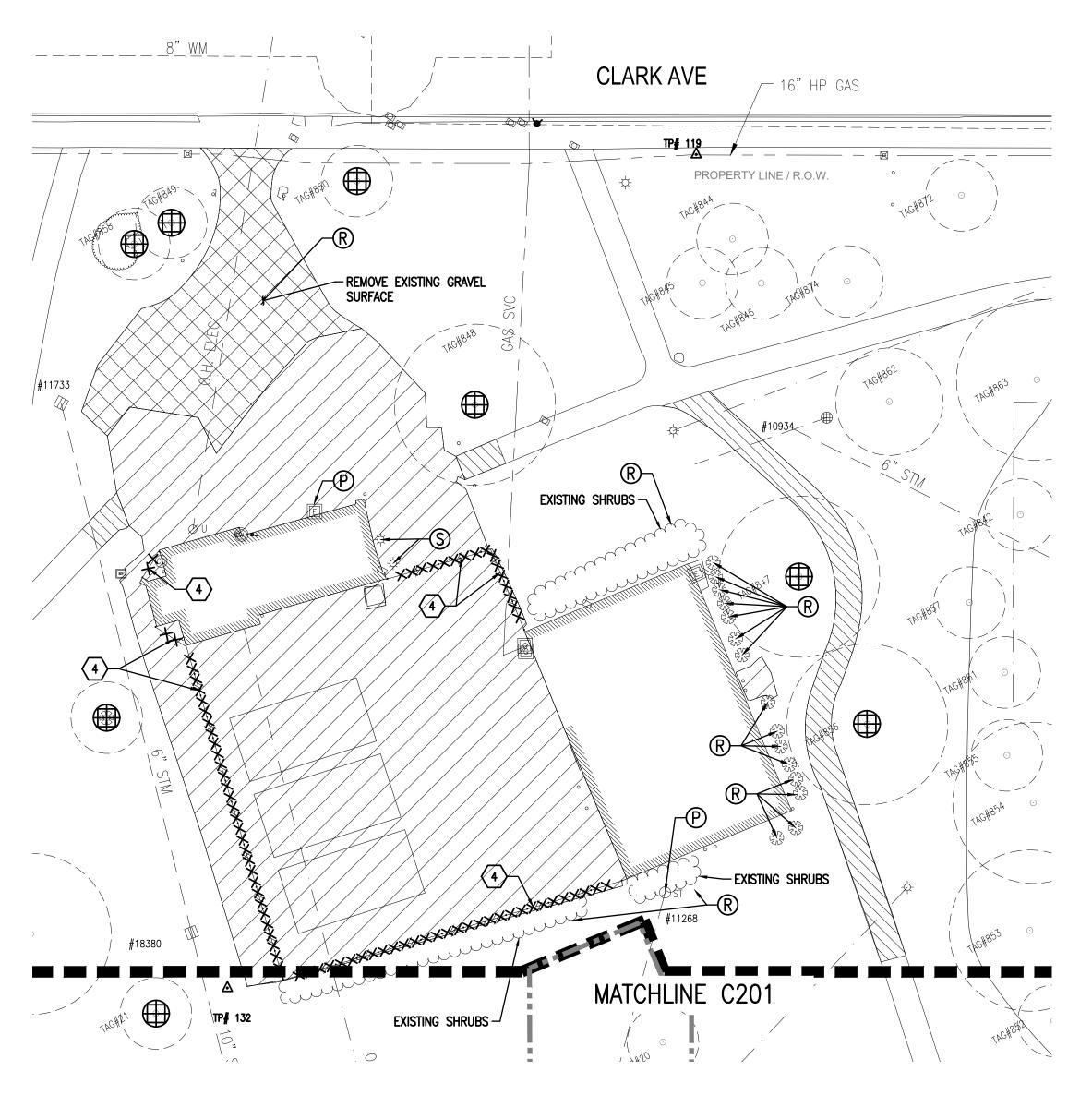
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OHM ADVISORS 1145 GRISWOLD ST SUITE 200 DETROIT, MI 48226 P 313 481 1250



- NOTE:

 1. ALL TREES WITHIN AND ADJACENT TO CONSTRUCTION AREA SHOULD BE PROTECTED BY TREE FENCE.
- 2. ALL UNDERGROUND UTILITIES ARE BASED ON SURFACE FEATURES AND FACILITY INFORMATION PROVIDED BY THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CARE IN LOCATING AND WORKING AROUND UTILITIES AND SHALL CONTACT MISS DIG PRIOR TO PERFORMING ANY WORK ON SITE

LEGEND

PROTECT TREE

REMOVE ITEM

PROTECT ITEM

SALVAGE ITEM

REMOVE SEWER, CURB OR UTILITY

REMOVE HMA SURFACE

REMOVE MISC PAVEMENT

REMOVE SIDEWALK

DEMOLISH BUILDING / STRUCTURE

REMOVAL/SALVAGE KEY

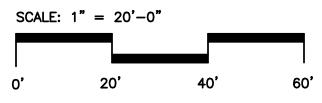
Sewer, Rem, Less than 24 inch

Dr Structure, Rem

Bench, Rem

Fence, Rem (BY GSD PDU)





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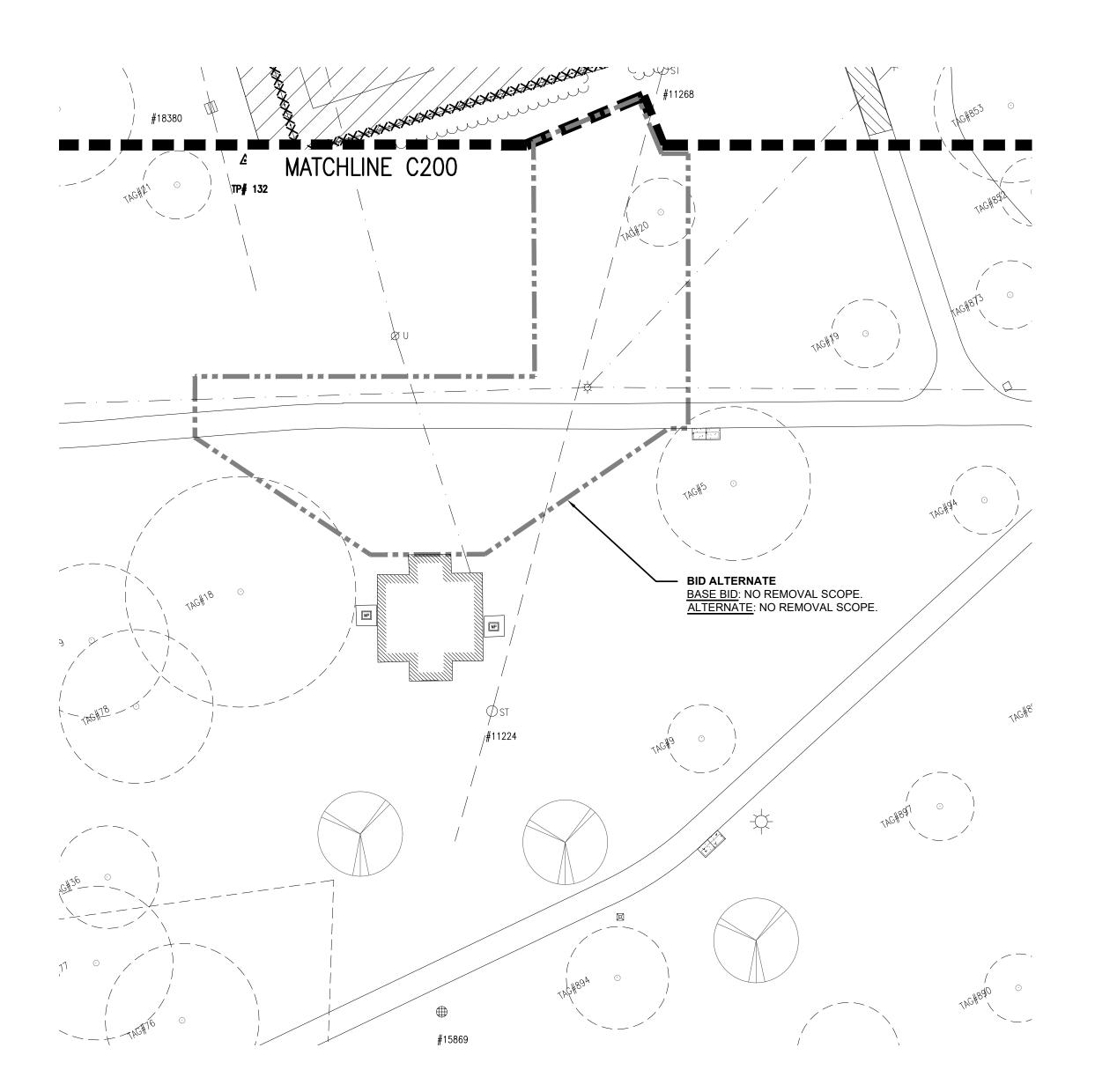
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Project
CLARK PARK
IMPROVEMENT PLAN -PHASE 1B Drawing Title

REMOVAL PLAN

Project Number: 2018183.00 Drawn By: AFT Approved By: PMD

Scale: 1 INCH = 20 FEET



NOTE:

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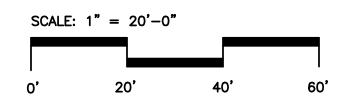
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Fence, Rem (BY GSD PDU)





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CLARK PARK IMPROVEMENT PLAN -PHASE 1B

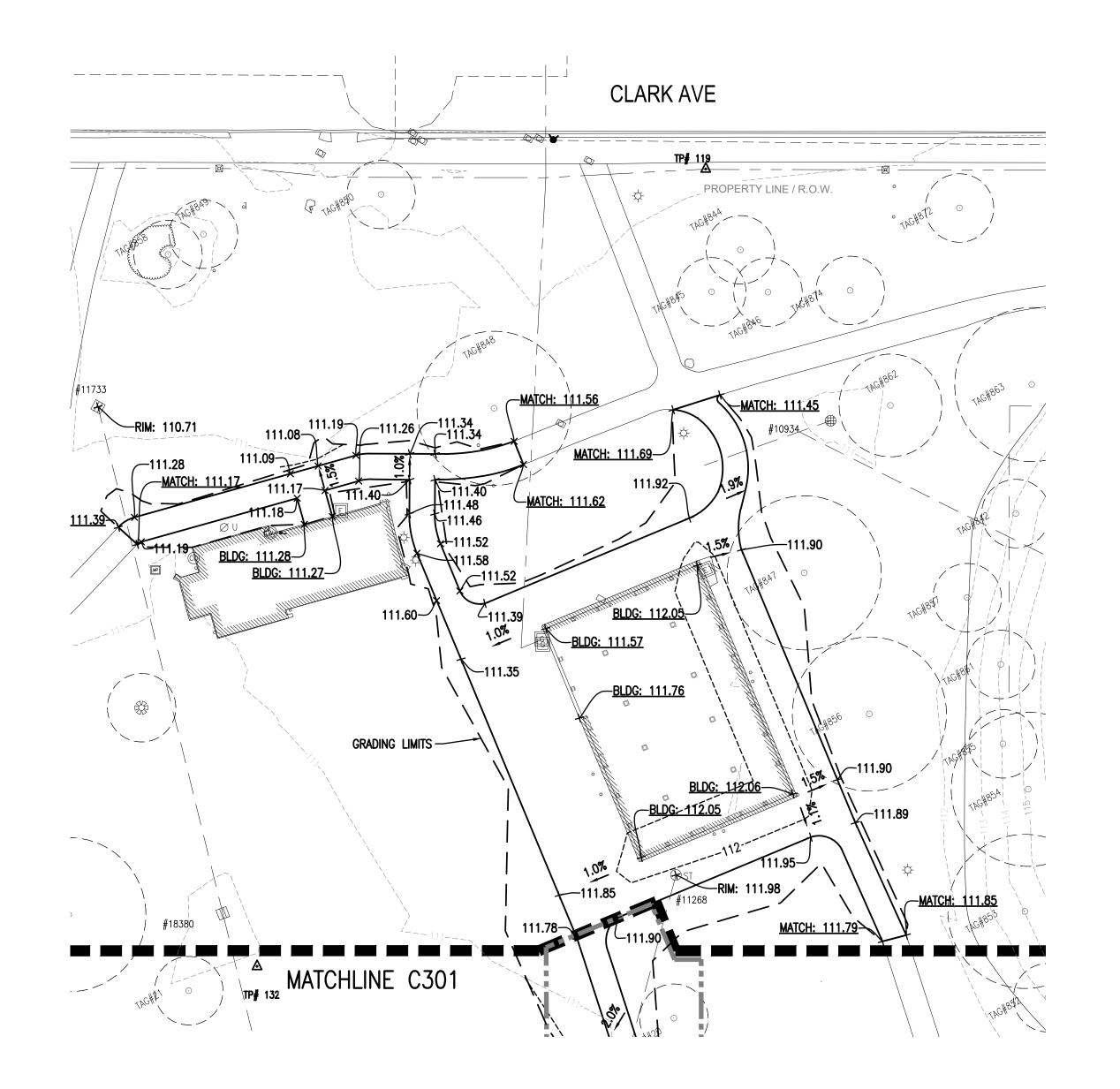
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Project Number: 2018183.00

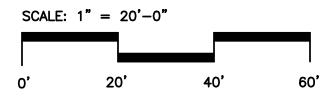
Drawn By: AFT Approved By: PMD

Scale: 1 INCH = 20 FEET

Drawing No.







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CLARK PARK
IMPROVEMENT PLAN PHASE 1B
Drawing Title

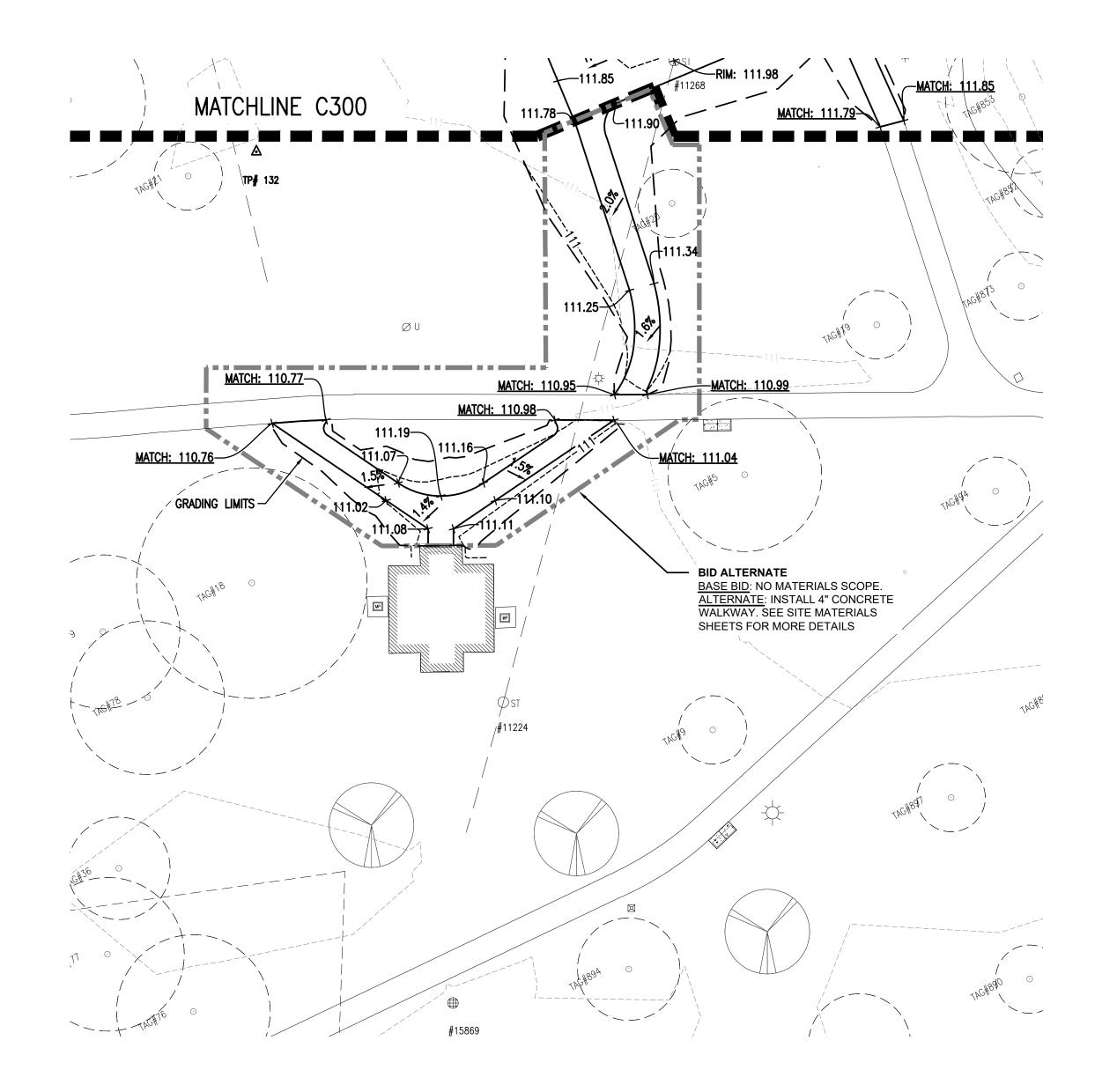
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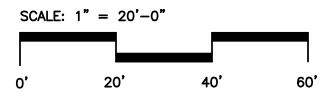
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Scale: 1 INCH = 20 FEET

Drawing N







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ISSUE FOR OWNER REVIEW	_ (01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B

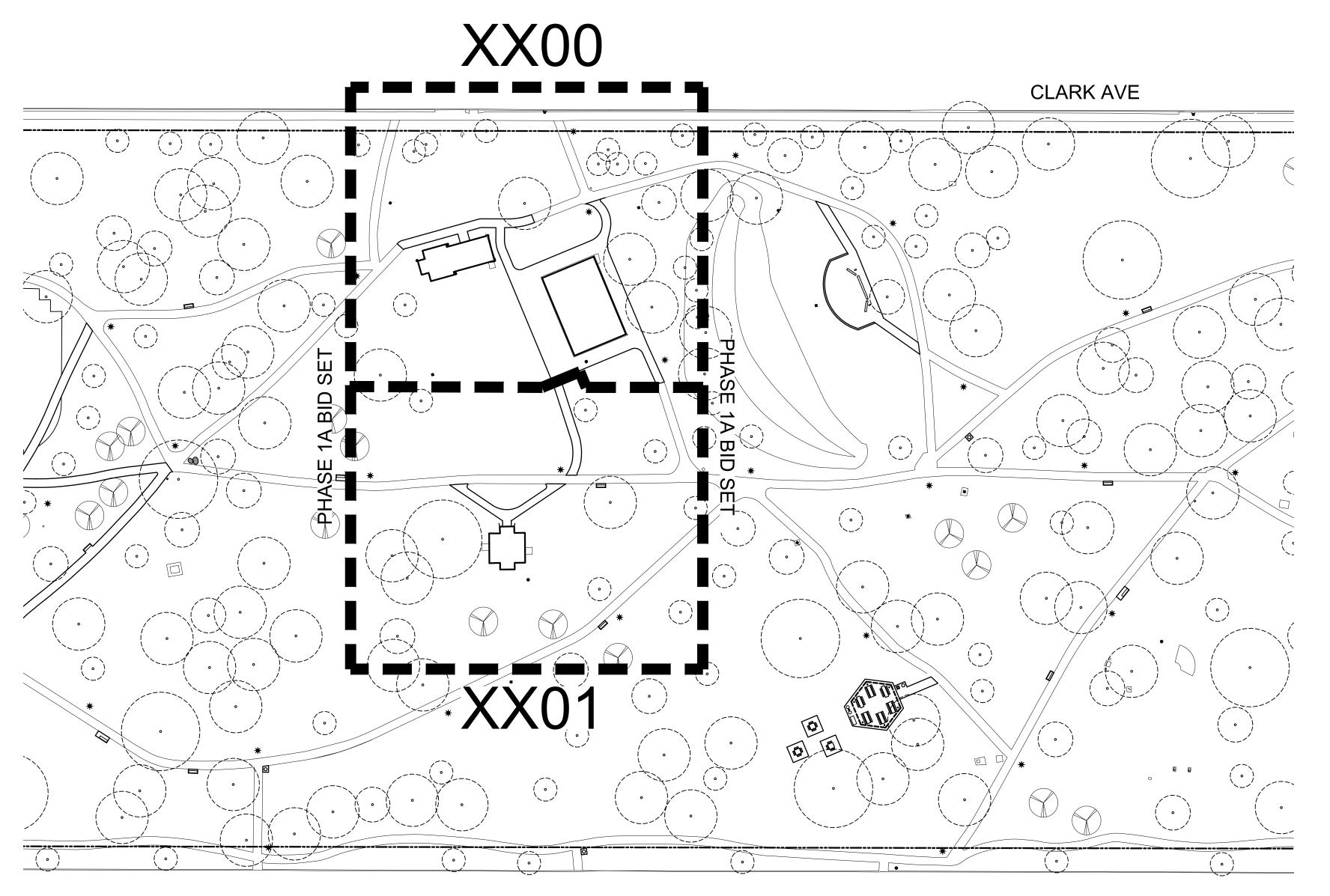
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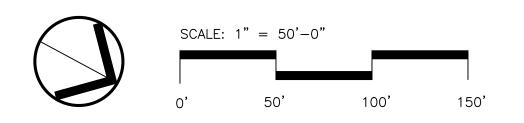
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CLARK PARK IMPROVEMENT PLAN -PHASE 1B

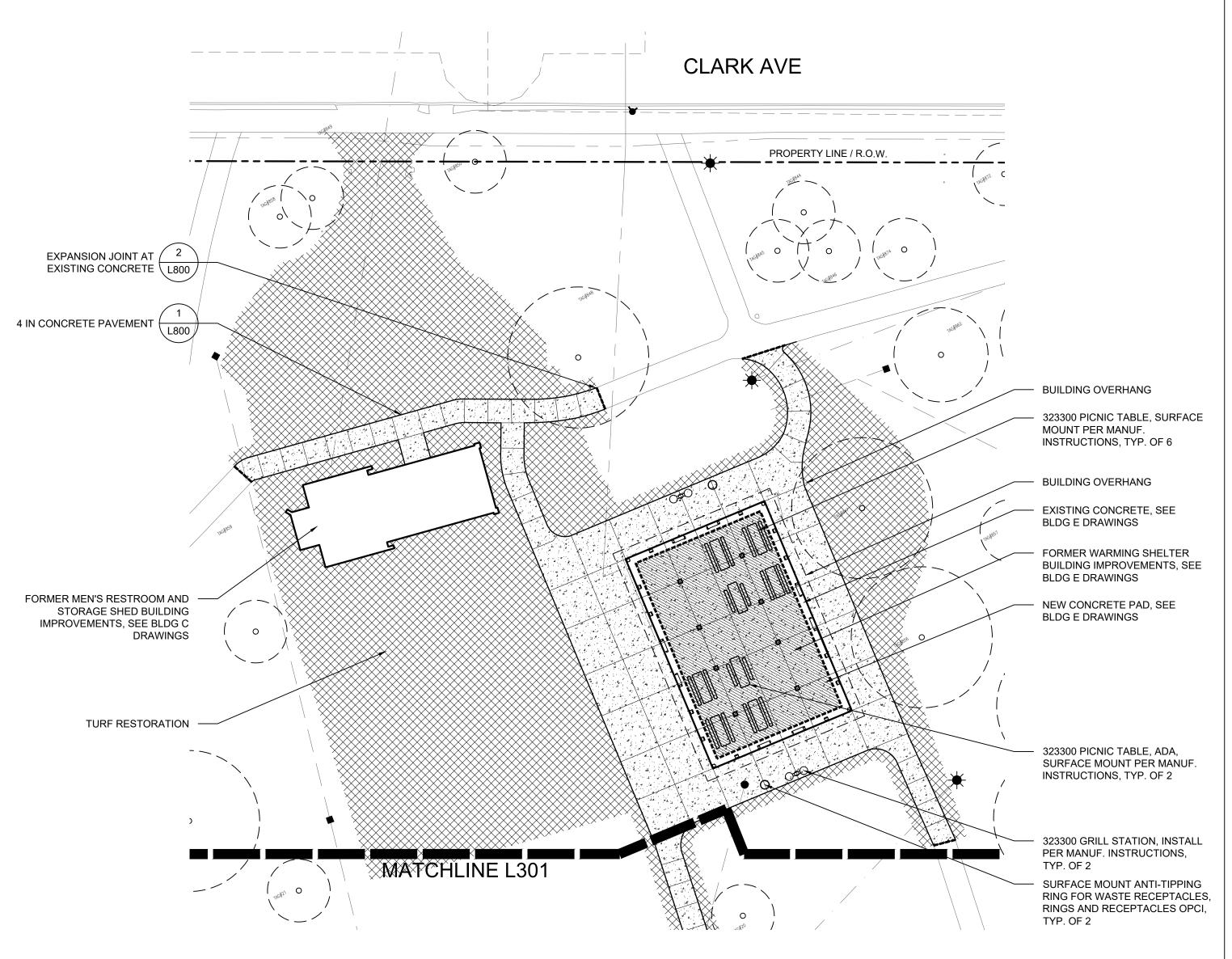
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REFERENCE PLAN

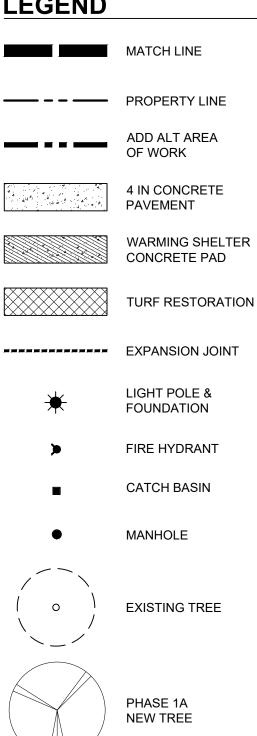
Project Number: 2018183.00

Drawn By: DQ Approved By: MS

Scale: 1 INCH = 50 FEET



LEGEND



NOTES

- 1. PROVIDE EXPANSION JOINTS WHERE SHOWN AND WHEREVER CONCRETE PAVEMENT ABUTS A FOOTING, CURB, PLANTER CURB, OR OTHER VERTICAL ELEMENT.
- 2. CONTRACTOR TO RESTORE ALL TURF AREAS IMPACTED BY CONSTRUCTION OPERATIONS. ALL DISTURBED AREAS TO BE SEEDED WITH HYDROMULCH OVER 4" OF TOPSOIL. REFER TO SPECS.



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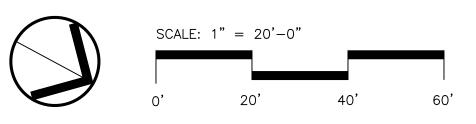
CLARK PARK IMPROVEMENT PLAN -PHASE 1B

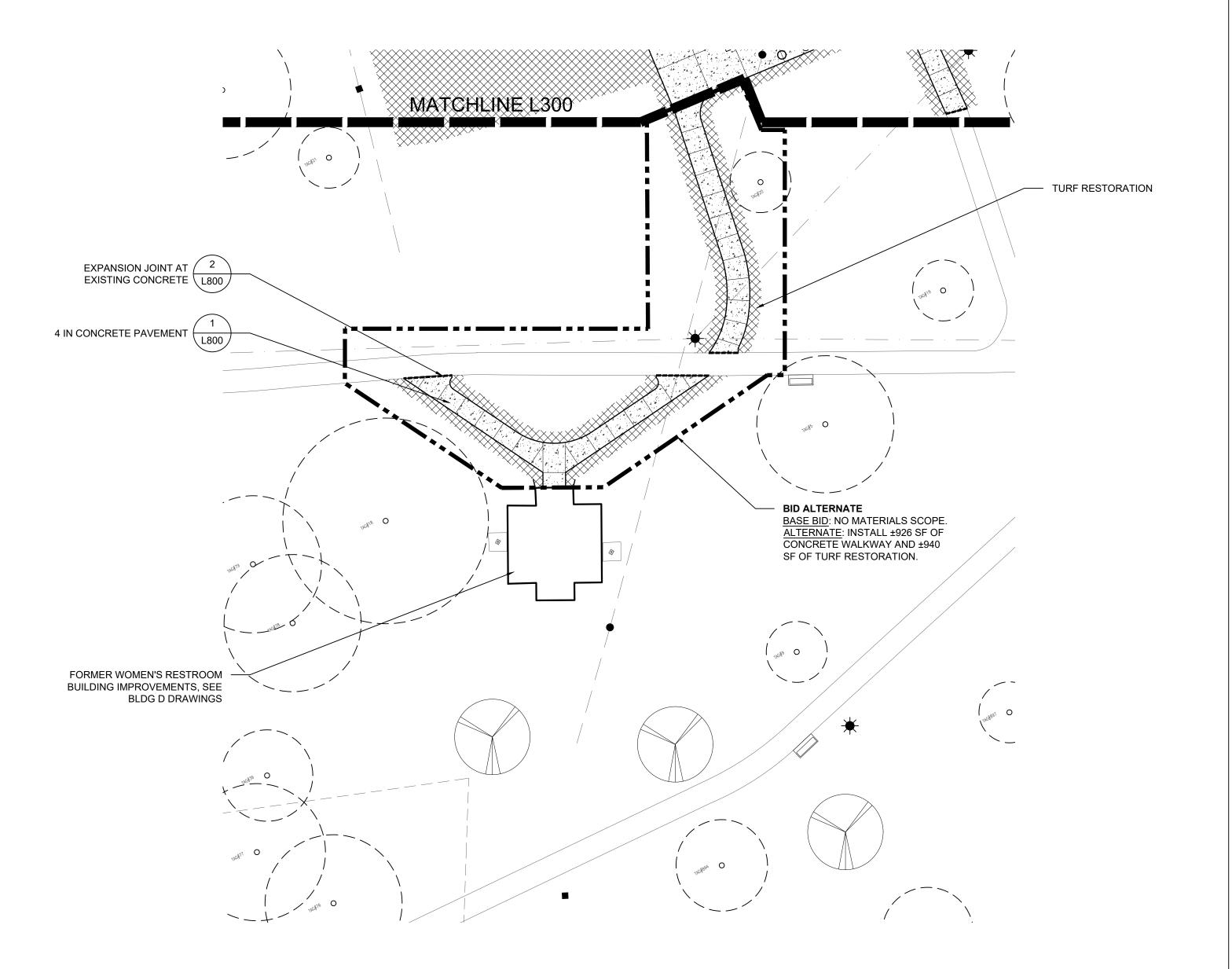
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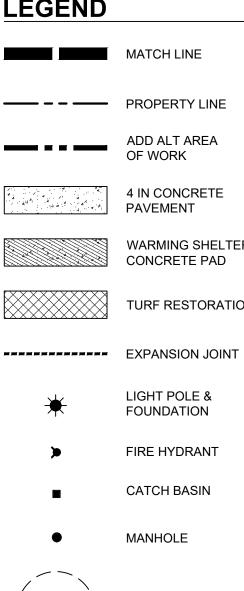
SITE MATERIALS PLAN

Project Number: 2018183.00 Drawn By: DQ Approved By: MS Scale: 1 INCH = 20 FEET

Drawing No.





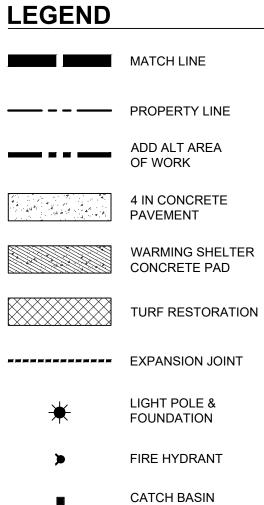


EXISTING TREE

PHASE 1A NEW TREE

NOTES

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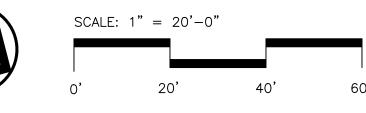


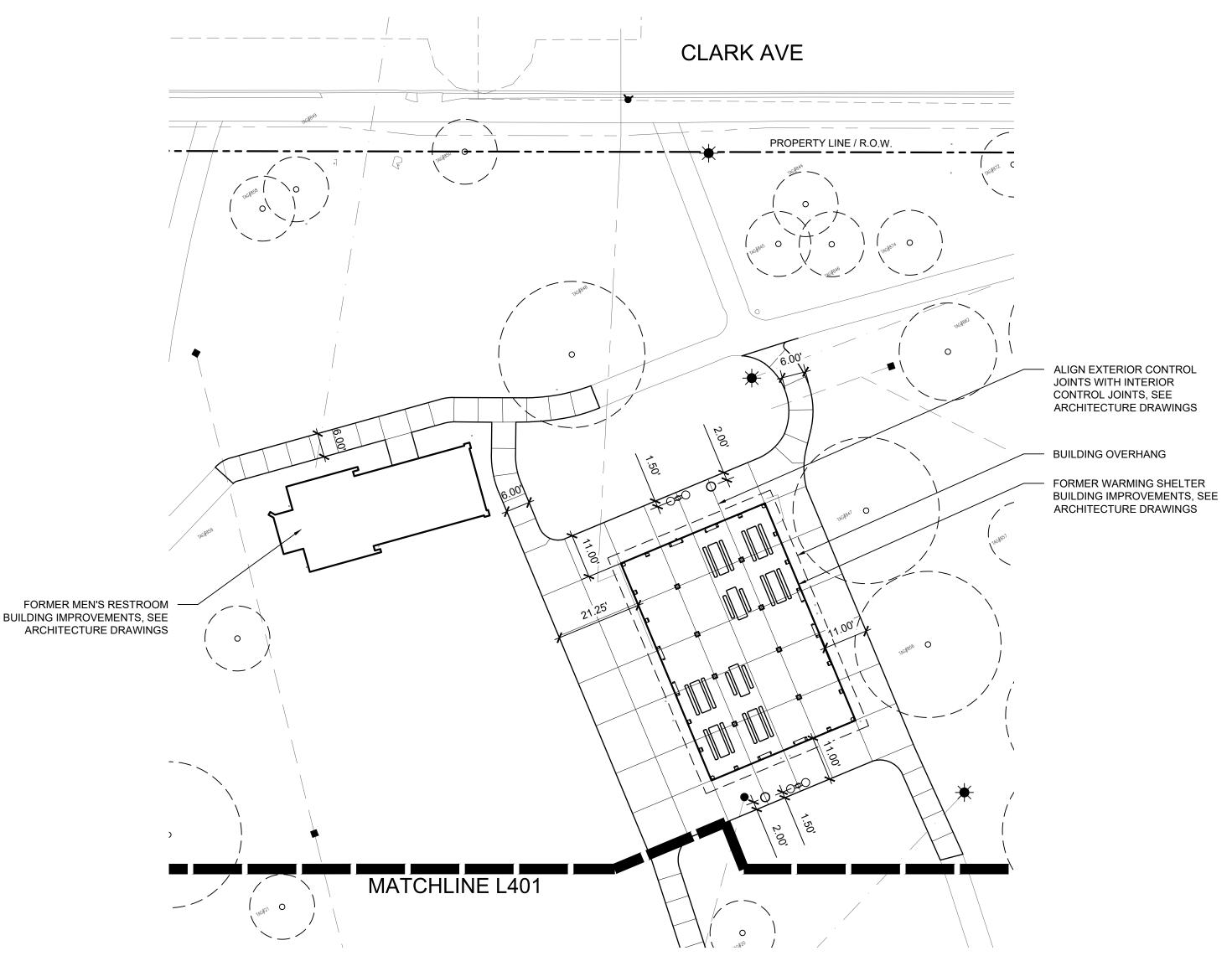
CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title

SITE MATERIALS PLAN

Project Number: 2018183.00 Drawn By: DQ Approved By: MS Scale: 1 INCH = 20 FEET





LEGEND

MATCH LINE PROPERTY LINE ADD ALT AREA OF WORK

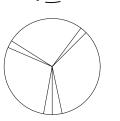
> LIGHT POLE & FOUNDATION

FIRE HYDRANT CATCH BASIN

MANHOLE



EXISTING TREE



PHASE 1A NEW TREE

NOTES

1. LAYOUT DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE STATED.

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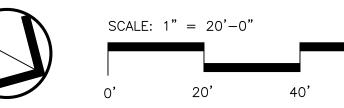


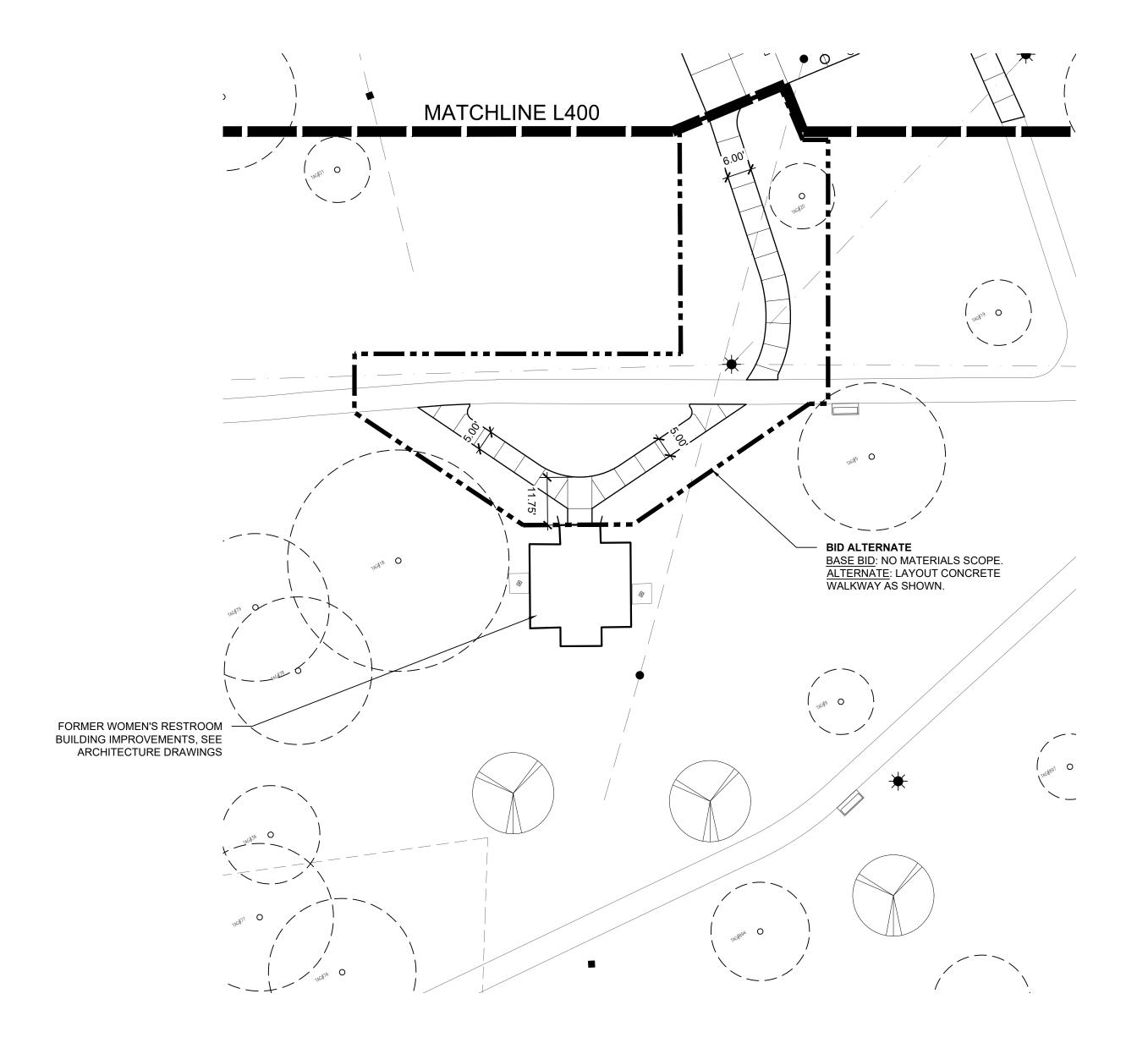
CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title

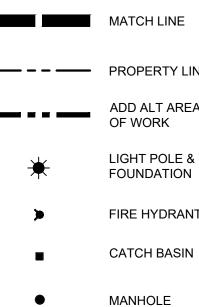
SITE LAYOUT PLAN

Project Number: 2018183.00 Approved By: MS Drawn By: DQ Scale: 1 INCH = 20 FEET





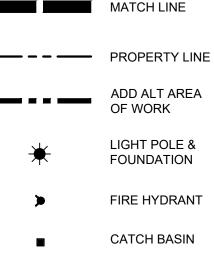








1. LAYOUT DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE STATED.







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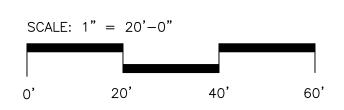
CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title

SITE LAYOUT PLAN

Project Number: 2018183.00 Drawn By: DQ Approved By: MS Scale: 1 INCH = 20 FEET









- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- BUILDING IS OCCUPIED. CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF OCCUPANTS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

KEY NOTES

E106

 $\langle A \rangle$

- REPLACE FRAME AND DOORS WITH HEAVY DUTY INSULATED METAL DOORS WITH WEATHERSTRIPPING, GLASS LIGHTS AND NEW HARDWARE. SEE SPEC.
- PROVIDE A WALL BRACKET MOUNTED FIRE EXTINGUISHER IN THE ACTIVITIES ROOM AND THE SKATE ROOM.
- $\langle \mathsf{\,c\,} \rangle$ PROVIDE A CODE COMPLIANT THRESHOLD CONDITION BY INSTALLING A THRESHOLD RAMP, SEE SPEC.
- CLEAN EXISTING GRILLES, DIFFUSERS AND SUPPLY/RETURN DUCTWORK.
- PROVIDE THERMOSTATIC MIXING VALVES AT ALL LAVATORIES.
- REPLACE CURRENT WATER METER ASSEMBLE AND INCOMING GALVANIZED PIPING WITH NEW STEEL PIPE AND DOUBLE CHECK BACKFLOW PREVENTER
- PROVIDE NEW ROOF CAPS FOR NEW TOILET ROOM FANS. 6"X9" ON NORTH ROOF, 12" X 12" ON EAST ROOF. CENTER 12" X 12 " ON ROOF. SEE SHT MP102.

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CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title **BLDG A PLANS AND ELEVATIONS**

Project Number: 2018183.00 Drawn By: JCF Approved By:DZ

Scale: AS SHOWN

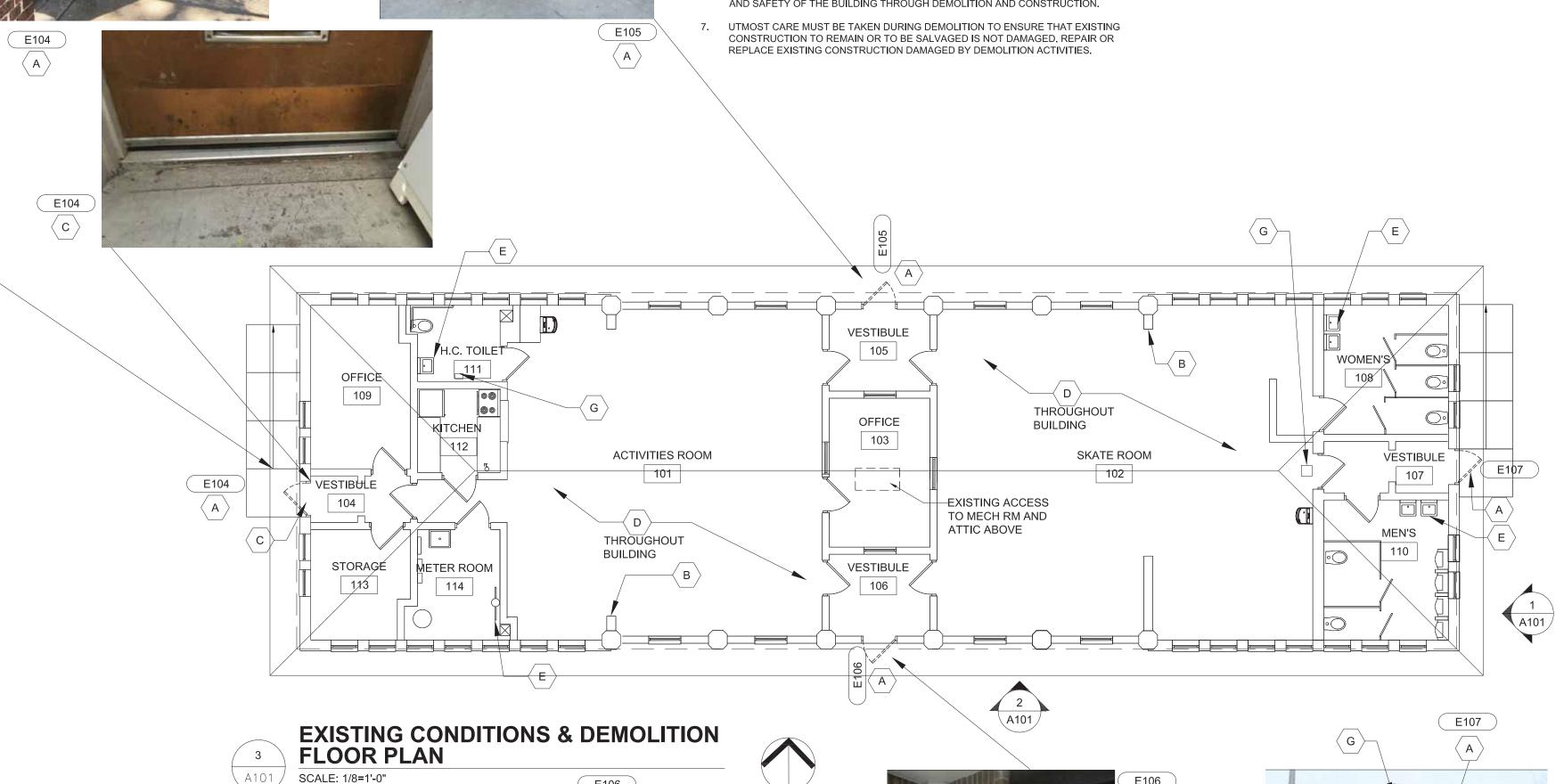
EAST ELEVATION

SCALE: NTS

A101

(N. ELEVATION SIM)

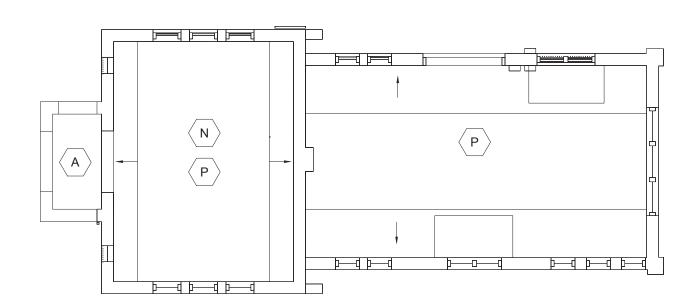
A101



SOUTH ELEVATION (NORTH ELEVATION SIMILAR)

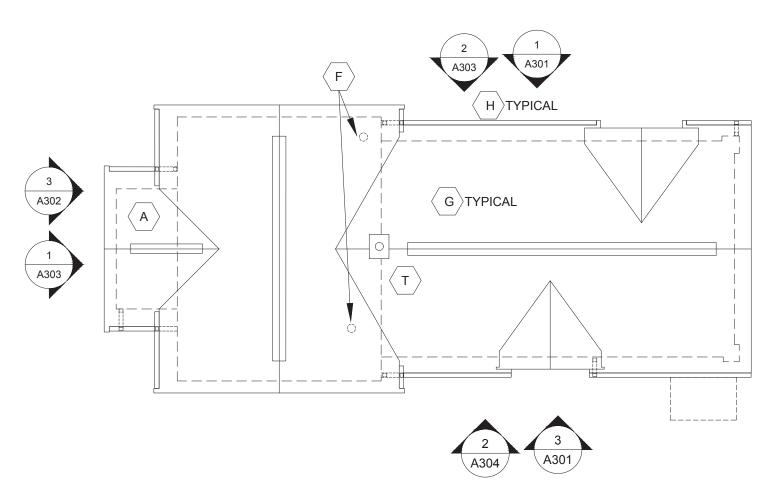
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A101 SCALE: NTS













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- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
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- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

KEY NOTES

EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING, DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

> OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH "V" GROOVE PANEL PER DETAIL.

- PROVIDE A "V" GROOVE PANEL TO SECURE THE WESTERN OPENING, PER DETAIL.
- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm
- FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS. CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- REMOVE EXISTING STACK VENTS.
- REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE SHINGLED ROOF VENTS AT RIDGES.
- \langle H \rangle REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS. REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.
- CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- **EXTERIOR ELEVATIONS:**

BOARDS TO MATCH EXISTING.

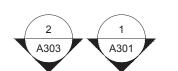
- 9.1 REMOVE ALL SURFACE APPLIED UNUSED CONDUIT, FIXTURES AND **EQUIPMENT FROM EXTERIOR WALLS.**
- 9.2 EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES
 - REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM

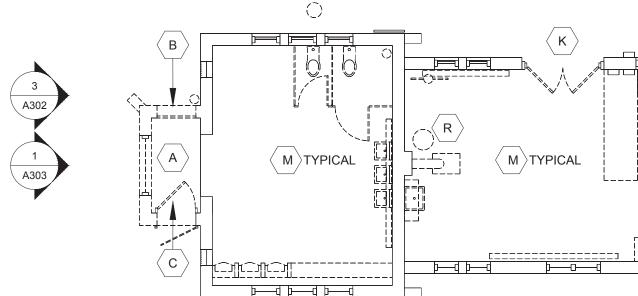
\ DOORS: K OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED

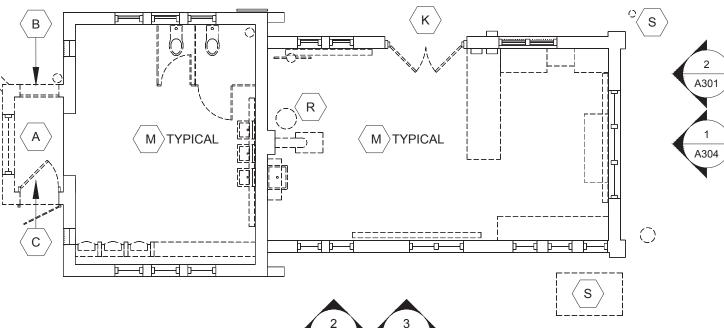
> REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.

HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD TO MATCH EXISTING. OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR

- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS. FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING M > FIXTURES. ACCESSORIES. MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER O
- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC
- REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE. S
- PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
- REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER











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Registration Seal

ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -**PHASE 1B**

Drawing Title BLDG C FLOOR, ROOF & **CEILING PLANS**

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF

Scale: AS SHOWN

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES 6. HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL 8. BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF PARK USERS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING PLASTER WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS. DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

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P 313 481 1250

KEY NOTES

- REPAIR THE FAILED BRICK JOINTS AND TUCKPOINT BRICK AND STONE JOINTS WHERE REQUIRED. REPLACE MISSING BRICK WITH BRICK OF SAME SIZE AND TEXTURE. NOTE: BRICK WILL BE RE-PAINTED.
- LIGHTLY CLEAN EXTERIOR PAINTED BRICK AND STONE SILLS (PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES"). REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. PREP SURFACE AND REPAINT BRICK AND SILLS. COLOR TBD.
- REMOVE EXISTING STACK VENT. $\langle c \rangle$
- REMOVE ROOFING AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE VAPOR BARRIER AND ICE SHIELD.
- PROVIDE SHINGLED RIDGE VENTS ON GABLE ROOF RIDGES.
- CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL F > PANELS. REPLACE WITH NEW VENTILATING SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. EXISTING BIRD SCREEN TO REMAIN
- CAREFULLY REMOVE NON-ORIGINAL EXTERIOR TRIM BOARDS FOR AND PAINT WITH WEATHER RESISTANT PAINT, COLOR TBD.

EXISTING DOORS TO REMAIN. PREP AND REPAINT WITH WEATHER RESISTANT

ALTERNATIVE 1I: PERFORM AN ASSESSMENT OF THE STYLE AND CONDITION OF THE EXISTING DOORS WHICH ARE CURRENTLY COVERED WITH A METAL SHEET. IF DETERMINED TO BE ORIGINAL TO THE BUILDING, RESTORE THE TRANSOM, DOOR AND FRAME AND PROVIDE NEW HARDWARE. SECURE THE OPENINGS WITH PAINTED

- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, PLUMBING FIXTURES AND $\langle \; \mathsf{J} \;
 angle$ PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER

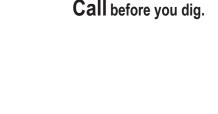
SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.

FLOOR PLAN

SCALE: 3/16=1'-0"

PLYWOOD PANELS UNTIL DOORS CAN BE REINSTALLED.

REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT. FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE **ELECTRICAL**



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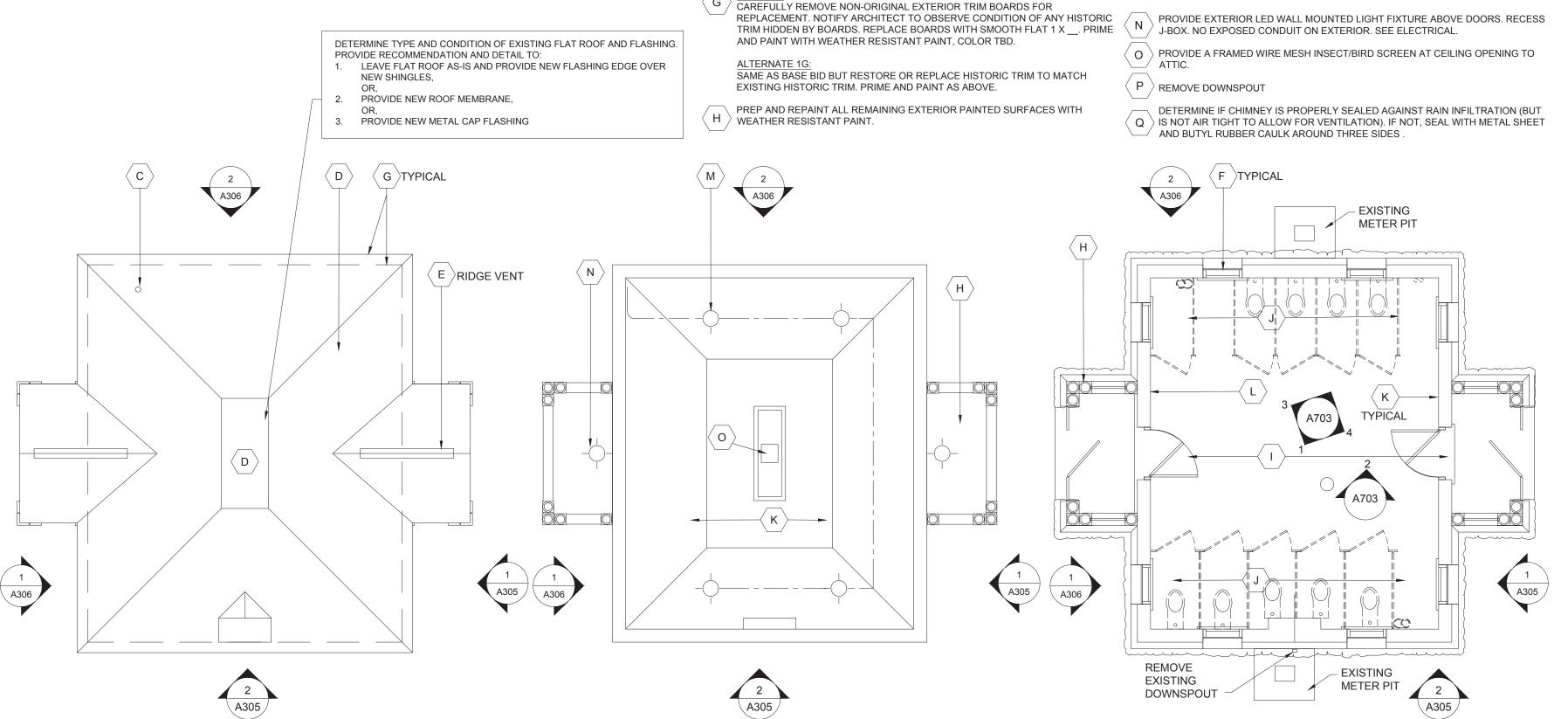


CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title BLDG D FLOOR, ROOF & **CEILING PLANS**

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

A103



REFLECTED

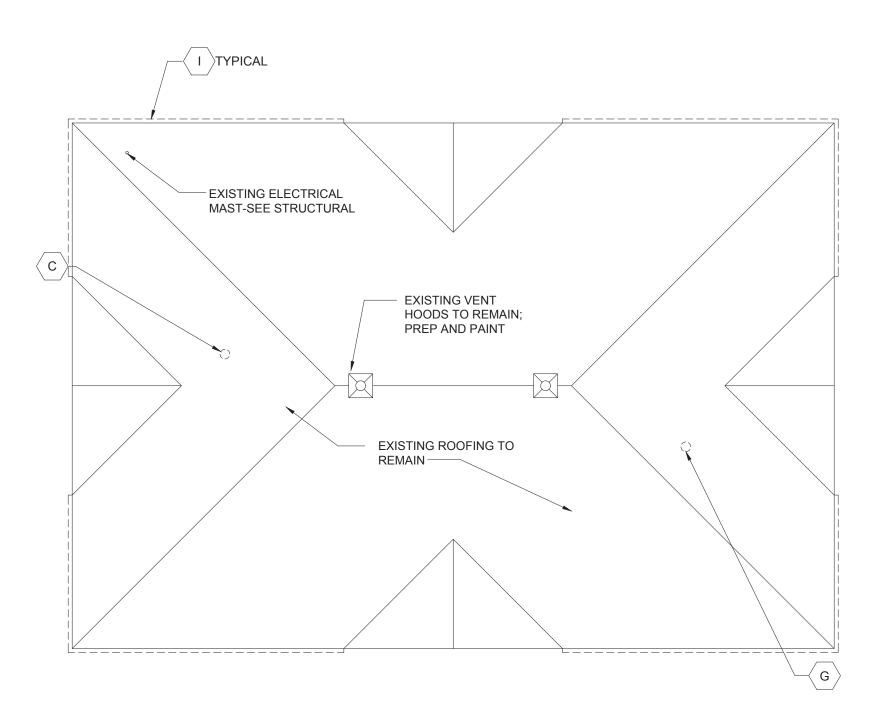
SCALE: 3/16=1'-0"

A103

ROOF PLAN

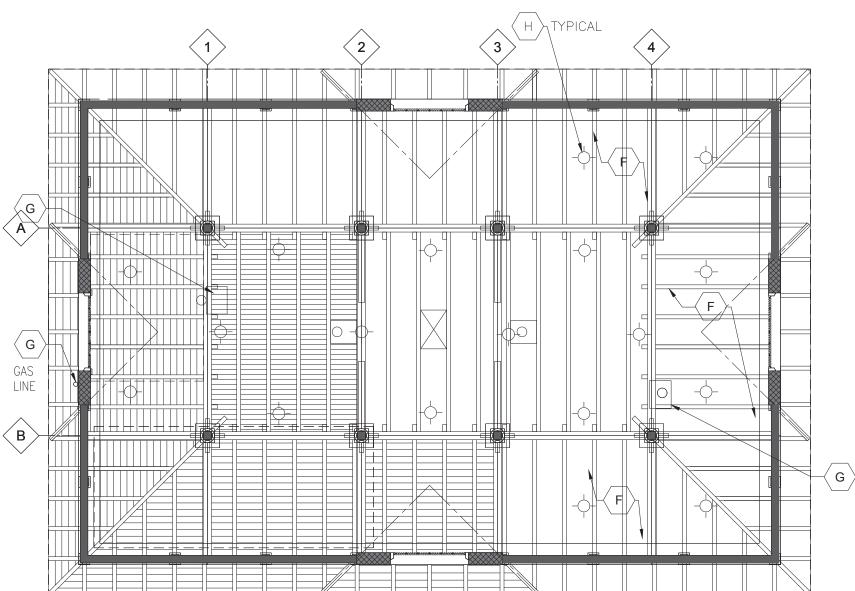
SCALE: 3/16=1'-0"

CEILING PLAN

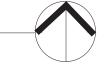












KEY NOTES

ORIGINAL DOORS AND TRIM.

ALTERNATIVE 2B:

SOUTH FACADE)

DAMAGE TO THE ORIGINAL TRANSOM WINDOWS

ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMAINING STORAGE UNITS AND MATERIALS.

- 1. CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- 3. VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- 4. CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS.
 COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE
 WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY
 OF OCCUPANTS
- 5. PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE

BASE BID: CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS

SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO.

TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD.

AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO

FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND

(NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY

- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- 7. UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- 8. EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- . EXTERIOR ELEVATIONS:
- 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

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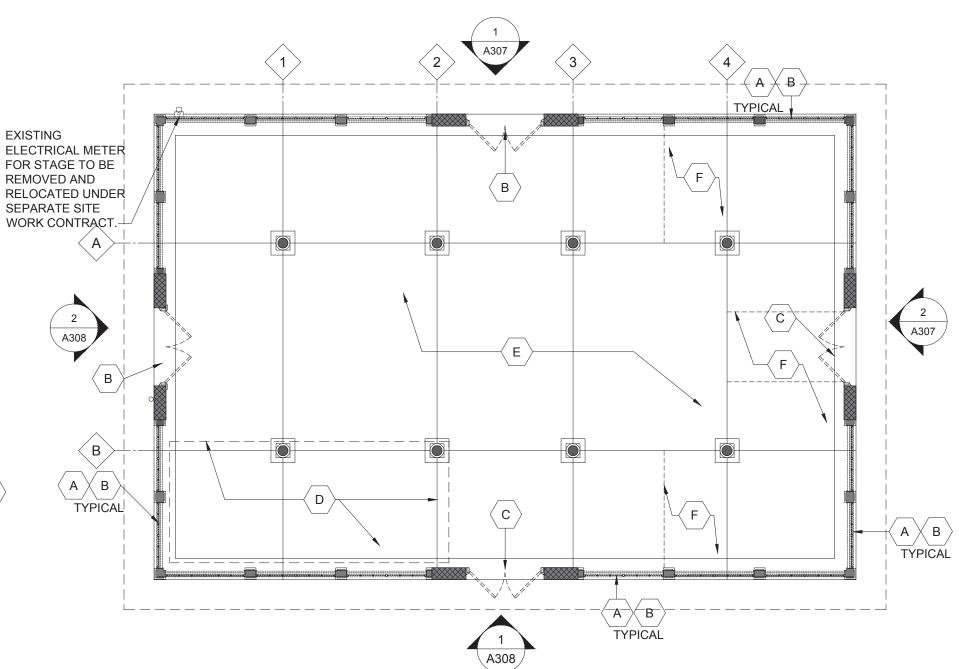


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- SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE
 NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE
 STRUCTURAL
- F REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- G REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- H REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.
- ALTERNATIVE 1B: SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
 - J REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
 - REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS.
 - L REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
 - M PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
 - N LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.





1 FLOOR PLAN SCALE: 1/8=1'-0"

A104

Project Number: 2018183.00

Drawn By: JCF
Scale: AS SHOWN

Approved By: DZ

G > TYPICAL D TYPICAL I TYPICAL TYPICAL E TYPICAL (s)

EAST ELEVATION

A301

SCALE: NTS

SCALE: NTS

A301



NORTH ELEVATION

GENERAL NOTES:

KEY NOTES

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
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- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK

THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING

RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND

EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT

WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING

 \langle B \rangle PROVIDE A "V" GROOVE PANEL TO SECURE THE WESTERN OPENING, PER DETAIL.

REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT

"MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A

DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE

REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE

ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH

ig(H $\,ig)$ REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS.

NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.

PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.

D > JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE

CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.

BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH

STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH

MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE

TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL.

MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

"V" GROOVE PANEL PER DETAIL.

REMOVE EXISTING STACK VENTS.

SHINGLED ROOF VENTS AT RIDGES.

 \langle c \rangle

A301

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
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Know what's below. Call before you dig.

City of Detroit General Services Department

Registration Seal

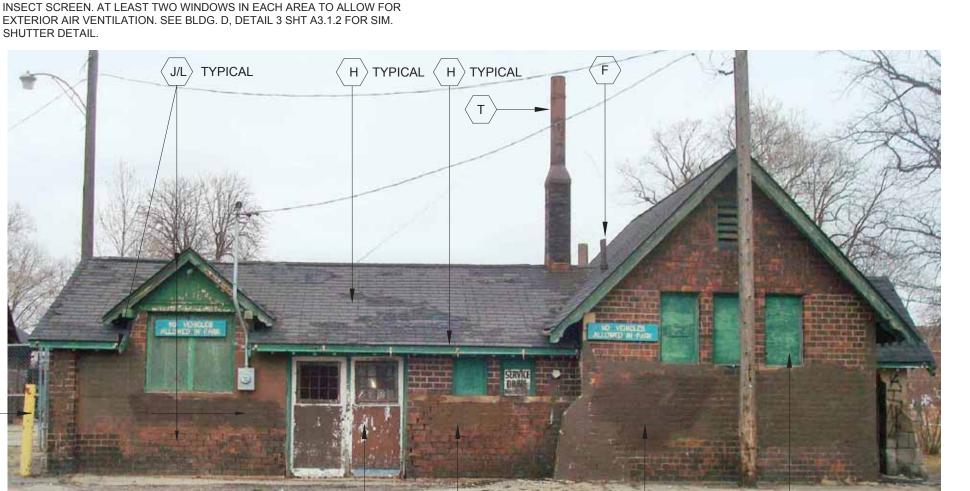
REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD TO MATCH EXISTING.

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 - REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE.
 - PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
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WEST ELEVATION SCALE: NTS

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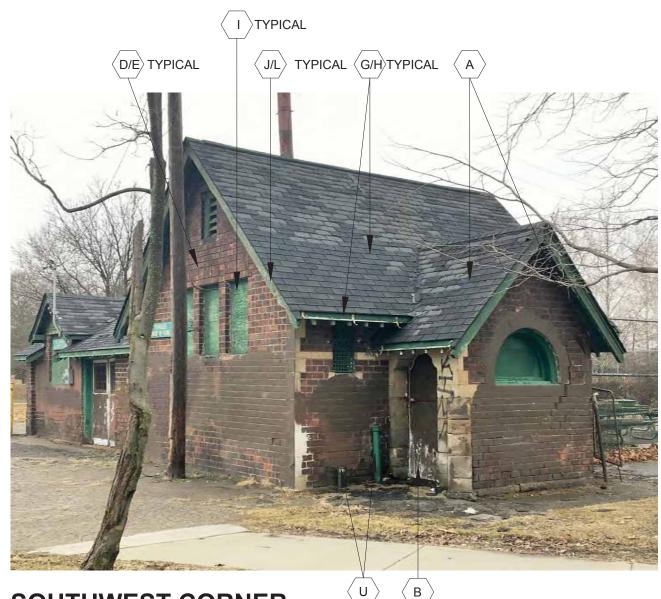
CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

01 APRIL 2020

BLDG C EXISTING ELEVATIONS

ISSUE FOR OWNER REVIEW

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN





A302



SOUTH ELEVATION A302 SCALE: NTS

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GENERAL NOTES:

KEY NOTES

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- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF PARK OCCUPANTS.
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ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE

TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL.

MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

"V" GROOVE PANEL PER DETAIL.

REMOVE EXISTING STACK VENTS.

SHINGLED ROOF VENTS AT RIDGES.

SHUTTER DETAIL

A302

THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING

RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND

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SOUTH ENTRY

SCALE: NTS

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JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE

PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

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SOUTH ENTRY A302 SCALE: NTS

ISSUE FOR OWNER REVIEW 01 APRIL 2020 **CLARK PARK IMPROVEMENT PLAN -**PHASE 1B

Drawing Title **BLDG C EXISTING ELEVATIONS**

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

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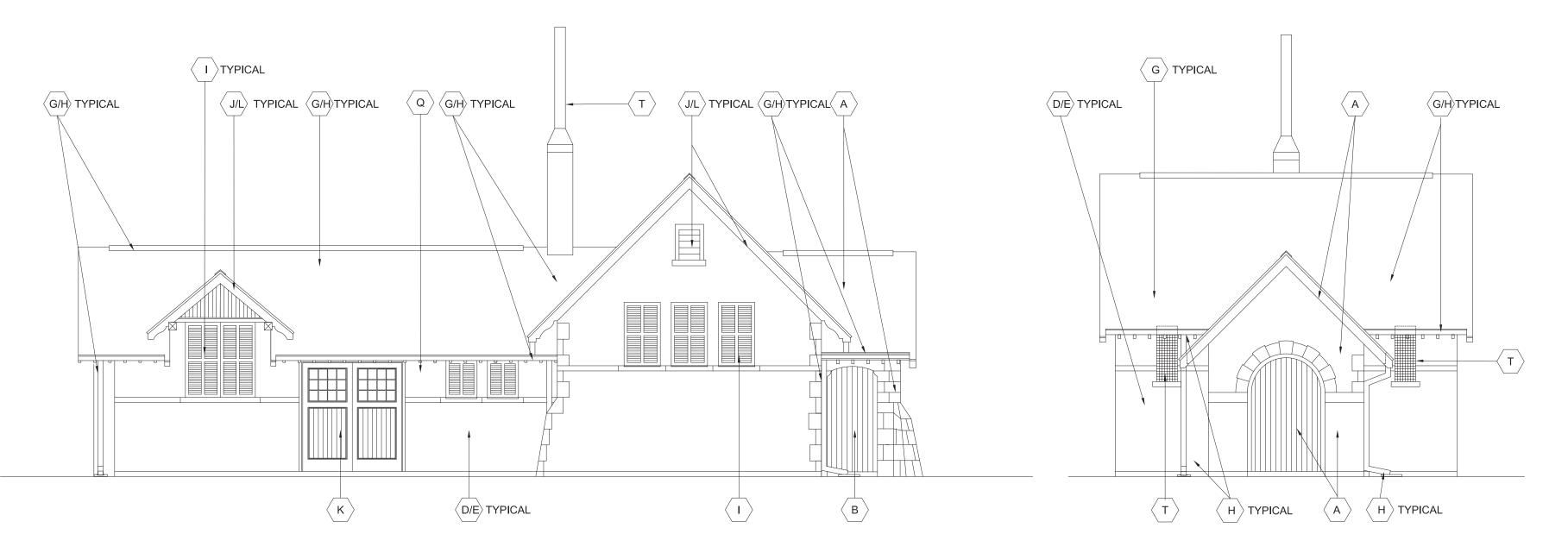
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City of Detroit
General Services Department

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SOUTH ELEVATION
SCALE: 3/16" = 1'- 0"



CLARK PARK
IMPROVEMENT PLAN PHASE 1B

BLDG C ELEVATIONS

Project Number: 2018183.00

Drawn By: JCF Approved By: DZ

Scale: AS SHOWN

Drawing I

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OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH "V" GROOVE PANEL PER DETAIL.

B PROVIDE A "V" GROOVE PANEL TO SECURE THE WESTERN OPENING, PER DETAIL.

PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.

REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS. CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.

F REMOVE EXISTING STACK VENTS.

REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE SHINGLED ROOF VENTS AT RIDGES.

REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS.
REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.

REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

DOORS

OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD TO MATCH EXISTING.

OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING, PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.

REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.

REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.

REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.

PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER

REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.

PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.

REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC COILS) SEE MEP.

REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE.

PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.

PIPES. REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER

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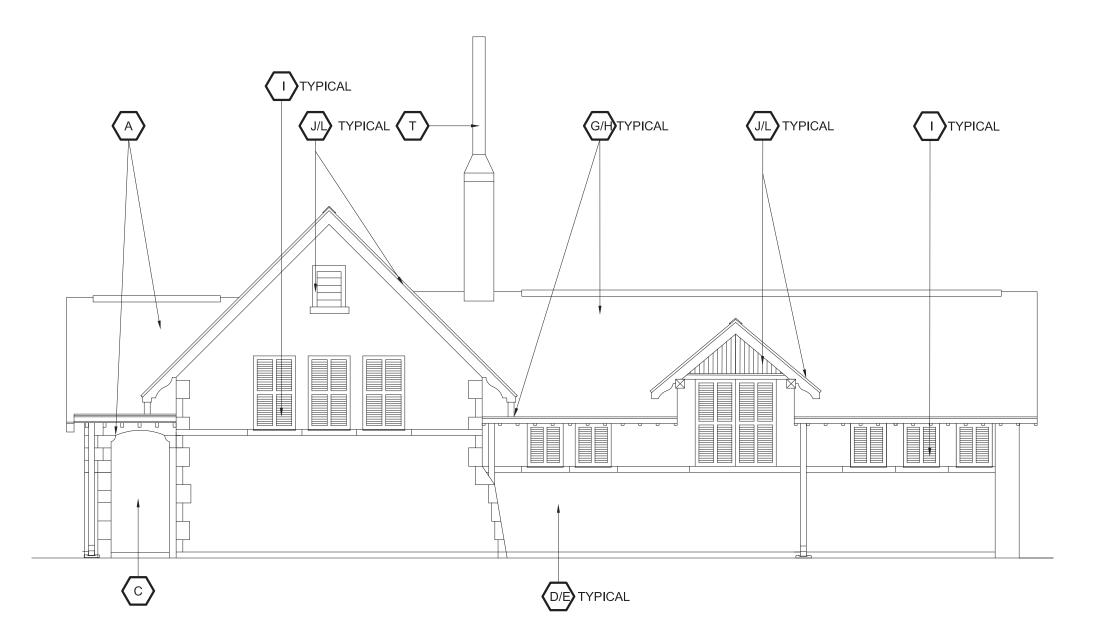
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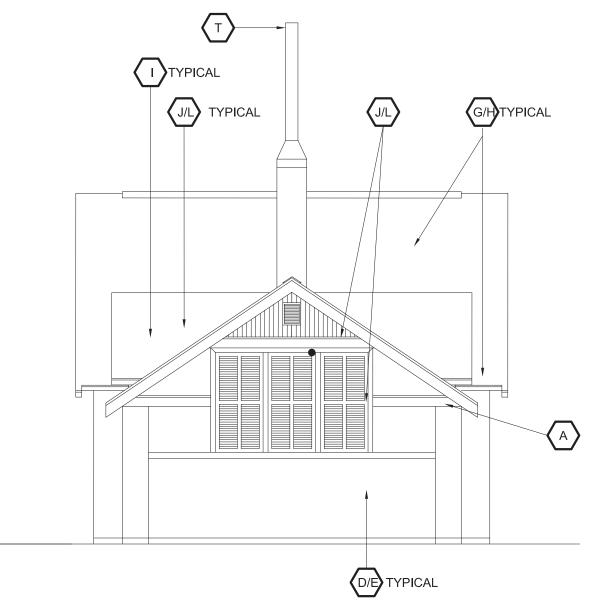
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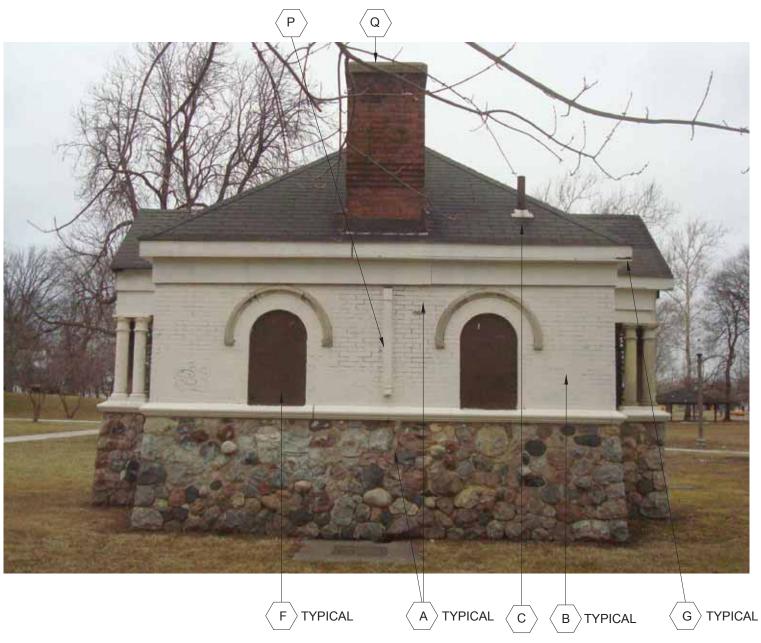
 Project Number: 2018183.00

 Drawn By: JCF
 Approved By: DZ

 Scale: AS SHOWN

Drawing No.

Drawing Title



A305

SOUTH ELEVATION

SCALE: NTS



SHEATHING AT BOTH GABLES TO MATCH EXISTING TO ALLOW FOR FUTURE REPLACEMENT OF DECORATIVE CROWN

 $(D \times E)$

PROVIDE LIP EXTENSION OF PLYWD

GENERAL NOTES:

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
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- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

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- EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
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- CAREFULLY REMOVE NON-ORIGINAL EXTERIOR TRIM BOARDS FOR REPLACEMENT. NOTIFY ARCHITECT TO OBSERVE CONDITION OF ANY HISTORIC TRIM HIDDEN BY BOARDS. REPLACE BOARDS WITH SMOOTH FLAT 1 X __. PRIME AND PAINT WITH WEATHER RESISTANT PAINT, COLOR TBD.

SAME AS BASE BID BUT RESTORE OR REPLACE HISTORIC TRIM TO MATCH EXISTING HISTORIC TRIM. PRIME AND PAINT AS ABOVE.

PREP AND REPAINT ALL REMAINING EXTERIOR PAINTED SURFACES WITH WEATHER RESISTANT PAINT.

EXISTING DOORS TO REMAIN. PREP AND REPAINT WITH WEATHER RESISTANT

PERFORM AN ASSESSMENT OF THE STYLE AND CONDITION OF THE EXISTING DOORS WHICH ARE CURRENTLY COVERED WITH A METAL SHEET. IF DETERMINED

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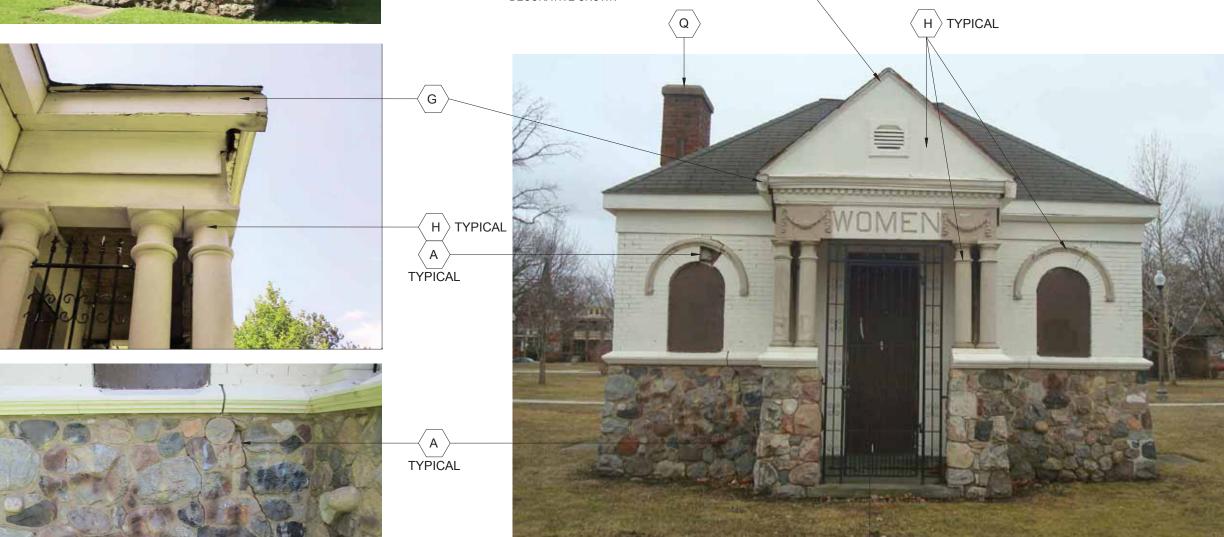
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EAST ELEVATION

SCALE: NTS

A305

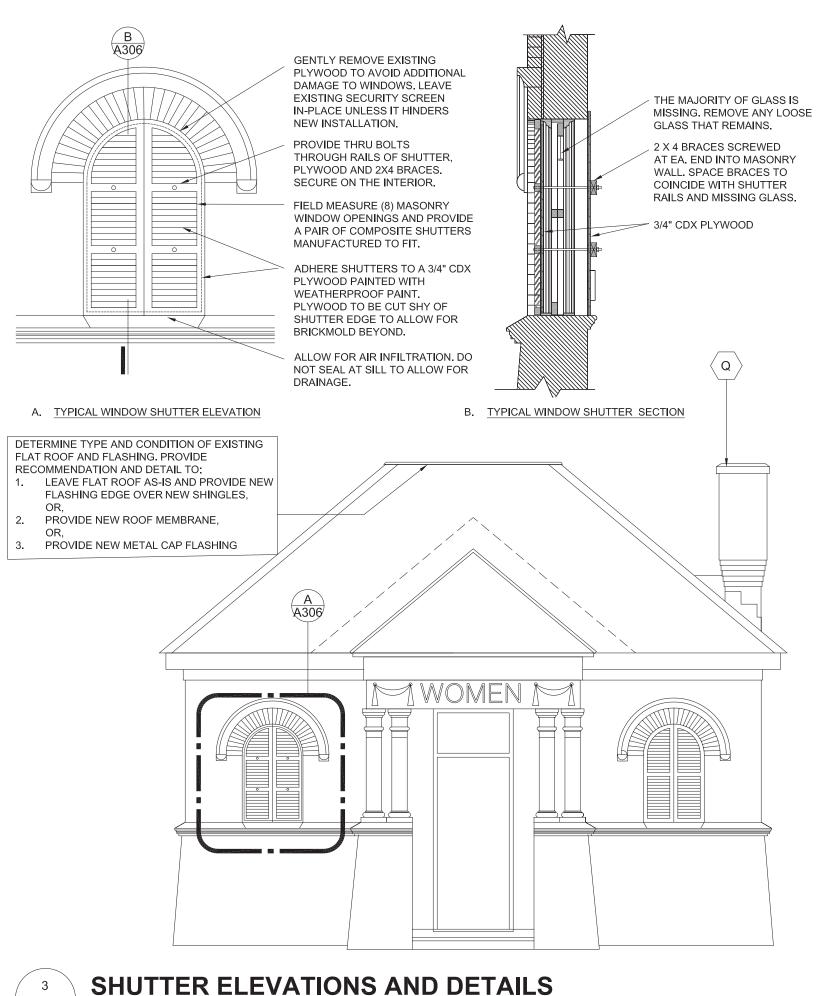




CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title **BLDG D ELEVATIONS**

Drawn By: JCF Approved By: DZ Scale: AS SHOWN



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- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER

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H > TYPICAL



PROVIDE LIP EXTENSION OF PLYWD SHEATHING AT BOTH GABLES TO MATCH EXISTING TO ALLOW FOR FUTURE REPLACEMENT OF DECORATIVE CROWN

> $\langle \mathsf{G} \rangle$ TYPICAL \langle H angle**TYPICAL**

TYPICAL



⟨ F ⟩ TYPICAL

Project Number: 2018183.00 Drawn By: JCF

Scale: AS SHOWN

A306

ISSUE FOR OWNER REVIEW

CLARK PARK

PHASE 1B

Drawing Title

IMPROVEMENT PLAN -

BLDG D ELEVATIONS

Approved By: DZ

01 APRIL 2020

A306 SCALE: NTS

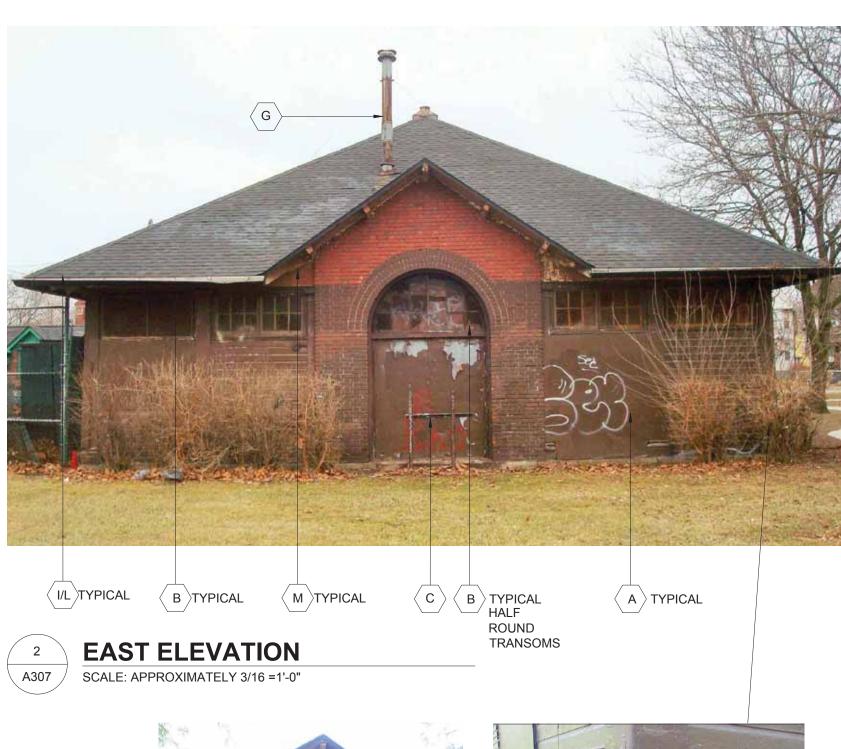
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⟨ B ⟩ TYPICAL

NORTH ELEVATION A306 SCALE: NTS

 $\langle D \rangle$ TYPICAL $\langle F \rangle$ TYPICAL

WEST ELEVATION









KEY NOTES

ORIGINAL DOORS AND TRIM.

ALTERNATIVE 2B:

SOUTH FACADE)

GLASS

DAMAGE TO THE ORIGINAL TRANSOM WINDOWS

ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMAINING STORAGE UNITS AND MATERIALS.

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- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL

CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS

SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO.

TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD.

AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO

FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND

(NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY

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- EXTERIOR ELEVATIONS:
- 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL. COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
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- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS
- FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING
 - REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
 - \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN
 - \langle N \rangle LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED



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SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE

> F > REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.

CLOSE TO ROOF.

REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT;

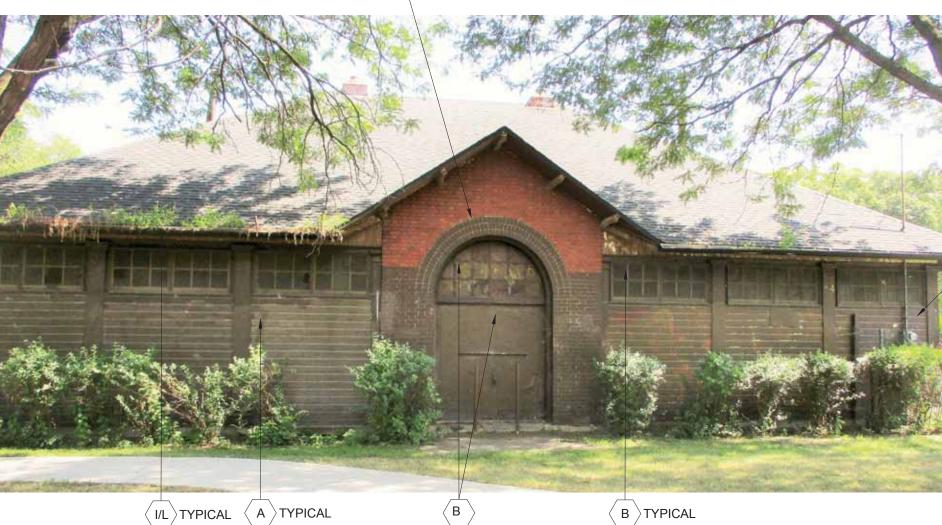
EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.

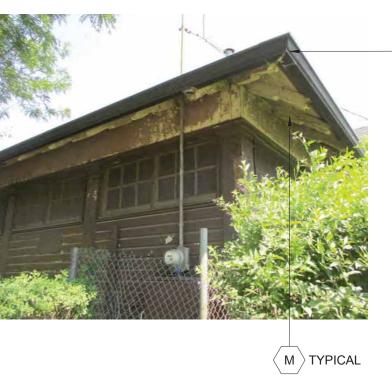
 \langle K \rangle REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS.

REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.

AREAS EXPOSED TO WEATHER.

PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.





 \langle I/L angleTYPICAL

CLARK PARK IMPROVEMENT PLAN -PHASE 1B

01 APRIL 2020

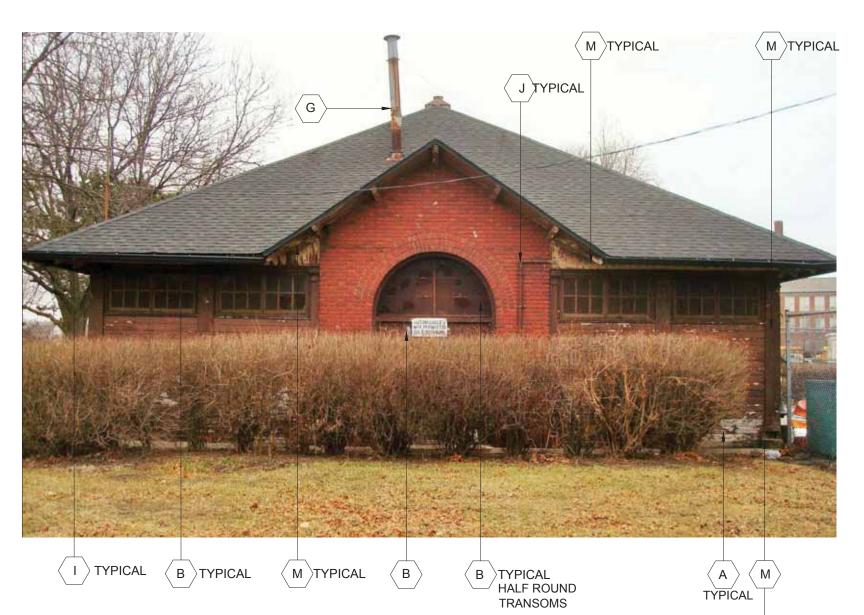
ISSUE FOR OWNER REVIEW

Drawing Title **BLDG E ELEVATIONS**

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ Scale: AS SHOWN

A307

NORTH ELEVATION SCALE: APPROXIMATELY 3/16 =1'-0"







SOUTH ELEVATION

SCALE: APPROXIMATELY 3/16 =1'-0"



GENERAL NOTES:

KEY NOTES

ORIGINAL DOORS AND TRIM.

ALTERNATIVE 2B:

DAMAGE TO THE ORIGINAL TRANSOM WINDOWS

ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMAINING STORAGE UNITS AND MATERIALS.

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF OCCUPANTS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL

CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL

SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO.

TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD.

AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO

FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

(NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY

DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS

COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE

- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD: REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- **EXTERIOR ELEVATIONS:**
- 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE

- REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND PROTRUDING NAILS.
 - ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
 - REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
 - \langle N \rangle LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED

- NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE

- SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING
 - \langle K \rangle REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND
 - REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING
 - \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND
 - PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.



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City of Detroit General Services Department

Registration Seal





CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

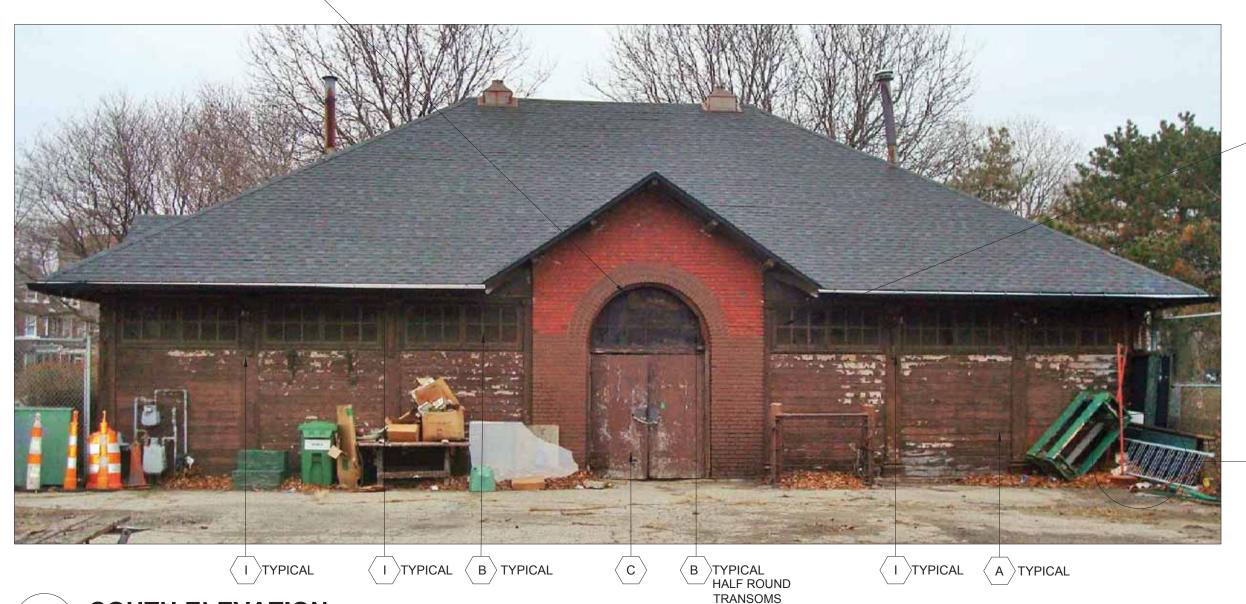
ISSUE FOR OWNER REVIEW

01 APRIL 2020

BLDG E ELEVATIONS

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

A308



GENERAL NOTES:

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND
- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- **EXTERIOR ELEVATIONS:**

BOARDS TO MATCH EXISTING.

TO MATCH EXISTING

 $\langle \kappa \rangle$ DOORS:

0

COILS) SEE MEP.

WHERE INDICATED.

- 9.1 REMOVE ALL SURFACE APPLIED UNUSED CONDUIT, FIXTURES AND **EQUIPMENT FROM EXTERIOR WALLS.**
- 9.2 EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.

REPAIR, OR WHERE SEVERELY DETERIORATED, REPLACE SIDING AND TRIM

OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR

POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE

HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD

MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.

REMOVE LOOSE CAULK AND PAINT, CAULK AROUND ENTIRE BUILDING AND PREP

FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.

AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS,

REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING M > FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND

REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR

REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT;

PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS

REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC

PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS

REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER

FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE

J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.

REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE.

CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.

SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.

PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER

OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH

DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED

CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

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ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B Drawing Title

BLDG C INTERIOR

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ Scale: AS SHOWN

 \langle N angle TYPICAL

N.E. CORNER

A701

PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

- PARK OCCUPANTS.
- PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING

KEY NOTES

EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL. RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH "V" GROOVE PANEL PER DETAIL.

- angle Provide a "V" groove panel to secure the Western opening, per Detail.
- PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.
- REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE D > JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm
- FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS. CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.
- REMOVE EXISTING STACK VENTS.
- REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE SHINGLED ROOF VENTS AT RIDGES.
- REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS. REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.
 - CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS, OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION, REMOVE ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM. SHUTTER DETAIL.



 \langle M \rangle TYPICAL N TYPICAL



WEST WINDOWS

N.W. CORNER

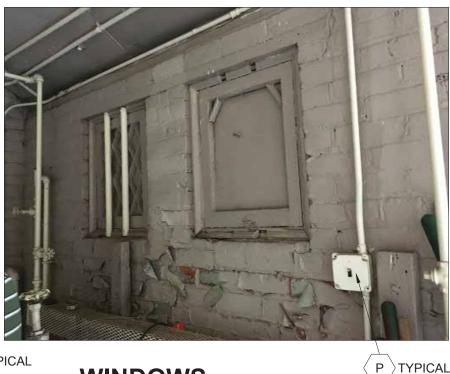
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N > TYPICAL

NORTH WALL A701





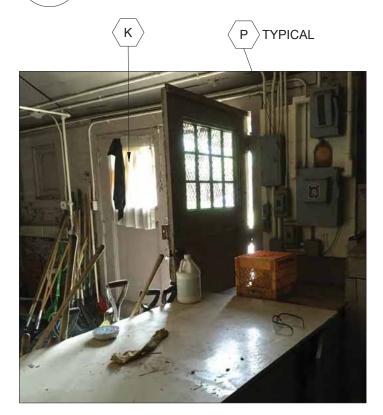


WINDOWS ABOVE WATER SERVICE



A702

WATER SERVICE S.W. CORNER



DOORS IN W. WALL

A702



M TYPICAL



GENERAL NOTES:

EXAMINE ALL CONTRACT DOCUMENTS.

WHICH MAY BE DAMAGED BY SUCH CUTTING

PARK OCCUPANTS.

KEY NOTES

CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES

HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING

CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION

PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE

ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL

BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE

ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO

VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING

DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY

PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.

COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE

WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIER, ETC. TO ENSURE SAFETY OF

PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING

CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

MOLD AND ROOF STRUCTURE PRIOR TO DISMANTLING. DISMANTLE EXISTING

ENTRY; SALVAGE AND CLEAN EXISTING WINDOW, BRICK AND STONE. REMOVE THE ENTRY SLAB AND FOOTINGS AND CONSTRUCT A NEW CONCRETE FOOTING

RECONSTRUCT THE MASONRY ENTRY WALLS USING THE SALVAGED BRICK AND

EXPOSED RAFTERS TO MATCH THE EXISTING CONFIGURATION. NEW CEILING TO

OPTION 1: REFINISH HALF ROUND WINDOW AND RE-INSTALL. PROTECT

WINDOW AND SECURE OPENING WITH HALF-ROUND INFILL SHUTTERS.

OPTION 2: RECONSTRUCT SOUTHERN WALL TO MATCH THE EXISTING CONFIGURATION EXCEPT CREATE A FULL HEIGHT ARCHED OPENING IN LIEU

OF RE-INSTALLING THE HALF-ROUND WINDOW. CREATE A WOOD JAMB WITH

BRICK MOLD TO MATCH THE EXISTING BRICK MOLD. SECURE OPENING WITH

STONE TO MATCH THE ORIGINAL. DUPLICATE THE ROOF STRUCTURE WITH

TO FROST DEPTH. PROVIDE A NEW FLOOR SLAB. SEE STRUCTURAL.

PROVIDE A SECURITY ACCESS DOOR AT THE EASTERN OPENING.

CLEAN BRICK USING THE GENTLEST MEANS POSSIBLE.

REMOVE EXISTING STACK VENTS.

SHINGLED ROOF VENTS AT RIDGES.

SHUTTER DETAIL.

JOINTS WHERE REQUIRED. REFER TO THE NATIONAL PARK SERVICE PRESERVATION BRIEFS: https://www.nps.gov/tps/how-to-preserve/briefs.htm

REPAIR THE FAILED BRICK JOINTS AND TUCK-POINT ALL BRICK AND STONE

FOLLOW THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT

"MASONRY CLEANING GUIDELINES". TEST CLEANING, PAINT, AND GRAFFITI

REMOVE ROOFING IN ENTIRETY AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND REPLACE ALL ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE, VAPOR BARRIER AND ICE SHIELD. PROVIDE

REMOVE WHAT IS LEFT OF THE GUTTERS DOWNSPOUTS AND BRACKETS.

INSECT SCREEN. AT LEAST TWO WINDOWS IN EACH AREA TO ALLOW FOR EXTERIOR AIR VENTILATION. SEE BLDG. D, DETAIL 3 SHT A3.1.2 FOR SIM.

NOT TIE INTO THE SEWERS; PROVIDE CONCRETE SPLASH BLOCKS.

REPLACE WITH NEW IN A COLOR TO MATCH THE TRIM. DOWNSPOUTS SHOULD

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. OBSERVE AND PHOTOGRAPH EXISTING WINDOW CONDITION. REMOVE ANY LOOSE BROKEN GLASS. REPLACE EXTERIOR PLYWOOD WITH NEW LOUVERED SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH

REMOVAL PROCESSES FOR APPROVALS. REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. REMOVE REMAINING PAINT BY APPROVED METHODS.

MATCH EXISTING, FINISHED IN PAINTED BEAD BOARD.

"V" GROOVE PANEL PER DETAIL.

SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES

CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS.

THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.

PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM





A702

UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR

REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES. EXISTING PLASTER OR MASONRY WALLS, PAINTED TILE WAINSCOT, FLOORS,

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EXTERIOR ELEVATIONS

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Detroit, MI 48235



City of Detroit

EXISTING SOUTHERN ENTRY: DOCUMENT AND LABEL THE BRICK, STONE, BRICK REPAIR. OR WHERE SEVERELY DETERIORATED. REPLACE SIDING AND TRIM BOARDS TO MATCH EXISTING.

OPTION 1: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR POTENTIAL FUTURE REPLICATION WHEN BUILDING IS ACTIVATED. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH FLUSH, INSULATED HOLLOW METAL DOORS, FRAME AND NEW HARDWARE. APPLY BRICKMOLD

> OPTION 2: DOCUMENT EXISTING PAIR OF DOORS, JAMB AND BRICKMOLD FOR REPLICATION. REMOVE DOORS, JAMB AND BRICKMOLD AND REPLACE WITH MATCHING. PROVIDE NEW SECURITY HARDWARE INCLUDING KICKPLATE.

- REMOVE LOOSE CAULK AND PAINT. CAULK AROUND ENTIRE BUILDING AND PREP AND REPAINT ALL WOOD SURFACES INCLUDING, SOFFITS, RAFTER ENDS, FASCIAS, TRIMS AND RAKE BOARDS WITH A WEATHER RESISTANT PAINT SYSTEM.
- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, CABINETRY, PLUMBING $race{\mathsf{B}}$ PROVIDE A "V" GROOVE PANEL TO SECURE THE WESTERN OPENING, PER DETAIL. FIXTURES, ACCESSORIES, MIRRORS AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
 - REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
 - PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER

TO MATCH EXISTING

- REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE PER PLANS. RECESS J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL PLANS.
- REMOVE EXISTING HYDRONIC SYSTEM (BOILER, TRIM, PIPING AND HYDRONIC
- REMOVE SHED COMPLETE. REMOVE BOLLARD COMPLETE.
- PREP AND PAINT METAL FLUE AND DECORATIVE METAL WINDOW GUARDS WHERE INDICATED.
- REMOVE AND CAP BELOW GRADE THE EXPOSED, ABANDONED STORM SEWER

General Services Department Registration Seal

ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title BLDG C INTERIOR

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ Scale: AS SHOWN

ig(M ig) TYPICAL

A702

WEST WINDOW A702

NORTHWEST CORNER A702

VIEW NORTH



5 VIEW OF CEILING



GENERAL NOTES:

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- 2. CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- 3. VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- 4. CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS.
 COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE
 WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF
- 5. PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
- 6. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY

KEY NOTES

- A REPAIR THE FAILED BRICK JOINTS AND TUCKPOINT BRICK AND STONE JOINTS WHERE REQUIRED. REPLACE MISSING BRICK WITH BRICK OF SAME SIZE AND TEXTURE. NOTE: BRICK WILL BE RE-PAINTED.
- B LIGHTLY CLEAN EXTERIOR PAINTED BRICK AND STONE SILLS (PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES"). REMOVE ALL LOOSE AND PEELING PAINT WITH WIRE BRUSH. PREP SURFACE AND REPAINT BRICK AND SILLS. COLOR TBD.
- $^{\prime}$ C $^{
 angle}$ REMOVE EXISTING STACK VENT.
- REMOVE ROOFING AND EXAMINE ROOF DECK FOR DAMAGE OR WEAKNESS. REPLACE DECK AS REQUIRED AND ROOFING WITH A DIMENSIONAL 25-YEAR SHINGLE VAPOR BARRIER AND ICE SHIELD.
- \langle F angle PROVIDE SHINGLED RIDGE VENTS 0N GABLE ROOF RIDGES.
- F CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR PLYWOOD WINDOW INFILL PANELS. REPLACE WITH NEW VENTILATING SHUTTER PANELS PER DRAWING. LINE BACK OF SHUTTER WITH INSECT SCREEN. EXISTING BIRD SCREEN TO REMAIN.
- G BASE BID:
 CAREFULLY REMOVE NON-ORIGINAL EXTERIOR TRIM BOARDS FOR
 REPLACEMENT. NOTIFY ARCHITECT TO OBSERVE CONDITION OF ANY HISTORIC
 TRIM HIDDEN BY BOARDS. REPLACE BOARDS WITH SMOOTH FLAT 1 X __. PRIME
 AND PAINT WITH WEATHER RESISTANT PAINT, COLOR TBD.

ALTERNATE 1G: SAME AS BASE BID BUT RESTORE OR REPLACE HISTORIC TRIM TO MATCH EXISTING HISTORIC TRIM. PRIME AND PAINT AS ABOVE.

PREP AND REPAINT ALL REMAINING EXTERIOR PAINTED SURFACES WITH WEATHER RESISTANT PAINT.

| BASE BID: EXISTING DOORS TO REMAIN. PREP AND REPAINT WITH WEATHER RESISTANT

ALTERNATIVE 11

DURING CONSTRUCTION.

PERFORM AN ASSESSMENT OF THE STYLE AND CONDITION OF THE EXISTING DOORS WHICH ARE CURRENTLY COVERED WITH A METAL SHEET. IF DETERMINED TO BE ORIGINAL TO THE BUILDING, RESTORE THE TRANSOM, DOOR AND FRAME AND PROVIDE NEW HARDWARE. SECURE THE OPENINGS WITH PAINTED PLYWOOD PANELS UNTIL DOORS CAN BE REINSTALLED.

UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING

CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR

EXISTING PLASTER WALLS, PAINTED TILE WAINSCOT, FLOORS, CEILINGS, EAVES

REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING (WITHOUT SCRATCHING

WAINSCOT TILE). CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT

MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY

REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.

AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT.

OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.

EXISTING CAULKING MAY CONTAIN HAZARDOUS MATERIAL, COORDINATE

CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE

CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S

REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

REMOVAL WITH ABATEMENT CONTRACTOR. RE-CAULK.

- REMOVE ALL INTERIOR PARTITIONS, EQUIPMENT, PLUMBING FIXTURES AND PIPING FLUSH TO WALLS, FLOOR AND CEILING. COVER RESULTING HOLES WITH METAL COVER PLATES.
- REPAIR DAMAGED PLASTER ON WALLS AND CEILING. PREP ALL INTERIOR SURFACES (SEE NOTE 8) AND REPAINT. COLOR TBD.
- PROVIDE A BRACKET MOUNTED FIRE EXTINGUISHER
- M REPLACE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT. FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE ELECTRICAL.
- N PROVIDE EXTERIOR LED WALL MOUNTED LIGHT FIXTURE ABOVE DOORS. RECESS J-BOX. NO EXPOSED CONDUIT ON EXTERIOR. SEE ELECTRICAL.
- O PROVIDE A FRAMED WIRE MESH INSECT/BIRD SCREEN AT CEILING OPENING TO
- P REMOVE DOWNSPOUT
- DETERMINE IF CHIMNEY IS PROPERLY SEALED AGAINST RAIN INFILTRATION (BUT IS NOT AIR TIGHT TO ALLOW FOR VENTILATION). IF NOT, SEAL WITH METAL SHEET AND BUTYL RUBBER CAULK AROUND THREE SIDES.

⟨ J ⟩ TYPICAL

AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

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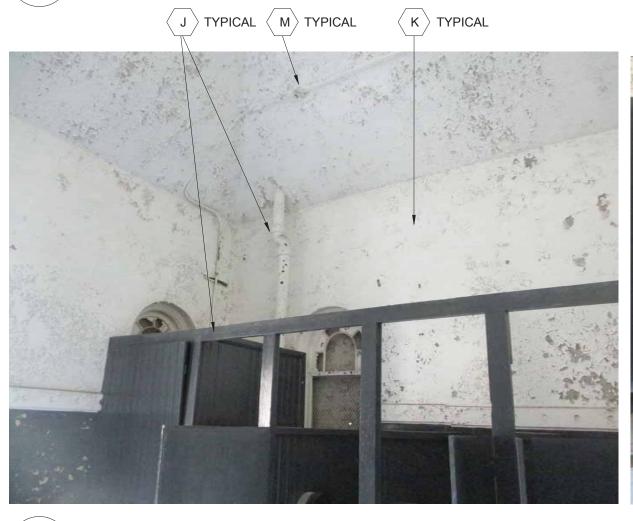


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General Services Department

Registration Seal

4 A703

VIEW SE - SOUTH WALL







1 VIEW TOWARDS SW CORNER

ISSUE FOR OWNER REVIEW 01 APRIL 2020

CLARK PARK
IMPROVEMENT PLAN PHASE 1B
Drawing Title

BLDG D INTERIOR

Project Number: 2018183.00

Drawn By: JCF Approved By: DZ

Scale: AS SHOWN

Drawing

A703

3 VIEW TOWARDS NW CORNER

A703

VIEW NORTH - NE CORNER



A704

VIEW S.E.



GENERAL NOTES:

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
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- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.
- 6. CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY

AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.

- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- 10. CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION
- 11. CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

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KEY NOTES

- CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE ORIGINAL DOORS AND TRIM.
- CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID DAMAGE TO THE ORIGINAL TRANSOM WINDOWS.

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO. TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD. ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS SECURE. PREP, PAINT AND CAULK. CLEAN GLASS.

ALTERNATIVE 2B:

TYPICAL

B)

SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN GLASS

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

- REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND SOUTH FACADE)
- REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS REMAINING STORAGE UNITS AND MATERIALS.

REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.

SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE

NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE

- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS CLOSE TO ROOF.
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- \langle K \rangle REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND PROTRUDING NAILS. REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING
- ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
- \langle M \rangle PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN AREAS EXPOSED TO WEATHER.
- \langle N \rangle LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.



VIEW WEST

 $race{}{}$ M $race{}{}$ TYPICAL



NORTH DOORS

B TYPICAL

N.E. CORNER



TYPICAL (B) TYPICAL

TYP. SECTIONAL DOOR

ISSUE FOR OWNER REVIEW 01 APRIL 2020 **CLARK PARK IMPROVEMENT PLAN -**

BLDG E INTERIOR

Project Number: 2018183.00 Approved By: DZ Drawn By: JCF Scale: AS SHOWN

A704

PHASE 1B

Drawing Title



VIEW EAST

A704

 $\langle D \rangle$

VIEW N.N.W.

A704

A704

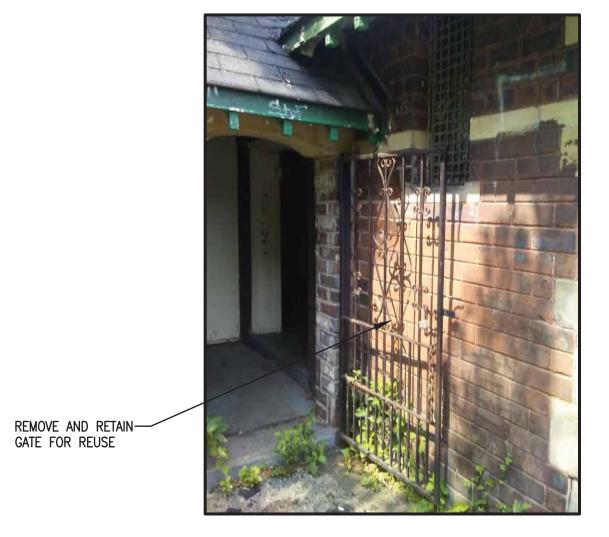


PHOTO 2

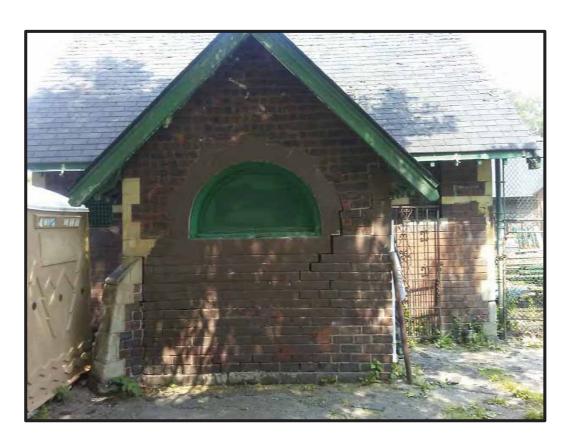
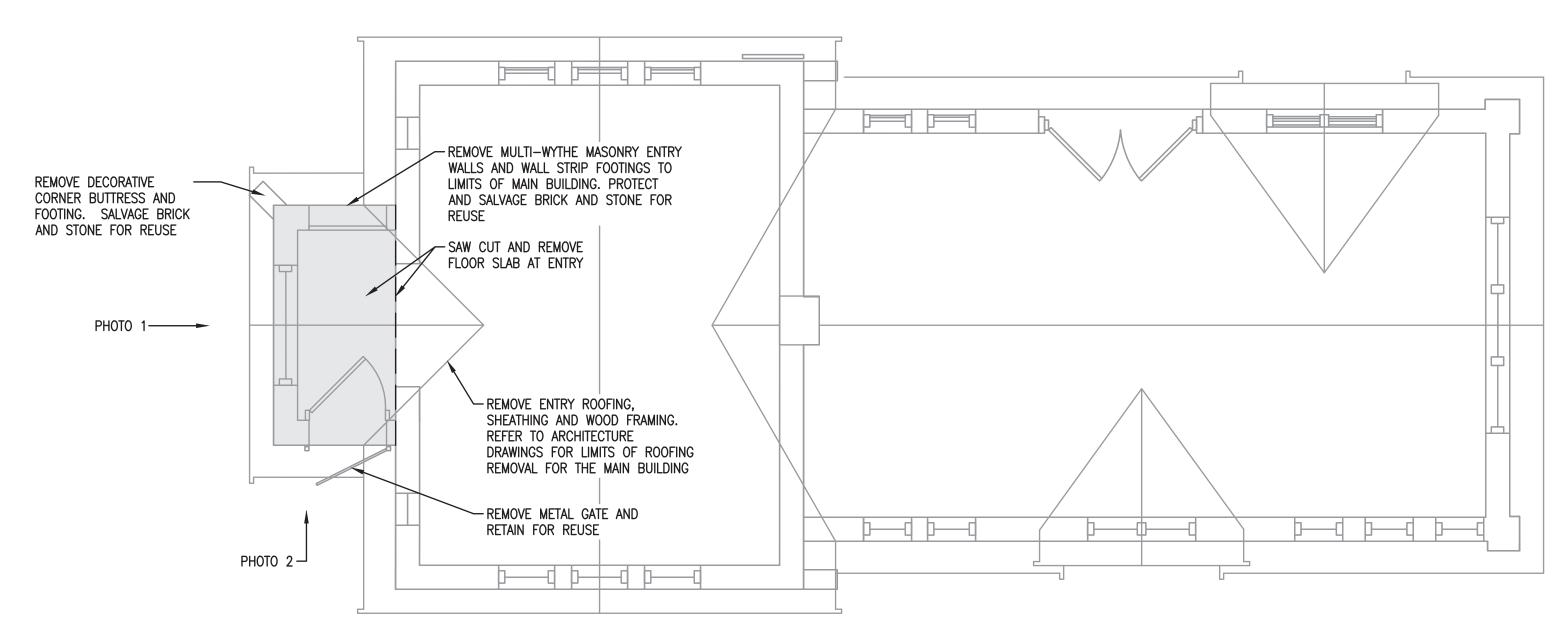


PHOTO 1



MEN'S RESTROOM DEMO PLAN

1/4" = 1'-0"



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CLARK PARK IMPROVEMENT PLAN

MEN'S RESTROOM DEMO PLAN AND DETAILS

Project Number: OHM 0880190030 Drawn By: SM Approved By: MS Scale: AS SHOWN

SD-101



NTS





PHOTO 3 NTS





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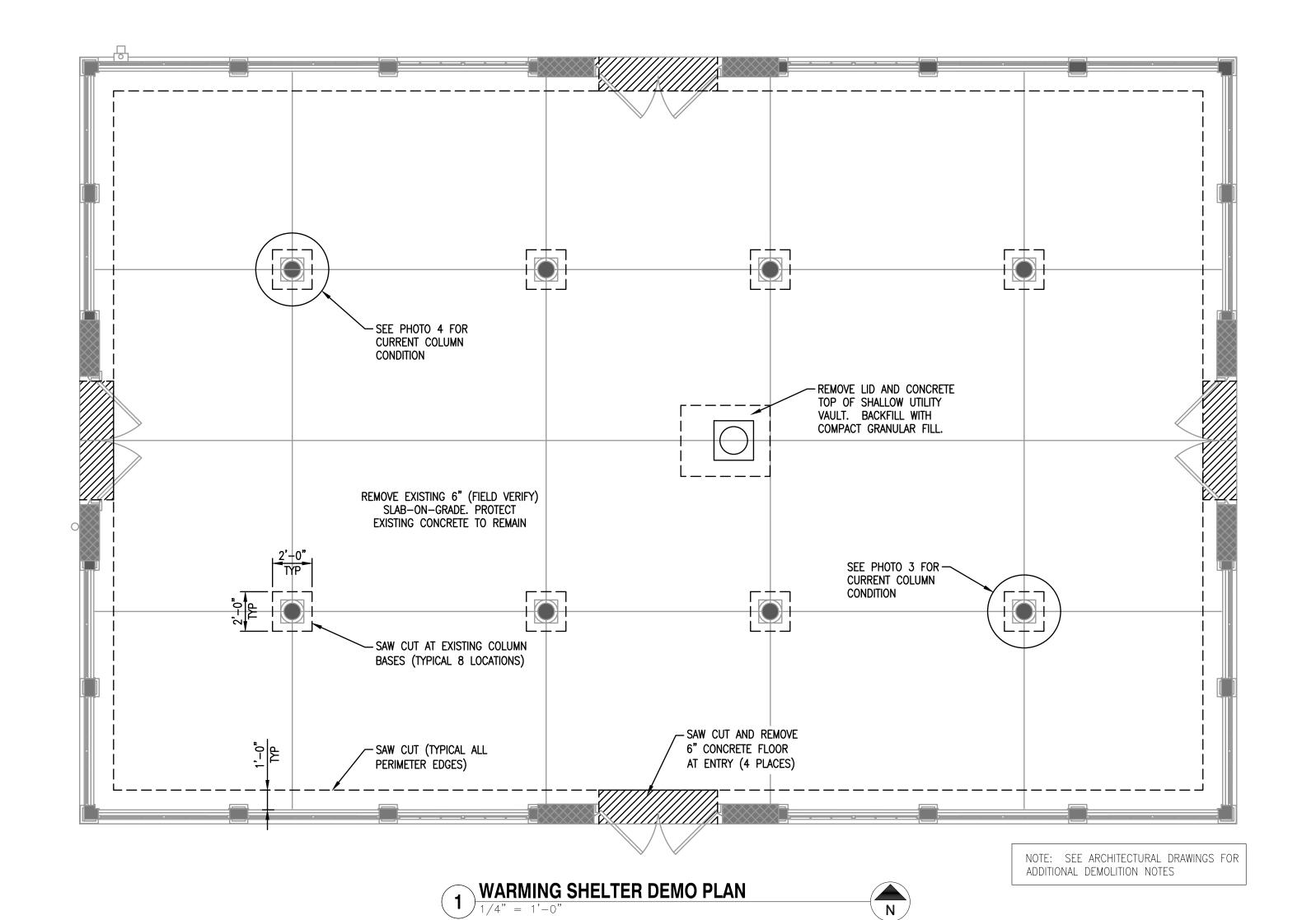
CLARK PARK IMPROVEMENT PLAN

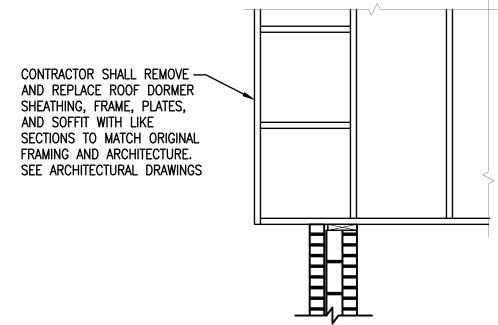
WARMING SHELTER DEMO PLAN AND DETAILS

Project Number: OHM 0880190030 Drawn By: SM Approved By: MS

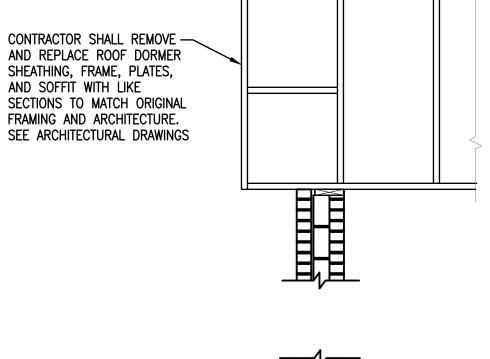
Scale: AS SHOWN

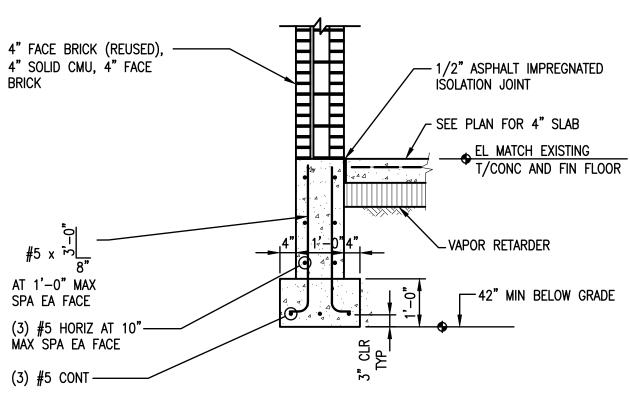
SD-102

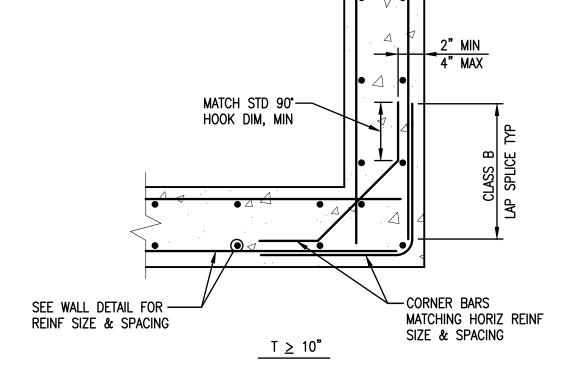












TYPICAL CONC WALL CONST AT CORNER



FIELD CUT 1/2 OF —

WWF WIRES AT JOINT

THICKNESS AND

REINFORCEMENT

SEE PLAN FOR SLAB

GRANULAR DRAINAGE COURSE

TYPICAL SLAB CONTROL JOINT

1/8" x T/4 DEEP SAW CUT

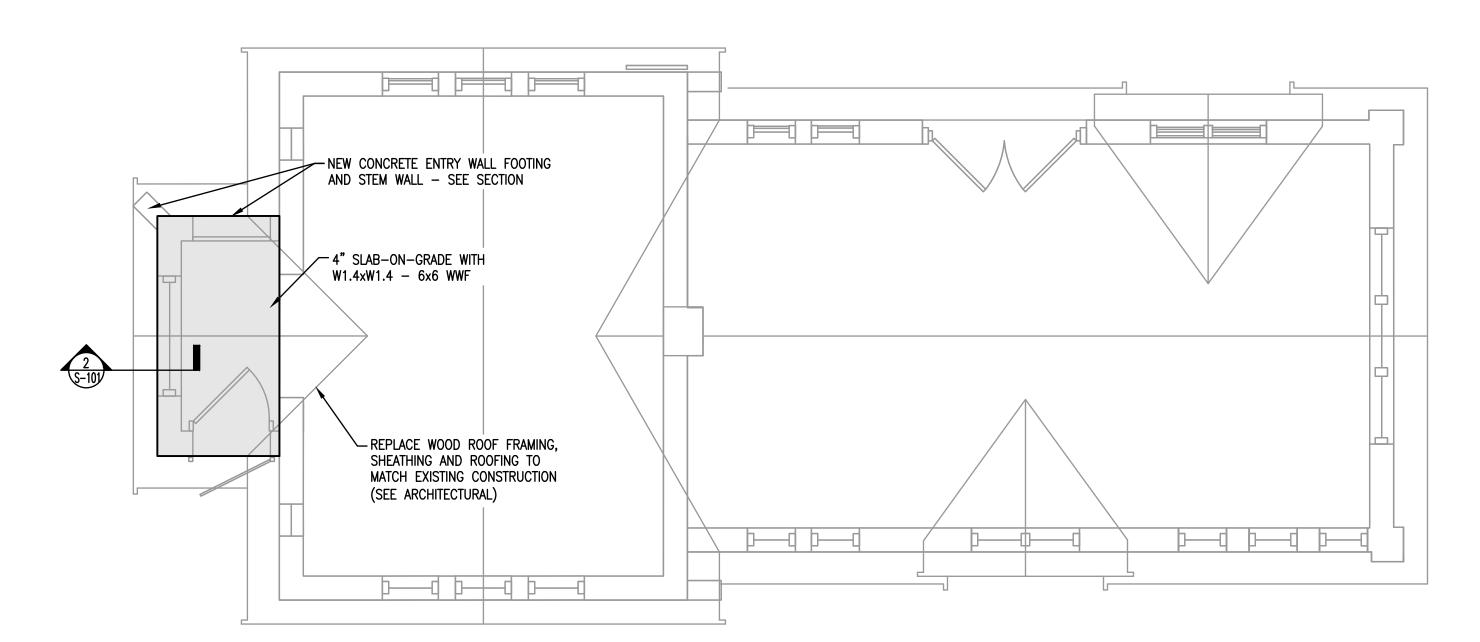
AGGREGATE.

CONTROL JOINT. SAW CUT AS SOON

VAPOR RETARDER

AS POSSIBLE WITHOUT DISLODGING









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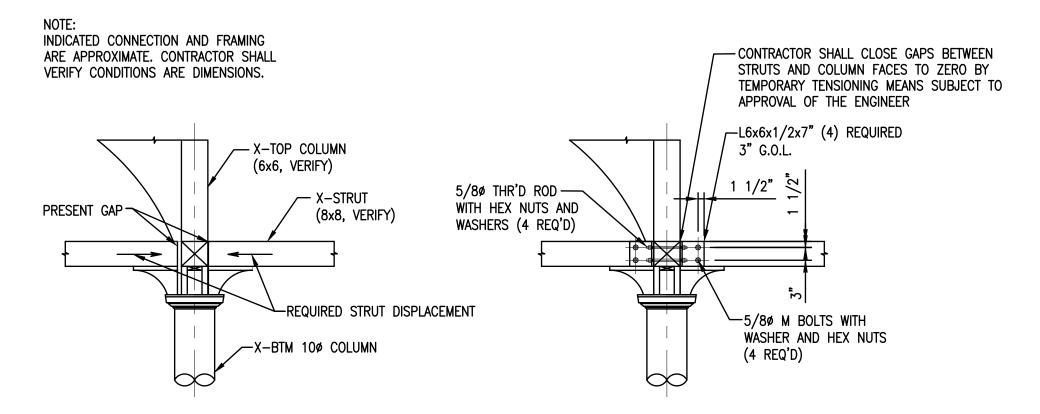


CLARK PARK IMPROVEMENT PLAN

MENS RESTROOM CONSTRUCTION PLAN AND DETAILS

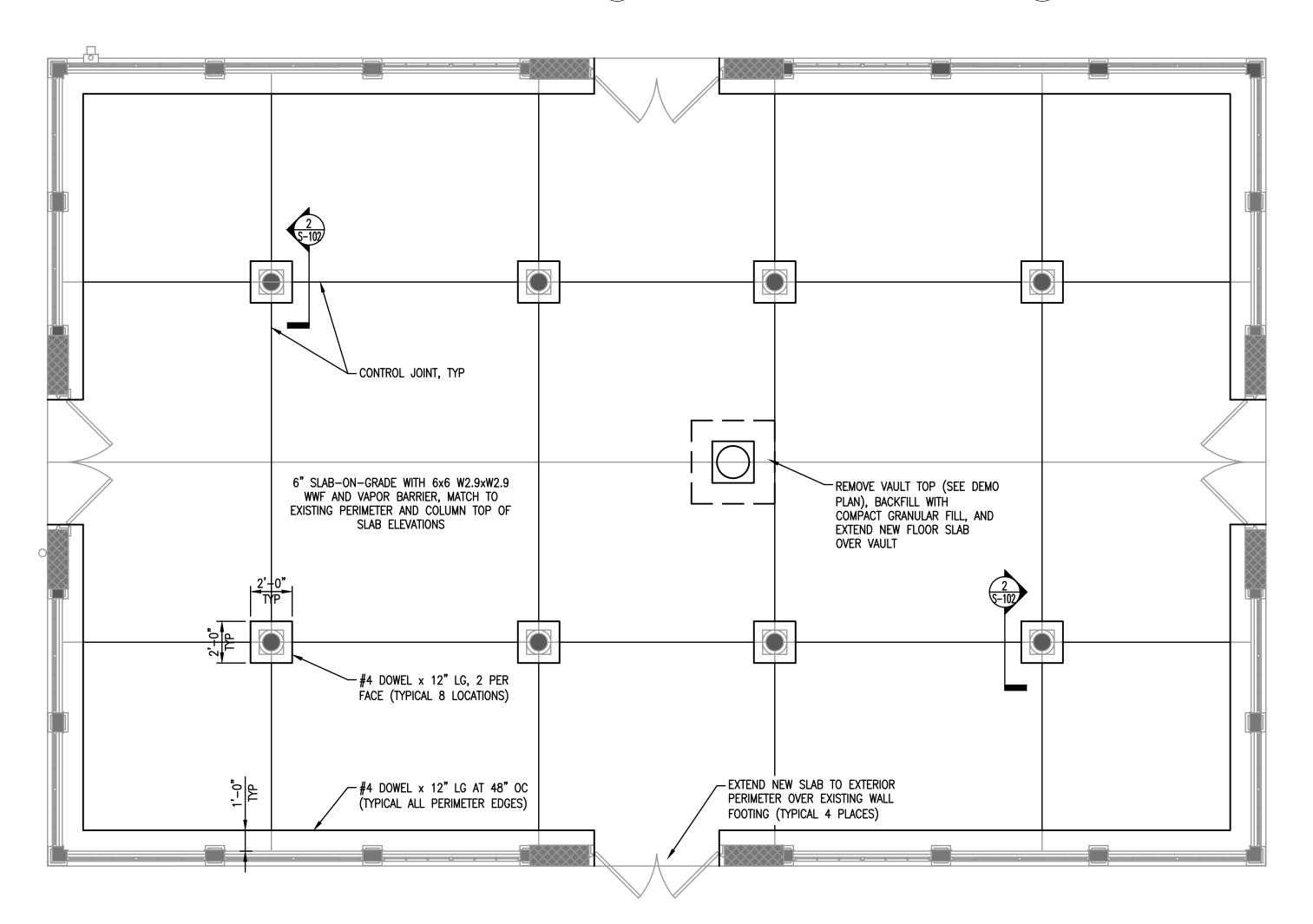
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S-101



EXISTING COLUMN DETAIL1/2"=1'-0"









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CLARK PARK IMPROVEMENT PLAN

Drawing Title

WARMING SHELTER
CONSTRUCTION PLAN AND DETAILS

 Project Number: OHM 0880190030

 Drawn By:
 SM
 Approved By:
 MS

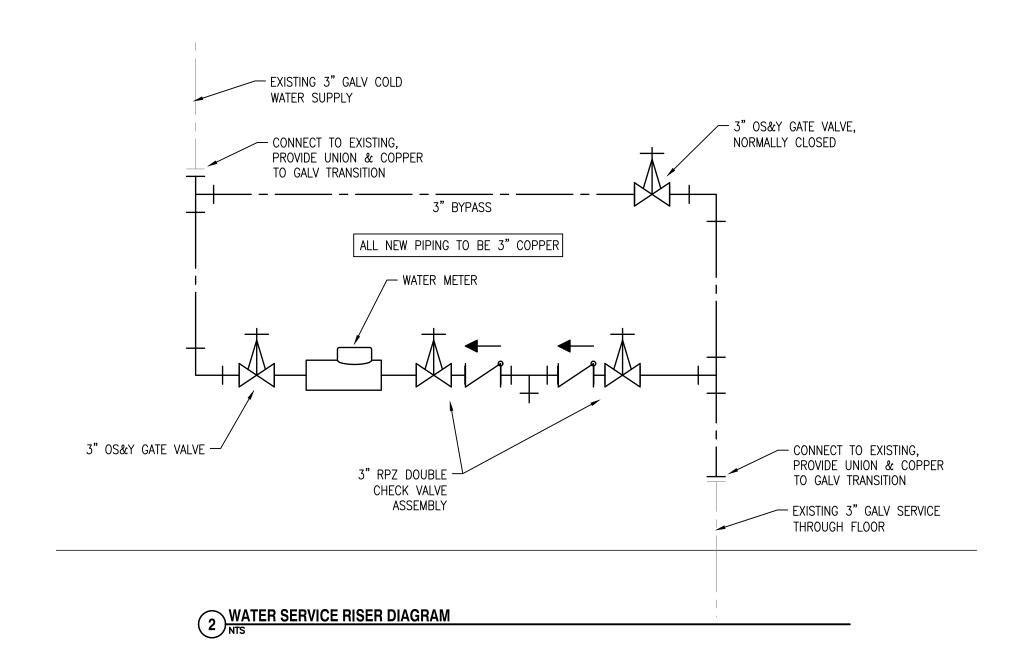
 Scale:
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Drawing No

S-102

FAN SCHEDULE											
MARK SERVICE LOCATION DRIVE CFM FAN RPM (5 WAS) MOTOR MANUFACTURER MODEL REMARKS					REMARKS						
MAKK	SERVICE	LOCATION TYPE CFM FAN RPM (in wg) HP		HP	ELECT	MANUFACTURER MODEL		KEMAKKS			
EF-1	RESTROOMS	ATTIC	BELT	675	1550	0.5	1/4	115/60/1	GREENHECK	BSQ-90	NOTE #1
EF-2	HC TOILET	CEILING	DIRECT	75	950	0.7	80 W	115/60/1	GREENHECK	SP-B110	NOTE #1
NOTE #1:	NOTE #1: FAN OPERATION TO BE TIED TO LIGHTS / MOTION SENSOR										

GRA	VITY RELI	EF HOOD	SCHE	DULE							
MARK SERVICE LOCATION TYPE CFM THROAT SIZE VELOCITY APD (form)		MANUFACTURER	MODEL	DEMADIZO							
WARK	IARK SERVICE LOCATIO	LOCATION	IIFE	CFM	WIDTH	DEPTH	(fpm)	(in wg)	MANUFACTURER	N MODEL	REMARKS
GR-1	EF-1	ROOF	EXHAUST	675	12	12	675	0.11	GREENHECK	FGR-12x12	NOTE #1
NOTE #1: PROVIDE WITH MOTORIZED DAMPER TIED TO FAN OPERATION											



DIFFUSER & GRILLE SCHEDULE									
								CF	-M
MARK	SUPPLY-DIFFUSER	Return-grille	EXHAUST-GRILLE	SIZE	MANUF	MODEL	QTY	EACH	TOTAL
MENS			X	12X12	PRICE	80	1	450	450
WOMENS			Х	12X12	PRICE	80	1	225	225

MECHANICAL PLUMBING KEY NOTES

- 1) FURNACES & DUCT WORK IN ATTIC SPACE, CLEAN & VACUUM ALL EXISTING SUPPLY & RETURN DUCTS, GRILLES & DIFFUSERS. SEE MP201 FOR REFERENCE DRAWINGS
- (2) REPLACE WATER SERVICE RISER, COORDINATE WITH CITY FOR SERVICE SHUT OFF.
- (3) COORDINATE ROOF PENETRATION AND PATCHING WITH OTHER TRADES

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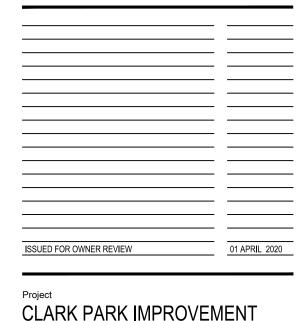
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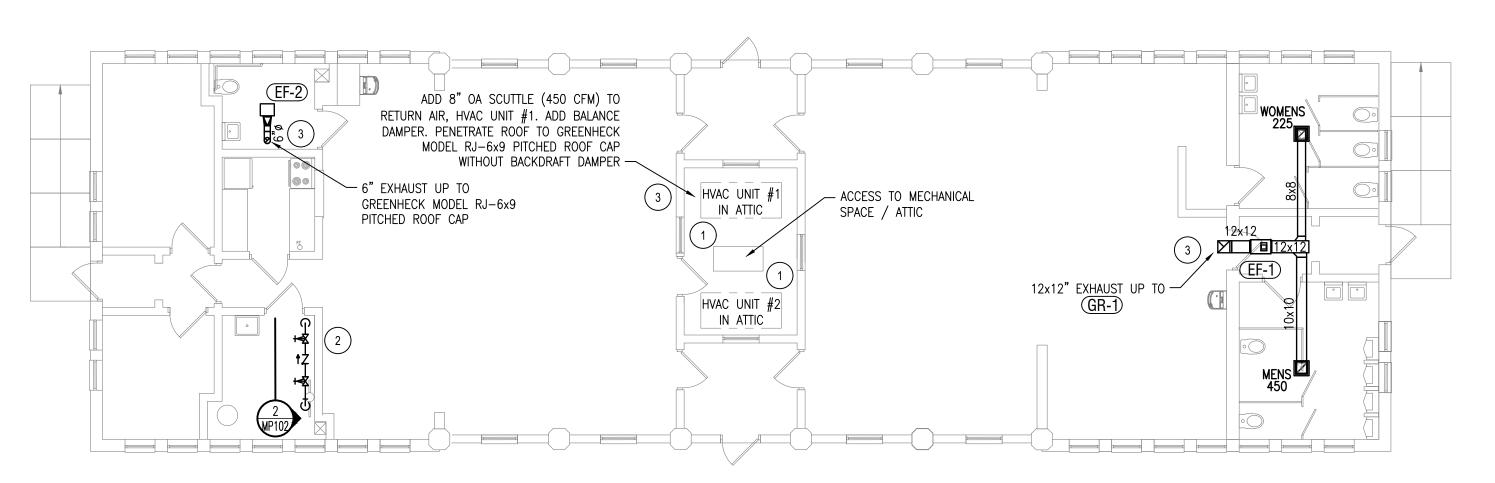
CLARK PARK IMPROVEMENT PLAN

Drawing Title REC CENTER MECHANICAL & PLUMBING PLANS

REC CENTER

Project Number: 2018183.00 Drawn By: DK Approved By: ST Scale: AS SHOWN

MP102

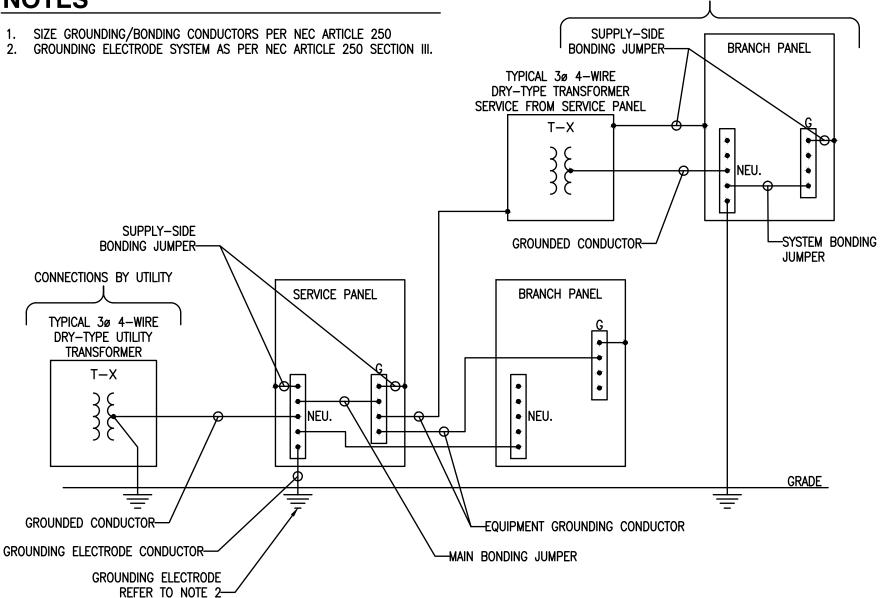


ELEC. ABBREVIATIONS

	OI ADDITE TIAT	10110					
_SPECI/	AL	F		М		T	
Ø	PHASE	FA	FIRE ALARM	MCB MDP	MAIN CIRCUIT BREAKER MAIN DISTRIBUTION PANEL	TEL TRANS	TELEPHONE TRANSFORMER
Α		G		MH	METAL HALIDE		TELEVISION
Α	AMPERE	GFCI	GROUND FAULT CIRCUIT	MISC	MISCELLANEOUS	TV TYP	TYPICAL
AFF	ABOVE FINISHED FLOOR		INTERRUPTER	MLO	MAIN LUG ONLY	IIF	ITPICAL
		GND	EQUIPMENT GROUND	MTD	MOUNTED	U	
С						UGE	UNDERGROUND ELECTRIC
С	CONDUIT	Н		N		UH	UNIT HEATER
CAT	CATALOGUE	HID	HIGH INTENSITY DISCHARGE	NEU	NEUTRAL	UNO	UNLESS NOTED OTHERWISE
CB	CIRCUIT BREAKER	HPS	HIGH PRESSURE SODIUM	NO	NUMBER		
CMU	CONCRETE MASONRY UNIT	HVAC	HEATING VENTILATION & AIR			٧	VOLT
CO.	COMPANY		CONDITIONING	Р		V	VOLT AMPERES
CUH	Cabin Unit Heater	K		PL	PILOT	VA	VOLT-AMPERES
		K	KEY OPERATED DEVICE			w	
Ε		KVA	KILOVOLT-AMPERES	R			WIRE
EC	ELECTRICAL CONTRACTOR	KW	KILO-WATTS	RECP	RECEPTACLE	WNC	· · · · · -
EF	EXHAUST FAN	1411	MES WITTS			WNC	WIRELESS NETWORK CONTROLLER
EWC	ELECTRIC WATER COOLER	1				WP	WEATHERPROOF
		LED	LIGHT EMITTING DIODE				
			2.3 2				

SEPARATELY DERIVED SYSTEM

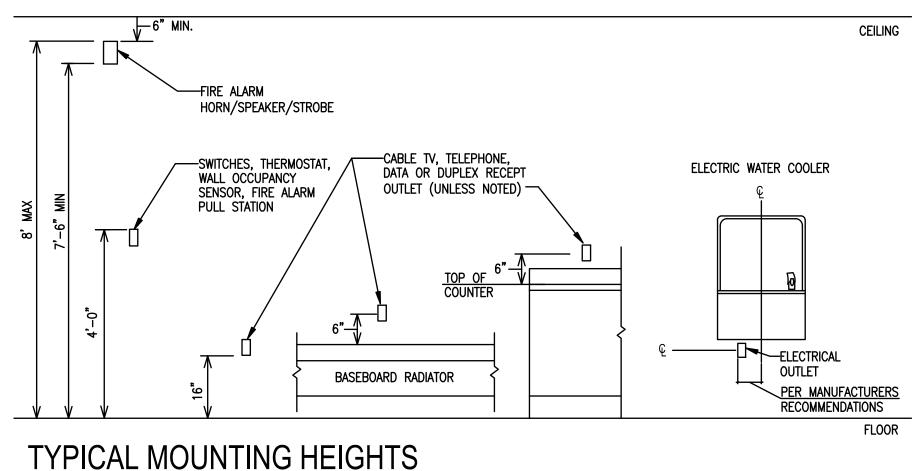
NOTES



GROUNDING BONDING DIAGRAM

NO SCALE

NO SCALE



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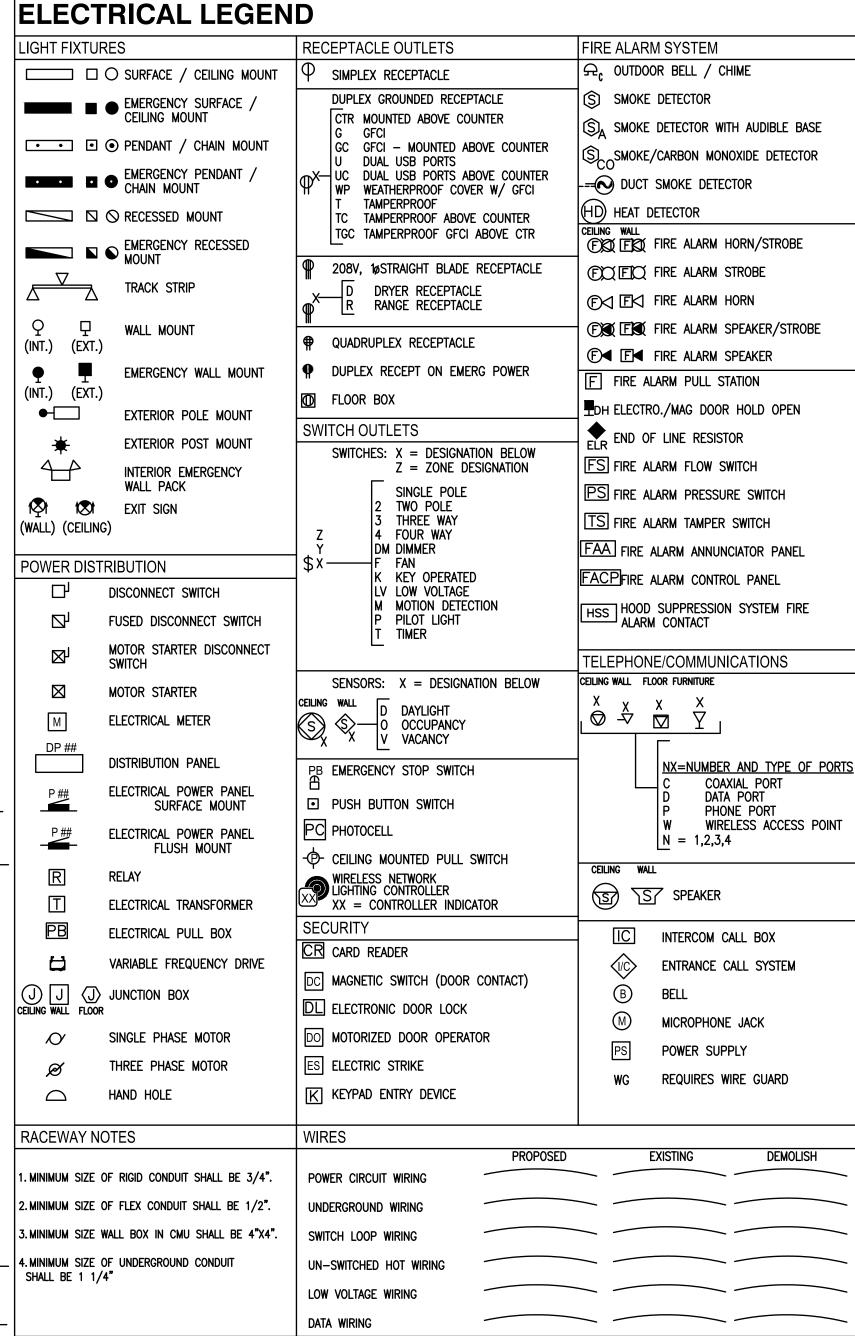
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CLARK PARK IMPROVEMENT PLAN

Drawing Title GENERAL ELECTRICAL **INFORMATION**

Project Number: 2018183.00 Approved By: LM Drawn By: RD Scale: AS SHOWN

E-001



GENERAL DEMOLITION NOTES

- 1. DRAWINGS SHOW MAJOR DEMOLITION ONLY; THE CONTRACTOR SHALL PROVIDE ALL DEMOLITION FOR THE COMPLETION OF THE WORK WHETHER EXPLICITLY SHOWN OR NOT.
- 2. THE OWNER RESERVES THE RIGHT TO KEEP ANY REMOVED EQUIPMENT OR MATERIALS. ALL DEMOLITION DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED LANDFILL.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TEMPORARY EXTERIOR OPENINGS MADE FROM DEMOLITION WORK TO ENSURE THEY ARE WEATHER TIGHT AT THE END OF EACH DAY.
- 4. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ALL PATCHING WHERE CONDUITS AND JUNCTION BOXES ARE REMOVED UNLESS OTHERWISE NOTED.
- 5. ANY JUNCTION BOXES REMAINING IN PLACE THAT HAVE HAD DEVICES REMOVED ARE TO RECEIVE BLANK COVER PLATES MATCHING PROJECT REQUIREMENTS.
- 6. CONDUITS AND CONDUCTORS ABANDONED AS PART OF THE WORK SHALL BE DEMOLISHED WHERE NOT BURIED IN WALLS OR UNDERGROUND.

 CAP OR PLUG ANY ABANDONED CONDUITS THAT REMAIN.
- 7. WHERE DEVICES ARE REMOVED FROM THE MIDDLE OF A CIRCUIT, THE CONTRACTOR SHALL BE RESPONSIBLE TO RE—ROUTE THE CIRCUIT TO MAINTAIN CIRCUIT INTEGRITY TO REMAINING DEVICES.
- 8. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES FOUND IN EXISTING CONDITIONS.
- . CONTRACTOR TO COORDINATE WITH THE OWNER OR ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE OF SHUTTING OFF OR DISCONNECTING ANY UTILITIES. CONTRACTOR TO ENSURE ALL EXISTING SYSTEMS TO REMAIN ARE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT UNLESS OTHERWISE DIRECTED BY THE ENGINEER/OWNER.
- 10. CONTRACTOR TO TAKE ALL PRECAUTIONS NECESSARY TO PROTECT ITEMS NOT INTENDED TO BE DEMOLISHED AND TO RESTORE TO EXISTING CONDITIONS ANY ITEMS DAMAGED THAT WERE NOT INTENDED TO BE DEMOLISHED.

ELECTRICAL DEMOLITION KEY NOTES

- (E.1) DISCONNECT AND REMOVE ELECTRICAL METER.
- E.2 DISCONNECT AND REMOVE EXISTING LIGHT SOCKETS, CONDUCTORS AND RACEWAY.
- E.3 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES AND CONDUCTORS. CONDUIT EXISTING TO REMAIN.
- DISCONNECT AND REMOVE EXISTING LIGHTING, CONDUCTORS AND CONDUIT.
- DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL DISTRIBUTION EQUIPMENT.

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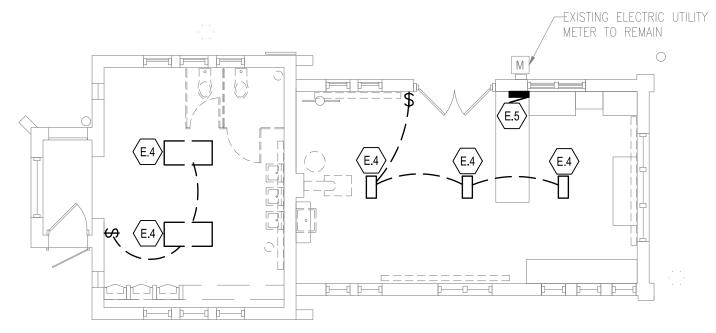
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Detroit, MI 48235
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MEP ENGINEER
OHM Advisors
1145 Griswold St, Suite 200
Detroit, MI 48226
P 313 481 1250



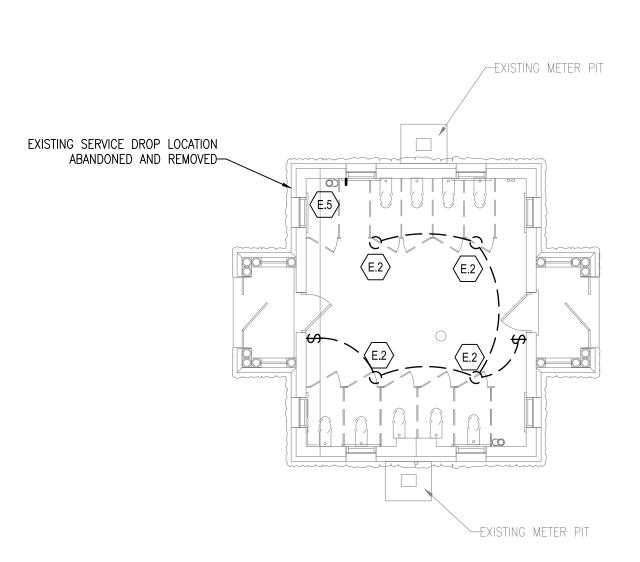
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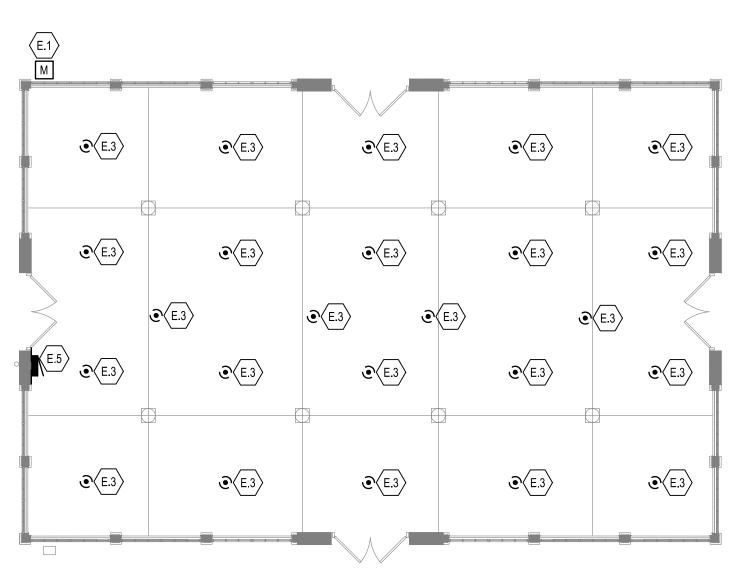
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2 BLDG C - ELECTRICAL DEMOLITION PLAN VIEW







1 BLDG E - ELECTRICAL DEMOLITION PLAN VIEW



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Project
CLARK PARK IMPROVEMENT
PLAN

Drawing Title
BLDGS C, D & E ELECTRICAL
DEMOLITION PLANS

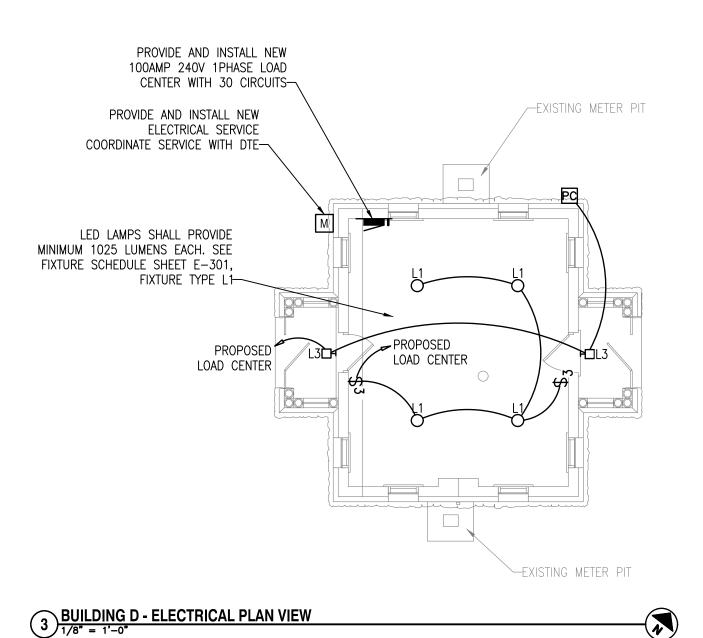
Project Number: 2018183.00

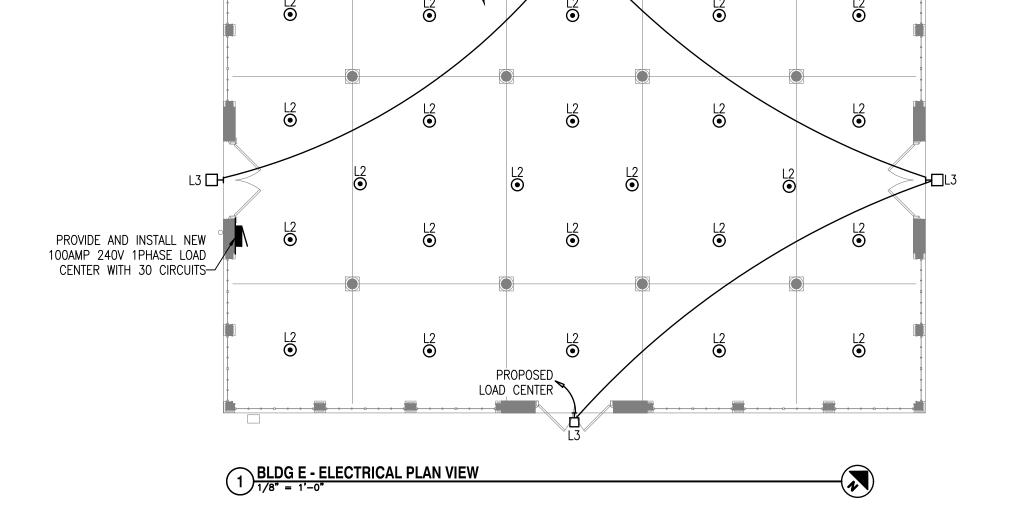
Drawn By: RD Approved By: LM

Scale: AS SHOWN

rawing No.

ED101





PROVIDE AND INSTALL NEW 240V 1PHASE

PROPOSED LOAD CENTER

100AMP 30 CIRCUIT LOAD CENTER-

PROVIDE SURFACE MOUNT LED 2x4.

FIXTURE TYPE L4-

PROPOSED -LOAD CENTER

2 BLDG C - ELECTRICAL PLAN VIEW

PROVIDE 1" CONDUIT IN NEW SLAB FOR FUTURE RECEPTACLES.

COORDINATE ROUGH-IN

LOCATIONS WITH OWNER-

MINIMUM 1450 LUMENS PER FIXTURE. SEE FIXTURE SCHEDULE, SHEET 301,

EXISTING FIXTURE LOCATION-

PROVIDE AND INSTALL NEW

COORDINATE SERVICE WITH DTE-

ELECTRICAL SERVICE.

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Client

-EXISTING ELECTRIC UTILITY

METER TO REMAIN

PROPOSED

LOAD CENTER

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CLARK PARK IMPROVEMENT
PLAN

Drawing Title
BLDGS C, D & E ELECTRICAL
PLANS

Project Number: 2018183.00

Drawn By: RD Approved By: LM

Scale: AS SHOWN

Drawing N

E-101

LIGHT FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	CATALOG #	LAMPS	WATTS	REMARKS
		PHILLIPS	14A19/850/ND 120			
L1	LED LAMP	_	_	LED	14 WATTS	-
		_	_			
		ANP LIGHTING	VW516 M009LD D W 40K RTC UNV ST 100GLPRGUPC	ST		BOTTOM OF SHADE TO BE LEVEL
L2	LED PENDANT LIGHT	_	-	LED	11 WATTS	WITH BOTTOM OF BEAM. STEM LENGTHS WILL VERY AND SHALL BE
		_	-			VERIFIED IN FIELD
		LITHONIA	WST LED P2 40K VF MVOLT		30 WATTS	
L3	LED EXTERIOR WALLPAK	_	-	LED		-
		_	_			
		LITHONIA	CPX 2x4 4000LM 40K M2			
L4	2' X 4' LED SURFACE MOUNT	_	_	LED	40 WATTS	-
		_	_			
		LITHONIA	CLX L24 1500LM SEF L/LENS MVOLT 40K 80CRI WH		11 WATTS	-
L5	2' CHAIN HUNG STRIP LIGHT	_	-	LED		
		_	_			

NOTE: REFER TO PLAN FOR CIRCUITING. WALL MOUNTED MOTION SENSOR

LINE 1 (HOT) 120 VAC BLACK LINE 2 (HOT) 120 VAC FAN MOTOR LIGHTS NEUTRAL

1 EXHAUST FAN CONTROL DIAGRAM
1/8" = 1'-0"

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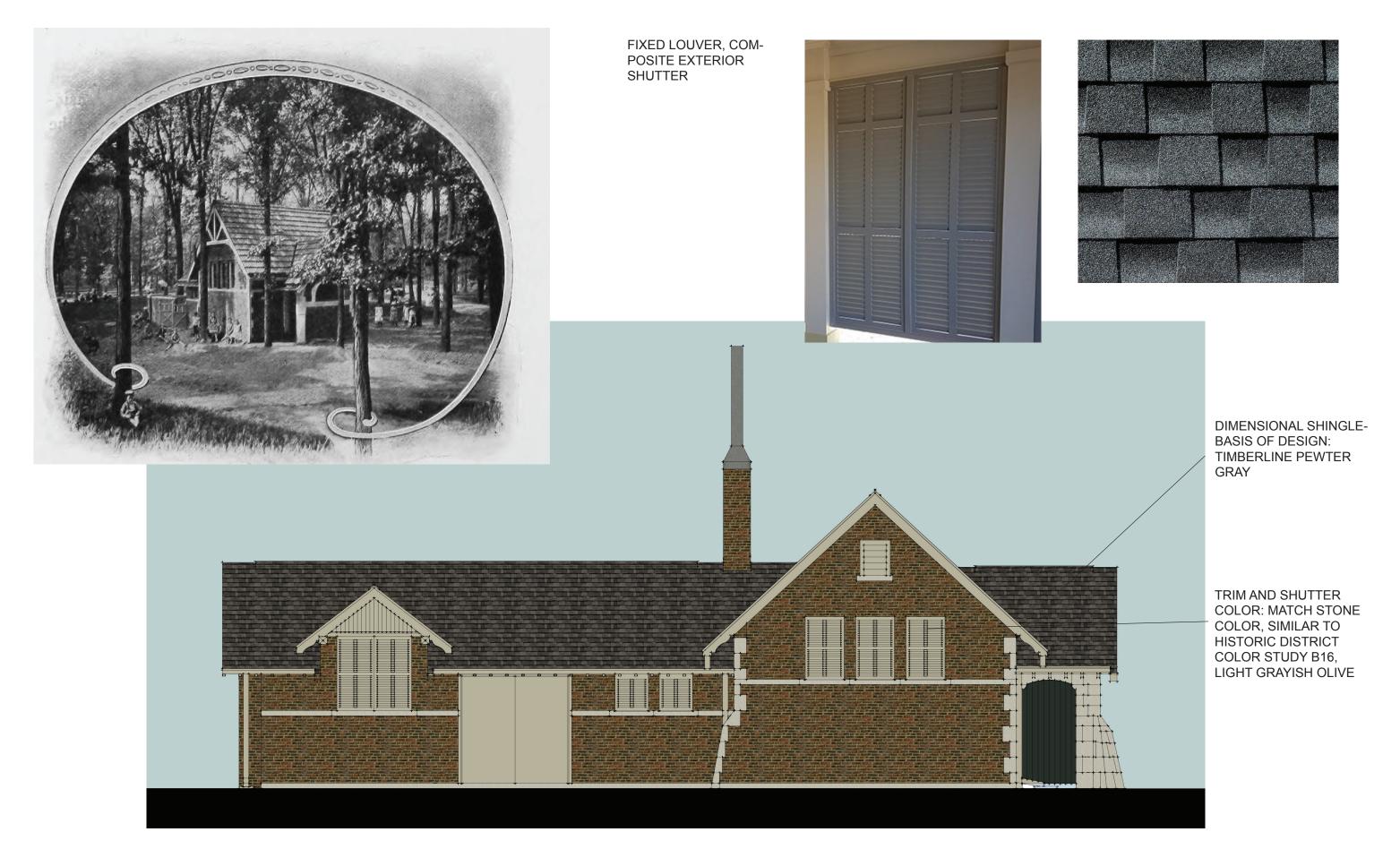
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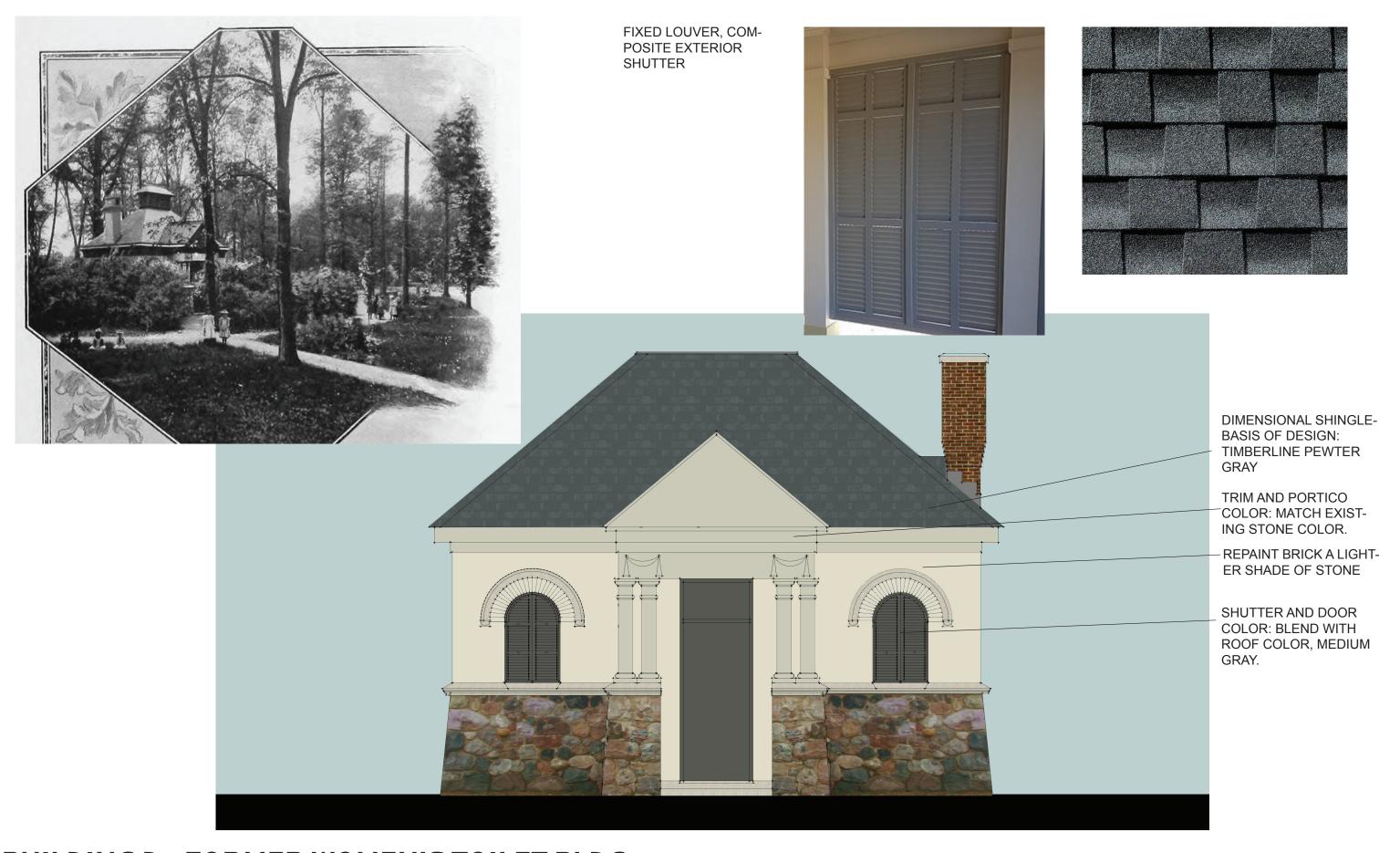
CLARK PARK IMPROVEMENT PLAN

Drawing Title
ELECTRICAL DETAILS AND SCHEDULES

Project Number: 2018183.00 Drawn By: RD Approved By: LM Scale: AS SHOWN

E-301





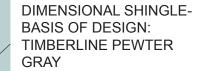
BUILDING D - FORMER WOMEN'S TOILET BLDG













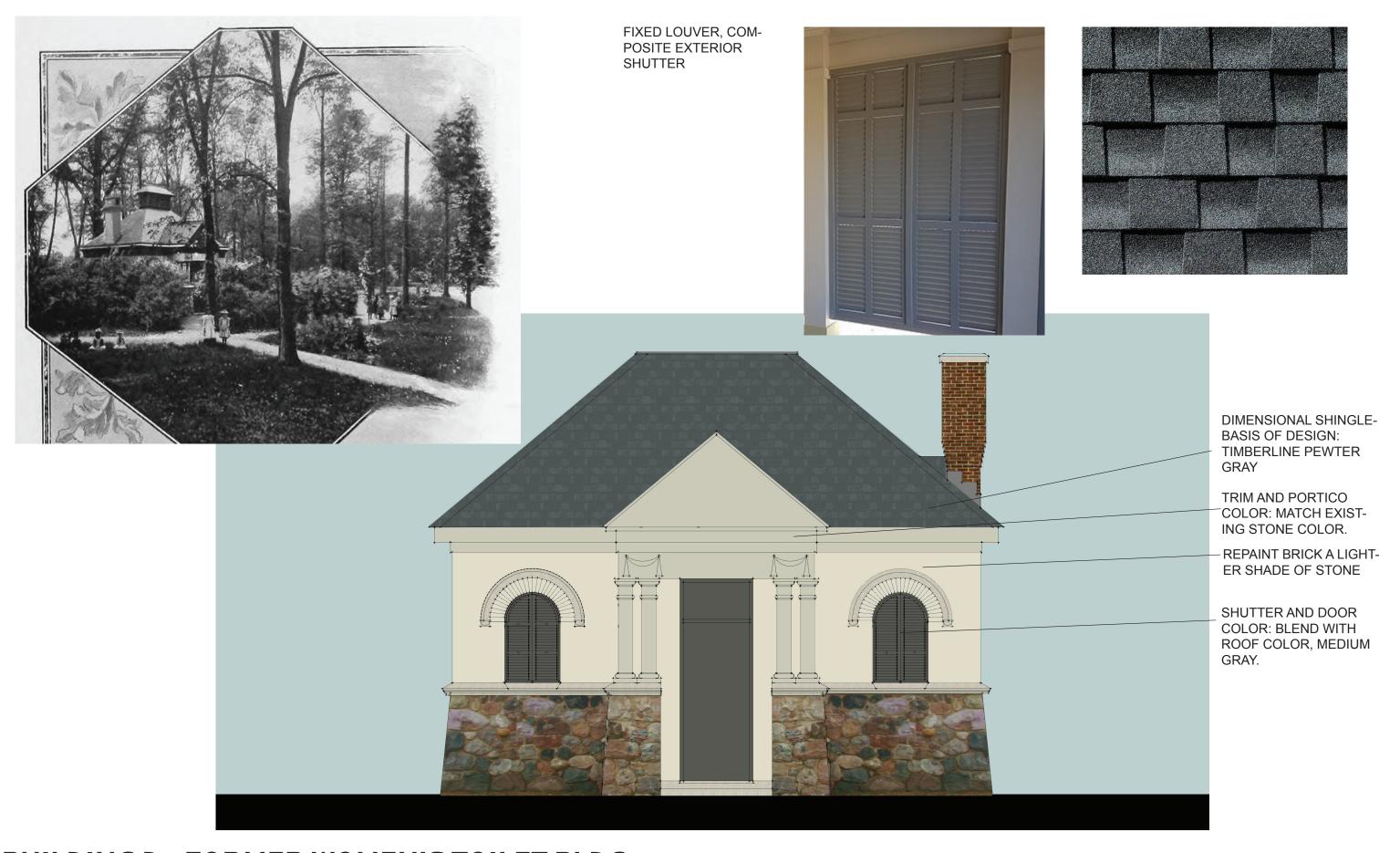
TRIM AND SHUTTER
COLOR: MATCH STONE
COLOR, SIMILAR TO
HISTORIC DISTRICT
COLOR STUDY B16,
LIGHT GRAYISH OLIVE

NEW BOX STYLE GUTTERS AND ROUND DOWNSPOUTS.

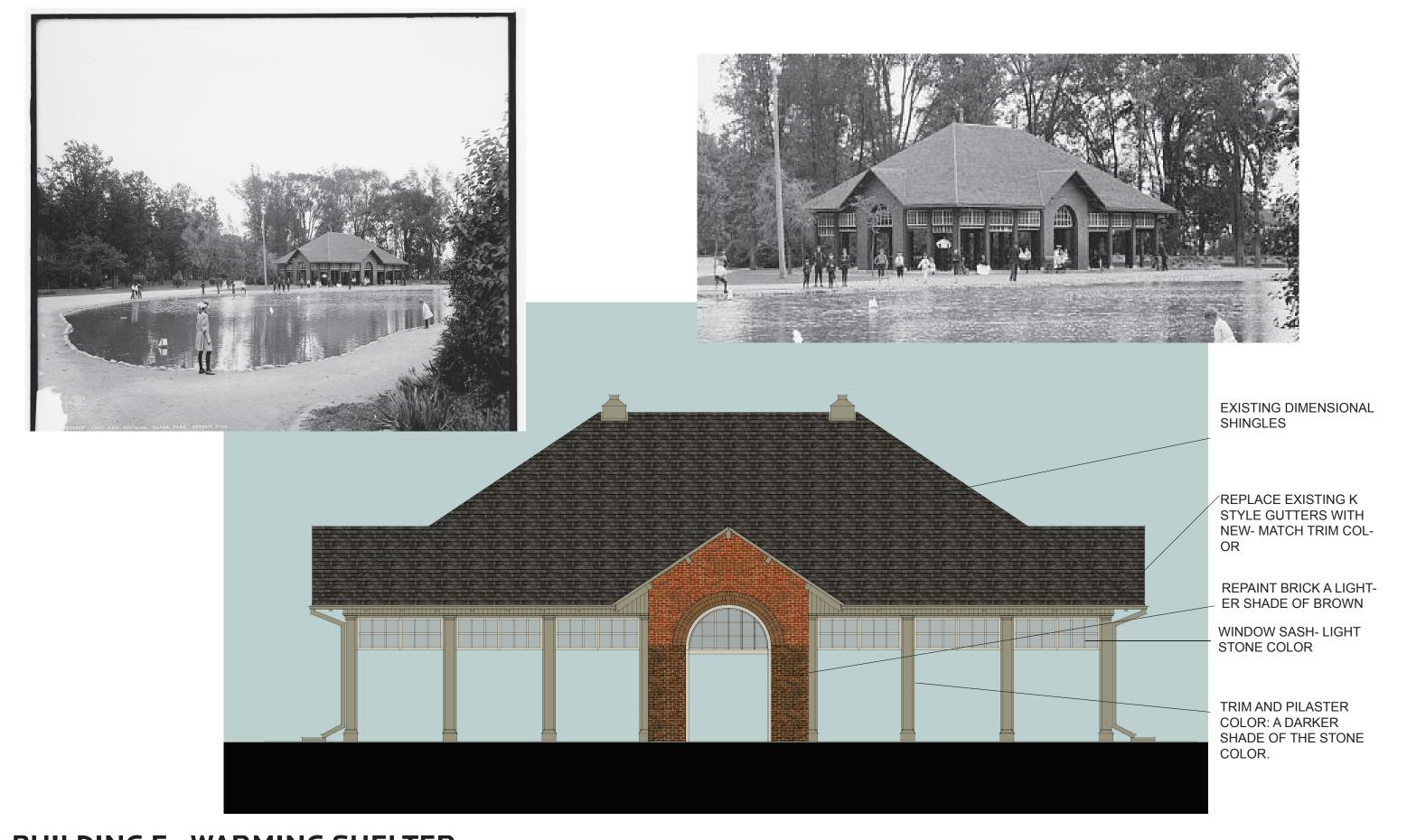
BUILDING C - FORMER MEN'S TOILET/MAINTENANCE BLDG

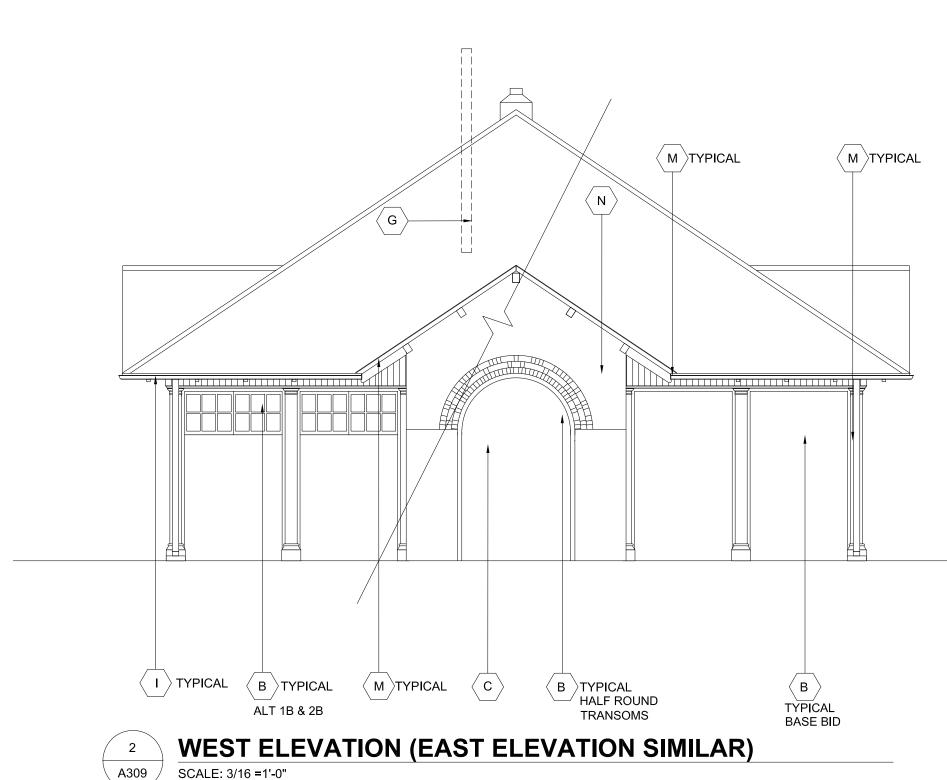






BUILDING D - FORMER WOMEN'S TOILET BLDG





SOUTH ELEVATION

SCALE: 3/16 =1'-0"

A309

GENERAL NOTES:

KEY NOTES

ALTERNATIVE 1B:

ALTERNATIVE 2C:

ORIGINAL DOORS AND TRIM.

DAMAGE TO THE ORIGINAL TRANSOM WINDOWS.

ORIGINAL WOOD JAMBS, BRICKMOLD TO REMAIN.

SECURE, PREP, PAINT AND CAULK, CLEAN GLASS.

OPENINGS TO PROTECT THE GLASS FROM VANDALISM.

REMAINING STORAGE UNITS AND MATERIALS.

- CLARK PARK IS IN A LOCAL HISTORIC DISTRICT AND EXTERIOR WORK REQUIRES HISTORIC DISTRICT STAFF OR COMMISSION APPROVAL PRIOR TO OBTAINING PERMITS. NOTIFY ARCHITECT FOR ANY PROPOSED EXTERIOR DEVIATION FROM THE APPROVED PERMIT DRAWINGS PRIOR TO EXECUTING CHANGES.
- CONTRACTOR SHALL VISIT SITE TO VERIFY ACTUAL EXTENT OF DEMOLITION PRIOR TO BID. DO NOT RELY SOLELY ON DRAWINGS FOR DEMOLITION SCOPE. ALL DEMOLITION REQUIRED TO CARRY OUT THE WORK OF THE CONTRACT SHALL BE PART OF THE CONTRACT. NO ADDITION TO THE CONTRACT AMOUNT WILL BE ALLOWED DUE TO FAILURE TO FIELD VERIFY DEMOLITION SCOPE OR FAILURE TO EXAMINE ALL CONTRACT DOCUMENTS.
- VERIFY AND INVESTIGATE ALL CONDITIONS IN THE FIELD PRIOR TO STARTING DEMOLITION, NOTIFY ARCHITECT OF DISCREPANCIES. LOCATE AND IDENTIFY SERVICES TO REMAIN IN OPERATION, INCLUDING ALL UTILITY LINES PENETRATING FLOOR, UNDOCUMENTED CONDITIONS, UTILITY RISERS, ETC.
- CONTROL NOISE, VIBRATION, AND ANY OTHER DISTURBING FACTORS. COORDINATE WORK HOURS WITH OWNER PRIOR TO PROCEEDING WITH THE WORK. CONTRACTOR TO PROVIDE SIGNS, BARRIERS, ETC. TO ENSURE SAFETY OF OCCUPANTS.
- PRIOR TO CUTTING EXISTING CONSTRUCTION, DETERMINE PRESENCE OF AND PROTECT ACTIVE TELECOMMUNICATION, DATA & ELECTRICAL LINES AND PIPING WHICH MAY BE DAMAGED BY SUCH CUTTING.

CAREFULLY REMOVE (AND DISPOSE OF) EXTERIOR WOOD SIDING INFILL

COVERING THE ORIGINAL WOOD SECTIONAL DOORS TO AVOID DAMAGE TO THE

CAREFULLY REMOVE SECURITY SCREENS FROM ALL TRANSOMS TO AVOID

CAREFULLY REMOVE & SALVAGE ALL EXISTING ORIGINAL WOOD SECTIONAL

DOORS, HARDWARE, TRANSOMS, AND TWO PAIRS OF ORIGINAL WOOD DOORS (NORTH AND WEST FACADES) FOR FUTURE RESTORATION. INVENTORY

SALVAGED ITEMS: LIST SHALL INCLUDE DESCRIPTION OF ITEM, DIMENSIONS (OVERALL WIDTH, HEIGHT, DEPTH), COLOR, APPROX. WEIGHT, AND PHOTO.

TRANSPORT TO STORAGE FACILITY, LOCATION TO BE DETERMINED BY GSD.

AND BROKEN GLASS AND PROVIDE MINOR REPAIRS ENSURING GLASS IS

FIX IN PLACE. PREP AND PAINT EXPOSED SECTION OF DOOR PANEL. CLEAN

PROVIDE NEW INTERIOR AND EXTERIOR SECURITY SCREENS IN THE TRANSOM

REMOVE AND DISPOSE OF EXISTING, NON-ORIGINAL DOUBLE DOORS (EAST AND

REMOVE EXISTING CHAIN LINK PARTITION COMPLETE, AND MISCELLANEOUS

SAME AS BASE BID EXCEPT: LEAVE ALL TRANSOMS IN-PLACE. REPLACE MISSING

- CONTRACTOR TO FOLLOW OWNER'S REQUIREMENTS FOR ENSURING SECURITY AND SAFETY OF THE BUILDING THROUGH DEMOLITION AND CONSTRUCTION.
- UTMOST CARE MUST BE TAKEN DURING DEMOLITION TO ENSURE THAT EXISTING CONSTRUCTION TO REMAIN OR TO BE SALVAGED IS NOT DAMAGED. REPAIR OR REPLACE EXISTING CONSTRUCTION DAMAGED BY DEMOLITION ACTIVITIES.
- EXISTING WALLS, COLUMNS, CEILINGS, EAVES AND TRIMS THAT ARE TO REMAIN: REMOVE ALL DEBRIS, DUST AND DIRT. REMOVE ALL LOOSE AND PEELING PAINT BY SCRAPING. CLEAN WITH WATER AND DETERGENT. NOTE: EXISTING PAINT MAY CONTAIN LEAD; REFER TO ENVIRONMENTAL TESTING REPORT OBTAINED BY OWNER, AND COORDINATE WITH ABATEMENT CONTRACTOR IF INDICATED.
- 9. EXTERIOR ELEVATIONS:
- 9.1 REMOVE ALL SURFACE APPLIED CONDUIT, FIXTURES AND EQUIPMENT FROM EXTERIOR WALLS.
- 9.2 CAULK AT WOOD FRAME PERIMETER MAY CONTAIN HAZARDOUS MATERIAL. COORDINATE REMOVAL WITH ABATEMENT CONTRACTOR.
- CONTRACTOR SHALL PROTECT ALL STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH PROTOCOL ESTABLISHED BY OWNER'S REPRESENTATIVES FOR ABATEMENT AND DEMOLITION SERVICES

SAWCUT, REMOVE AND DISPOSE OF EXISTING DAMAGED GRADE SLAB. PROVIDE NEW REINFORCED SLAB AND INCLUDE CONDUIT FOR FUTURE ELECTRICAL. SEE

- WOOD JOISTS, FASTENERS, HANGARS AND FLOORING.
- REMOVE MODINE HEATERS AND ASSOCIATED CONSTRUCTION INCLUDING ETC. PATCH VISIBLE HOLES IN REMAINING WOOD STRUCTURE. CAP VENTS
- REMOVE EXISTING INTERIOR LIGHT FIXTURES AND ASSOCIATED CONDUIT; FIXTURES WILL BE REPLACED WITH NEW IN THE SAME LOCATIONS. SEE
- REMOVE EXISTING GUTTERS AND ATTACHMENTS & REPLACE WITH NEW. MATCH
- REMOVE ALL SURFACE APPLIED, UNUSED CONDUIT, FIXTURES, PIPING (IE GAS
- REMOVE MISCELLANEOUS NON-ORIGINAL WOOD TRIMS, BRACKETS AND
- REPAIR OR REPLACE DAMAGED (OR MISSING) WOOD TRIM TO MATCH EXISTING
- PREP ALL INTERIOR AND EXTERIOR WOOD SURFACES (SEE NOTE 8 & 9.1) AND REPAINT WITH WEATHER RESISTANT PAINT. COLOR TBD. PROVIDE NEW CAULK IN
- COMMISSION DOCUMENT "MASONRY CLEANING GUIDELINES". REPAINT PAINTED PORTION ONLY-COLOR TBD. NOTE: DO NOT PAINT MORTAR JOINTS.

- REMOVE ALL OVERHEAD STORAGE INCLUDING NON-ORIGINAL, NON-STRUCTURAL
- \langle G \rangle MOUNTING HARDWARE, FASTENERS, CABLE, RODS, WIRING, VENTS, GAS LINES, CLOSE TO ROOF.
- EXISTING STYLE, COLOR TO BE SELECTED FROM STANDARD COLOR CHART.
- LINE) AND EQUIPMENT FROM EXTERIOR WALLS.
- SAME AS ALTERNATIVE 1B EXCEPT: ALL TRANSOMS AND SECTIONAL DOORS TO REMAIN. REMOVE LOOSE AND BROKEN GLASS. RAISE DOORS INTO POCKETS AND PROTRUDING NAILS.
 - ORIGINAL WOOD TRIM. ONCE GUTTERS ARE REMOVED, ASSESS CONDITION OF FASCIA BOARDS AND REPLACE IF DAMAGED.
 - AREAS EXPOSED TO WEATHER.
 - $ig(_{
 m N} ig)$ LIGHTLY CLEAN BRICK PER THE CITY OF DETROIT HISTORIC DISTRICT



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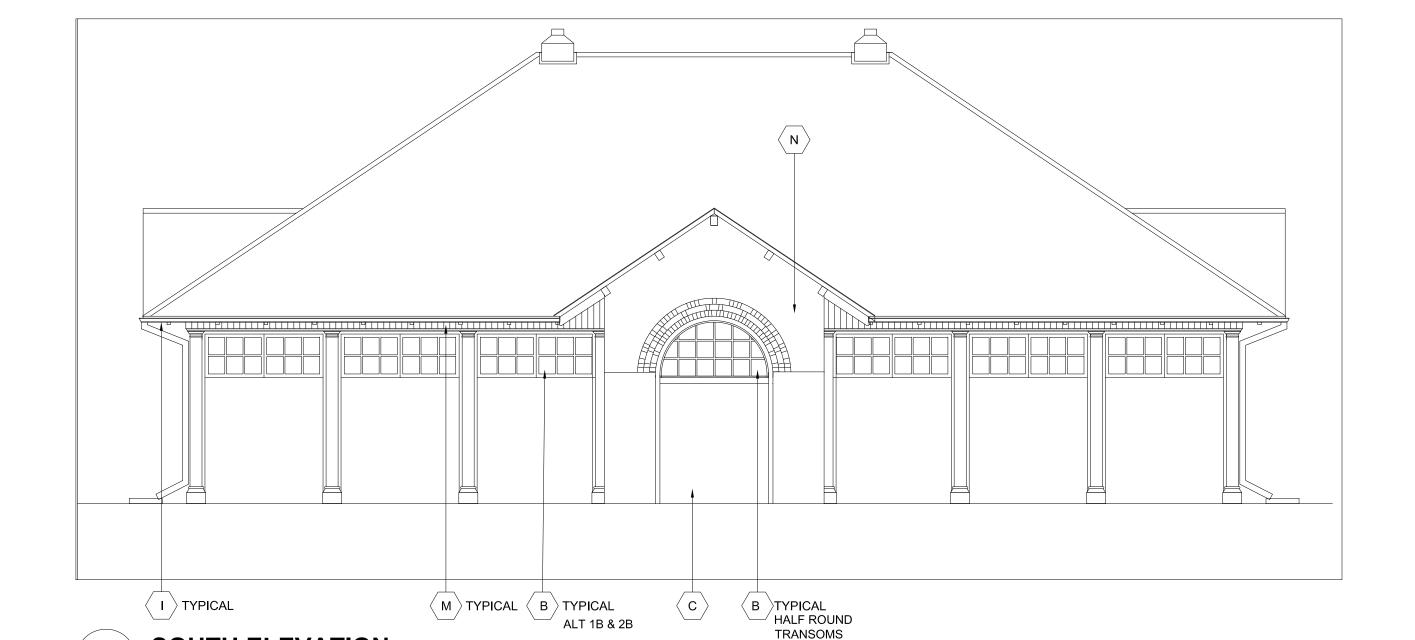
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CLARK PARK IMPROVEMENT PLAN -PHASE 1B

Drawing Title **BLDG E ELEVATIONS-**PROPOSED

Project Number: 2018183.00 Drawn By: JCF Approved By: DZ

Scale: AS SHOWN

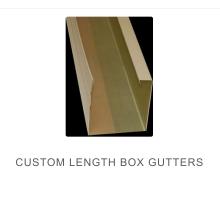
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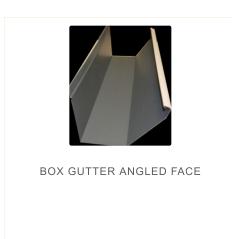
Building E Gutter with Rectangular downspouts

PLEASE CLICK ON GUTTERS BELOW FOR MORE PRODUCT DETAILS.

BOX GUTTERS







Default sorting







Or Similar

Architectural Guide for Doors and Frames



What began over
100 years ago as the
dream of a mechanical
engineer has grown
into the world's leading
manufacturer of steel
doors and frames for
commercial, industrial
and institutional
construction.



Ceco Door plant, Milan, TN

Index

Sales, Marketing and Service Support2
ASSA ABLOY Service Centers and Distribution
Programs and Services4
Opening Doors to a Cleaner Environment5
Transparency and Sustainable Construction
Solutions 7 Sound 7 Installation 8-9 Decorative 10-11 Energy Efficient 12 Life-Safety 13-16 Severe Weather 17
Door DetailsComposite Doors18Steel Stiffened Doors19Door Selection Faces20
Frame Details Masonry Flush Frames

Opening Doors to a Cleaner Environment



LEED® Certification Contribution

The Leadership in Energy and Environmental Design (LEED) Green Building Rating System™ is the nationally accepted benchmark for the design construction, and operation of high performance green buildings. LEED promotes a whole-building approach to sustainability by recognizing performance in seven key areas of human and environmental health: sustainable sites, water efficiency, energy and atmosphere, materials and resources, indoor environmental quality, innovation in design and regional priority credits.

Ceco manufactures doors and frames from steel, one of the most recycled materials in North America. Each door is then put through rigorous life cycle testing that allows our door solutions to qualify for tornado and hurricane certification standards for strength and durability. The sustainable thinking that goes into each door allows it a long service life with cradle-to-cradle considerations taken into account.

Ceco can help to achieve prerequisites and accumulate points in the following categories and credit areas of LEED.

Examples of the Ceco commitment to sustainable building construction and improving energy efficiency include:

Total Recycled Content

- Steel doors and frames: up to 68.9%
- In one year alone by using 100% recycled cardboard packaging Ceco has:
 - Saved 7,973 trees
 - Reduced local landfills by 640 cubic yards
 - Reduced waste water usage by 1,160,775 gallons
 - Saved 697,872 kWh of energy
 - Saved 253 tons of C02 emissions

Energy Efficiency

- In one year, Ceco recycled steel usage conserves 226 billion BTUs and the energy to power 7,500 homes
- Ceco thermal break frames incorporate insulating material for maximum heat retention in cold conditions

Department of Defense Case Study

<u>Facility Type:</u> Government

Location:

San Antonio and Ft. Bragg, NC

Solutions:

High performance openings from ASSA ABLOY are delivering certified energy savings to Department of Defense (DoD) facilities, giving the government agency a trusted sustainable building component to comply with energy efficiency requirements for Federal facilities.

Find more case studies at <u>cecodoor.com</u> on the Sustainability page.

Transparency and Sustainable Construction



GreenCircle and ISO 14001 Certified

As today's consumers become more informed, there is an increasing demand for honesty and integrity from product suppliers like Ceco. Third-party certification of sustainability claims is essential in establishing credibility and developing consumer confidence.

GreenCircle has certified the following manufacturing claims.

- Carbon Footprint Reduction Facility 5% (Carbon Footprint Reduction includes both Scope 1 and Scope 2 emissions)
- Energy Usage Reduction 4%
- Waste to Landfill Reduction 3%
- Waste Diversion from Landfill 94% (Includes both hazardous and non-hazardous waste streams)
- ISO 14001:2004 Certified













Declare

Declare is a voluntary self-disclosure program aiming to transform the building materials industry towards healthier and more ecological products through ingredient transparency. Participating in Declare means this product has voluntarily self-disclosed all ingredients in order to promote transparency.

Environmental Product Declaration (EPD)

An EPD is a verified document that reports environmental data of products based on life cycle assessment (LCA) and other relevant information and in accordance with the international standard ISO 14025 (Type III Environmental Declarations).

An important aspect of EPD® is to provide the basis of a fair comparison of products and services by its environmental performance. EPDs can reflect the continuous environmental improvement of products and services over time and are able to communicate and add up relevant environmental information along a product's supply chain.

UL GREENGUARD Certification

ASSA ABLOY Group brands offer doors and frames certified to the GREENGUARD 2818 indoor air quality standard as well as the more stringent GREENGUARD Gold Standard (formerly GREENGUARD Children & Schools), helping ensure that the air you breathe in a building will be healthy and fresh.

Our doors and frames are GREENGUARD tested to meet the VOC testing requirements of LEED, CALGreen, International Green Construction Code and ASHRAE 189.1 and Collaborative for High Performance Schools.

Health Product Declaration (HPD)

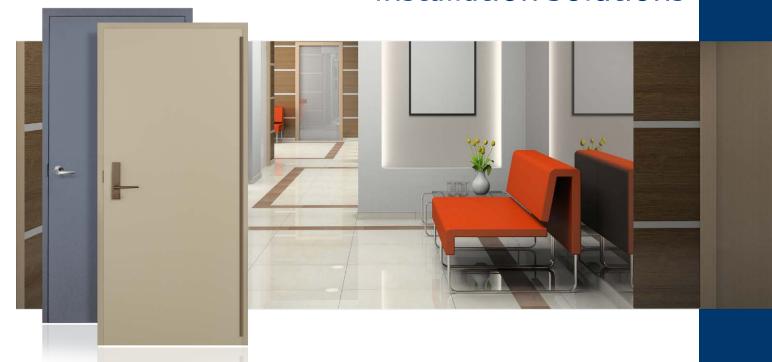
After more than a year of development, green building industry leaders have released the Health Product Declaration (HPD) Open Standard Version 1, an open standard format for reporting contents and chemical hazards in building products.

The Living Building Challenge (LBC)

The Living Building Challenge (LBC) is an international sustainable building certification program created by the International Living Future Institute in 2006. LBC is a certification program that promotes the most advanced measurement of sustainability in the built environment for both new construction and renovation. ASSA ABLOY Door Group supports the Living Building Challenge process and uses our Declare labels to show that we meet the LBC Red List of chemicals to avoid. ASSA ABLOY Door Group solutions are the only products in our categories that meet the needs of the LBC / Declare program, identifying and clearly disclosing product ingredients and chemicals contained in our product. ASSA ABLOY Americas fully supports avoiding the use of Red List chemicals and will continue to act responsibly to ensure that our products meet the needs of our customers, while protecting them and our environment.

ASSA ABLOY is committed to sustainability by reducing its environmental impacts through developing smarter products incorporating innovative materials, advanced designs and production methods. The results of these efforts are third-party verified to add a level of accountability to our sustainability claims and helps us tell our sustainability story while providing a benchmark for ongoing improvement.

Installation Solutions



Create Lasting Beauty and Durability

Ceco is one of the few manufacturers with the capability to deliver both custom and standard commercial grade factory ColorStyle doors and frames. With a Ceco ColorStyle product, a building's project manager has more flexibility to complete the job correctly and on schedule.

ColorStyle paint is extremely durable and is factory applied in a controlled environment to ensure consistent and high quality results. The beauty of the finish cannot be matched by application of coatings at the job-site.

ColorStyle Doors and Frames

Superior Coverage and Durability

The coating applied at the factory is controlled and offers uniform coverage resulting in a smoother finish free of impurities.

Green Solution - Compliance with LEED EQ 4.1 and 4.2 for VOC levels at the job-site. Waste and solvent disposal is controlled at the factory and meet all of the requirements of the EPA.

Cleaner - Less mess and clean-up at the job-site and can be installed later in the construction process.

Lower Cost - Factory finishing is more efficient than job-site preparation and painting.

Faster - Faster project completion as the painting process at the jobsite has been eliminated.

Better - The factory electrostatic painting process is superior to field sprayed, rolled, or brushed on applications used at the job-site.

Test Standards - Meets ANSI A250.3 test procedure for acceptance criteria for steel doors and frames factory applied finished coatings. HAP (Hazardous Air Pollutant) free.

Energy Efficient Solutions



Mercury Energy Efficient Door and Thermal Break Frame

The Mercury Energy Efficient Door paired with the Mercury Thermal Break frame provides R-value/U-factor and air leakage performance rates that meet or exceeds ASHRAE 189.1, IGCC, ASHRAE 90.1, and NFRC standards while incorporating a new polyurethane foam formulation that is more sustainable. The Mercury door opening solution provides economical energy savings while improving Ceco's protection of the environment.

The Ceco Mercury thermal break frame is an energy efficient frame that incorporates a bonded thermal break with a Pemko S44 compression type weather-stripping. The new frame design is priced up to 10% less that the previous design from the factory and soon will be available for pickup at select ASSA ABLOY regional service centers.

The Mercury thermal break (MTB) frame has been independently tested for thermal performance with the Mercury Door U-Factor of (0.37), in accordance with NFRC 102-2014 and ASTM test methods and resistance to air infiltration with the Mercury Door (0.1 cfm sq ft), in accordance with NFRC 400 and ASTM test methods.

In addition to thermal performance, frost and condensation on the interior door frame face are significantly reduced with a thermal break frame. This is accomplished with a true thermally broken frame profile and delivers maximum protection against cold penetration through conduction. Mullions used in hollow metal transom/sidelite and borrowed-lite frames feature the same new thermal break design.



Strong, Energy Efficient Doorways In Any Weather Condition

Approximately 40% of all energy leakage comes from the building envelope* this includes exterior doorways. Trio-E doors installed with Ceco Door Thermal Break frames and Pemko Thermal Barrier Saddles help increase thermal retention and reduce energy leakage.

Trio-E delivers superior insulated values and strength plus, provides aesthetic qualities desired in today's commercial building applications. The "E" is for energy efficiency and Trio-E has the lowest U-Factor (0.36) for a steel stiffened door in the market today. The U-Factor of 0.36 was achieved in an operable condition (ASTM1363) using the Ceco Mercury Thermal Break and Pemko 273x3AFG Thermal Barrier Saddle. The Trio-E will provide years of strength and sustainable energy savings for any building.

End users do not have to sacrifice strength in order to achieve insulating performance. For example, Ceco Trio-E has been certified to a design pressure of \pm 100 psf with a hurricane rated opening.

*Tony Woods, Air Tight Buildings, 2005

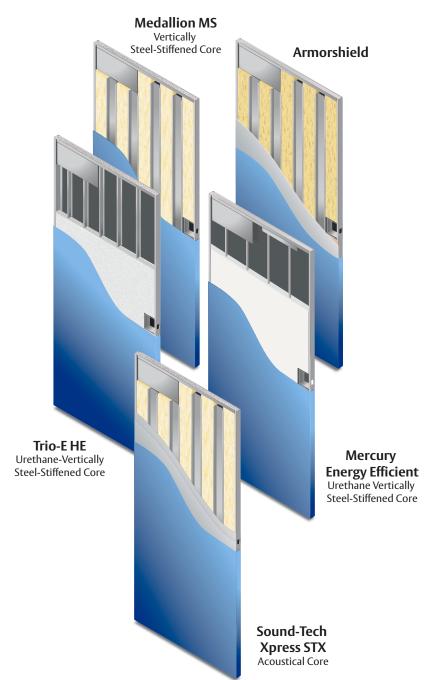


Steel Stiffened Door Details

Steel Stiffened

Ceco steel stiffened doors are designed with the combination of perimeter steel channels and core stiffeners to offer the industry's largest selection and most reliable and durable construction. They are used in areas where optimum security and susceptibility to vandalism or break-in are of paramount concern.

See Ceco's website For more information about available door series, core constructions and options at www.cecodoor.com



Sound-Tech Xpress (STC)

- Wide range of operable STC ratings from 32 to 66
- Competitive pricing including door, frame and all sealing hardware
- All door cores are lead and asbestos free
- 14 or 16 Gauge Face Skins
- Fire Rated up to 3 Hours
- Quiet Noise Doors can help achieve LEED requirements for sound and recycled content

Trio and Trio-E

- Standard Fiberglass Insulation
- Standard Polyurethane Insulation
- 16 Gauge Top & Bottom Channels
- 1-3/4 Inches Thick
- 22 Gauge Stiffeners
- 18, 16 or 14 Gauge Face Skins
- Fire Rated up to 3 Hours
- Sizes from 2068 to 4080
- Interlock Seam Construction

Mercury

- Maximum 40 to 90 singles and 80 to 90 pairs
- 18 to 14 gauge cold rolled or zinc coated steel face sheets
- Embossed panel face sheet options
- Fire rated up to 3 hours UL10C and UL10B (40 x 70 and 60 x 70 max size)
- Tested to NFRC 102-2014 thermal standard and and NFRC 400 air performance standard
- EPD / HPD documentation submitted to UL Environment - GreenCircle
- GREENGUARD Gold Certified

Medallion

- 1-3/4" (44.4mm) custom construction seam/ seamless
 - design rated for heavy duty to maximum-duty use
- 22 gauge vertical steel stiffeners spaced 6" apart, welded to face sheets every 5"
- Fiberglass insulation to limit thermal and sound transmission
- Lock edge beveled 1/8" in 2" (1:16)
- Inverted end channels welded to both face sheets
- 7 gauge (4.2 mm) steel hinge reinforcement
- Rust inhibitive prime paint base coat meets ANSI A250.10

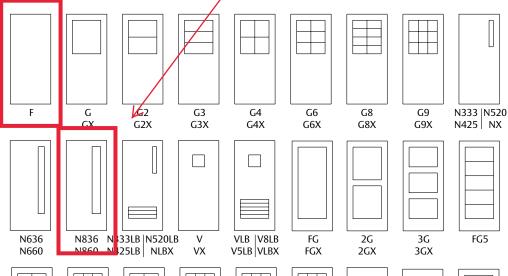
Door Details

Bldg D option

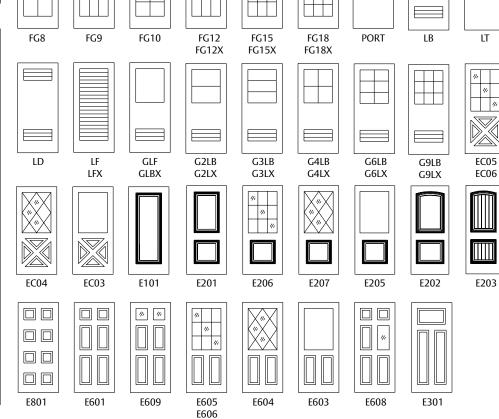
Bldg A,

Door Selection Faces









Standard Frame Details

Standard Frames

Design flexibility utilizing frames with made-to-order profiles and dimensions. Within tooling limits, Ceco frames can be specified in made-to-order dimensions for depth, throat, face, rabbet, soffit, or backbend to include a caulking groove, shadow box, splayed trim line, splayed top, stepped rabbet and others.

Series S frames have precision die-cut corners with positive locking tabs to assure rigid assembly connections. Available in hundreds of profiles and dimensions in either knock-down or set-up & welded.

For masonry, wood or metal studs wall, installed either to cap or butt the wall. Three or four piece door frames, Borrowed Lites, Side Lites, or Transom Frames.

SU indicates a standard frame with "unequal" frame rabbets SQ indicates a standard frame with "equal" frame rabbets SR indicates a standard frame with "one" frame rabbet SC indicates a standard cased frame with no rabbet

16, 14, and 12 gauge steel Cold rolled, A60 or G90 galvanized steel.

Fire label:

Up to three hours (UL10B and UL10C)
Underwriters Laboratories (Applied or Embossed)
Warnock Hersey (Applied or Embossed)
Factory Manual (Applied Only)

Sizes Available:

Cased Openings
3" to 14" depth
Single Rabbet
16 and 14 gauge, 3" to 14" 12 gage, 3-3/8" to 14"
Double rabbet
16 and 14 gauge, 4-5/8" to 14"
12 gauge, 5-1/4" to 14"

Hinge preparations:

ANSI A156.7, 4-1/2".

Strike preparations:

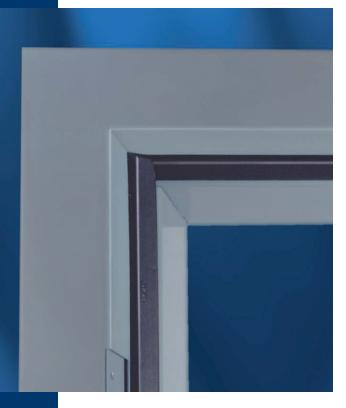
ANSI 4-7/8" universal A115.1 and A115.2







Weather-Stripped Frames



Weather-Stripped Frames

Weather-Stripped frames provide best draft control available (for energy efficiency), and provides you with a high quality, functional, aesthetically pleasing opening.

- 18 and 16 gauge steel
- Kerf pocket with compression weatherstrip
- Fire label: up to three hours (UL10B and UL10C)
 - Underwriters Laboratories (Applied or Embossed)
 - Warnock Hersey (Applied or Embossed)
 - Factory Manual (Applied only)

Series SQW and SRW Frames

Series SQW and SRW frames for 1-3/4" doors are formed from commercial quality cold rolled steel conforming to ASTM A1008 ...or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653. Frames are knocked down (K.D.) field assembled type or welded unit type. Head and jamb members of K.D. frames have diecut mitered corners that interlock rigidly when field assembled. Door stops are 5/8" high and have an integral kerf with foam filled, fire rated, compression type gasket (weatherstrip).

Single or double rabbet profile sizes are available in depths from 3-5/8" thru 14" (in 1/8" increments). Twist-in anchors are available for new masonry, wood stud, metal stud or existing opening wall conditions (indicate which). Welded floor anchors or extra jamb anchors are provided to anchor sill. Welded-in jamb anchors are also available.



Series DQW and DRW Slip-On Drywall Frames

Series DOW and DRW slip-on drywall frames for 1-3/4" doors are formed from commercial quality cold rolled steel conforming to ASTM A1008 or (optional) hot-dipped galvanized steel conforming to ASTM A924 and A653. Frames are knocked down, field assembled type. Components have diecut mitered corners that interlock rigidly when field assembled. Single rabbet and double rabbet profiles are sized to fit wall thicknesses from 2-5/8" thru 13" (in 1/8" increments). Door stops are 5/8" high and have an integral kerf with foam filled, fire rated, compression type gasket (weatherstrip). Frame faces are 2" except double rabbet profiles are available with 4" face heads. Adjustable, compression type anchors are welded to jambs and allow frame installation, plumbing and squaring after wallboard is applied (To adjust anchors use Phillips head screw driver). Components have backbend-returns that protect the wall surface during installation. Sill anchoring is by means of screws through dimpled holes in faces. Welded on sill strap anchors are also available (optional). 18 gauge maximum size is 30x70 single & 60x70 double swing.

The ASSA ABLOY Group is the global leader in access solutions. Every day, we help billions of people experience a more open world.

ASSA ABLOY Opening Solutions leads the development within door openings and products for access solutions in homes, businesses and institutions. Our offering includes doors, frames, door and window hardware, locks, perimeter fencing, access control and service.



Ceco Door 9159 Telecom Drive Milan, TN 38358 Tel: 888-264-7474 Fax: 731-686-4211 www.cecodoor.com For Building C, Men's t. rm and maintenance bldg.

Downspouts to be round.

BOX GUTTER FLANGED

BOX GUTTERS FLANGED FROM RUTLAND GUTTER SUPPLY or similar

Rutland Gutter Supply have an extensive range of rain gutters as well as all the additional roof gutter parts and gutter supplies necessary to complete your rain gutter system and we can ship worldwide.

All our gutters are manufactured from the highest quality materials in our Orlando Florida factory, we can also custom make any type of guttering to your exact requirements.

Flanged box gutter sizes and materials

Rutland's flanged box gutters come in many different sizes, standard lengths is 10ft.

If you don't see the size you require please contact us for help.

5 inch

6 inch

7 inch tbd- based on field verification

8 inch

9 inch

10 inch

Rutland's box gutters come in many different materials please see below

Copper

aluminum

Painted aluminium

Galvanised

Galvalume

Stainless steel

Zinc

Rutland's experienced team are always available to answer any of your questions and offer you a competitive quotes please click on the request a quote button below.

Click here to view cad drawing

Request A Quote

Category: Box Gutters.









DESCRIPTION

PRODUCT DESCRIPTION RELATED PRODUCTS



BEVELED BOX GUTTER



BOX GUTTER ANGLED FACE



CUSTOM LENGTH BOX GUTTERS



BOX GUTTER SQUARE