

**STAFF REPORT 05-13-2020 REGULAR MEETING****PREPARED BY: G. LANDSBERG****APPLICATION NUMBER: 20-6721 (INCLUDING 20-6722, 20-6723)****ADDRESS: 1401 MICHIGAN AVENUE, 1501 CHURCH (INCLUSIVE OF 1525-1541 CHURCH), AND 1750 TRUMBULL (INCLUSIVE OF 1742 TRUMBULL & 1403-1441 LEVERETTE)****HISTORIC DISTRICT: CORKTOWN****APPLICANT: JOEL SMITH, AIA, NEUMANN/SMITH ARCHITECTURE****PROPERTY OWNER: GODFREY DETROIT PROPCO, LLC****DATE OF STAFF SITE VISIT: 05-11-2020****SCOPE: DEMOLISH BUILDING AND ERECT 7-STORY HOTEL WITH RELATED PARKING IMPROVEMENTS****EXISTING CONDITIONS**

The sprawling parcel now known as 1401 Michigan Avenue (see red outline on photo below) was at some time created from several adjacent parcels on 8<sup>th</sup> Street and Leverette Street, including an alley which exited south to Leverette, and was vacated in 1987 in favor of an easement.



*Detroit Parcel Viewer showing principal site in red. Adjacent parking lots to south and west (across Trumbull) also shown.*

The site has an interconnected office/light industrial building constructed in three phases, an original 2-part portion principally along Michigan Avenue which features buff- and white/black- glazed brick elevations (east and west portions, respectively) and a circa 1958 modern extension running south along 8<sup>th</sup> Street. Along Michigan Avenue, large portions of the glazed brick have been haphazardly painted over the years, with more surviving unpainted near the parapet. Window openings are glass block and/or covered with boards, both of which are also sometimes painted. An existing entrance at 8<sup>th</sup> Street is closed with a hollow metal door. The general appearance is shabby and rundown.

The modern, or south extension, is greater in floor area than the Michigan Avenue section of the building, and extends to the intersection with Leverette. The elevation's principal expression derives from its rhythmic aluminum window bays, set back from the sidewalk with planted beds, and features an orange/buff colored brick laid in a complex woven "fabric" pattern. A central entrance with an aluminum canopy fronts 8<sup>th</sup> Street. Areas of the brick have been painted, presumably to conceal graffiti, similar to the Michigan Avenue portion. An incompatible later entrance, perhaps dating to the late 1980s/early 1990s, juts from the rear of the building into the rear parking area. As the alley historically ran east-west through the block (see map below), it was vacated and diverted south towards Leverette when this building was constructed (and then later vacated again).

While not on the project site, 1432 Leverette is a large historic house on Leverette street immediately adjacent to the parcel's southwest corner. The last remaining of a row of wood-frame homes on this block of Leverette, the house retains substantial historic character and appears to be in good condition. It is a late nineteenth-century clapboard and wood-trimmed structure, with a hooded projecting front gable, bracketing, an original bay window with leaded transoms, and other Queen Anne design influences. The east wall, closest to the subject property line, is windowless, except where it steps back at the rear.

The parking lots included for review appear to be surfaced with gravel and possibly some deteriorated areas of asphalt. The lot at 1501 Church (including 1525-1541 Church) is unfenced and has no structures or elements of note. The lot at 1750 Trumbull (including 1742 Trumbull and 1403-1441 Leverette) is larger, occupying the entire block immediately to the south of the principal project site, with the exception of a historic vinyl-sided duplex at the southwest corner. This lot is fenced with chain link topped with barbed wire in deteriorating condition. Also present at this lot is a large sign at the northwest corner dating to perhaps the early 1970s Tiger Stadium era, advertising parking for ballpark visitors.



Sanborn map of project sites (outlined in red) and vicinity showing conditions circa 1950. Note extensive demolition since.





*Existing conditions at intersection of Michigan and 8<sup>th</sup> Street, looking southwest. Staff photo, May 11, 2020.*



*View of Michigan Avenue elevation, looking east towards downtown. Staff photo, May 11, 2020.*





*Modern addition, looking south. Staff photo, May 11, 2020.*



*Modern addition, view from Leverette and 8<sup>th</sup> Street towards northwest, with 1432 Leverette visible at left, and church beyond. Staff photo, May 11, 2020.*





*Parking lot at 1501 Church, looking west. Staff photo, May 11, 2020.*



*Parking lot at 1750 Trumbull, looking north.. The church and 1432 Leverette visible beyond. Staff photo, May 11, 2020.*





*View east along Leverette towards principal project site. Staff photo, May 11, 2020.*



*View of 1432 Leverette looking north; project site at right. Staff photo, May 11, 2020.*



## PROPOSAL

A seven-story (82'-6" high) hotel building is proposed to occupy the site, requiring the removal of the existing structures. Per the applicant's narrative, the building design employs a storefront "base," middle "body," and upper "crown" which is intended to be consistent with other Detroit commercial precedents along Michigan Avenue and elsewhere. The base along Michigan Avenue and 8<sup>th</sup> Street is proposed to be "a transparent storefront façade punctuated by vertical brick pilasters resting on stone plinths." Above the storefronts, the building's main body is a brick grid of pilasters and spandrel panels punctuated by the hotel room windows. The crown along the principal elevations consists of two-story metal panel pilasters flanking glazed openings and an upper metal cornice. The secondary Leverette Street façade is proposed to be "similar, but with more opaque metal panel and door elements at service locations."

The west-facing elevations are largely featureless, and are proposed to be finished with a version of an Exterior Insulation and Finish System, or EIFS. A line of brick detailing wraps around to the west elevations at both Michigan Avenue and Leverette. Murals or graphic design patterns by local Detroit artists are proposed to cover most of these areas. The building's southwest seven-story elevation is set back ten feet from the adjacent property line of 1432 Leverette.

Improved surface parking is proposed on substantial portions of two adjacent blocks. Both lots will be paved with fencing and new landscaping. The vintage "Tiger Stadium Parking" sign at 1750 Trumbull will be preserved.

The following three images are excerpted from the applicant's submission. The applicant's full presentation deck, design rationale, Elements of Design narrative, schematic design drawings and narrative, and other supporting materials describing the project are included in this report.

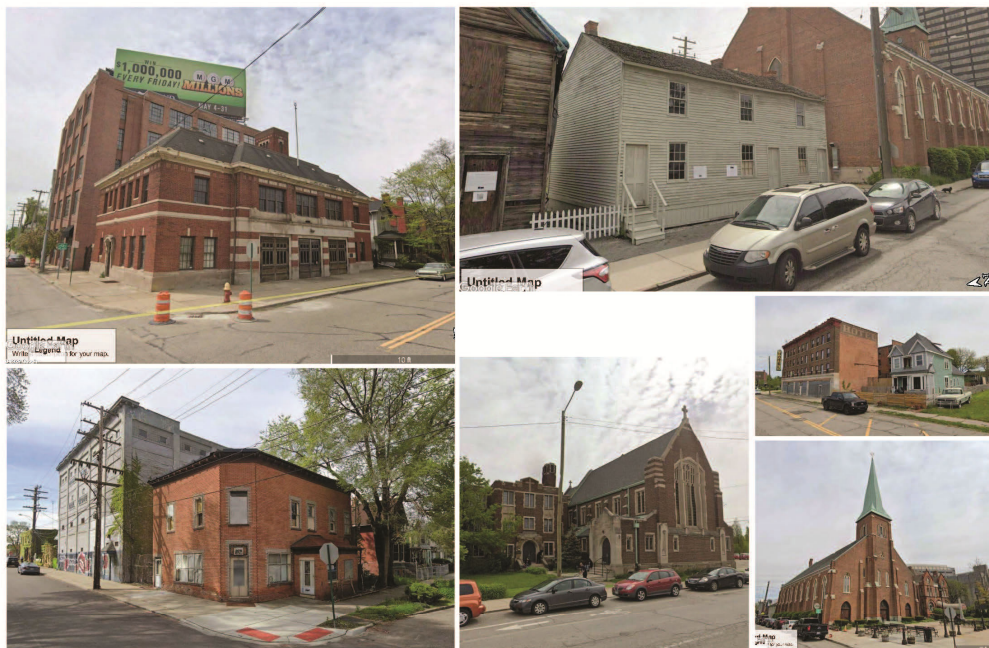


View 3 (from Michigan Avenue Looking West)



Leverette Street Elevation

GODFREY HOTEL DETROIT - HISTORIC DISTRICT COMMISSION PRESENTATION 67  
HUNTER PASTEUR HOTELS > OXFORD CAPITAL GROUP > NEUMANN SMITH ARCHITECTURE > ELKUS MANFREDI ARCHITECTS



Corktown Juxtapositions of Large/Small Structures

GODFREY HOTEL DETROIT - HISTORIC DISTRICT COMMISSION PRESENTATION 58  
HUNTER PASTEUR HOTELS > OXFORD CAPITAL GROUP > NEUMANN SMITH ARCHITECTURE > ELKUS MANFREDI ARCHITECTS



## STAFF OBSERVATIONS & RESEARCH

### *Existing building(s) at 1401 Michigan*

During the post-war era, the existing building(s) at 1401 Michigan were the long-time administrative headquarters of the Detroit Lions, who played at nearby Tiger Stadium until 1975. During this time, the building featured prominent signage advertising its occupancy, with approximately 3' high projecting letters and a large painted logo. As best as can be determined with limited access to city records, the building appears to have had larger window (storefront) openings extending to within two feet of sidewalk grade, asymmetrically flanking a door on Michigan Avenue. See 1970s era photo, below.



*Image dated 1976 from Detroit Street View twitter account (@detroitstreetvu), posted April 2019, copyright unknown. View from Michigan Avenue looking southeast. See similar view on page 2.*

At some time subsequent to the team's occupancy, the Michigan Avenue elevation was altered, with brick infill above the bottom datum of the former storefront windows (marked by a header course of glazed brick) and the creation of smaller, awkwardly spaced mid-height openings, new sills, and a relocated door. At the western end of the building, the former monolithic brick wall with team logo was altered with the introduction of new window and door openings (or the reopening of even older openings). All traces of signage have been removed or lost. The band of black glazed brick at the base, was extant into the mid-2010s and appears to be painted over.

The buildings are a typical example of what might be termed "Corktown commercial;" fairly nondescript but architecturally striving "workaday" buildings that fill important gaps in the mixed use streetscape among Corktown's historic streets and avenues. These buildings, like Corktown's humble residential homes, are rarely designed by named architects yet add important historic character to the overall setting with modest detailing reflective of their construction periods.



*Image circa 2010-2013 from Detroit News, published March 5, 2020 with photo credit to CoStar. Note extant black glazed brick at base.*

Given the football team's status as a prominent Detroit sporting institution, and the relationship to the landmark Tiger Stadium site which itself played a key role in Corktown's 20<sup>th</sup> century history (especially along Michigan Avenue), staff finds that building should be considered contributing in terms of historical significance via association with the district's historic context, and, inclusive of the 8<sup>th</sup> Street elevation, has enough physical integrity to substantiate the historic association.

### ***1432 Leverette***

The historic 19<sup>th</sup> century house at 1432 Leverette is a large frame home in the Corktown context, much larger than some of the "workers cottages" found on nearby streets. It retains a high degree of architectural integrity, with most, if not all, original design details intact and appears to be in good condition. It sits on a narrow 25' lot. The building's contribution to the National Register historic district (which predated local designation by several years) was described in that report as "considerable." The home is currently occupied and maintained.

### ***Parking lots***

Both parking lots were already established when the district was designated in 1984; the lot at 1750 Trumbull was permitted in 1961, with the lot at 1501 Church following in 1968. The lone surviving historic building at the south parking lot block (1730 Trumbull) is considered a contributing building, despite the inappropriate application of vinyl siding.

### ***Historic district***

The Corktown local historic district was created in two non-contiguous sections in 1984, about six years after the NR district. In the report of the city's Historic Designation Advisory Board, the district is described as "significant as the traditional Irish immigrant neighborhood in the city of Detroit and as the oldest extant neighborhood in the city." Architecturally, it is described as

(A) sparsely populated community with low-scale residential buildings occasionally interspersed with a small-scale commercial building or industrial building. Buildings are generally very close to each other; they are frequently built on half of a 50 foot lot... Individual houses were not usually designed by architects. Mostly of frame construction, the early houses were supported on cedar posts and had no basements. Additions are a common feature of houses in the neighborhood, added as families grew, and architectural features stemming from architectural fashion of the second half of the nineteenth century were applied as families became more affluent.



It is of some interest to note that there is a record of historic houses being moved within the district, including at least one such approval per prior HDC action.

***Proposed new building: Elements of Design***

Of note, Element #1, *Height*, states that “Most residential buildings in the district range from one story to 2½ stories tall. However, an apartment building on Porter Street and a multi-unit building on Fourteenth Street are comprised of four stories each. Commercial and industrial buildings range in height from one to five stories tall; the Victorian commercial buildings are between two and three stories tall. Institutional buildings range from one to three stories.” No building in the immediate context rises higher than five stories, and these are rare. The proposed building would be the tallest in the vicinity, even along Michigan Avenue, and set a new precedent.

The materials and detailing proposed for use on the building are generally consistent with those used elsewhere in the historic district and Elements #7, *Relationship of materials*, and #8, *Relationship of textures*, with the significant exception of the west-facing elevations. EIFS, like vinyl siding, is a value-driven modern finish system which does not accurately or convincingly reproduce the texture and appearance of traditional stucco. The large blank expanse, though mitigated by the introduction of murals or artwork, would not be consistent with the textural interest and detailing on most other Corktown buildings, and gives the appearance of an abrupt cleaving of the building.



*Project context across Michigan Avenue (looking north from project site), with recent 5-story new construction building. Staff photo, May 11, 2020.*

## ISSUES & ANALYSIS

### *Certificate of Appropriateness (COA) Analysis*

The Commission, per Section 21-2-73 and 21-2-78 of the city code, is first asked to consider whether the project may be issued a Certificate of Appropriateness, or COA, which confirms that the work is “appropriate according to the defined elements of design for the historic district and the Secretary of the Interior’s standards for rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).” Per Part 67, the Commission must find that the proposed work “reasonably” meets the Standards with technical and economic feasibility considered.

- The Commission should determine first whether the existing building(s) on the principal site, 1401 Michigan, are contributing historic structures with architectural integrity dating to their Period of Significance. If found contributing, as staff recommends, their historic character must be preserved for a COA to be issued for this project.
- Staff finds that the materials, articulation, textures, and architectural expression of the proposed new building (independent of its size and massing, and excluding the west elevations) is generally consistent with those of larger buildings within the historic district and the related Elements of Design, and would be appropriate in isolation, ignoring the building’s mass and height.
- The new building is projected to rise to more than 80’ in height, reportedly consistent with height allowed by zoning. However, the Commission is aware that historic standards are driven by the regulated context, and often demand a compromise in height or massing for a building to be compatible with the existing historic district context and its Elements of Design. Based on this guidance, staff recommends a building height of not more than five stories, stepped down to four stories along Leverette Street adjacent to the historic home, for a finding of appropriateness relevant to a COA.



*Detail view of 1432 Leverette, showing proximity of property line (marked by 6' galvanized fence post). Staff photo.*

- Another staff concern has been the impact of the proposed building’s massing and height on the adjacent 1432 Leverette, a well-preserved and strongly contributing historic house that is the last survivor on a once dense residential block. While the applicant correctly points out that Corktown has



many historic period examples of sharp juxtapositions between small homes and larger commercial buildings, the transition here (because of the seven-story height of the proposed building) is still substantially sharper than any precedent in the neighborhood. Staff finds this relationship to be in plain conflict with the district's historic character; not because a small house next door would be preferable, but because the proposed new building is simply too big and too close. Staff is also concerned that potentially reduced habitability for this home (given its proximity to the rear mechanical area and loss of sunlight) will endanger its viability through decrease of rental income or property value, ultimately resulting in a potential demolition request for economic reasons. In staff's opinion, a substantial reduction in massing within a reasonable distance (one city lot) of the house, combined with a general reduction in height for the overall building, would markedly dilute this factor's impact on the project's historic appropriateness.

- The seven-story EIFS finish system proposed for the west elevations is an inappropriate expression within a historic district, and further compounds the negative effect of the building's close relationship to 1432 Leverette. This installation is also highly visible along Michigan Avenue. Though murals are planned for these areas, the underlying building material should still be appropriate for a COA.
- Though most if not all of the proposed surface parking was established and operating when the district was designated, staff finds that such use is not *\*historically\** appropriate for a historic district established upon the basis of a dense nineteenth and early twentieth century residential district, and questions the appropriateness of official sanction by HDC to perpetuate such use under a COA. The designation report, and many other sources, specifically notes the "toll" that urban renewal clearance has taken on Corktown, and Element #5, *Rhythm of spacing of buildings on streets*, notes that the district's rhythm has been "interrupted by vacant lots due to demolition of buildings." It is staff's position that the validation of large open parking lots in a historic district such as Corktown should not be approved via COA.



*View to southwest of 1750 Trumbull parking lot, with remaining historic house on block. Staff photo, May 11, 2020.*

### ***Notice to Proceed (NTP) Analysis***

The applicant has stated their intention to seek an approval via Notice to Proceed, should the Commission decide that the proposed project does not qualify for a COA. Per Section 21-2-78, the project may be granted a permit via a NTP if “the proposed work will be inappropriate according to the Secretary's standards and the defined elements of design for the historic district, but is without substantial detriment to the public welfare and without substantial derogation from the intents and purposes of this article, and where one or more of the conditions of Section 21-2-75 of this Code have been met.”

The referenced Section 21-2-75 offers four conditions which the Commission may consider, any of which found to be prevailing would qualify the project for approval:

- 1. The resource constitutes a hazard to the safety of the public or the occupants;*
- 2. The resource is a deterrent to a major improvement program that will be of substantial benefit to the community. Substantial benefit shall be found only if the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances, and the improvement program is otherwise feasible;*
- 3. Retention of the resource would cause undue financial hardship to the owner. Undue financial hardship shall be found only when a governmental action, an act of God, or other events beyond the owner's control created the hardship, and all feasible alternatives to eliminate the financial hardship, which may include offering the resource for sale at its fair market value or moving the resource to an appropriate vacant site within the historic district, have been attempted and exhausted by the owner;*
- 4. Retention of the resource would not be in the interest of the majority of the community.*

In short, a decision by the Commission to issue a NTP is a transaction; the city accepts inappropriate work in one of its historic districts in exchange for “substantial community benefit” or some other urgent or overriding concern.

In this case, the applicant is offering the following evidence to support substantial community benefit under Condition 2:

- The preparation of a Godfrey Hotel Community Engagement Plan developed by Crossroads Consulting, outlined in the submitted materials. The stated goals are to “inform and educate the community about the project” and “to gather input from the residents and to develop an ongoing strong relationship.” Community engagement tools envisioned for use include distributing flyers announcing meetings, developing an email and phone contact list, conducting a town hall meeting as well as small group gatherings. The Godfrey team “will establish ongoing relationships with block club, the neighborhood association and business leaders throughout Corktown.
- Community engagement work done to date, according to the applicant, includes:
  - A meeting on August 14, 2019 with project representatives and a group of neighbors at Nemo’s
  - A presentation to the Corktown Business Association Board of Directors on March 3, 2020, with resulted in a letter of support unanimously approved by the Executive Board members present
  - A meeting with the Corktown Historical Society on March 11, 2020 to answer questions and listen to residents.
  - A community-wide meeting at PAL to which members of three block clubs were invited, including the East End Corktown Block Club, the Central Corktown Block Club, and the Train Station Neighbors Block Club. The Corktown Neighborhood Association was notified and shared invitation with their membership. Flyers were distributed to every residence in historic Corktown that could be accessed, including Clement Kern Gardens, Victor Attar Apartments and the Sixth Street Lofts. Project representatives presented the project to the group and responded to questions from the audience.
  - A commitment to continue civic engagement through an open email and phone channel, as well as an email database to advise residents on developments in the project.
- Letter of support from the Corktown Business Association, including specific support for the demolition of the former Detroit Lions Administrative Building, described as a “long vacant eyesore.” The letter goes on to state that Corktown is a “community of walkers, runners, bikers, strollers and visitors who



enjoy the culture and atmosphere of Corktown” and “this demolition will aid in elevating that experience for everyone.”

- Letter of support from Dorothy Bennick, a resident on Labrosse and 8<sup>th</sup>
- Letter of support from the Board of Directors for The Corktown Experience, which calls the Godfrey Hotel Project “an appropriate complement to Michigan Avenue in Corktown” and supports the request for demolition. The letter notes that the property has been vacant for some time, and “while the painted-over, glazed brick of the building is interesting, the building itself has no historical or architectural significance.” The letter notes that “the developers have been transparent in their plans for this project” and the development “will bring a much needed vitality and vibrancy to Detroit’s oldest neighborhood,” and states that the Godfrey Hotel will be welcomed “as a Corktown partner that appreciates, respects and shares our community values.”
- A letter from Oxford Capital Group projecting the following annual figures for permanent job creation, salaries/hourly wages, taxes, and temporary (18-24 months) construction job creation:
  - Estimated annual payroll (including benefits and payroll tax) of approximately \$11 million, stabilized
  - Estimated number of full-time equivalent jobs at approximately 200, including all food and beverage venues
  - Estimated hourly wages of \$18-22/hour dependent on market wage, with an expectation to pay at or above union hourly wage scale and benefits and offer 401K
  - Estimated management salaries between \$50,000 and \$200,000, depending on position
  - Projected annual federal, state, city, county tax revenue of approximately \$10 million annually
  - Projected 350 temporary construction jobs with an average salary of \$75,000 plus benefits

Additionally, the applicant has addressed the requirements of condition 2 by providing:

- Written documentation from the CEO and President of Oxford Capital Group, LLC, attesting to the availability of all the required equity to complete the project. Additionally noted is that the majority has come from “local Detroit/Michigan investors.” A construction loan from a local bank is expected to complete capitalization of the project, and the applicant states with confidence their ability to finalize the debt financing for the project based on a track record of 25+ years in developing hotels nationwide.
- A five-year operating pro forma
- Written commitment to retain an environmental consultant prior to any demolition at the existing property, with abatement contractor to be engaged and staff notified should asbestos be found.
- Documentation that a Site Plan Review has been applied for, and a commitment that the applicant will abide by recommendations resulting from such review

The applicant has also partially responded to PDD’s and HDC staff’s design concerns regarding the building’s relationship to 1432 Leverette by modifying the expression of the west-facing EIFS wall by introducing a graphic design pattern (or mural, based on the Commission’s preference) and by adding additional architectural materials to turn the corner at the building, somewhat reducing the slab effect of the wall along Leverette. As discussed, many elements of the building are consistent with the Standards, and as historic preservation has been declared by the city to be a public purpose under Section 21-2-1 of the city code, those elements of appropriateness should be considered by the Commission in weighing community benefit in addition to the factors above.



## RECOMMENDATIONS

### **Certificate of Appropriateness, HDC Staff Recommendation**

For the reasons described under *Certificate of Appropriateness Analysis* (above), staff recommends that the Commission **deny** a Certificate of Appropriateness for the project as it fails to meet the 36 CFR 67 Secretary of the Interior's Standards and Guidelines for rehabilitating historic buildings and the District's defined Elements of Design, especially,

Standards number:

*(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved, and*

*(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

And Elements of Design number:

*(1) Height,*

*(5) Rhythm of spacing of buildings on streets*

*(7) Relationship of materials*

*(8) Relationship of textures*

*(15) Scale of facades and façade elements, and*

*(22) General environmental character*

### **Notice to Proceed, PDD Staff Recommendation**

It is staff's opinion that the current project qualifies for issuance of a Notice to Proceed (NTP), based on (1) the building's primary location on the Michigan Avenue commercial corridor, (2) certain features and elements of the building appropriate for a historic district, (3) the substantial community benefit achieved via increasing tax revenue, reactivation of long-time vacant spaces and associated temporary and permanent job opportunities, (4) demonstrated community support, and (5) the feasibility of the proposed improvement program.

The Planning Department therefore recommends that the Commission approve a conditional Notice to Proceed under Condition 2 of Section 21-2-75:

*The resource is a deterrent to a major improvement program that will be of substantial benefit to the community. Substantial benefit shall be found only if the applicant proposing the work has obtained all necessary planning and zoning approvals, financing, and environmental clearances, and the improvement program is otherwise feasible*

### **With the conditions that:**

- (1) The material on the west-facing elevations be revised from EIFS to the developer's choice of a traditional cement stucco system over CMU, a concrete wall panel system, or a masonry expression; such choice to be approved by PDD design review and HDC staff;
- (2) The NTP be suspended and not issued by staff until:
  - a. The applicant submits final construction documents for permit (including specifications) showing adherence to the approved design in all respects, including a contract with a Detroit-based artist for execution of the murals/graphic design, excepting minor changes typically approvable by staff, and;
  - b. The work has obtained all other necessary planning and zoning approvals, financing, and



environmental clearances and is otherwise ready to proceed, including completion of Site Plan Review and the implementation of any design changes based on recommendations thereon, which are hereby made staff-approvable if consistent with the Commission's intent;

- (3) The NTP is issued exclusively to this applicant team for this project, and does not run with the properties, individually or collectively, and;
- (4) The suspended NTP expires within one year of today's date if not successfully issued.

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 4/24/2020

## PROPERTY INFORMATION

ADDRESS: 1401 Michigan Avenue AKA:

HISTORIC DISTRICT: Corktown Historic District

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input checked="" type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input type="checkbox"/> Other:	

## APPLICANT IDENTIFICATION

<input type="checkbox"/> Property Owner/ Homeowner	<input type="checkbox"/> Contractor	<input type="checkbox"/> Tenant or Business Occupant	<input checked="" type="checkbox"/> Architect/Engineer/ Consultant
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NAME: Joel Smith, AIA COMPANY NAME: Neumann/Smith Architecture

ADDRESS: 400 Galleria, Suite 555 CITY: Southfield STATE: MI ZIP: 48034

PHONE: 248-352-8310 MOBILE: 248-302-4680 EMAIL: jsmith@neumannsmith.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

- ☒ Completed Building Permit Application (highlighted portions only)
- ☐ ePLANS Permit Number (only applicable if you've already applied for permits through ePLANS)
- ☒ Photographs of ALL sides of existing building or site
- ☒ Detailed photographs of location of proposed work (photographs to show existing condition(s), design, color, & material)
- ☒ Description of existing conditions (including materials and design)
- ☒ Description of project (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- ☒ Detailed scope of work (formatted as bulleted list)
- ☒ Brochure/cut sheets for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**



## P2 - BUILDING PERMIT APPLICATION

Date: 4/24/2020

### PROPERTY INFORMATION

Address: 1401 Michigan Avenue Floor: Suite#: Stories: 7  
AKA: Lot(s): 1, 12-14 Subdivision: Woodbridge Farm  
Parcel ID#(s): Total Acres: 0.635 Lot Width: 138' Lot Depth: 168 (varies)  
Current Legal Use of Property: Vacant (former office) Proposed Use: Hotel  
Are there any existing buildings or structures on this parcel? ☒ Yes ☐ No

### PROJECT INFORMATION

Permit Type: ☒ New ☐ Alteration ☐ Addition ☒ Demolition ☐ Correct Violations  
☐ Foundation Only ☒ Change of Use ☐ Temporary Use ☐ Other: \_\_\_\_\_  
☐ Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

### Description of Work (Describe in detail proposed work and use of property, attach work list)

Demolition of one story former office building, construction of new seven story hotel structure  
and refresh of two existing surface parking lots

☒ MBC use change ☐ No MBC use change

### Included Improvements (Check all applicable; these trade areas require separate permit applications)

☒ HVAC/Mechanical ☒ Electrical ☒ Plumbing ☒ Fire Sprinkler System ☒ Fire Alarm

### Structure Type

☒ New Building ☐ Existing Structure ☐ Tenant Space ☐ Garage/Accessory Building  
☐ Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) 168x65x11 (varies) cubic ft.

Construction involves changes to the floor plan? ☒ Yes ☐ No

(e.g. interior demolition or construction to new walls)

Use Group: R1 & A2 (Mixed use separated) Type of Construction (per current MI Bldg Code Table 601) 1B

Estimated Cost of Construction \$ \$45,000,000 \$ \_\_\_\_\_  
By Contractor By Department

### Structure Use

☐ Residential-Number of Units: \_\_\_\_\_ ☐ Office-Gross Floor Area \_\_\_\_\_ ☐ Industrial-Gross Floor Area \_\_\_\_\_  
☐ Commercial-Gross Floor Area: \_\_\_\_\_ ☐ Institutional-Gross Floor Area \_\_\_\_\_ ☒ Other-Gross Floor Area 137,000

Proposed No. of Employees: 225 List materials to be stored in the building: \_\_\_\_\_

**PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)**

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld? ☐ No

Permit Description:

Permit #:

Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined? ☐ Yes ☐ No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_





**IDENTIFICATION** (All Fields Required)**Property Owner/Homeowner**☐ Property Owner/Homeowner is Permit Applicant

Name: John Rutledge Company Name: Godfrey Detroit PropCo, LLC

Address: 350 W. Hubbard, Suite 440 City: Chicago State: IL Zip: 60654

Phone: 312-755-9500

Mobile:

Driver's License #: R34347963081

Email: jwr@oxford-capital.com

**Contractor**☐ Contractor is Permit Applicant

Representative Name: Sam Ruegsegger

Company Name: Christman/Norcon, a joint venture

Address: Fisher Bldg, Suite 2600, 3011 W. Gd. Blvd. City: Detroit State: MI Zip: 48202

Phone: 313-908-6060

Mobile: 517-719-7828

Email: sam.ruegsegger@christmanco.com

City of Detroit License #:

**TENANT OR BUSINESS OCCUPANT**☐ Tenant is Permit Applicant

Name:

Phone:

Email:

**ARCHITECT/ENGINEER/CONSULTANT**☒ Architect/Engineer/Consultant is Permit Applicant

Name: Joel Smith, AIA

State Registration#: MI-13010311120

Expiration Date: 10/31/2020

Address: 400 Galleria, Suite 555

City: Southfield

State: MI Zip: 48034

Phone: 248-352-8310

Mobile: 248-302-4680

Email: jsmith@neumannsmith.com

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name:

Signature:

Date:

(Homeowner)

Subscribed and sworn to before me this \_\_\_\_ day of \_\_\_\_ 20 \_\_\_\_ A.D. \_\_\_\_ County, Michigan

Signature:

My Commission Expires:

(Notary Public)

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. **I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be**

Print Name: Joel Smith, AIA

Signature:

Date:

4/24/2020

(Permit Applicant)

Driver's License #: S530425488159

Expiration: 3/1/2024

Subscribed and sworn to before me this 19<sup>th</sup> day of MARCH 2020 A.D. OAKLAND County, Michigan

Signature:

My Commission Expires:

1-5-2027

(Notary Public)

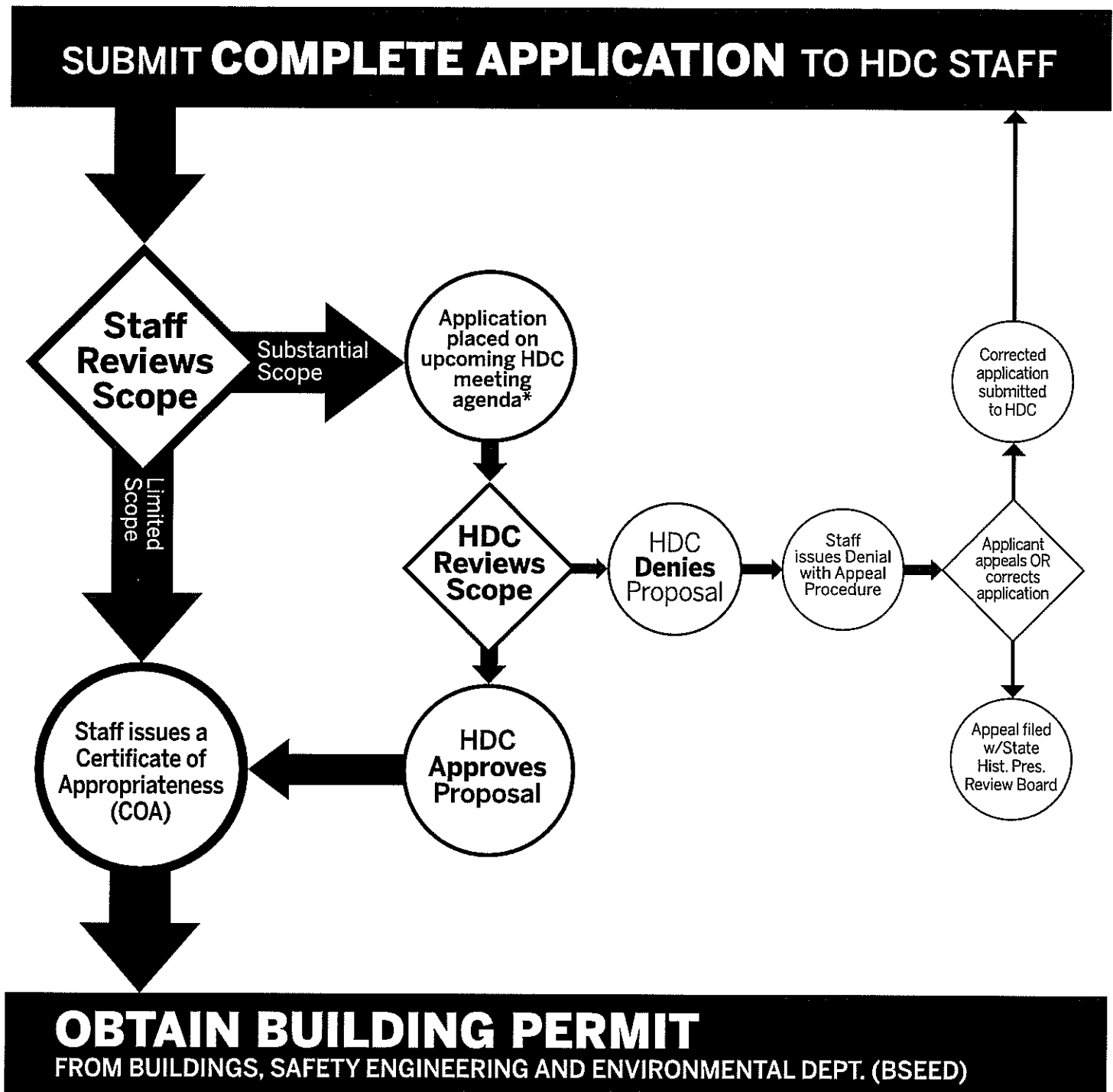
**Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.**

This application can also be completed online. Visit [detroitmi.gov/bseel/elaps](http://detroitmi.gov/bseel/elaps) for more information.





# HISTORIC DISTRICT COMMISSION REVIEW & PERMIT PROCESS



\* THE COMMISSION MEETS REGULARLY AT LEAST ONCE PER MONTH, TYPICALLY ON THE SECOND WEDNESDAY OF THE MONTH.  
(SEE WEBSITE FOR MEETING SCHEDULE/AGENDAS)

FIND OUT MORE AT [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc)



SOUTHFIELD • DETROIT

1500 Woodward  
Suite 300  
Detroit, Michigan 48226  
phone 313.782.4800  
www.neumannsmith.com

April 24, 2020

Mr. Garrick Landsberg  
Director of Historic Preservation  
Detroit Historic District Commission  
Planning & Development Department  
City of Detroit  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

RE: Godfrey Hotel – HDC Requests for Notice to Proceed & Certificate of  
Appropriateness

Dear Mr. Landsberg:

In accordance with requirements from the Detroit Historic District Commission, we are submitting project information for the proposed Godfrey Hotel project located on Michigan Avenue in Corktown in Detroit, and requesting that we be placed on the HDC May agenda to request a "Notice to Proceed" and "Certificate of Appropriateness" on this project.

The Godfrey Hotel project is proposed to be built on the site of the existing building(s) at 1401-1411 Michigan Avenue. A review of Detroit Sanborn Insurance maps shows four structures on the Michigan Avenue frontage in 1921, but by 1951 the thin triangular building at 1401 was listed as "office" and the small building at 1411 was listed as "radiator shop." The current combined building that served as the Detroit Lions offices, including the Mid Century Modern addition to the south, was probably constructed in the late 50's-early 60's concurrent with the trading of Bobby Layne (& the "50 year Curse") and beginning the tenures of Lem Barney, Mel Farr, and Charlie Sanders in '65-'68. The Lions last game at Tiger Stadium was in November 1974 and they moved to the Silverdome the following year.

1411 Michigan Avenue is a one-story masonry commercial structure, currently painted white, with few defining features and was originally constructed as a radiator shop prior to 1949.

1401 Michigan Avenue is also a one-story masonry commercial structure, with white glazed brick, thin triangular floor plan, large office fixed pane windows (not for display as sills are elevated) on Michigan Avenue, with simple detailing and a near northeast corner front entry door at the property line.

The South Addition is a Mid-Century Modern one-story building executed in a tan-colored brick, natural aluminum window/door frames and composite panels/ clear glazing in the frames. The east main entry is flanked by two crenelated brick "fabric" panels with a cantilevered aluminum clad canopy above the entry door. The aluminum/glass window walls are detailed to begin just above a low-rise concrete curb planting area with top or head frames overlapping the parapet structure of the roof to seemingly 'blend into the sky.' The south wall of the addition is also tan brick with several individual vertically oriented aluminum/glass windows. The west elevation is primarily tan brick with a few punched opening windows and a protruding cross shaped canopy structure with integral brick raised planter boxes engaging the canopy columns. The east and south facades of the addition are a pure execution of the



Modernist style with ground to parapet top window frames, rotated brick decorative panels flanking the entrance, and a cantilevered entry canopy. We concur that these two facades of the addition building are fine examples of the Mid Century Modern aesthetic!

The planning map that was titled "Corktown Historic District-Detroit" and initialed "REM" 2/78 was included as reference by the survey committee that provided the National Register Historic District nomination for Corktown in 1978. On that color-coded map 1401-1411 Michigan Avenue is indicated to be "neutral" in historic contribution to the historic district (two levels of "considerable" and "some" historic contribution are above that designation.) The NR nomination lists the building owner as "Detroit Lions, Inc." With the survey occurring within two decades of the construction of the Mid Century Modern addition, it is probable that the survey committee did not cite the addition's architectural style as a contributing factor due to its recent execution.

We acknowledge that the existing structure incorporates an addition with partial (east & south facades) Mid Century Modern architectural contribution, but given the NR nomination above, as well as the architectural descriptions, we do not believe that 1401-1411 Michigan Avenue exhibits a substantial architectural contribution to the Corktown Historic District, and all building components were constructed during the latter period (1401-1411), or after (south addition) the period of significance of the district. The building does bear historical significance as the headquarters of the Detroit Lions from the late 50's until 1974, and the developers are interested in commemorating that historical importance in the development in some fashion.

**Notice To Proceed:** We respectfully acknowledge the historical significance of the former Detroit Lions offices, but maintain that the proposed Godfrey Hotel project will provide a "higher and best use" to the community by being constructed on this site. We request that the Historic District Commission grant a Notice to Proceed for the demolition of 1401-1411 Michigan Avenue to allow for construction of the Godfrey Hotel, and the developers offer the following attached documents to demonstrate compliance with Section 25-2-22, subparagraph 2 of required preconditions to requesting a Notice to Proceed for demolition of the structure:

- Letter from Detroit City Planning relative to their review of this project (forthcoming)
- Letter from Hunter Pasteur relative to retention of environmental testing and abatement firms and proposed clearance of hazardous material conditions on the property
- Letter from Oxford Capital relative to their equity assembly and financing placement
- Five year operations pro forma from Oxford Capital demonstrating project financial feasibility.
- Oxford Capital letter of economic development benefits of the Godfrey Hotel project.
- Community Engagement plan and letters of support

As a necessary condition of approving the above noted Notice to Proceed, we are also requesting a **Certificate of Appropriateness** for the design of the proposed Godfrey Hotel on the former Detroit Lions office site. We offer the following materials and narratives in support of that request:

- Corktown Historic District map 1978
- Exterior photos of the former Detroit Lions office building at 1401-1411 Michigan Avenue and surrounding neighborhood buildings.
- Architectural site plan
- Schematic drawings including floor plans, elevations, and building sections

- Material sample boards
- Project narrative
- 3D renderings of the proposed new building

In addition to the attached documentation, we are also submitting the following narratives to describe the design of the new building and how it was contextually developed relative to the HDC “Elements of Design.”

#### **Godfrey Hotel Design Narrative**

The main portion of the proposed building design follows an established Detroit commercial building form described as Tripartite Construction, consisting of a storefront “base”, middle “body”, and upper “crown” area. This form follows existing adjacent buildings located along Michigan Avenue and in the Corktown Historic District. This established building form is used to present a strong, familiar presence on the corner of Michigan Avenue and Eighth Streets. The building’s “base” along Michigan Avenue and Eighth Street is a transparent storefront façade punctuated by vertical brick pilasters resting on stone plinths. The building’s “body” in same facades is a brick grid (pilasters and spandrel panels) punctuated by the hotel room windows. The “crown” is a two story expression with two story metal panel pilasters flanking glazed openings and an upper metal cornice. The Leverette Street façade is similar, but with more opaque metal panel and door elements at service locations.

Materials for the proposed new building are compatible with the surrounding area and have been frequently used in other mixed-used modern high-rise buildings in the city. The form, massing, and scale of this proposed hotel closely resemble elements typically used in Tripartite Construction. Detailing which has been used in areas only as necessary to make sure that the building remains clean and matches its modern high-rise design.

#### **Godfrey Hotel Compatibility with Corktown Elements of Design**

Adjacent Buildings Context: To the east (1381 Mich Ave) and southeast (1300 Leverette) are two one-story commercial/industrial masonry buildings with few window openings, painted brick/block, and constructed as automotive repair type businesses (1381 currently being renovated into possible restaurant.)

To the northwest are the rear facades of St. Peter’s Episcopal Church and offices which are a restrained example of the Gothic ecclesiastical style executed in a medium brown brick with limestone detailing, and copper gutters/downspouts.

To the southwest is a house owned by St. Peter’s which the congregation currently rents out to a private tenant. The structure is a Queen Anne style Victorian painted clapboard style, with hooded projecting front gable with side brackets above a two story bay window form adjacent to the off center front porch and canopy. The gable end incorporates a triplet of small fixed windows with a single triangular projecting sill beneath them. The gable end is framed with a wide entablature trim and exhibits brackets beneath the roof hood and also beneath the projecting gable face. The front porch canopy is supported by a pair of three square post columns bearing on square brick and limestone base piers. The west elevation of the house exhibits double hung wood punched window openings and a first floor bay window structure with double hung wood windows and transom windows above. The east façade of the house was built within a few feet of the property line with the main southern body of the structure devoid of window openings, then the structure steps back to the west and that



east face has punched window openings and a hip roof above. The rear structure of the house steps back again from the east, is devoid of window openings, and has a north-facing shed roof and porch with shed roof canopy above it.

To the north across Michigan Avenue is a blockfront of historic structures ranging from one story (McShane's) to the three story central multi-storefront block (1416-1432) which is a fine example of an Italianate brick commercial building retaining upper double hung wood windows with decorative hoods on the segmental arch openings, and significant portions of the original painted wood and glass storefronts of that era with multi-light transom windows and recessed entries. Two two-story structures to the east of McShane's exhibit second story bay window structures and reconstructed contextual storefronts beneath. The eastern corner building is the former Dime Savings bank executed in dark brown brick with white terra cotta cornice, and trim details.

Height: At 82'-6" in height, the Godfrey Hotel utilizes the maximum allowable height in the Michigan Avenue Traditional Overlay District. The tripartite division of the façade is established with a datum representing the historic storefront display window/transom heights on neighboring buildings, the crown/body datum is established by the heights of neighboring buildings such as Elton Park's Crawford and the 6<sup>th</sup> Street Loft building.

Mass/Scale: The hotel building's massing is derived from the examples of the larger commercial/industrial historic buildings in Corktown (Checker Cab, Grinnell's Lofts, 6<sup>th</sup> Street Lofts, Kaul Glove factory, etc.) The scale of the proposed hotel relates to the scale of historic blockfronts on Michigan Avenue (as a combination of building facades) as well as the larger loft buildings.

Proportion of Front Façade (Vertical/Horizontal Expression): The Godfrey Hotel front façade proportions (Michigan Avenue, 8<sup>th</sup> Street, and Leverette) are essentially rectangular with horizontal form and vertical design elements such as the brick and metal pilasters traversing the height of the building.

Openings (% and Orientation): The proportion of openings versus solid wall on the building is 40% on average, and again derives its proportion from neighboring historic loft structures.

Opening Rhythm: Window openings are in a regular grid pattern approaching a square form within the majority brick rectangular grid of pilasters and spandrel elements. This shape/rhythm of wall openings is compatible with the wall patterns of historic loft buildings in the neighborhood.

Blockfront Rhythm: The building's façade rhythm is again derived from the opening cadence in nearby loft structures.

Compatible Materials: The building's material palette is derived from common Corktown building elements: brick, glass, metal accent elements and cornice with stone bases on building pilasters.

Compatible Textures: The textures of brick surfaces juxtaposed with coated metal accent elements (contemporary cousins of Victorian painted wood trim and panels) frame the glazed openings that comprise the building facades.

Compatible Colors: With the majority use of brick as the body color of the building with darker gray metal accent elements, the Godfrey derives its coloration from the historic loft, industrial structures in Corktown.

Architectural Detail: The Godfrey's use of architectural detail is found in the metal accent panels "trimming out" upper floor window openings, brick patterns, and metal cornice/pilaster details of the building's "crown" floor levels.

Roof Shape: The building has a flat roof similar to historic commercial buildings in Corktown. The interspersal of a top level roof deck with retractable roof covering and colonnade of pilasters offers a whimsical touch to the building's crown, similar to the original decorative effect of cornices of the Victorian commercial buildings on Michigan Avenue.

Continuous Street Wall: With the Godfrey's three streetfront facades developed at zero lot lines, the urban commercial district public realm character is preserved in a continuous street wall.

Landscape/Surface Treatments: The public right of way sidewalks adjoining the Godfrey Hotel on Michigan Avenue, 8<sup>th</sup> Street and Leverette will all be finished with traditional concrete paving.

Façade & Elements Scale: The Godfrey uses the traditional storefront base of display windows and signage transom to derive context from neighboring historic commercial facades. The body of the building comprised of a rectangular brick and glass grid offers a pleasing rhythm of openings compatible with nearby loft structures. The two story building crown with two story metal pilasters and metal cornice elements provide detail to add to the interest of the buildings top.

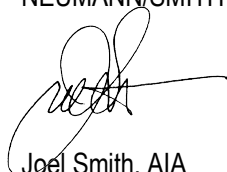
Façade Complexity: The Tripartite vertical design of the building's façade bring it within the milieu of traditional historic façade expression throughout the historic district

Symmetrical vs Asymmetrical: The Godfrey Hotel's three primary building facades are a continuous rollout of vertical structural bays with entries punctuating the transparent storefront base on Michigan Avenue and 8<sup>th</sup> Street. The facades do not exhibit a large entrance expression either central or asymmetrical and therefore this design element does not apply here.

Please let me know if you require additional information or have any questions.

Sincerely,

NEUMANN/SMITH ARCHITECTURE



Joel Smith, AIA  
President

Copies: Mike Kirk: Neumann Smith



# Hunter Pasteur H O M E S

GODFREY DETROIT PROPCO, LLC

City of Detroit

Planning and Development Department

Historic District Commission

To whom it concerns:

The Owner, Godfrey Detroit Propco LLC, will retain the environmental consultant prior to demolition of the existing property to provide necessary testing/sampling of building elements and report the findings.

If any asbestos is located, specialty abatement contractor will be engaged along with environmental consultant to provide proper abatement/ asbestos removal prior to demolition of the existing building. Environmental consultant will monitor the procedures to assure compliance with the environmental regulations.

Thank you



GODFREY DETROIT PROPCO, LLC, a Delaware limited liability company





Mr. Garrick Landsberg  
Director of Historic Preservation  
Detroit Historic District Commission  
Planning & Development Department  
City of Detroit  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Mr. Landsberg:

Oxford Capital Group, LLC is a national real estate investment, development and management firm whose activities have concentrated on complicated, large scale acquisitions, developments and redevelopments. Oxford's long-time investors and joint-venture partners include leading institutional fund managers, endowment funds, pension funds, sovereign wealth funds, foundations, family offices and publicly traded companies including REIT's. Lenders include investment banks, commercial banks (balance sheet and CMBS), and credit companies.

Over its 25+ year history, Oxford has participated in approximately \$3B+ of real estate projects, with a primary focus on hospitality (13,000+ hotel rooms) and hospitality anchored mixed use projects including multifamily, retail, parking, senior housing (approximately 2,000+ units) and other operationally intensive forms of real estate.

For the Godfrey Detroit, we have raised all the required equity, the majority of which has come from local Detroit/Michigan investors. As is typical under such circumstances, our plan is to secure a third party construction loan, likely from a local bank, to round out capitalization of the project. Oxford has been investing in and developing hotels around the country for 25+ years and has worked with most of the major real estate/hospitality lenders and we are highly confident in our ability to finalize the debt financing of this project.

John W. Rutledge

CEO, President, Founder  
Oxford Capital Group, LLC.  
Oxford Hotels and Resorts, LLC.



Godfrey Detroit - Corktown Five Year Operating Proforma - Oxford Capital Group																				
	2022/2023 FCST				2023/2024 FCST				2024/2025 FCST				2025/2026 FCST				2026/2027 FCST			
Average Daily Rate	\$178.11				\$196.84				\$210.69				\$214.91				\$219.20			
Percentage Of Occupancy	69.68%				74.13%				74.13%				74.13%				74.13%			
RevPAR	\$124.11				\$145.91				\$156.18				\$159.30				\$162.49			
Number of Rooms	227				227				227				227				227			
# of Rooms Sold	57,734				61,419				61,419				61,419				61,419			
# of Rooms Available	82,855				82,855				82,855				82,855				82,855			
	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR
REVENUES																				
Rooms	10,283,186	45.6%	\$45,300	\$178.11	12,089,629	48.4%	\$53,258	\$196.84	12,940,380	48.8%	\$57,006	\$210.69	13,199,188	48.5%	\$58,146	\$214.91	13,463,172	48.3%	\$59,309	\$219.20
Food & Beverage	7,927,015	35.2%	\$34,921	\$137.30	8,164,826	32.7%	\$35,968	\$132.94	8,409,771	31.7%	\$37,047	\$136.93	8,662,064	31.9%	\$38,159	\$141.03	8,921,926	32.0%	\$39,304	\$145.26
Meeting Space	3,664,133	16.3%	\$16,142	\$0.00	4,030,546	16.1%	\$17,756	\$65.62	4,433,601	16.7%	\$19,531	\$72.19	4,566,609	16.8%	\$20,117	\$74.35	4,703,607	16.9%	\$20,721	\$76.58
Telephone	5,773	0.0%	\$25	\$0.10	6,326	0.0%	\$28	\$0.10	6,516	0.0%	\$29	\$0.11	6,711	0.0%	\$30	\$0.11	6,913	0.0%	\$30	\$0.11
Parking Revenue	313,119	1.4%	\$1,379	\$5.42	343,099	1.4%	\$1,511	\$5.59	353,391	1.3%	\$1,557	\$5.75	363,993	1.3%	\$1,603	\$5.93	374,913	1.3%	\$1,652	\$6.10
Restaurant Lease	192,535	0.9%	\$848	\$3.33	198,311	0.8%	\$874	\$3.23	210,260	0.8%	\$900	\$3.33	210,388	0.8%	\$927	\$3.43	216,700	0.8%	\$955	\$3.53
Other Income	156,560	0.7%	\$690	\$2.71	171,549	0.7%	\$756	\$2.79	176,696	0.7%	\$778	\$2.88	181,997	0.7%	\$802	\$2.96	187,457	0.7%	\$826	\$3.05
Total Revenues	22,542,320	100.0%	\$99,305	\$390.45	25,004,285	100.0%	\$110,151	\$407.11	26,524,615	100.0%	\$116,849	\$431.87	27,190,949	100.0%	\$119,784	\$442.71	27,874,686	100.0%	\$122,796	\$453.85
DEPARTMENTAL EXPENSES																				
Rooms	3,648,261	35.5%	\$16,072	\$63.19	3,910,606	32.3%	\$17,227	\$63.67	4,048,148	31.3%	\$17,833	\$65.91	4,165,152	31.6%	\$18,349	\$67.82	4,285,600	31.8%	\$18,879	\$69.78
Food & Beverage	5,945,262	75.0%	\$26,191	\$102.98	6,123,619	75.0%	\$26,976	\$99.70	6,307,328	75.0%	\$27,786	\$102.69	6,496,548	75.0%	\$28,619	\$105.77	6,691,444	75.0%	\$29,478	\$108.95
Meeting Space	1,706,797	46.6%	\$7,519	\$29.56	1,877,477	46.6%	\$8,271	\$30.57	2,065,224	46.6%	\$9,098	\$33.63	2,127,181	46.6%	\$9,371	\$34.63	2,190,996	46.6%	\$9,652	\$35.67
Telephone	34,640	0.3%	\$153	\$0.60	35,679	0.3%	\$157	\$0.62	36,750	0.3%	\$162	\$0.64	37,852	0.3%	\$167	\$0.66	38,988	0.3%	\$172	\$0.68
Parking Expense	234,839	75.0%	\$1,035	\$4.07	257,324	75.0%	\$1,134	\$4.19	265,044	75.0%	\$1,168	\$4.32	272,995	75.0%	\$1,203	\$4.44	281,185	75.0%	\$1,239	\$4.58
Other Expenses	54,796	35.0%	\$241	\$0.95	60,042	35.0%	\$265	\$0.98	61,844	35.0%	\$272	\$1.01	63,699	35.0%	\$281	\$1.04	65,610	35.0%	\$289	\$1.07
Total Departmental Expenses	11,624,595	51.6%	\$51,210	\$201.35	12,264,747	49.1%	\$54,030	\$199.69	12,784,337	48.2%	\$56,319	\$208.15	13,163,427	48.4%	\$57,989	\$214.32	13,553,823	48.6%	\$59,708	\$220.68
DEPARTMENTAL PROFIT	10,917,726	48.4%	\$48,096	\$189	12,739,538	50.9%	\$56,121	\$207	13,740,278	51.8%	\$60,530	\$224	14,027,523	51.6%	\$61,795	\$228	14,320,863	51.4%	\$63,088	\$233
UNDISTRIBUTED OPERATING EXPENSES																				
Administrative & General	1,524,410	6.8%	\$6,715	\$26.40	1,619,783	6.5%	\$7,136	\$26.37	1,690,118	6.4%	\$7,445	\$27.52	1,737,851	6.4%	\$7,656	\$28.30	1,786,976	6.4%	\$7,872	\$29.09
Management Fees	676,270	3.0%	\$2,979	\$11.71	750,129	3.0%	\$3,305	\$12.21	795,738	3.0%	\$3,505	\$12.96	815,728	3.0%	\$3,594	\$13.28	836,241	3.0%	\$3,684	\$13.62
Franchise Fees	1,131,150	11.0%	\$4,983	\$19.59	1,450,755	12.0%	\$6,391	\$23.62	1,682,249	13.0%	\$7,411	\$27.39	1,715,894	13.0%	\$7,559	\$27.94	1,750,212	13.0%	\$7,710	\$28.50
Sales & Marketing	1,125,821	5.0%	\$4,960	\$19.50	1,159,997	4.6%	\$5,110	\$18.89	1,195,217	4.5%	\$5,265	\$19.46	1,231,516	4.5%	\$5,425	\$20.05	1,268,925	4.6%	\$5,590	\$20.66
Operations & Maintenance	869,877	3.9%	\$3,832	\$15.07	896,335	3.6%	\$3,949	\$14.59	923,605	3.5%	\$4,069	\$15.04	951,711	3.5%	\$4,193	\$15.50	980,681	3.5%	\$4,320	\$15.97
Utilities	407,055	4.0%	\$1,793	\$7.05	446,028	3.7%	\$1,965	\$7.26	459,409	3.6%	\$2,024	\$7.48	473,191	3.6%	\$2,085	\$7.70	487,387	3.6%	\$2,147	\$7.94
Total Undistributed Operating Expenses	5,734,583	25.4%	\$25,262	\$99.33	6,323,026	25.3%	\$27,855	\$102.95	6,746,336	25.4%	\$29,720	\$109.84	6,925,892	25.5%	\$30,511	\$112.77	7,110,421	25.5%	\$31,323	\$115.77
GROSS OPERATING PROFIT	5,183,143	23.0%	\$22,833	\$89.78	6,416,512	25.7%	\$28,267	\$104.47	6,993,942	26.4%	\$30,810	\$113.87	7,101,631	26.1%	\$31,285	\$115.63	7,210,443	25.9%	\$31,764	\$117.40
FIXED EXPENSES																				
FF&E Reserve	0	0.0%	\$0	\$0.00	378,132	1.5%	\$1,666	\$6.16	804,117	3.0%	\$3,542	\$13.09	823,065	3.0%	\$3,626	\$13.40	842,477	3.0%	\$3,711	\$13.72
RE Taxes (Including PA 210 Tax Abatement)	405,762	1.8%	\$1,787	\$7.03	450,077	1.8%	\$1,983	\$7.33	477,443	1.8%	\$2,103	\$7.77	491,766	1.8%	\$2,166	\$8.01	506,519	1.8%	\$2,231	\$8.25
Property Insurance	123,114	0.5%	\$542	\$2.13	126,807	0.5%	\$559	\$2.06	130,612	0.5%	\$575	\$2.13	134,530	0.5%	\$593	\$2.19	138,566	0.5%	\$610	\$2.26
Total Fixed Expenses	528,876	2.3%	\$2,330	\$9.16	955,016	3.8%	\$4,207	\$15.55	1,412,172	5.3%	\$6,221	\$22.99	1,449,361	5.3%	\$6,385	\$23.60	1,487,562	5.3%	\$6,553	\$24.22
HOTEL NET OPERATING INCOME	4,654,267	20.6%	\$20,503	\$80.62	5,461,495	21.8%	\$24,059	\$88.92	5,581,770	21.0%	\$24,589	\$90.88	5,652,270	20.8%	\$24,900	\$92.03	5,722,881	20.5%	\$25,211	\$93.18



Mr. Garrick Landsberg  
Director of Historic Preservation  
Detroit Historic District Commission  
Planning & Development Department  
City of Detroit  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Mr. Landsberg:

As part of the Godfrey Hotel Detroit development, Oxford Capital Group projects the following annual figures for permanent job creation, salaries/hourly wages, taxes, and temporary (18-24 months) construction job creations.

**Estimated Annual Payroll Including Benefits and Payroll Tax:** Approximately \$11M stabilized.

**Estimated Number of Permanent FTE's:** Approximately 200 (including all F&B venues).

**Estimated Hourly Wage:** Estimated at \$18-22/hour but depends on market wage. We expect to pay at or above union hourly wage scale + benefits and offer 401K.

**Estimated Manager Salaries:** Estimated at between \$50K-200K depending on position

**Projected Annual Federal, State, City, County Tax Revenue:** Approximately \$10M generated annually (Hotel Tax, RE Tax – PA 210, Sales Tax, Payroll Tax, Income Tax, etc).

**Projected Temporary Construction Jobs:** 350 over an 18-24 month period with an average salary of \$75K plus benefits.

John W. Rutledge

CEO, President, Founder  
Oxford Capital Group, LLC.  
Oxford Hotels and Resorts, LLC.





## **GODFREY HOTEL COMMUNITY ENGAGEMENT PLAN**

### **INTRODUCTION**

This Community Engagement Plan is designed to provide residents with accurate information on the project in a transparent and reliable manner. The Godfrey team is committed to listening and responding to community concerns and seeking resident input and ideas about the project.

### **BACKGROUND**

According to the Encyclopedia of Detroit at the Detroit Historical Museum

Corktown is the oldest existing neighborhood in Detroit, Michigan, though it is only half as old as the city itself. In the 1820s and 30s, with the opening of the Erie Canal and the decreased cost of steamboat travel on the Great Lakes, immigrants began arriving in Detroit in significant numbers and settling downtown. As the number of Irish immigrants fleeing the Great Irish Potato Famine of the 1840s increased, they began to move west of downtown Detroit into the area now known as Corktown, named after County Cork, Ireland. By the early 1850s, half of the residents of the 8th Ward (which contained Corktown) were of Irish descent. Historically, the neighborhood was roughly bounded by Third Street to the east, Grand River Avenue to the north, 12th Street to the west and Jefferson Avenue to the south.

Corktown today has a different footprint today, Sixth St on the east, 17<sup>th</sup> St on the west, The freeways on the north and Fort Street on the south (zip codes 48216, and portions of 48226 and 48201) remains a vital part of Detroit's history and current narrative. While various demographic sources cite slightly different numbers. The general consensus is that the population of Corktown today is approximately 1260 residents, 55% female and 45% male. With a median income of \$56,558, Corktown has an educated population with a majority of residents having attended some college, received a bachelor's or master's degree.

Race and Ethnicity data paints a diverse picture. Corktown has the following breakdown -- 41.3% White, 34.3% Black and 21.9% Hispanic. The Corktown community has a history of serving both immigrant and transient populations that add to the diversity of the neighborhood. There is a tradition in Corktown of assisting homeless people that dates back to the 1930s.

### **ENGAGEMENT PLAN and UPDATE ON ACTIVITIES TO DATE**

As indicated above, the goals of the plan are to inform and educate the community about the project. The team seeks to gather input from the residents and to develop an ongoing strong relationship.

We will employ the standard tools for community engagement, including distributing flyers announcing meetings, developing an email and phone contact list, conducting a town hall meeting as well as small group gatherings. The Godfrey team will establish ongoing relationships with block clubs, the neighborhood association and business leaders throughout Corktown.

The hallmark of the development team's approach is demonstrated by the community engagement work done to-date.

On August 14, 2019, Mr. Randy Wertheimer from Hunter Pasteur Homes introduced a group of neighbors to the concept of a major Corktown development. At that time two proposals were shared with the community members present. Because Mr. Wertheimer is committed to transparency he shared a project with residents before the actual development plans were completed. Approximately, 20 people attended this meeting at Nemo's back room.

On March 3, 2020, Mr. Wertheimer presented the hotel project to the Corktown Business Association Board of Directors, seeking support for the project as well as support for the demolition of the vacant Detroit Lions Administrative headquarters. See attached letter of support unanimously approved by Executive Board members present.

On March 11, 2020 the Godfrey team had the opportunity to present the hotel project at a meeting of the Corktown Historical Society. It was an opportunity not only to present to the society, but to answer questions and listen to suggestions from residents. There were approximately 25 people at this meeting at Nemo's back room.

On Thursday March 12<sup>th</sup>, Crossroads Consulting hosted a community-wide meeting at PAL on behalf of the Godfrey Hotel project. Email invitations were sent to members [for whom we had email addresses] of the three block clubs -- East End Corktown Block Club, the Central Corktown Block Club and the Train Station Neighbors block Club. The Corktown Neighborhood Association was notified and they shared the invitation with their membership. Flyers were distributed to every residence in Historic Corktown that could be accessed, including Clement Kern Gardens, Victor Attar Apartments and the Sixth Street Lofts.

Approximately 40 people were at the meeting. Representatives of both Hunter Pasteur Homes and The Godfrey Hotel presented to the group and responded to questions from the audience. A commitment was made to the group that the project team will insure that notices of any City meetings would be widely shared; as there is concern that the 300' legal requirement for notification leaves out many residents who have real interest and concerns about development projects in the neighborhood.

Our civic engagement challenge in a period of social isolation is increased. It remains our ongoing responsibility to keep the community informed. We will maintain an open channel through email and phone (calls or texts) we are developing a email database to advise residents of developments in the project.

Please see attached letters of support for the project and the demolition of the vacant Detroit Lions Administration building.





Corktown Business Association, Inc.

PO Box 32310  
1401 W. Fort St  
Detroit, MI 48232

---

March 3, 2020

City of Detroit  
Historic District Commission  
2 Woodward Ave.  
#808  
Detroit, Mi. 48226

To Whom It May Concern,

During a regular scheduled meeting of the Corktown Business Association, our Board of Directions unanimously vote to support the demolition of the building located at 1401 Michigan Ave. commonly referred to as the Detroit Lions Administrative Building. This demolition will allow for a new enterprise that will enhance the vibrancy of the neighborhood, while eliminating a long vacant eyesore.

We are a community of walkers, runners, bikers, strollers and visitors who enjoy the culture and atmosphere of Corktown. This demolition will aid in elevating that experience for everyone.

The Corktown Business Association feels this is a very important parcel with our commercial corridor and we look forward to being involved with it's future.

Contact me with any questions or concerns.

Respectfully Submitted,

Bob Roberts  
President

---

[www.corktowndetroit.biz](http://www.corktowndetroit.biz)  
[hello@corktowndetroit.biz](mailto:hello@corktowndetroit.biz)



----- Forwarded message -----

From: **Dorothy Bennick** <[bdeb8575@gmail.com](mailto:bdeb8575@gmail.com)>

Date: Fri, Apr 3, 2020, 5:28 PM

Subject: Godfrey Corktown Hotel

To: <[hdc@detroitmi.gov](mailto:hdc@detroitmi.gov)>, <[Rossj@detroitmi.gov](mailto:Rossj@detroitmi.gov)>

As a resident of historic Corktown I am writing to you to express my endorsement of the planned hotel on Michigan Ave and 8th St.

I attended 2 presentations for this project and feel that the design fits into the Michigan Ave look.

My 2 concerns would relate to noise from the roof top and enough parking for a full building. Both of these questions were addressed at the meeting and I will trust the answers given will address these concerns.

Should you have any questions please do not hesitate to contact me.

Dorothy Bennick  
Resident on Labrosse and 8th

Thank you for your time.





**Board of Directors**

Debra Walker, Chair

Lynn Lutton, Treasurer

Kathleen Mutch, Secretary

April 3, 2020

Attention: Detroit Historic District Commission  
Jennifer Ross, Architectural Historian

**RE: Letter of Support for the Godfrey Hotel Project Demolition Request**

The Godfrey Hotel Project, as planned, would be an appropriate complement to Michigan Avenue in Corktown. The architectural design for the hotel supports the intent of the Traditional Main Street Overlay. The Board of Directors of Corktown Experience supports the project's request for approval to demolish the building currently on site.

For a time the building to be demolished was used as the headquarters for the Detroit Lions and later by the City Cab Company. It has been vacant for some time. While the painted-over, glazed brick of the building is interesting, the building itself has no historical or architectural significance.

The developers' willingness to place a memento somewhere on the hotel property recognizing previous use of the site by the Detroit Lions is commendable.

The developers have been transparent in their plans for this project, making presentations to the community on several occasions. Corktown residents attended, expressed their opinions, and the developers listened, stating their intent to mitigate any concerns. The developers are well on their way to being great neighbors.

The reputation of the hotel owners is exemplary. It has been helpful to confirm they have been successful with similar projects in other cities, including Chicago. This development will bring a much needed vitality and vibrancy to Detroit's oldest neighborhood. We look forward to the Godfrey Hotel being more than a destination; we welcome it as a Corktown partner that appreciates, respects and shares our community values.

Please affirm the Godfrey Hotel's request to demolish this vacant building.

Yours in community,

Kathleen M. Mutch, Secretary  
Corktown Experience  
248-224-4211

Godfrey Hotel project community meeting - Thursday, March 12, 2020

Print Name

Address

Email

BOB ROBERTS

CHRIS & TIM HOOKER

JENNIFER REYNOLDS

Blake Alastead

Vince Krumm

Giles Simmer

JANET RAY

Samir Olabi

MONET DAVIS

DAVID LARSEN

DAVID JONATHAN

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED] DETROIT

[REDACTED]

[REDACTED] Detroit

[REDACTED]

[REDACTED]

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[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



# Godfrey Hotel project community meeting - Thursday, March 12, 2020

Print Name

Address

Email

KELLY LARSON

MIKE HICKOY

Sarah McKay

Tinn McKay

MIKE EATON

Ben Mori

Dorothy RENNICK

Kevin SATTENCE

Brandon Lee

Brandon Levesee

James Turney

Hilliard Hampton

Kyle Franken

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED] 48216

[REDACTED] 48217

[REDACTED] 48216

[REDACTED]

[REDACTED]

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[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Godfrey Hotel project community meeting - Thursday, March 12, 2020

Print Name

Address

Email

Joshua Plark

DAVID ESPARZA

ANTHONY FOMMOSA

SALAH ALI

Joan Smith

Sloane Walsh



# Godfrey Hotel Detroit

HISTORIC DISTRICT COMMISSION PRESENTATION

MAY 13, 2020



Hunter Pasteur  
HOMES

Oxford  
Capital Group, LLC



ELKUS | MANFREDI  
ARCHITECTS





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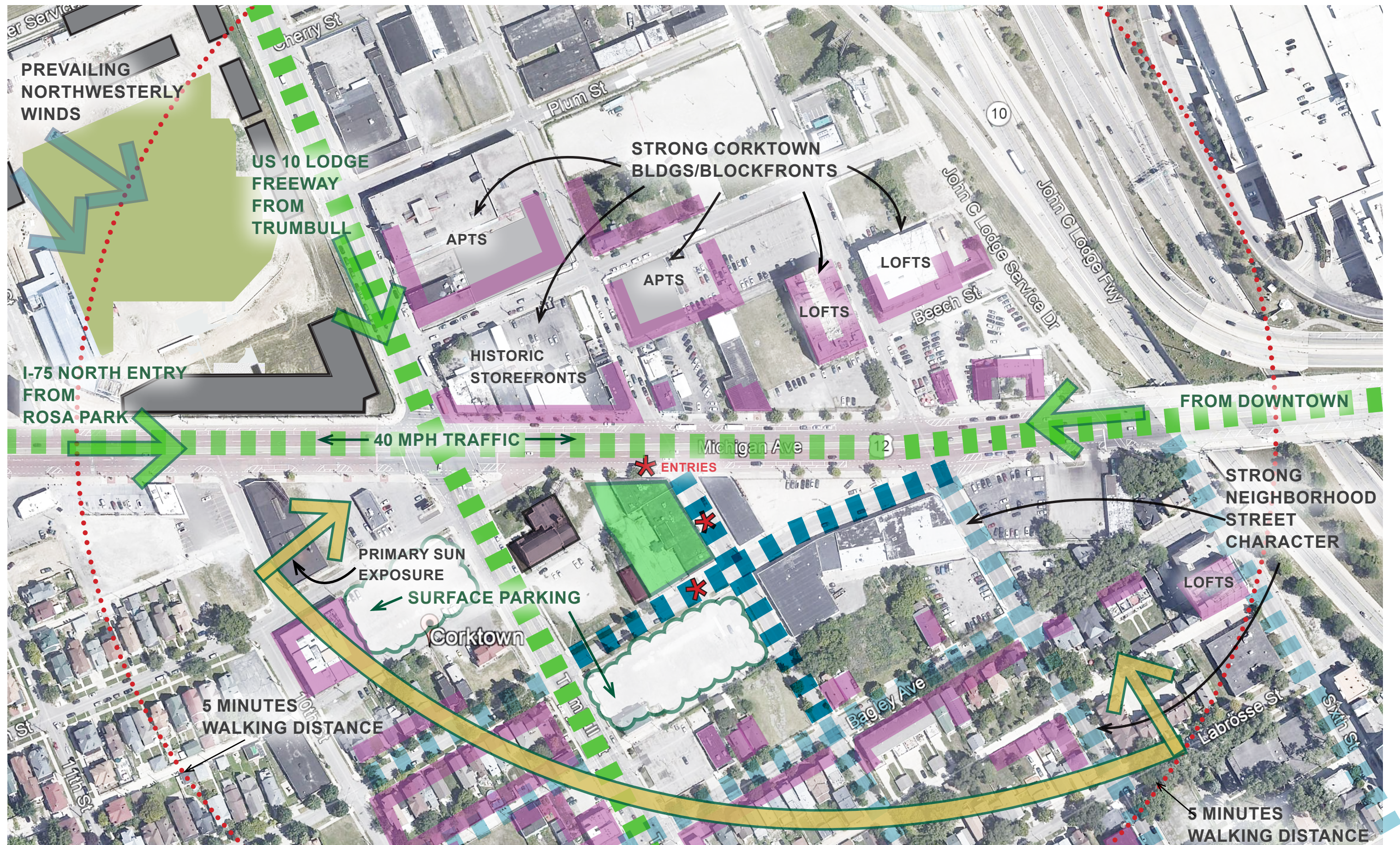
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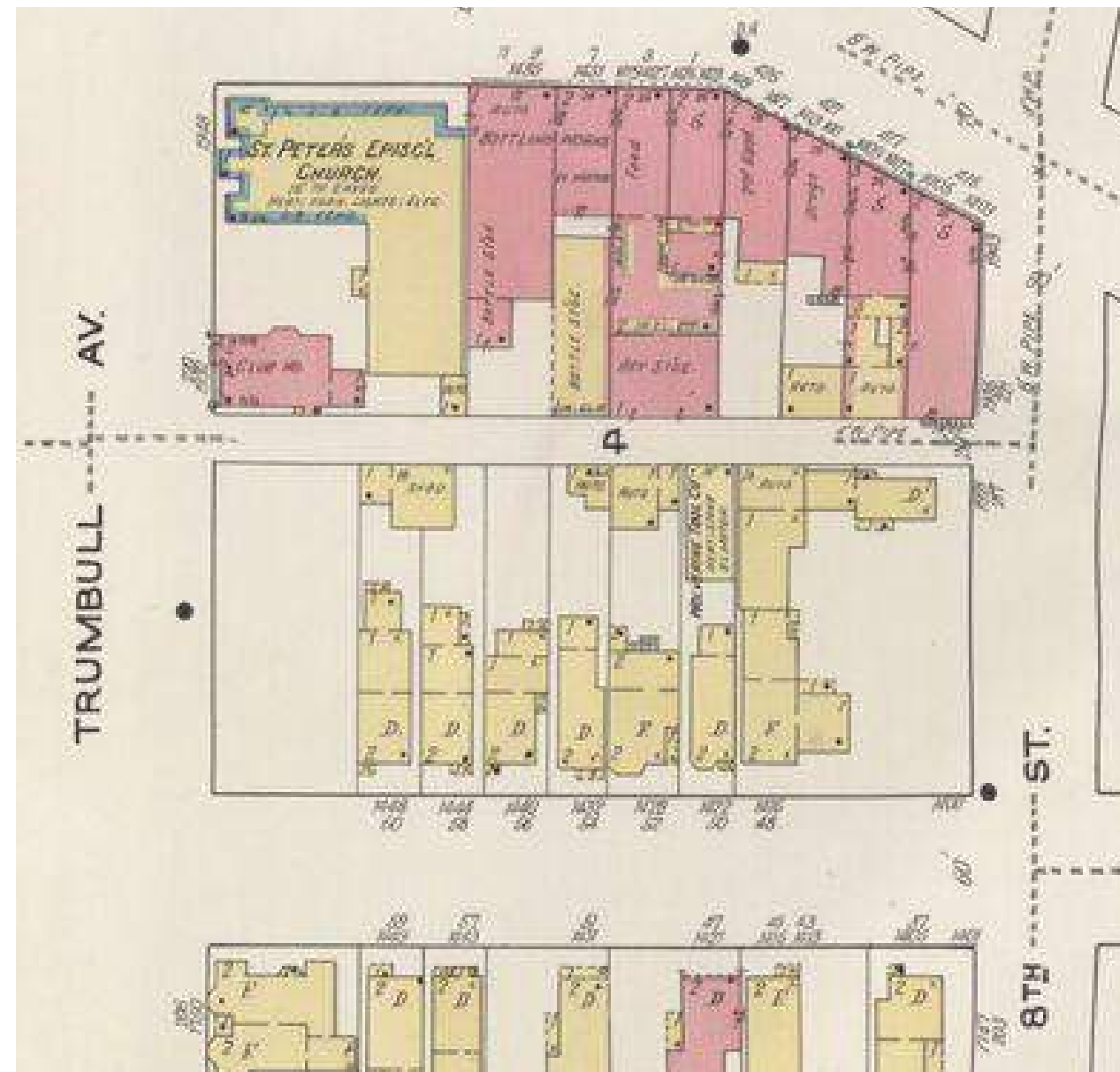




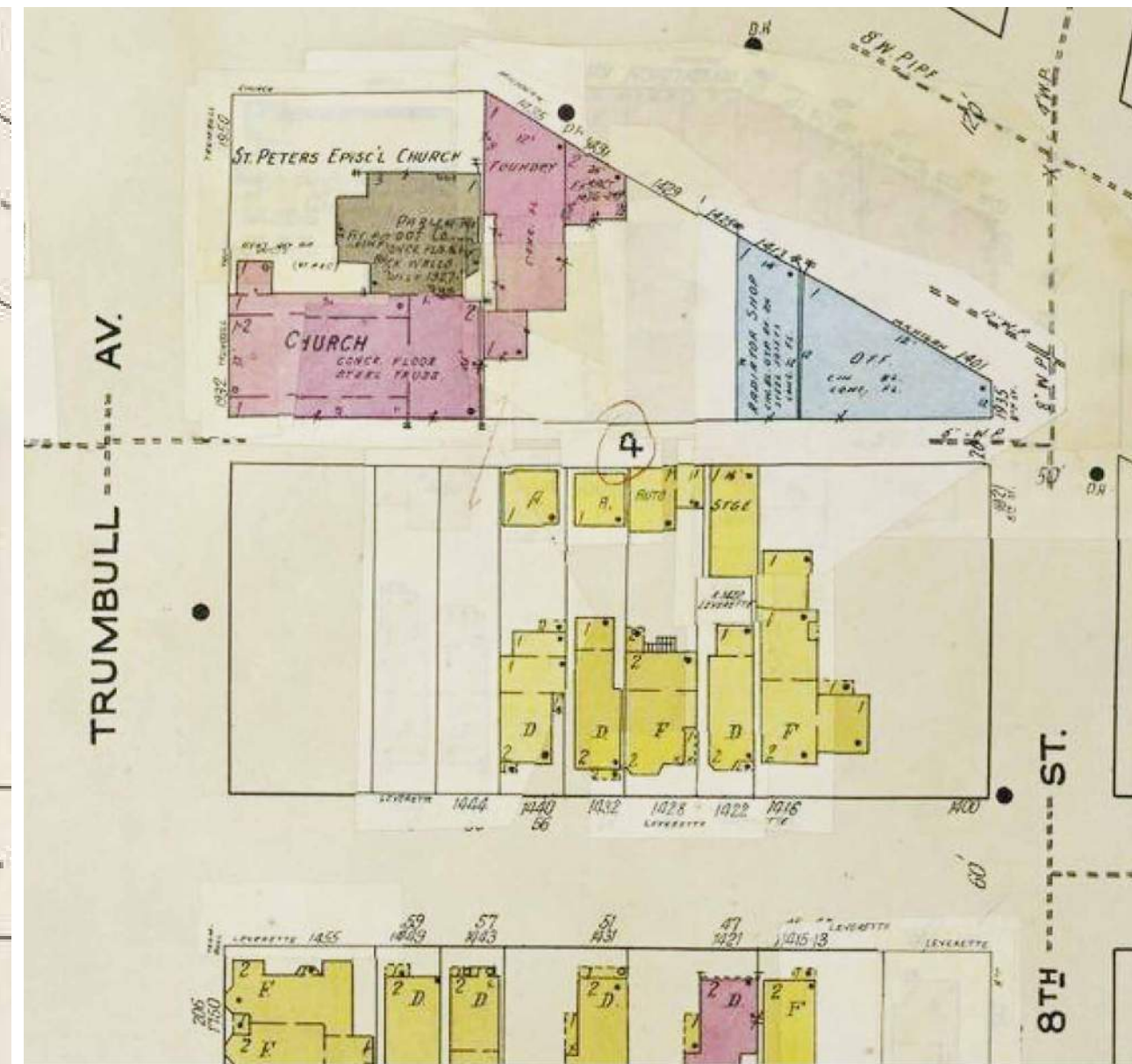






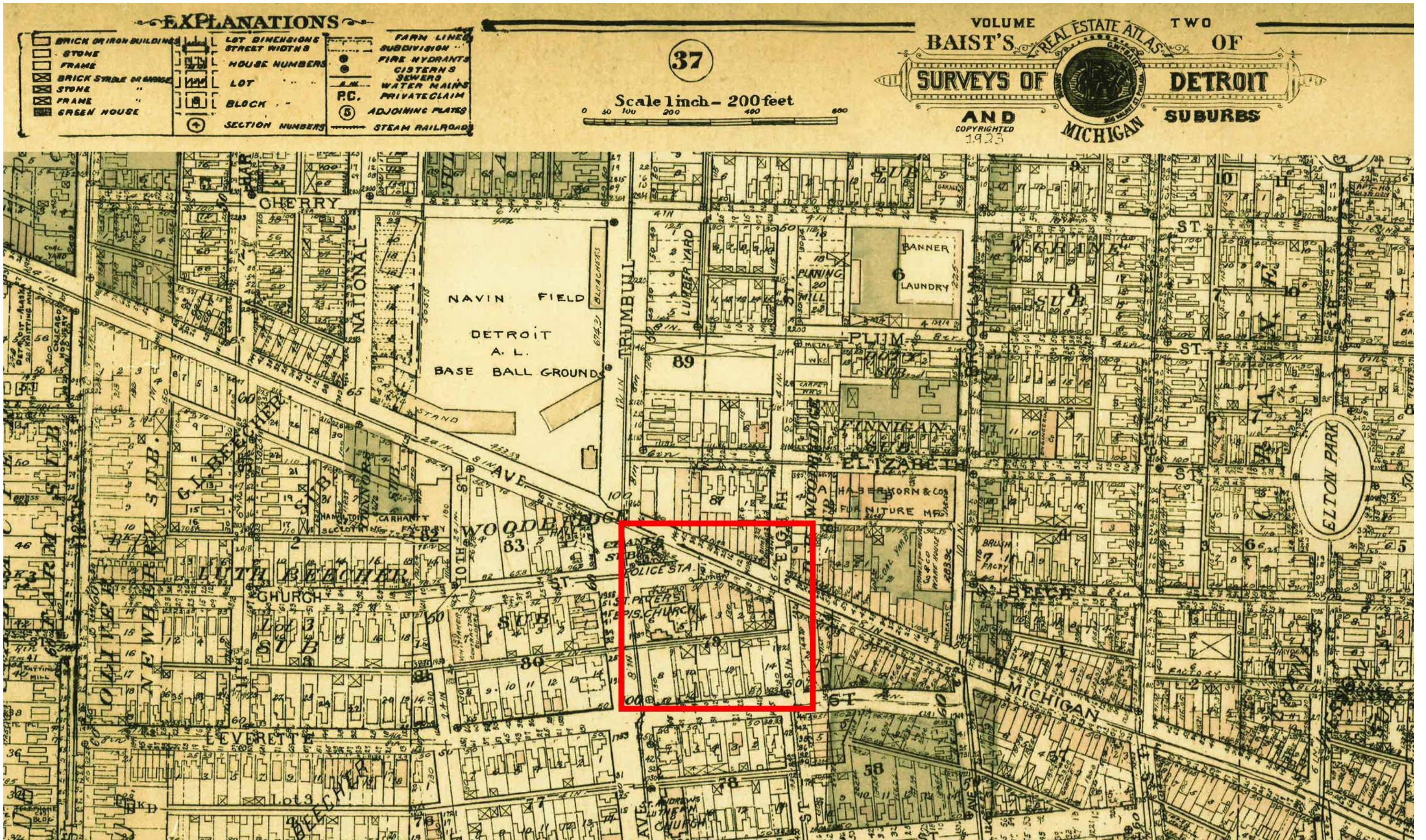


1921



1951

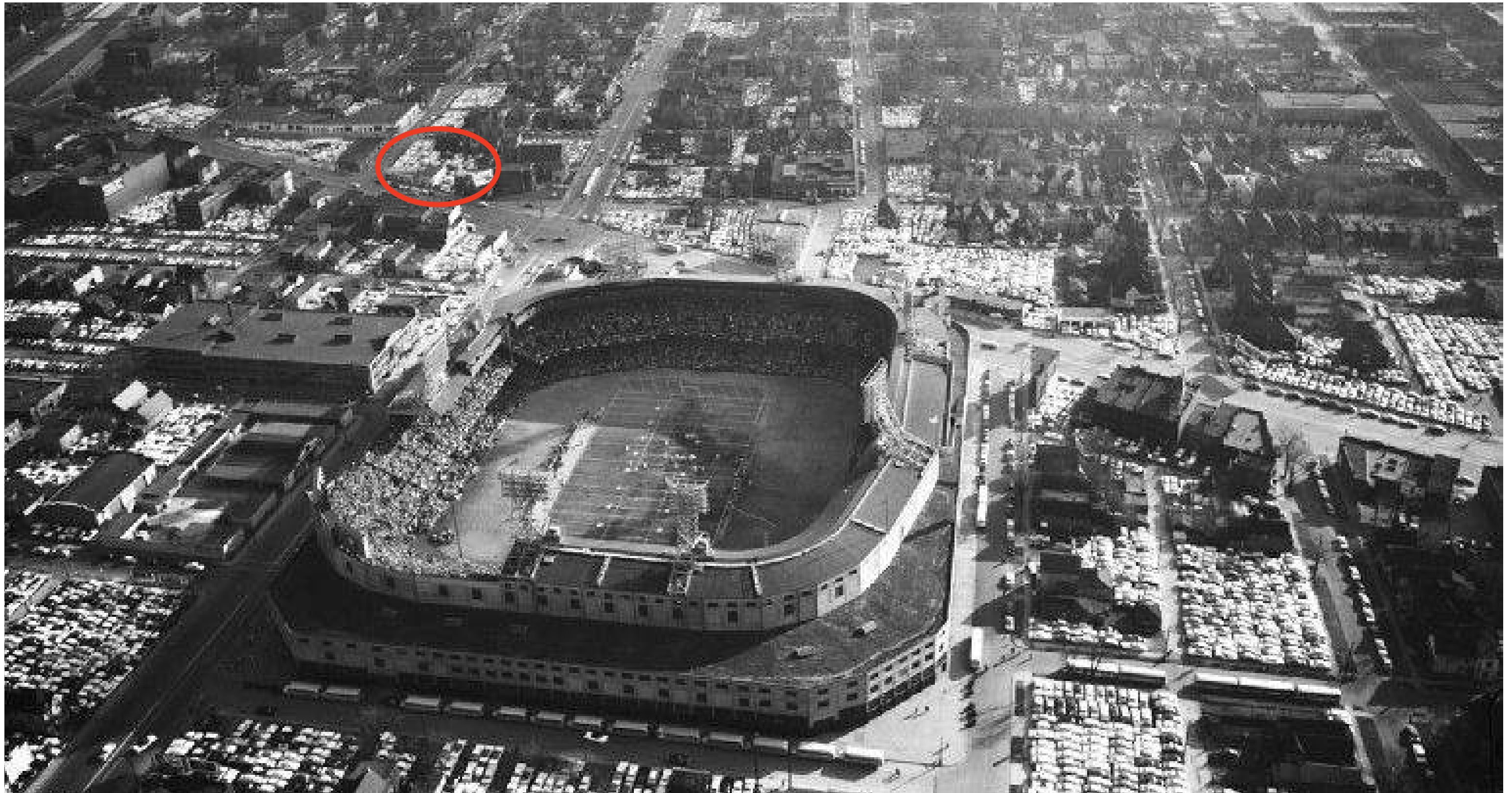




1923



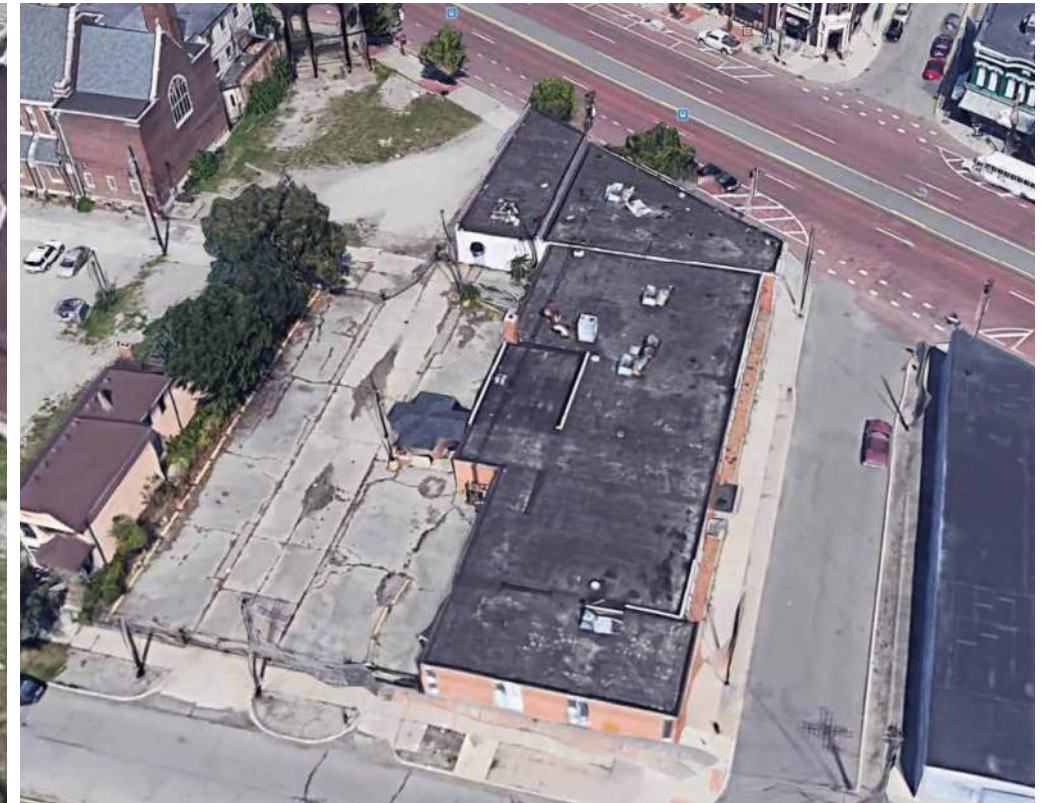




**1950s**

**Tiger Stadium with Lions Headquarters (circled)**























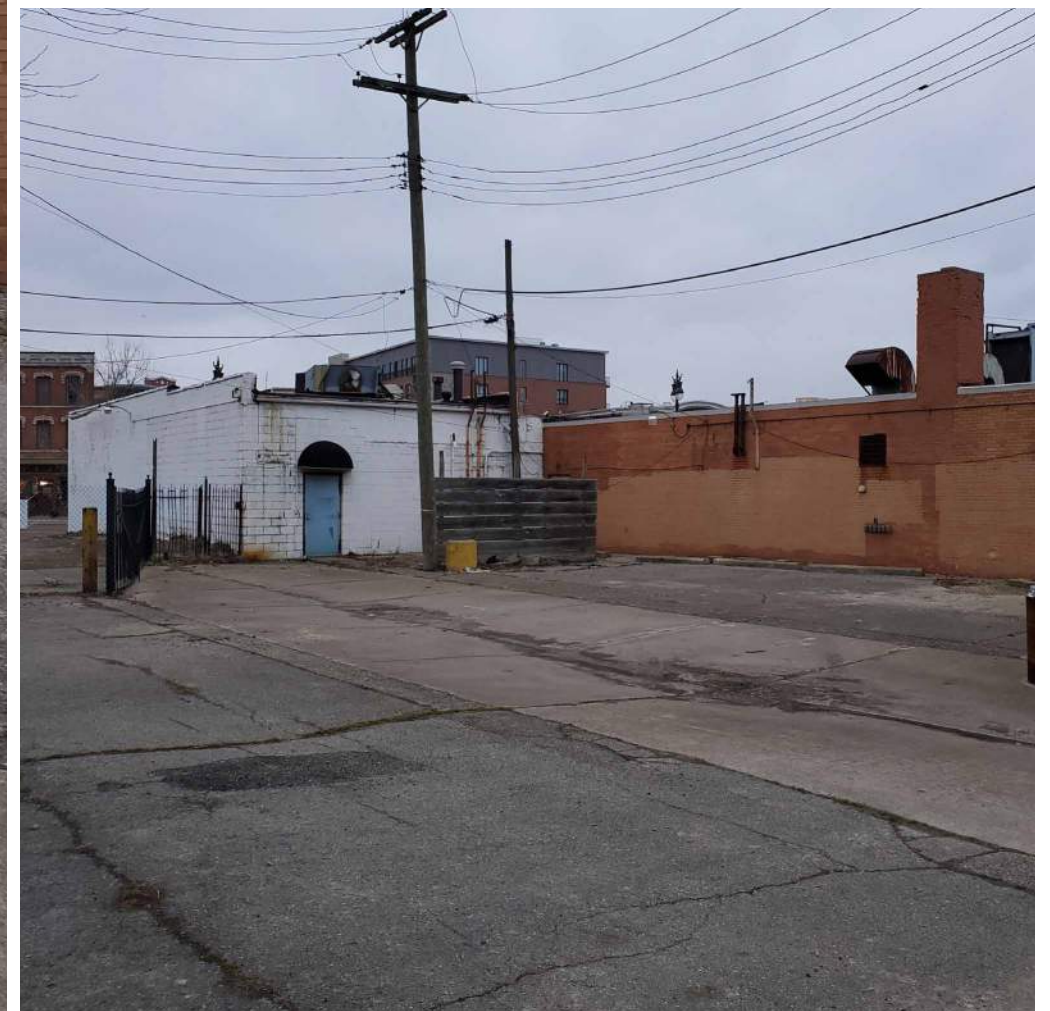






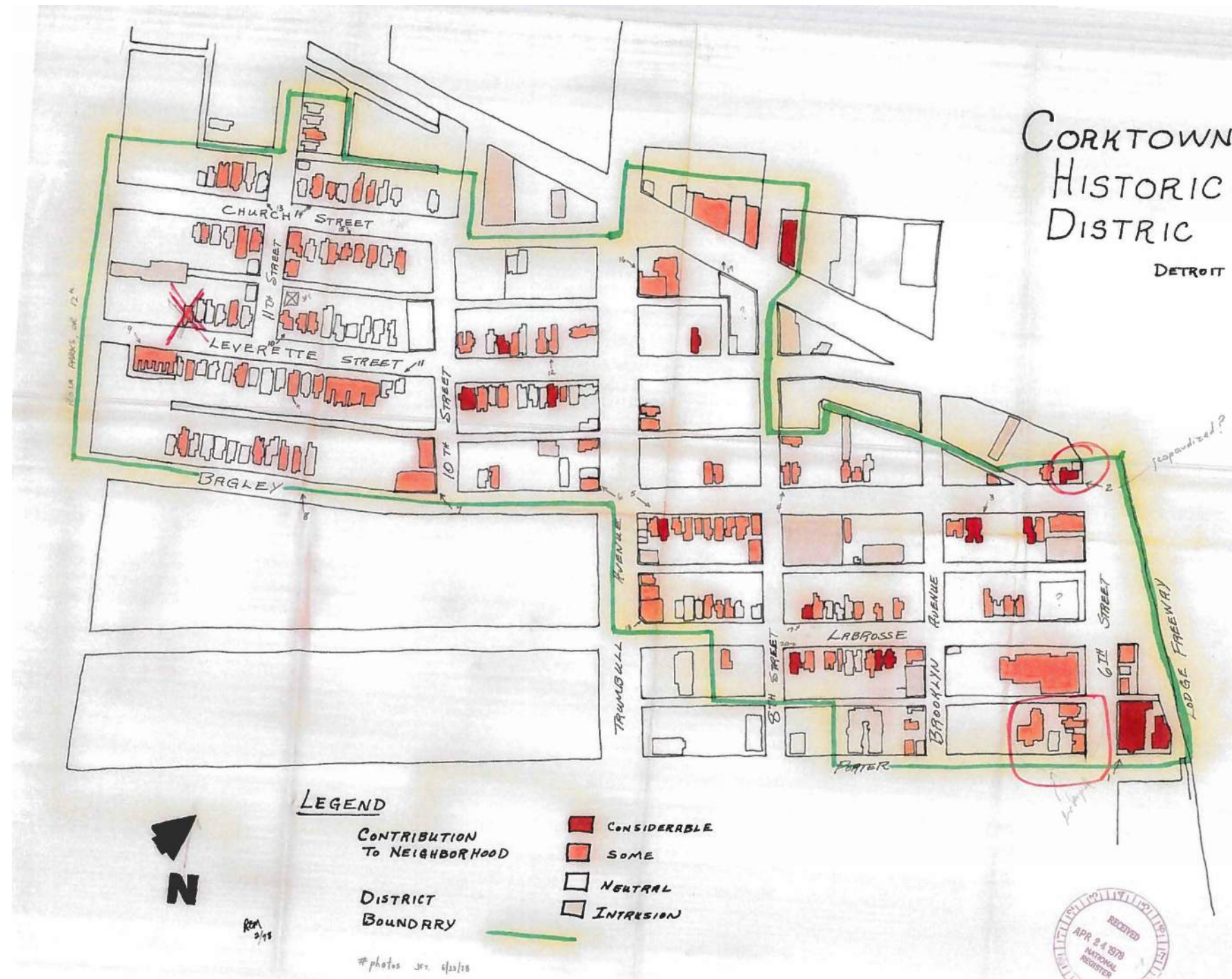
**Site Context:** Former Detroit Lion's Office





**Site Context:** Former Detriot Lion's Office



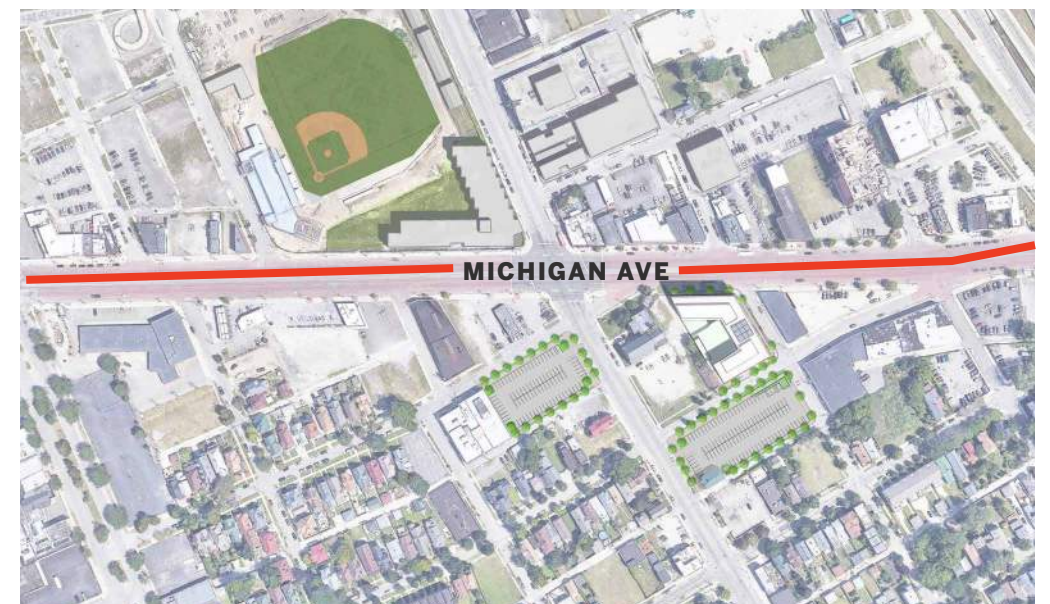


1978









## Scale, Rhythm & Orientation (Solid/Void Study): Michigan Avenue



SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

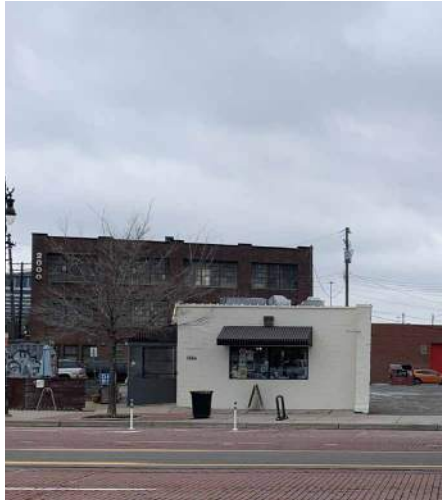
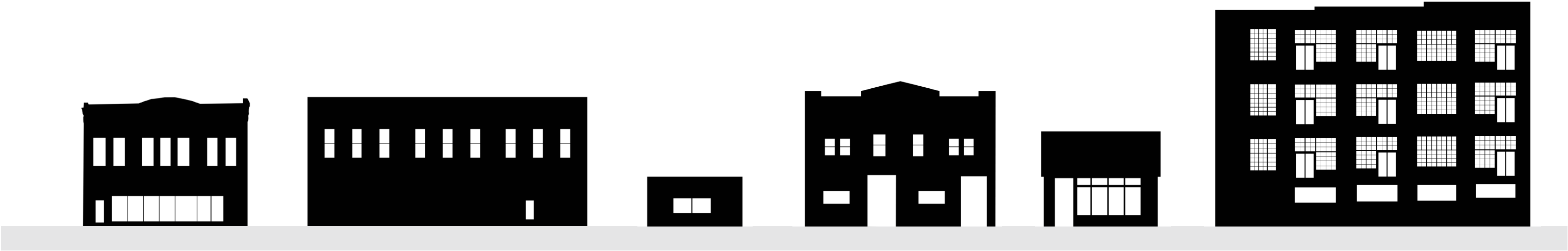
# Urban Context: Michigan Avenue Looking North





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

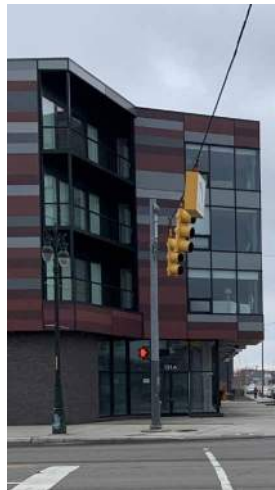
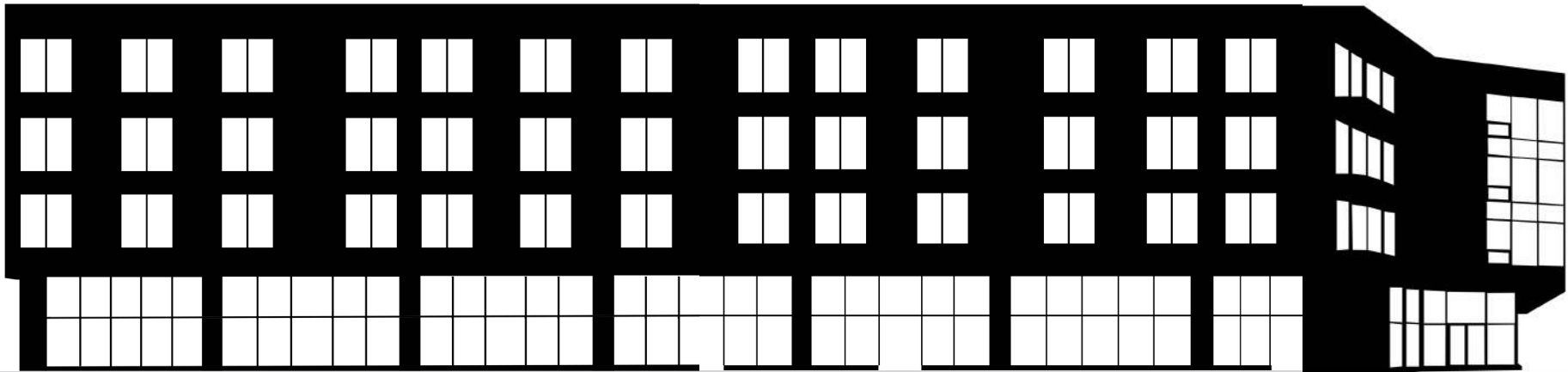
# Urban Context: Michigan Avenue Looking North





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

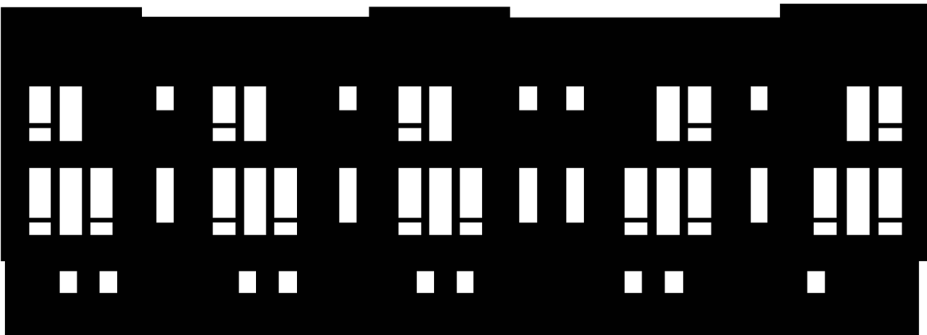
# Urban Context: Michigan Avenue Looking North at Trumbull





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: Trumbull Avenue North





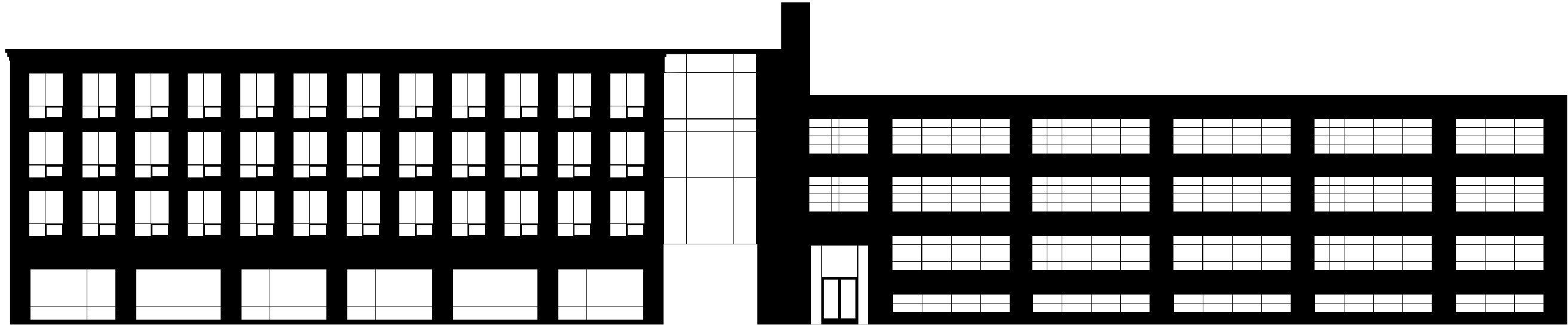


**SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):**  
Elton Park



SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

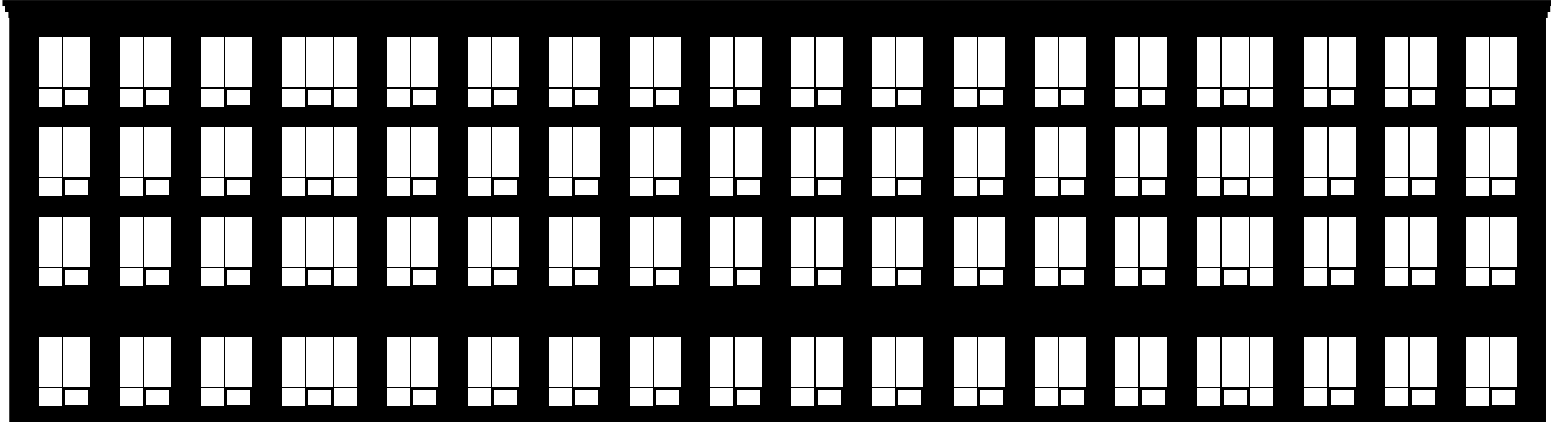
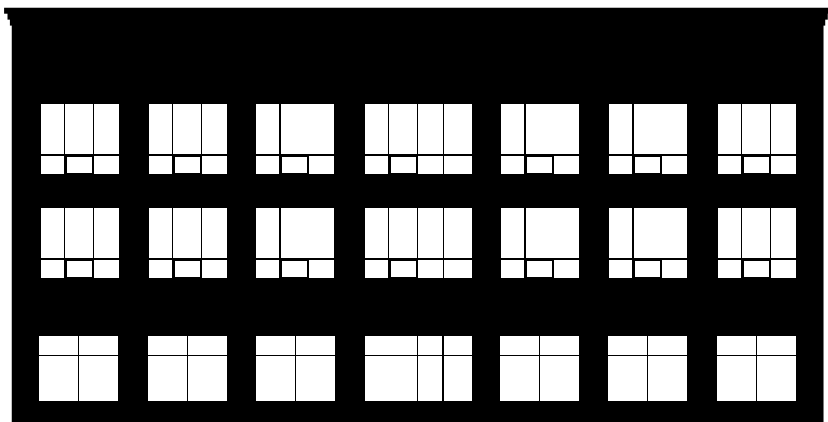
# Urban Context: Elton Park





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

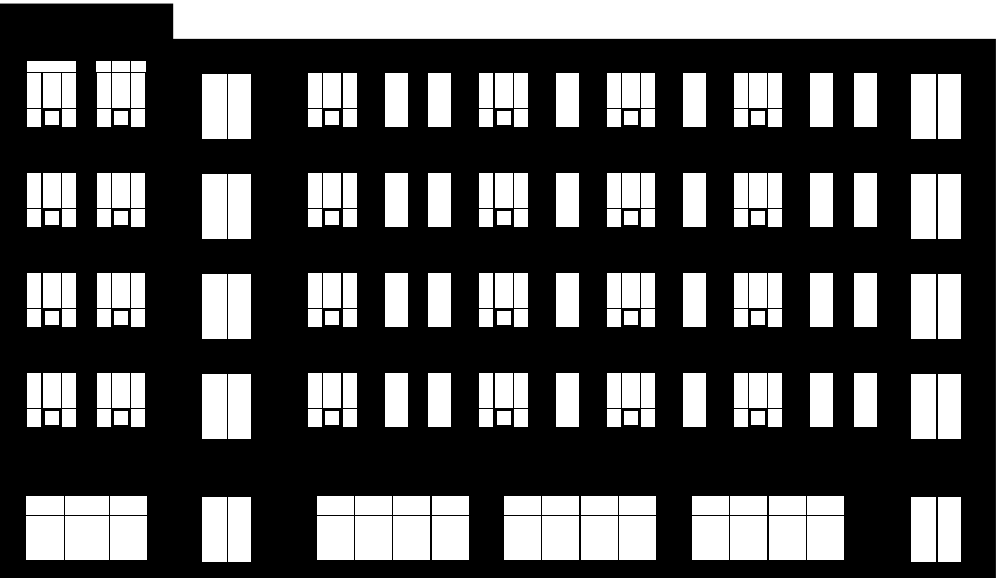
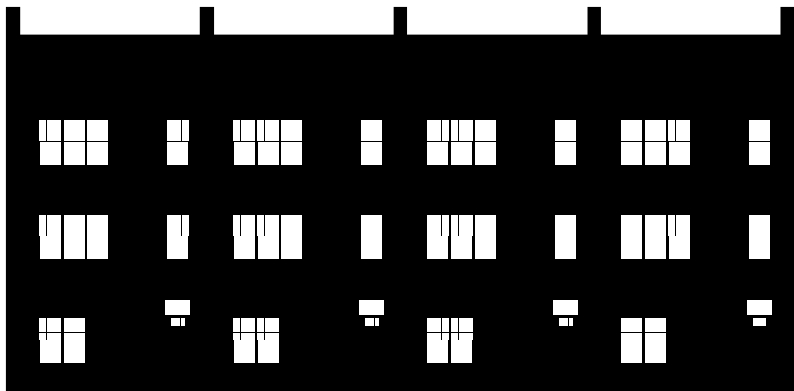
# Urban Context: Elton Park





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: Elton Park







**SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):**  
Trumbull Avenue



SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: Trumbull Avenue







**SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):**  
Neighborhood Streets: Church, Leverette & 8th



SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: Bagley Street Looking South





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

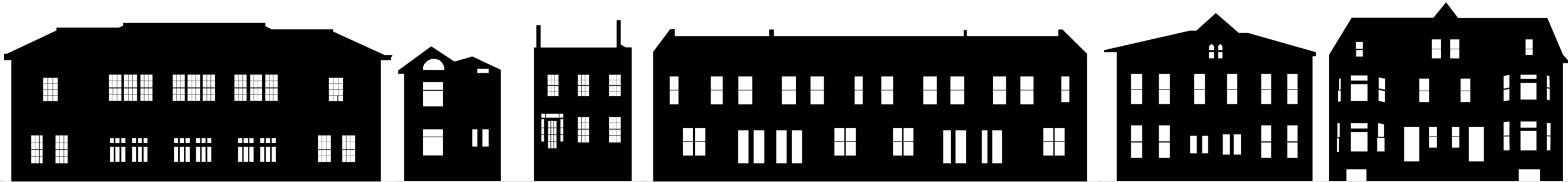
# Urban Context: Bagley Street Looking South





SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: Bagley Street Looking South



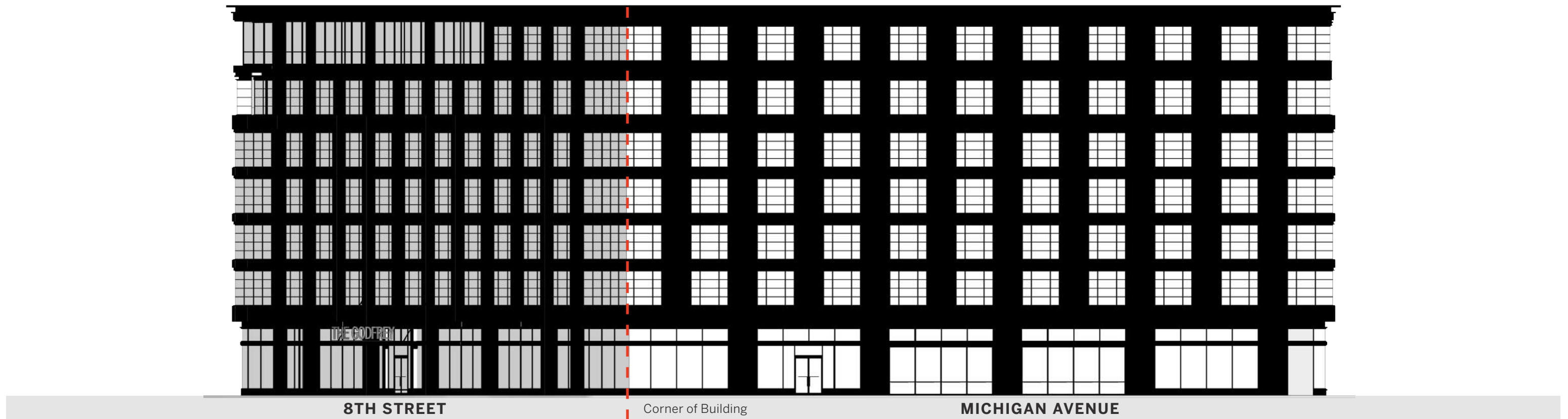


SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):

# Urban Context: 6th Street and Bagley Street

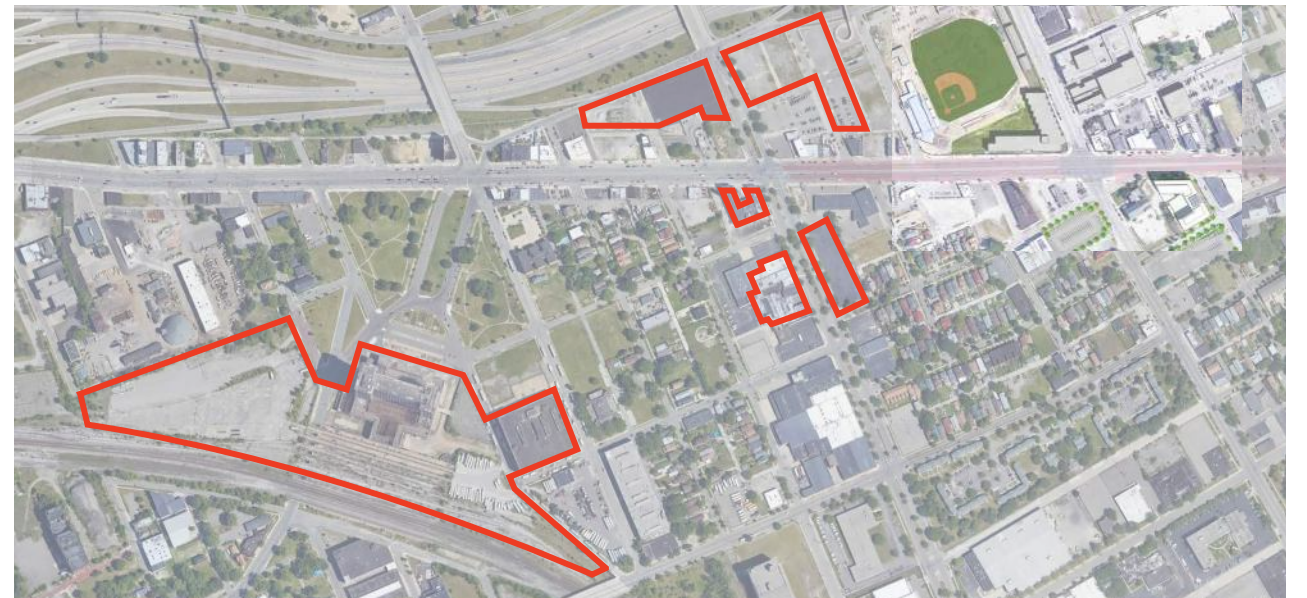






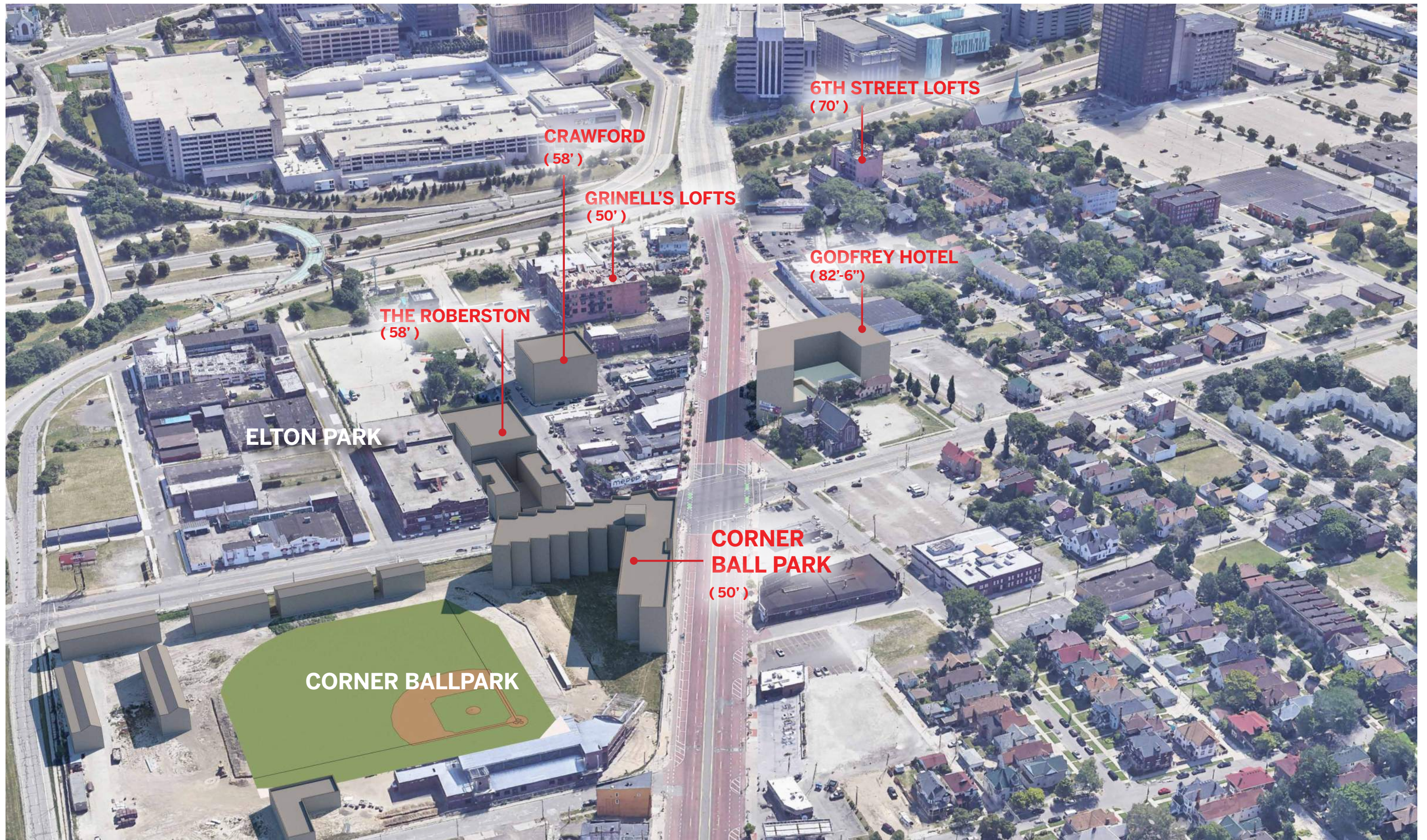
**SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):**  
 Godfrey Hotel: Michigan Avenue



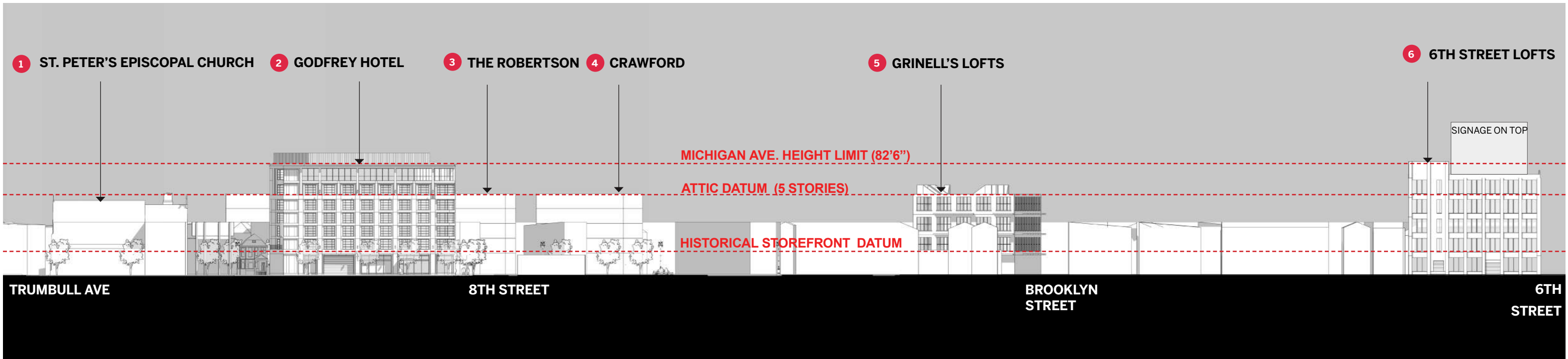


**SCALE, RHYTHM & ORIENTATION (SOLID/VOID STUDY):**  
 Ford Campus







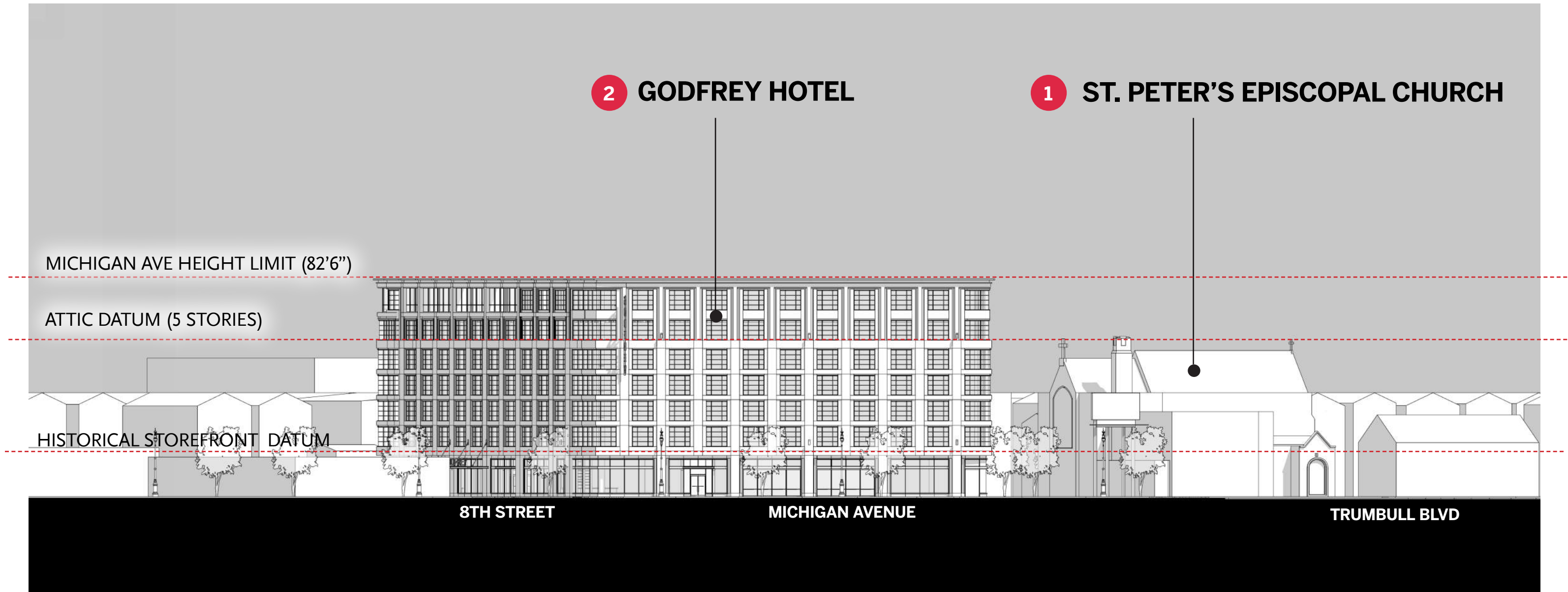


Massing and Scale: Urban Section Looking North











MICHIGAN AVE HEIGHT LIMIT (82'6")

ATTIC DATUM (5 STORIES)

HISTORICAL STOREFRONT DATUM

**CROWN**  
(ATTIC FLOORS 6+7)

**BODY**  
(MIDDLE FLOORS 2-5)

**BASE**  
(STOREFRONT)

8TH STREET

Corner of Building

MICHIGAN AVENUE





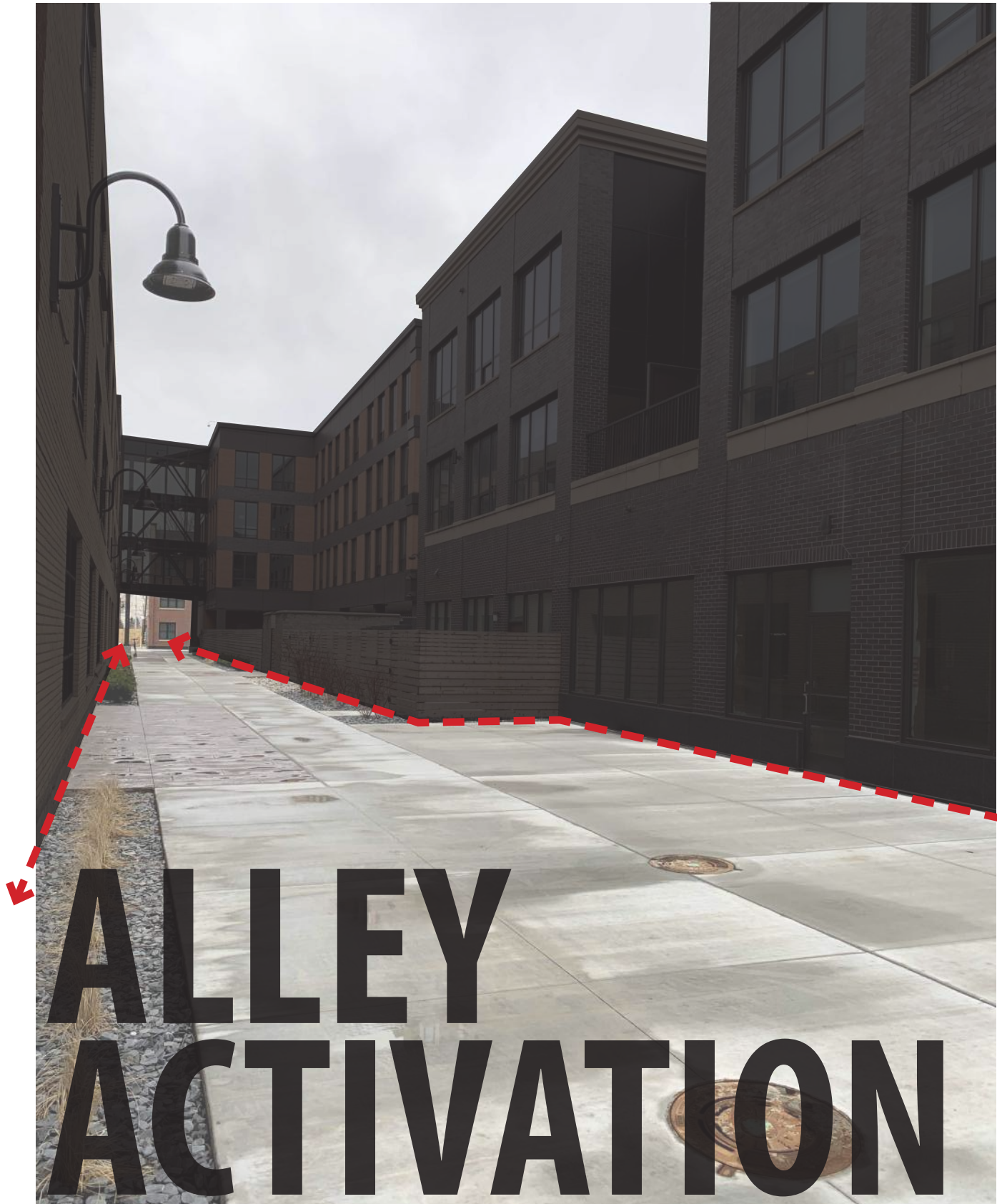








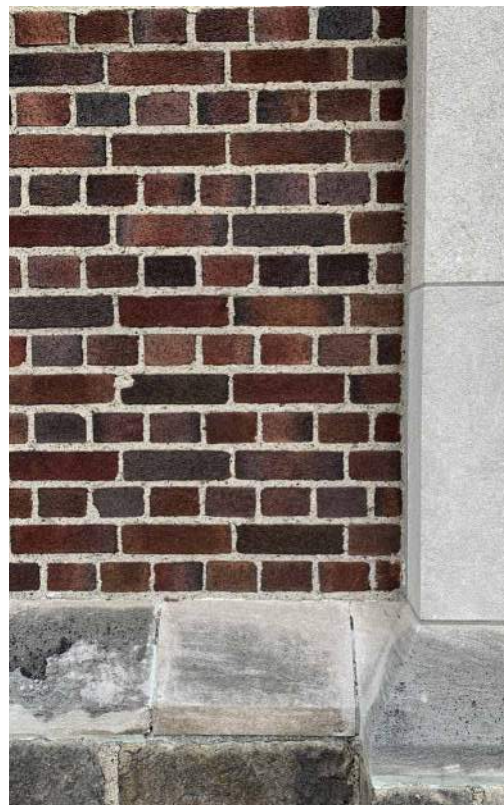
Urban Response



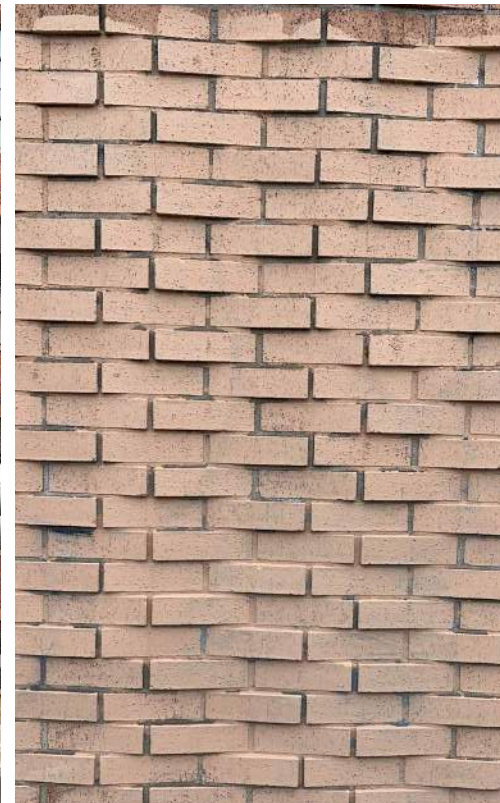
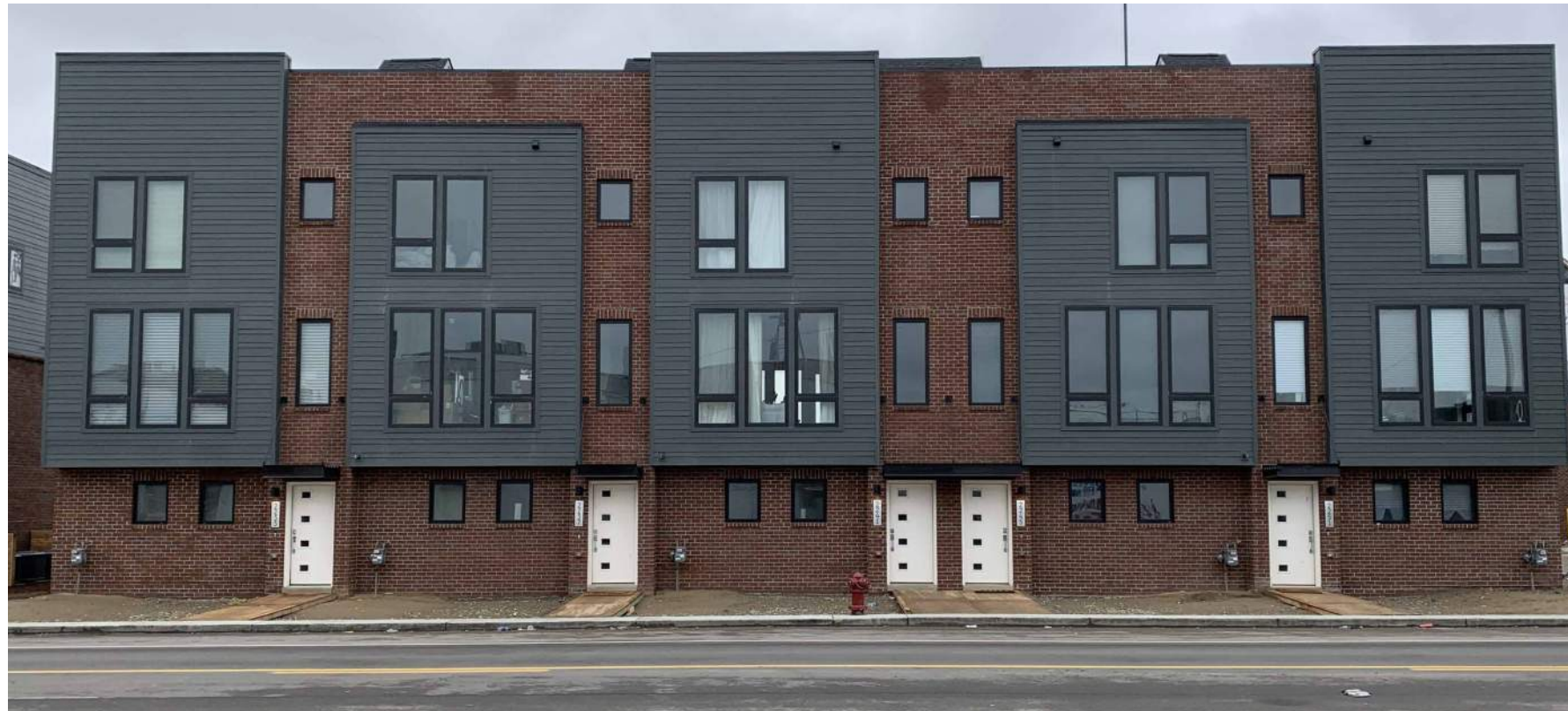














PROJECT SITE, ZONING  
DESIGNATION: B4,  
HISTORIC DISTRICT SEC.  
25-2-103  
TRADITIONAL MAIN  
STREET OVERLAY AREA  
MICHIGAN AVE.





PROPERTY DESCRIPTION

(PER RECORD LEGAL DESCRIPTION PROVIDED BY CLIENT, TITLE COMMITMENT NO. 65747504, DATED APRIL 9, 2019)

LAND SITUATED IN THE CITY OF DETROIT IN THE COUNTY OF WAYNE IN THE STATE OF MICHIGAN.

PARCEL 1:  
ALL OF LOT 1 AND THE EASTERLY PART OF LOT 2, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEASTERLY CORNER OF SAID LOT 2 AND RUNNING THENCE SOUTH 80 DEGREES WEST 23.80 FEET; THENCE NORTH 30 DEGREES WEST 79 FEET MORE OR LESS TO THE SOUTHERLY LINE OF A BRICK BUILDING, SITUATED ON SAID LOT 2; THENCE NORTHERLY THROUGH THE CENTER OF THE EASTERLY WALL OF SAID BRICK BUILDING, 41 FEET MORE OR LESS TO THE SOUTHERLY LINE OF MICHIGAN AVENUE; THENCE NORTH 89 DEGREES 33 MINUTES EAST ALONG THE SOUTHERLY LINE OF SAID MICHIGAN AVENUE 24.64 FEET TO THE NORTHEASTERLY CORNER OF SAID LOT 2; THENCE SOUTH 30 DEGREES EAST 105.42 FEET TO THE POINT OF BEGINNING, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS, EXCEPT ALL THAT PART TAKEN FOR THE WIDENING OF MICHIGAN AVENUE.

ALSO,  
THE WEST 27.55 FEET OF THE EAST 52.62 FEET ON THE NORTH LINE, BEING THE WEST 26.4 FEET ON THE SOUTH LINE OF LOT 2, LYING SOUTH OF AND ADJACENT TO MICHIGAN AVENUE, AS WIDENED, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

ALSO,  
LOTS 12, 13 AND 14, BLOCK 79 AND FULL VACATED ALLEY ADJACENT TO AND NORTH OF LOTS 13 AND 14 AND THE EAST 5 FEET OF LOT 12 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

PARCEL 2:  
TRIANGULAR PORTION OF LOT 2, BEING WEST 6.51 FEET ON NORTH LINE AND THE EAST LINE RUNNING TO THE SOUTHWEST CORNER, ALSO THE EAST 38.48 FEET ON NORTH LINE BEING EAST 44.90 FEET ON SOUTH LINE OF LOT 3, ALL EXCEPT MICHIGAN AVENUE AS WIDENED, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

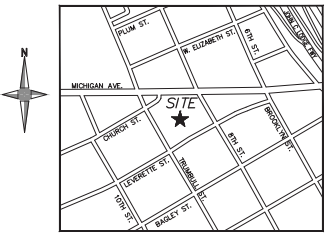
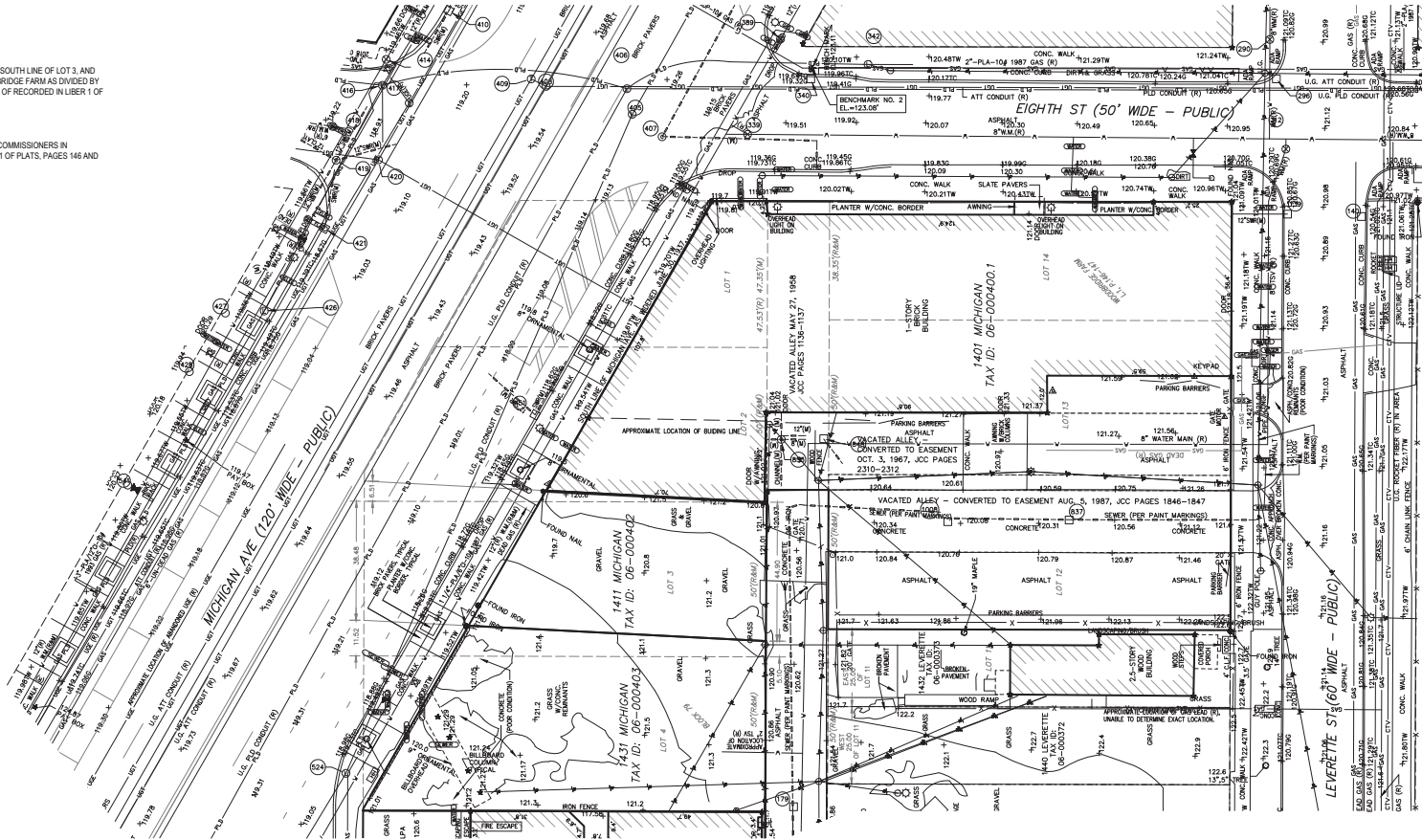
CLIENT REFERENCE: 1401 & 1411 MICHIGAN AVE, DETROIT, MI 48216-5123

PROPERTY DESCRIPTION

RECORD LEGAL DESCRIPTIONS FOR CHURCH PARCELS  
(PER TAX RECORDS)

1431 MICHIGAN AVENUE  
TAX ID NO. 06-000403  
THE WEST 11.52 FEET ON THE NORTH LINE AND THE WEST 5.10 FEET ON THE SOUTH LINE OF LOT 3, AND ALL OF LOT 4, EXCEPT MICHIGAN AVENUE AS WIDENED, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.

1950 TRUMBULL  
TAX ID NO. 06-000374.82  
ALL OF LOTS 5 AND 6, BLOCK 79 OF WOODBRIDGE FARM AS DIVIDED BY THE COMMISSIONERS IN PARTITION IN 1864 ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 1 OF PLATS, PAGES 146 AND 147 OF WAYNE COUNTY RECORDS.



LEGEND - EXISTING

SECTION LINE	○ SAN. MH
E/ PAVEMENT	○ C.O. SAN. CLEAN OUT
CURB	△ SAN. RISER
E/ GRATEL	△ SAN. PUMP STATION
CL. ROAD	△ COME. MH
E/ WALK	○ GATE VALVE
RAILROAD	○ HYDRANT
E/ BRICK	○ WATER VALVE
MISC. LINE	○ WATER METER
FENCE	○ POST INDICATOR VALVE
GUARD RAIL	○ WELL HEAD
WALL	○ FDC CONNECTION
BLOC. LINE	○ STORM MH
OVERHEAD WIRES	○ CATCH BASIN
RAILING	○ BEEHIVE CB
OVERHANG LINE	○ CULVERT E.S.
T/ BANK	○ ROOF/DOWN SPOUT
CL. DITCH/STREAM	○ C.O. STORM CLEAN OUT
SHRUB LINE	○ ROUND CB
TREE LINE	○ LIGHT POLE
WETLAND LINE	○ UTILITY POLE
STM	○ ELEC. TRANS.
SAN. LINE	○ AIR CONDITION
W	○ ELEC. MH
GAS	○ ELEC. METER
UG	○ ELEC. RISER
UG TELE. LINE	○ TRAFFIC CONTROL BOX
UG CABLE TV LINE	○ STEAM MH
PLD	○ PUBLIC LIGHTING MH
STEAM LINE	○ MISC. TOPO. SHOT
ELECTRIC OVERHEAD	○ SURVEY CONTROL POINT
TELEPHONE OVERHEAD	○ FOUND IRON
GAS METER	○ FOUND NAIL
GAS VALVE	○ TELE. RISER
GAS MH	○ TELE. MH
TELE. RISER	○ TELE. CROSS BOX
TELE. MH	○ CABLE RISER
TELE. CROSS BOX	○ PAY PHONE
CABLE RISER	○ MANHOLE
PAY PHONE	○ SIGN
MANHOLE	○ PROT. POST/GUARD POST
SIGN	○ DECIDUOUS TREE
PROT. POST/GUARD POST	○ CONIFEROUS TREE
DECIDUOUS TREE	○ DEAD TREE
CONIFEROUS TREE	○ UTILITY FLAG
DEAD TREE	○ BLOC. CORNER (FIELD LOCATED)
UTILITY FLAG	○ HANDICAP PARKING
BLOC. CORNER (FIELD LOCATED)	○ WETLAND FLAG
HANDICAP PARKING	○ BUS/SHRUB
WETLAND FLAG	○ PARKING METER
BUS/SHRUB	○ RESIDENTIAL MAILBOX
PARKING METER	○ U.S. MAILBOX
RESIDENTIAL MAILBOX	○ U.S. MAILBOX
U.S. MAILBOX	○ CAMP
CAMP	○ CORROGATED METAL PIPE
CORROGATED METAL PIPE	○ RCP
RCP	○ G.L.
G.L.	○ GROUND LIGHT

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

NOTES

- STEAM UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- NO BOUNDARY SURVEY WAS PERFORMED BY GIFFELS-WEBSTER ENGINEERS, INC. AT TIME OF SURVEY.
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- LEGAL DESCRIPTION WAS PREPARED FROM FIELD MEASUREMENTS, CLIENT PROVIDED DOCUMENTS AND TAX ASSESSOR'S RECORDS.
- SEE SHEET 201 FOR SCHEDULE OF STRUCTURES

BENCHMARK DATA

(CITY OF DETROIT) DATUM

BENCHMARK NO. 1  
SET MAG SPIKE IN THE NORTHEAST FACE OF A LIGHT POLE ON THE WEST SIDE OF TRUMBULL AVENUE, 150 FEET NORTH OF THE CENTER OF LEVETTES STREET.  
ELEVATION: 122.31  
(SHOWN GRAPHICALLY)

BENCHMARK NO. 2  
ARROW ON HYDRANT (WITH YEAR STAMP 1940) AT THE SOUTHEAST CORNER OF MICHIGAN AVENUE AND 8TH STREET.  
ELEVATION: 122.09  
(SHOWN GRAPHICALLY)

04.17.2020	SD Progress Pricing
Drawn	■ Preliminary
SP	□ Construction
Checked	□ Record
TT	Approved
MM	Do not scale
Bldgpk Number	Use figured dimensions only
Job Number	
19685-01D	
Title	Existing Conditions

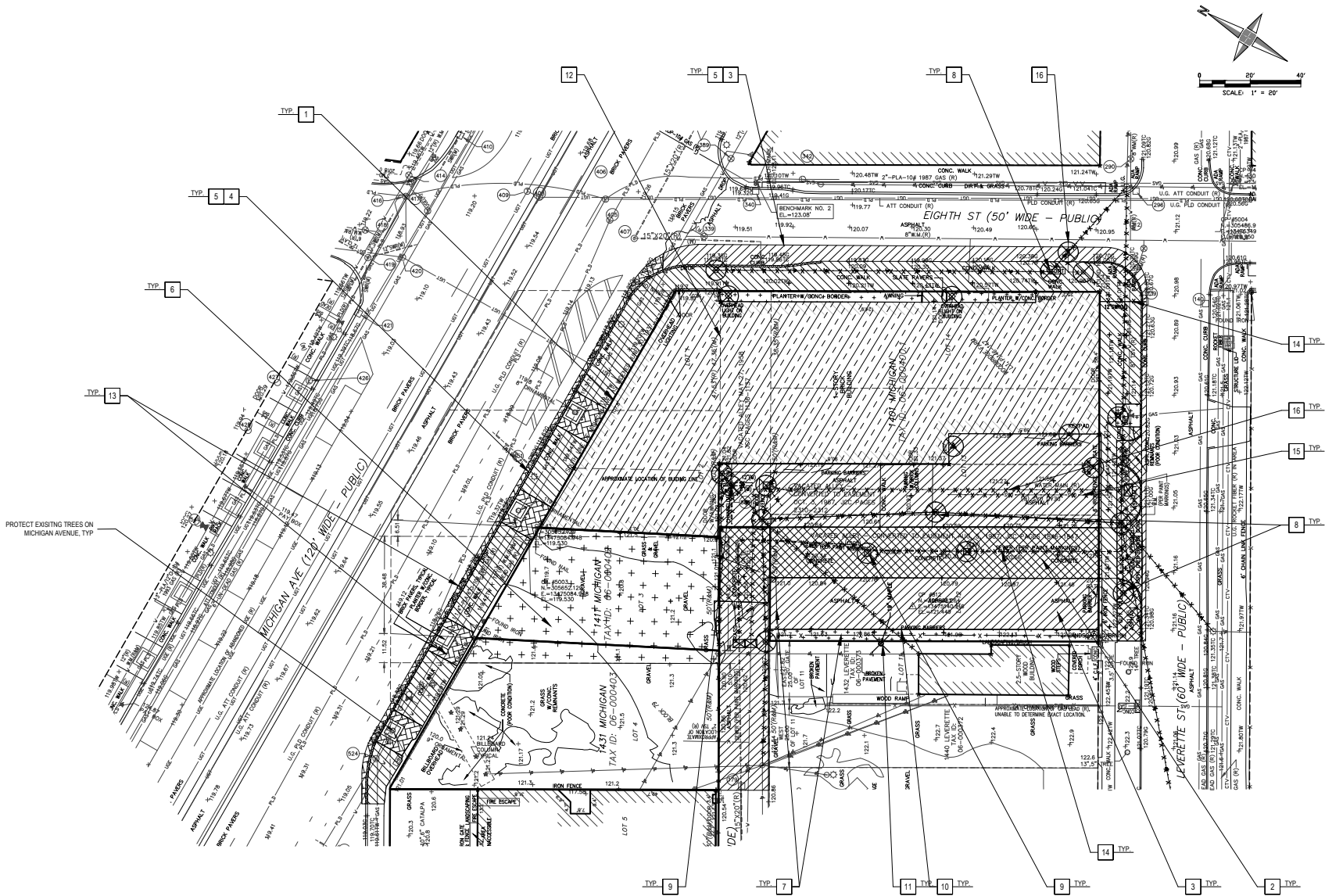
Sheet  
C-200

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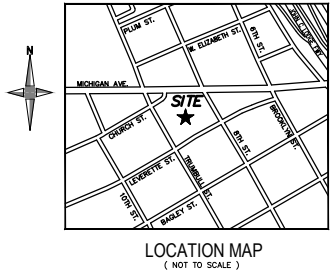
1  
C-200  
EXISTING CONDITIONS  
1" = 20'



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1 DEMOLITION PLAN  
C-300 1" = 20'



- DEMOLITION PLAN - LEGEND
- REMOVE/DEMOLISH UTILITY PIPE
  - REMOVE/DEMOLISH CURB AND GUTTER
  - REMOVE FENCE
  - REMOVE/DEMOLISH UTILITY STRUCTURE
  - REMOVE TREE, SHRUB, OR ITEM
  - REMOVE EXISTING BUILDING
  - REMOVE CONCRETE PAVEMENT
  - REMOVE ASPHALT PAVEMENT
  - REMOVE CONCRETE SIDEWALK
  - REMOVE GRASS, BRUSH AND/OR DEBRIS

- DEMOLITION PLAN - KEY NOTES
- EXISTING PROPERTY LINE, TYP
  - REMOVE AND DISPOSE OF CONCRETE PAVEMENT, TYP
  - REMOVE AND DISPOSE OF ASPHALT PAVEMENT, TYP
  - REMOVE AND DISPOSE OF CONCRETE CURB, TYP
  - SAWCUT EXISTING PAVEMENT, TYP
  - CLEAR AREA OF GRAVEL, GRASS, BRUSH AND/OR DEBRIS, TYP
  - EXISTING FENCE AND FENCE POSTS TO BE REMOVED
  - COORDINATE WITH DTE AND THE PUBLIC LIGHTING AUTHORITY TO REMOVI/RELOCATE ELECTRIC POLES, OVERHEAD LINES, AND LIGHTING AS NEEDED FOR PROPERTY IMPROVEMENTS
  - EXISTING CATCH BASIN/MANHOLE STRUCTURE TO BE REMOVED
  - REMOVE AND DISPOSE OF EXISTING WHEEL STOPS, TYP
  - EXISTING TREE TO BE REMOVED
  - REMOVE EXISTING BUILDING AND FOUNDATIONS IN ACCORDANCE WITH SITE PLAN. FILL WITH CLASS II SAND COMPACTED TO 95%
  - EXISTING BRICK PAVERS TO BE REMOVED AND SALVAGED FOR REUSE
  - EXISTING SEWER TO BE REMOVED
  - EXISTING GAS TO BE REMOVED/RELOCATED; COORDINATE WITH DTE GAS
  - EXISTING WATER PIPE AND STRUCTURES TO BE REMOVED; COORDINATE WITH DWSD

**NEUMANN SMITH**

SOUTHFIELD • DETROIT

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**ELKUS MANFREDI**  
ARCHITECTS

**giffels webster**

Engineers  
Surveyors  
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Landscape Architects

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www.giffelswebster.com

**GODFREY DETROIT**

1401 Michigan Avenue  
Detroit, Michigan

04.17.2020 SD Progress Pricing

Drawn ☒ Preliminary  
SP ☐ Construction  
Checked ☐ Record  
TT ☐ Approved  
MM ☐ Bidpak Number

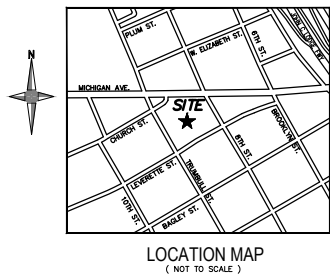
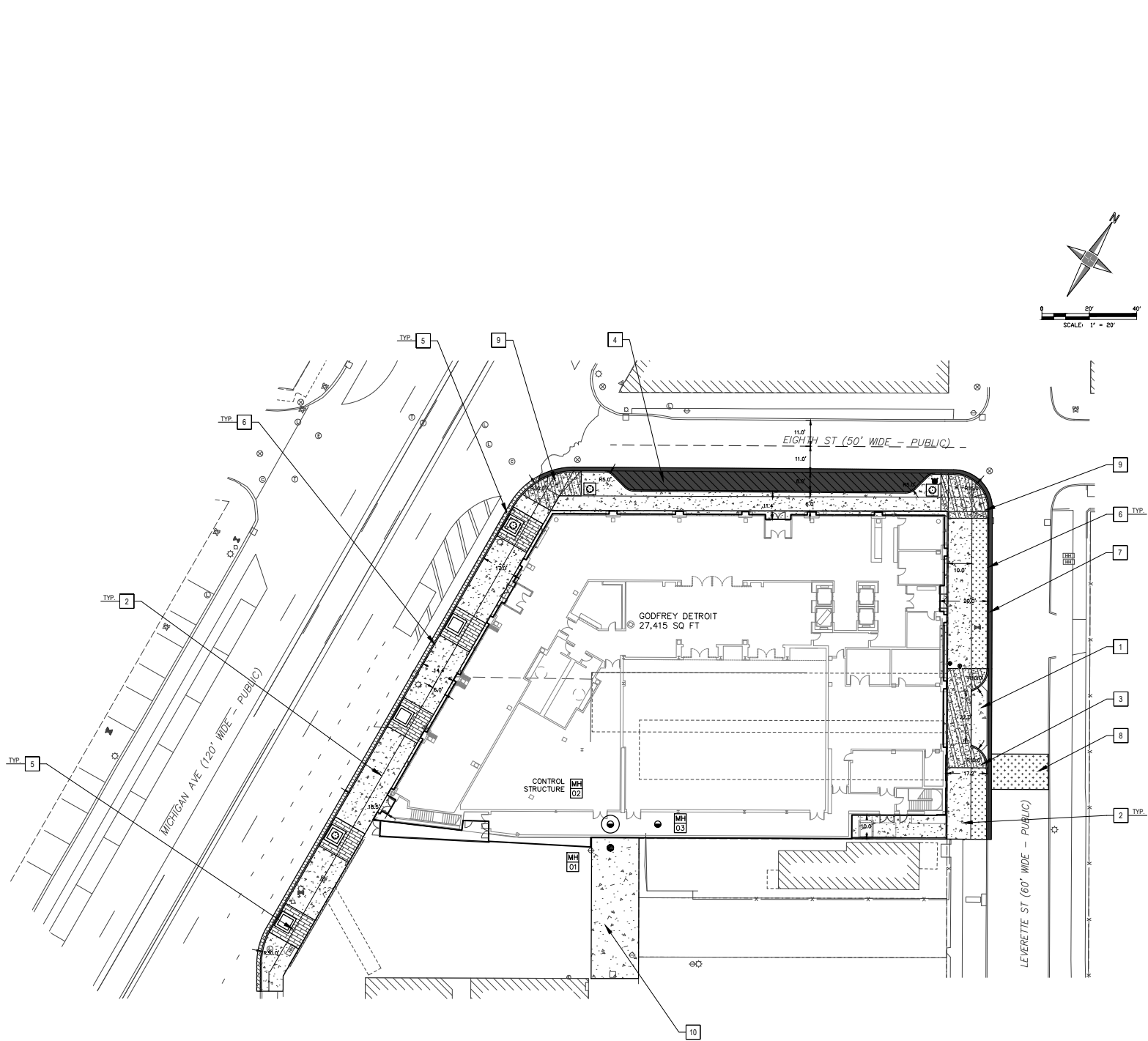
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Use figured  
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Job Number  
**19685-01D**  
Title  
**Demolition**

Sheet  
**C-300**



V:\19850-1D Colltown Hotel\Design\CAD\Work Sheets\C-600 Geometrics and Paving Plan.dwg



PAVING PLAN - LEGEND	
4" CONCRETE SIDEWALK PAVEMENT	
6" CONCRETE SIDEWALK PAVEMENT	
8" CONCRETE PAVEMENT	
BRICK PAVERS	
PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS	
ASPHALT PAVEMENT	
LANDSCAPING	

PAVING PLAN - KEY NOTES	
#	NOTE
1	PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.
2	NEW 4" CONCRETE SIDEWALK PAVEMENT. SEE DETAIL ON SHEET C-800
3	NEW 6" CONCRETE PAVEMENT. SEE DETAIL ON SHEET C-800.
4	INSTALL ASPHALT PAVEMENT
5	INSTALL BRICK PAVERS
6	PROVIDE AND INSTALL NEW INTEGRAL CURB AND SIDEWALK. SEE DETAIL ON SHEET C-800.
7	2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB.
8	JOINT TO JOINT PAVEMENT REPAIR FOR INSTALLATION OF NEW UTILITIES PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
9	ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS
10	NEW 8" CONCRETE ALLEY PAVEMENT PER CITY OF DETROIT STANDARDS

1 GEOMETRICS AND PAVING PLAN  
1" = 20'

04.17.2020

SD Progress Pricing

Drawn

☒ Preliminary

SP

☐ Construction

Checked

☐ Record

TT

☐ Approved

MM

☐ Bidpak Number

Job Number

19685-01D

Geometrics and Pavin Plan

Sheet

C-600

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GODFREY DETROIT

1401 Michigan Avenue  
Detroit, Michigan



\\DET-FILED2\Project\19685-01D Collman Hotel\Design\CAD\Work Sheets\L-100 Landscape Plan.dwg

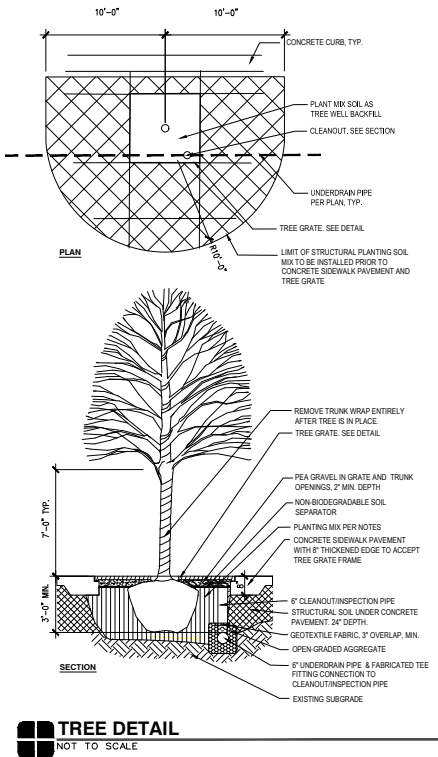
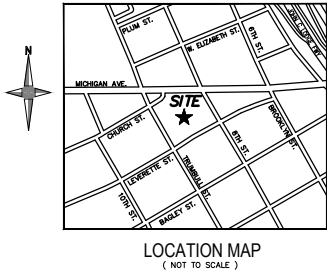
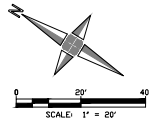
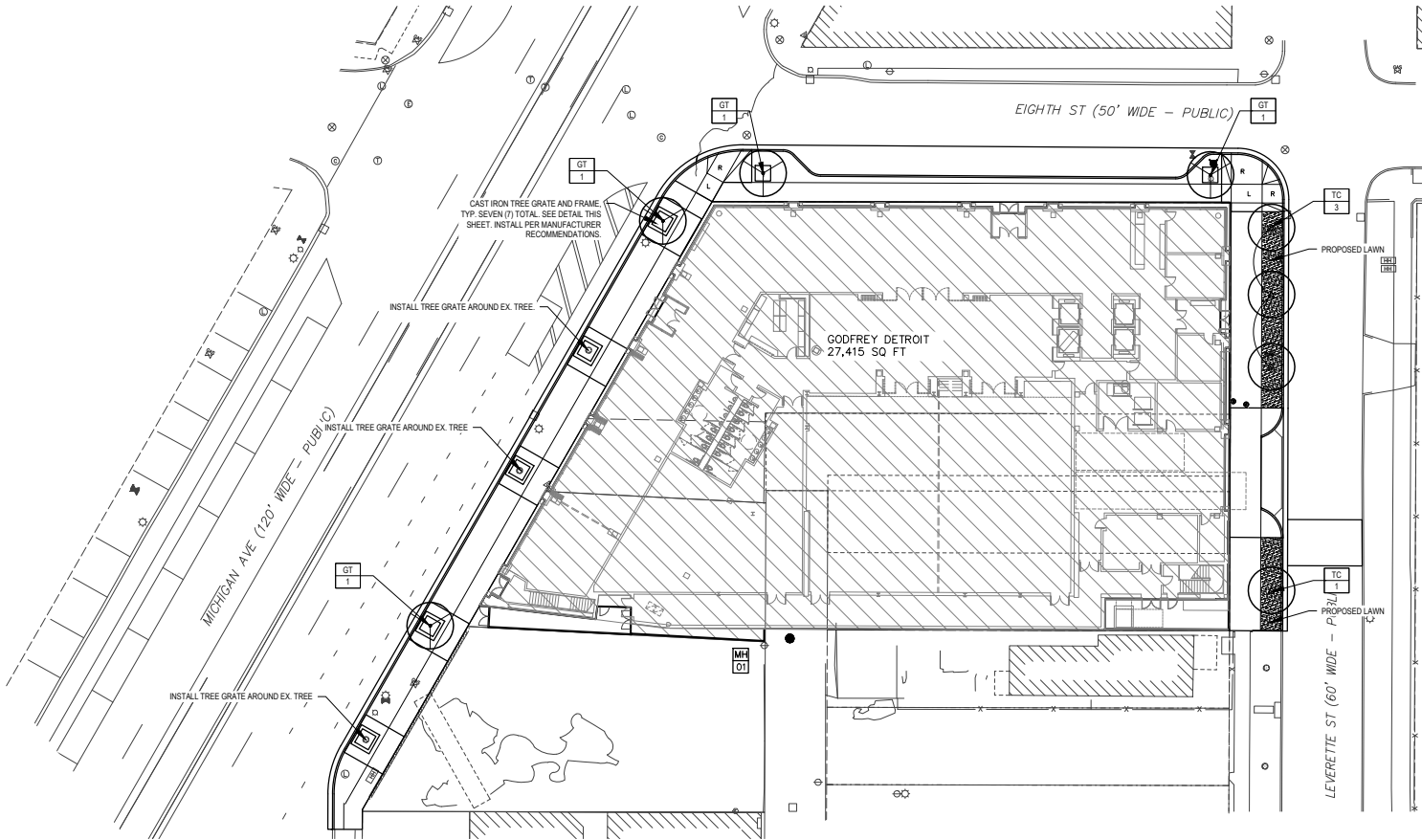
1 LANDSCAPE PLAN

L-100 1" = 20'

- PLANT NOTES:**
- Plant materials shall be sound, healthy, vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004).
  - Planting soil shall be an equal mix of screened organic topsoil, sphagnum peat moss, and clean sand. To deter weed growth during establishment, apply a pre-emergent ("Preer" or equal) after planting, 2-3 times per growing season, at the rate recommended by product manufacturer.
  - CU-Structural Soil shall be 80% 2-3" crushed stone aggregate, highly angular and no fines; 20% clay loam of less than 5% gravel, 25-30% sand, 20-40% silt, 25-40% clay, and 5 % min organic matter; and a hydrogel stabilizing agent that is a potassium copolymer mixed at 10% total moisture. CU-Structural Soil is installed and compacted in 6" lifts to no less than 95% modified proctor density.
  - Planting pockets shall be no deeper than twice the height of the root ball.
  - All tree wrap shall be removed upon planting.
  - Mulch shall be double shredded seasoned hardwood bark mulch. Contractor to submit sample for approval by landscape architect/engineer prior to placement.
  - Grass seed for lawn restoration shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out.
  - Plants material warranties shall be covered by Watering and Cultivation for two growing seasons.
  - Remove the all burlap, twine and/or metal cage on root ball. If wrapped in plastic covering or nylon cording, all of these types of material should be removed.
  - Plant material shall be used in compliance with provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the Standards of the American Association of Nurserymen, and shall pass inspections required under state regulations. In addition, plant materials shall be northern grown, No.1 Grade.
  - Plant material shall be planted within the annual planting window of March 15 through November 15.
  - All plant ID tags are to remain until all plants are accepted on site.
  - Any plant substitutions must be submitted in writing and approved by the landscape architect prior to installation.

- GENERAL NOTES:**
- All Construction shall conform to the current standards and specifications of local ordinances.
  - All areas not built, landscaped, or paved upon shall receive restoration and seed mix.
  - All plant bed areas shall be amply watered upon completion of plant material installation each day.
  - During installation and construction, the Contractor must provide a temporary watering method for all plant material until planted if stored on-site.
  - Contractor shall provide a water drip bag, such as a Gator Bag or similar, per tree installed to remain with the project. Include in unit price for each tree.

- LAWN SEED MIX:**
- 30% PERENNIAL RYEGRASS  
20% PAW KENTUCKY BLUEGRASS  
45% CREEPING RED FESCUE  
5% ANNUAL RYEGRASS  
4-6/1000 S.F. SEEDING RATE



04.17.2020 SD Progress Pricing

Drawn ☒ Preliminary

SP ☐ Construction

Checked ☐ Record

TT Approved ☐ Do not scale

MM Bidpak Number Use figured dimensions only

Job Number

19685-01D

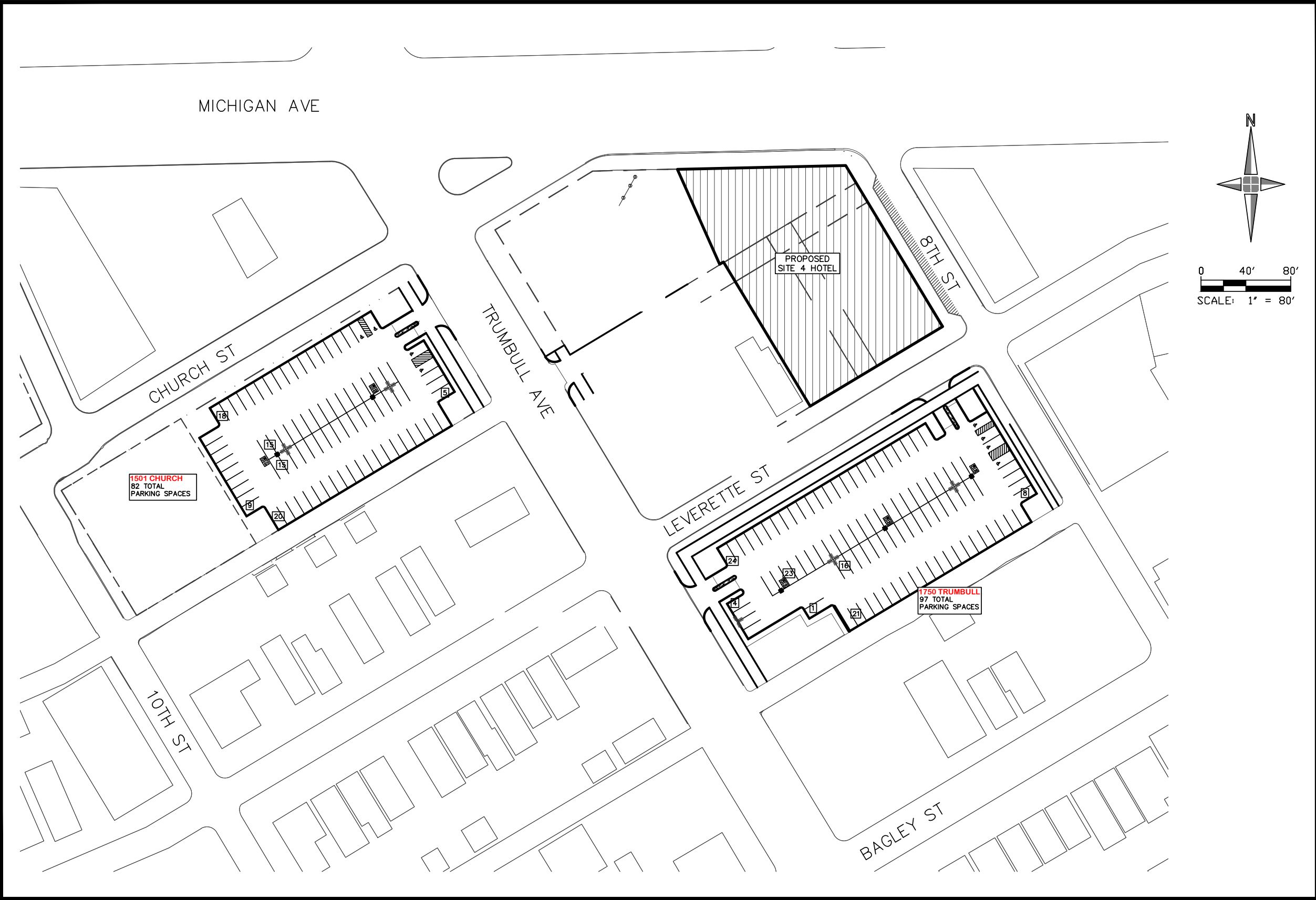
Title

Landscape Plan

Sheet

L-100





**giffels webster**

Engineers  
Surveyors  
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Landscape Architects

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Executive:	MWM
Manager:	TET
Designer:	SLP
Quality Control:	MGD
Section:	



Know what's below.  
Call before you dig.

DATE:	ISSUE:
2020-03-23	Parking Schematic

Developed For:  
**Elkus Manfredi**

City of Detroit  
Wayne County  
MICHIGAN

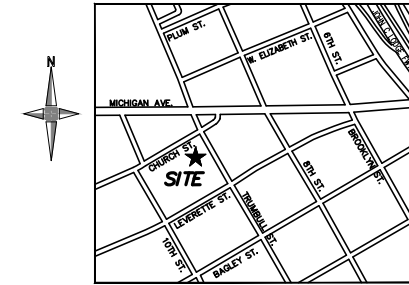
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Project:	19695-01D

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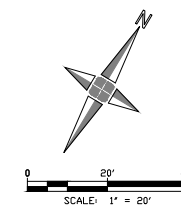
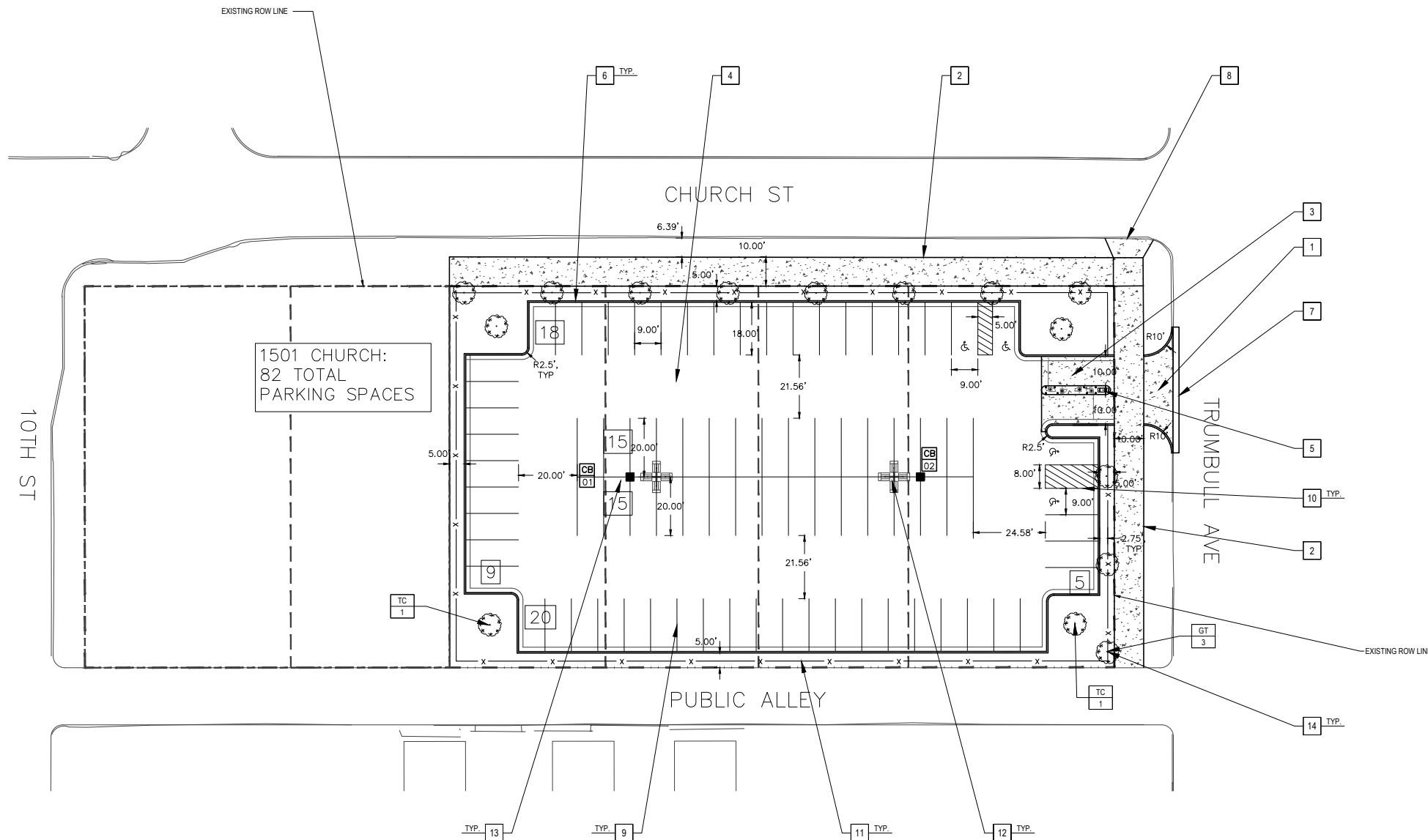
PROPERTY ENCOMPASSES PARCELS: 1501, 1525, 1533, 1537, AND 1541 CHURCH. THESE INDIVIDUAL PARCELS WILL BE COMBINED INTO A SINGLE PARCEL WITH THE 1501 CHURCH ADDRESS.

TYPE	ABBR	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES	GT		<i>Gleditsia triacanthos f. inermis</i> 'Skyline'	SKYLINE HONEY LOCUST	3" cal. B&B	
	TC		<i>Tilia cordata</i> 'Greenspire'	GREENSPIRE LINDEN	3" cal. B&B	
	QR		<i>Quercus robur</i> 'Fastigiata'	ENGLISH OAK	3" cal. B&B	



LOCATION MAP  
( NOT TO SCALE )

#	NOTE
1	PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.
2	NEW 4" CONCRETE SIDEWALK PAVEMENT PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS
3	NEW 6" CONCRETE PAVEMENT WITH 6" MODT 21A BASE. COMPACTED SUBGRADE TO 95% MOD. PROCTOR
4	INSTALL ASPHALT: 1.5" MODT 4C OVER 2" MODT 3C WITH 8" 21AA BASE. COMPACTED SUBGRADE TO 95% MOD. PROCTOR
5	INSTALL PARKING BOOTH ISLAND, BARRIER ARM GATE, AND EQUIPMENT
6	PROVIDE AND INSTALL NEW 6" CURB AND GUTTER, 18" WIDE GUTTER, REVERSE PAN
7	2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB.
8	ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS
9	PAVEMENT MARKINGS, 4" YELLOW, TYP
10	PAVEMENT MARKINGS, 4" BLUE- ADA COMPLIANT, TYP
11	5' TALL ORNAMENTAL FENCE, BLACK; AMERISTAR AEGIS II STEEL OR EQUAL
12	INSTALL INTERIOR LIGHTING
13	CATCH BASIN PER DWSD STANDARDS AND SPECIFICATIONS. FINAL LOCATION, NUMBER OF CATCH BASINS, AND SEWER CONNECTION TBD.
14	INSTALL TREE PER PLANT LIST



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[www.giffelswebster.com](http://www.giffelswebster.com)

Executive:	MWM
Manager:	TET
Designer:	SLP
Quality Control:	MWM
Section:	22 & 248
	T-02-S R-12-E

Professional Seal:



Know what's below.  
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[illegible]

Developed For:

Godfrey Detroit

1404 Michigan Avenue  
Detroit, Michigan

1501 Church  
Site Plan

Corktown Hotel Parking Lots

City of Detroit  
Wayne County  
MICHIGAN

Date:	2020-04-24
Scale:	1"=20'
Sheet:	C1
Project:	19695-01d

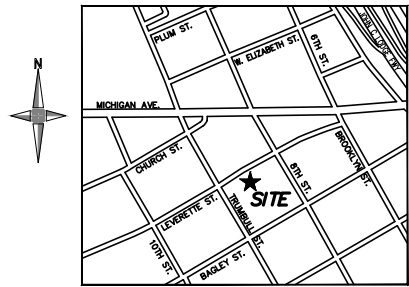
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PROPERTY DESCRIPTION

PROPERTY ENCOMPASSES PARCELS: 1403, 1411, 1421, 1431, 1441 LEVERETTE AND 1742 AND 1750 TRUMBULL. THESE INDIVIDUAL PARCELS WILL BE COMBINED INTO A SINGLE PARCEL WITH THE 1750 TRUMBULL ADDRESS.

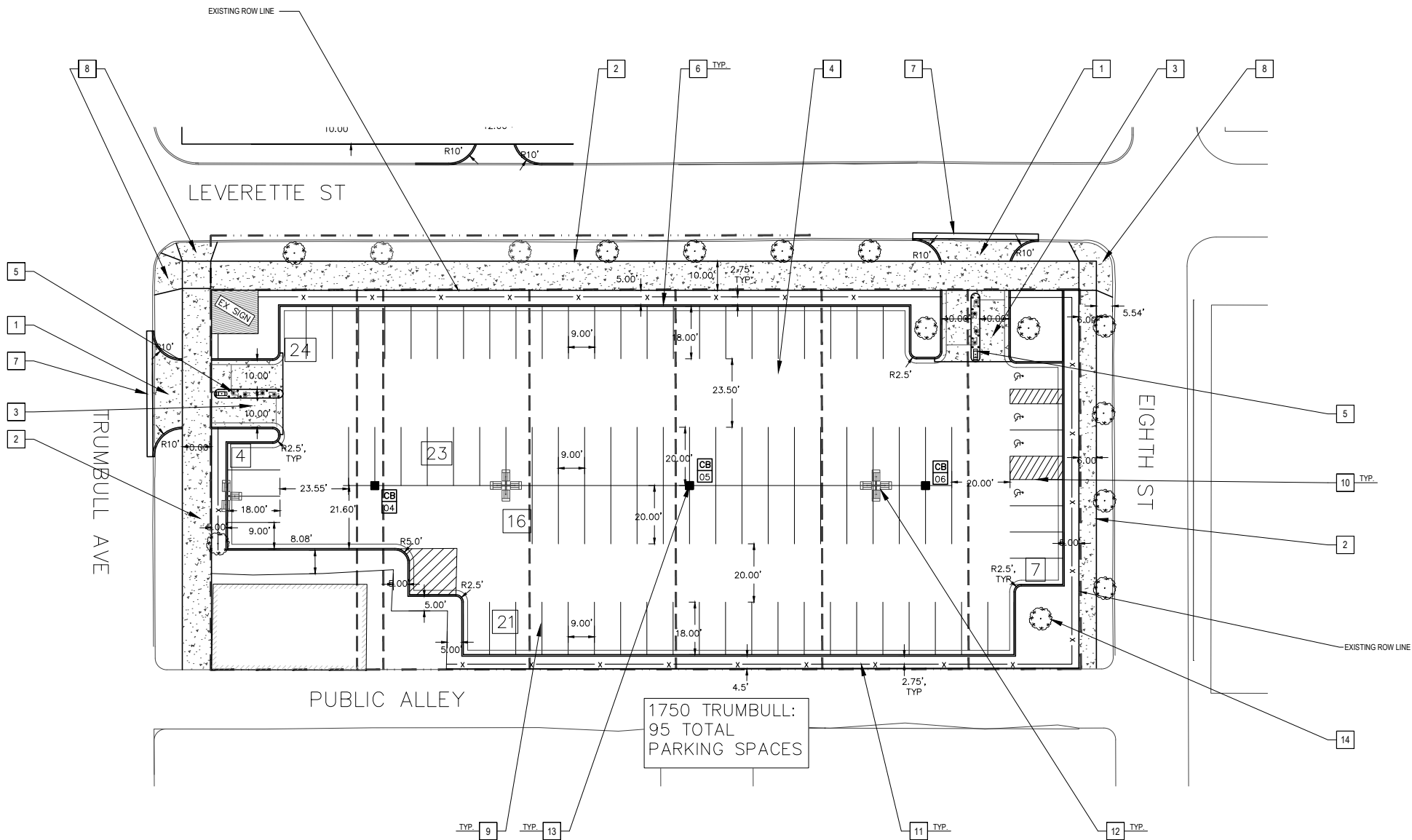
ZONING MAP



LOCATION MAP  
( NOT TO SCALE )

SITE PLAN - KEY NOTES

- | #  | NOTE  |
|----|---|
| 1  | PROVIDE AND INSTALL NEW 8" CONCRETE DRIVE APPROACH WITH 6" CONCRETE SIDEWALK ON EACH SIDE FROM THE APPROACH TO THE END OF THE DRIVEWAY RADIUS ON EACH SIDE - TYP.   |
| 2  | NEW 4" CONCRETE SIDEWALK PAVEMENT PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS  |
| 3  | NEW 6" CONCRETE PAVEMENT WITH 6" MDT 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR  |
| 4  | INSTALL ASPHALT: 1.5" MDT 4C OVER 2" MDT 3C WITH 8" 21AA BASE, COMPACTED SUBGRADE TO 95% MOD. PROCTOR   |
| 5  | INSTALL PARKING BOOTH ISLAND, BARRIER ARM GATE, AND EQUIPMENT   |
| 6  | PROVIDE AND INSTALL NEW 6" CURB AND GUTTER, 18" WIDE GUTTER, REVERSE PAN  |
| 7  | 2'-0" (MIN.) WIDE PAVEMENT REPAIR PER CITY OF DETROIT STANDARDS AND SPECIFICATIONS. EXISTING STREET PAVEMENT SHALL BE MILLED AND REPAIRED TO NEW GUTTER GRADE PER GRADING PLAN. PAVEMENT SHALL HAVE UNIFORM SLOPE TOWARDS FACE OF CURB. |
| 8  | ADA COMPLIANT BARRIER FREE CURB RAMP PER CITY OF DETROIT STANDARDS  |
| 9  | PAVEMENT MARKINGS, 4" YELLOW, TYP   |
| 10 | PAVEMENT MARKINGS, 4" BLUE- ADA COMPLIANT, TYP  |
| 11 | 5' TALL ORNAMENTAL FENCE, BLACK; AMERSTAR AEGIS II STEEL OR EQUAL   |
| 12 | INSTALL INTERIOR LIGHTING   |
| 13 | CATCH BASIN PER DWSO STANDARDS AND SPECIFICATIONS. FINAL LOCATION, NUMBER OF CATCH BASINS, AND SEWER CONNECTION TBD.  |
| 14 | INSTALL TREE  |



giffels  
webster

Engineers  
Surveyors  
Planners  
Landscape Architects

28 West Adams Road  
Suite 1200  
Detroit, MI 48226  
p (313) 962-4442  
f (313) 962-5068  
www.giffelswebster.com

Executive:	MWM
Manager:	TET
Designer:	SLP
Quality Control:	MWM
Section:	22 & 248
	T-02-S R-12-E

Professional Seal:



DATE:	ISSUE:
2020-04-24	Site Plan

Developed For:

Godfrey Detroit

1404 Michigan Avenue  
Detroit, Michigan

1750 Trumbull  
Site Plan

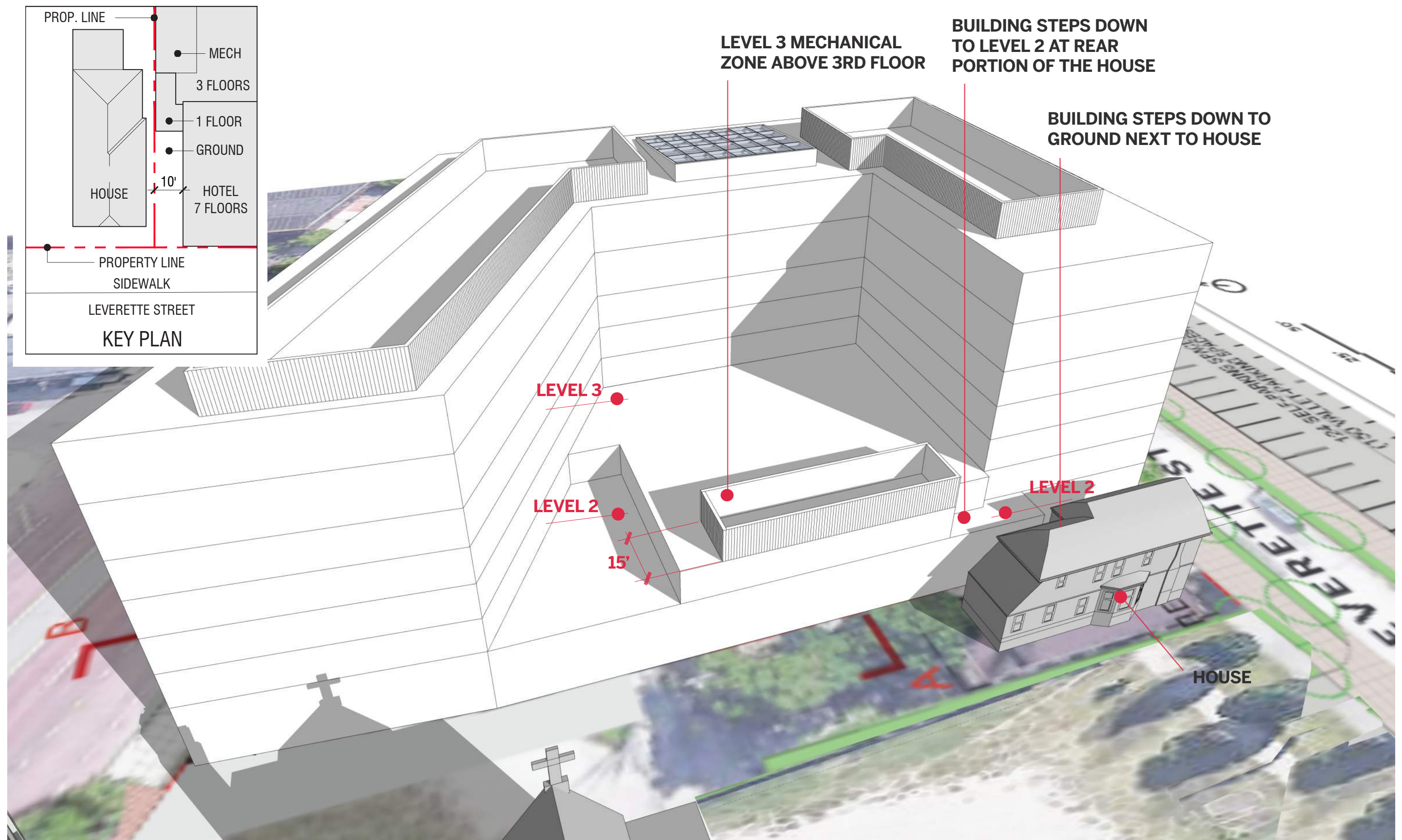
Corktown Hotel Parking Lots

City of Detroit  
Wayne County  
MICHIGAN

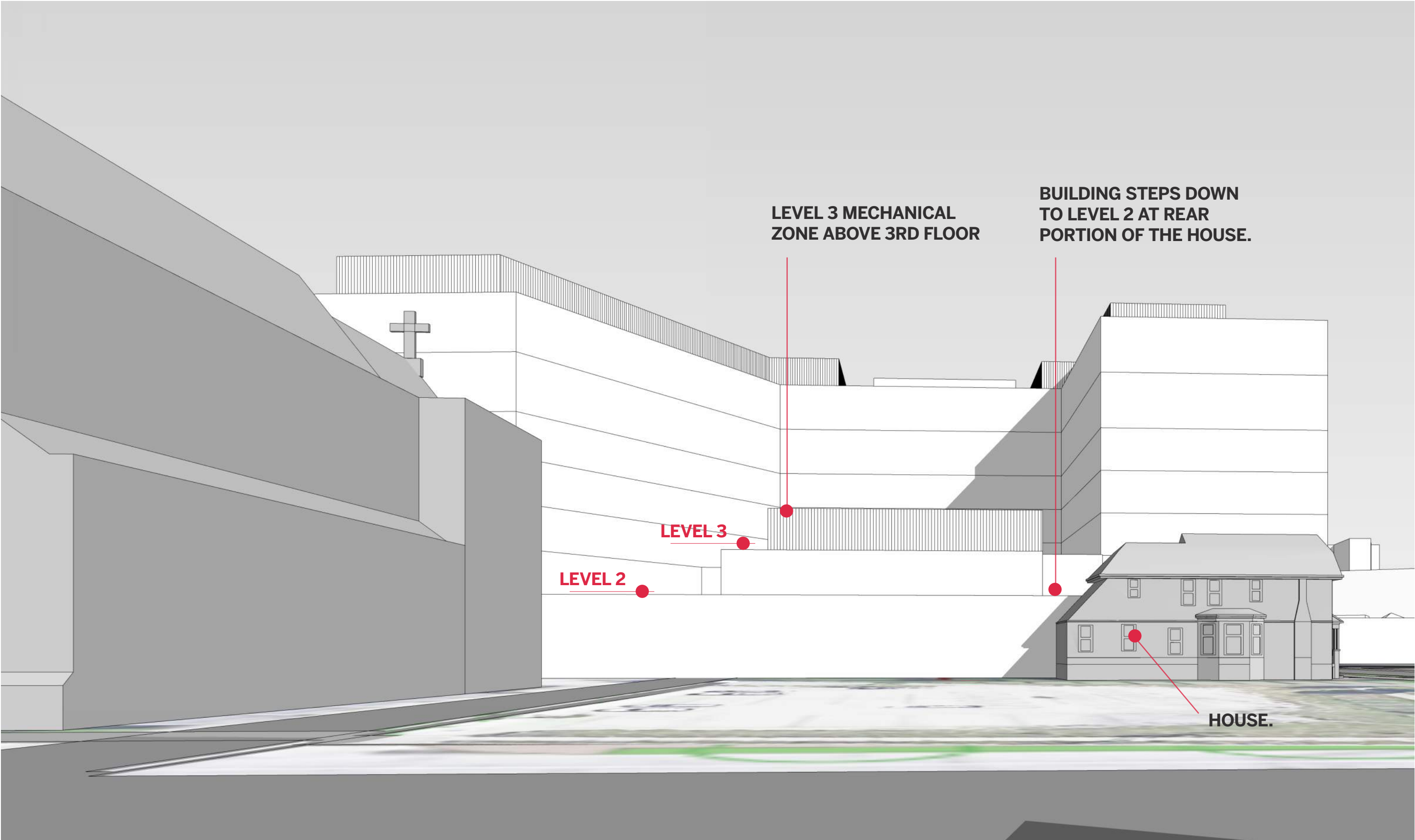
Date:	2020-04-24
Scale:	1"=20'
Sheet:	C2
Project:	19695-01d

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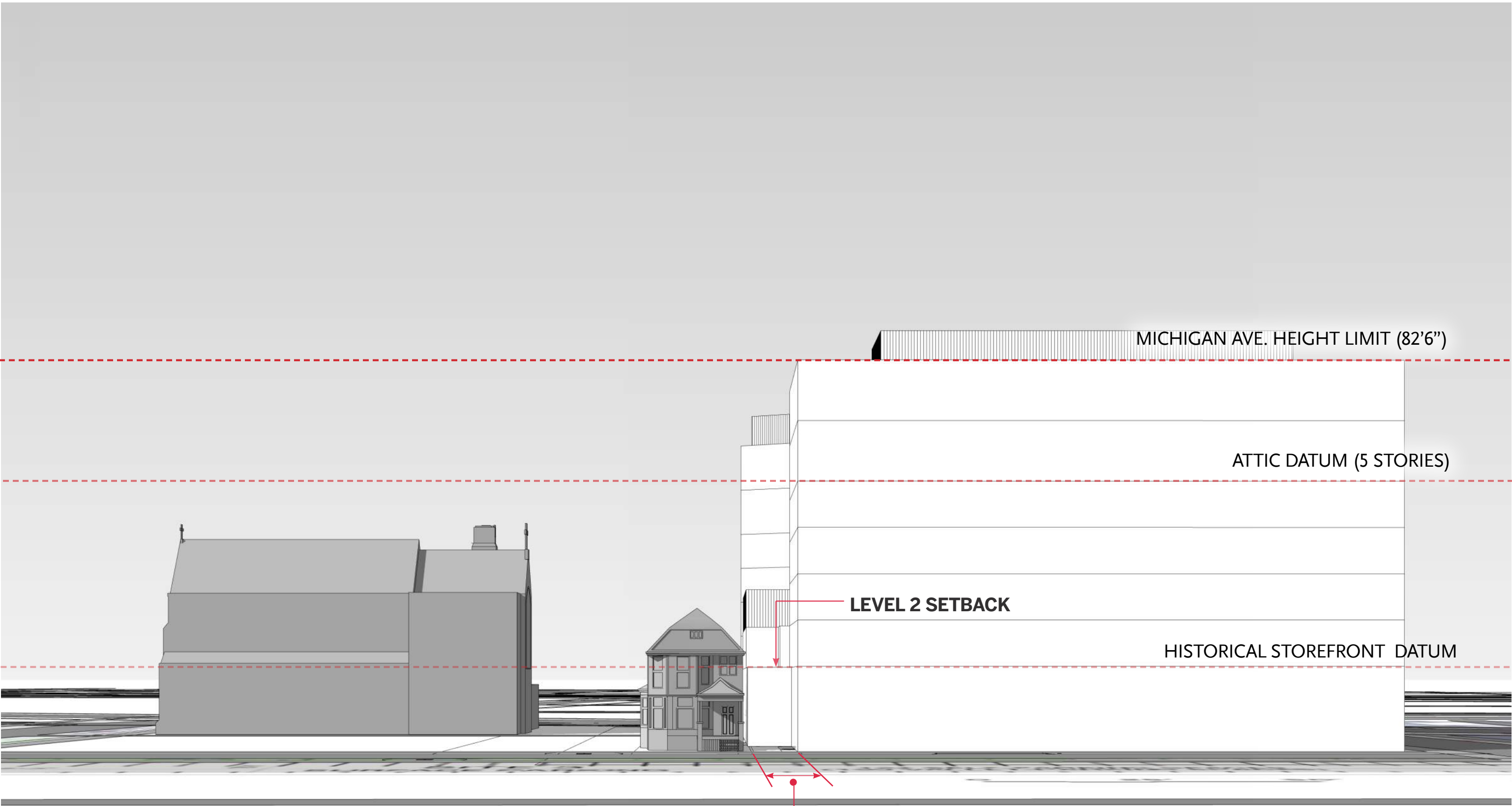












MICHIGAN AVE. HEIGHT LIMIT (82'6")

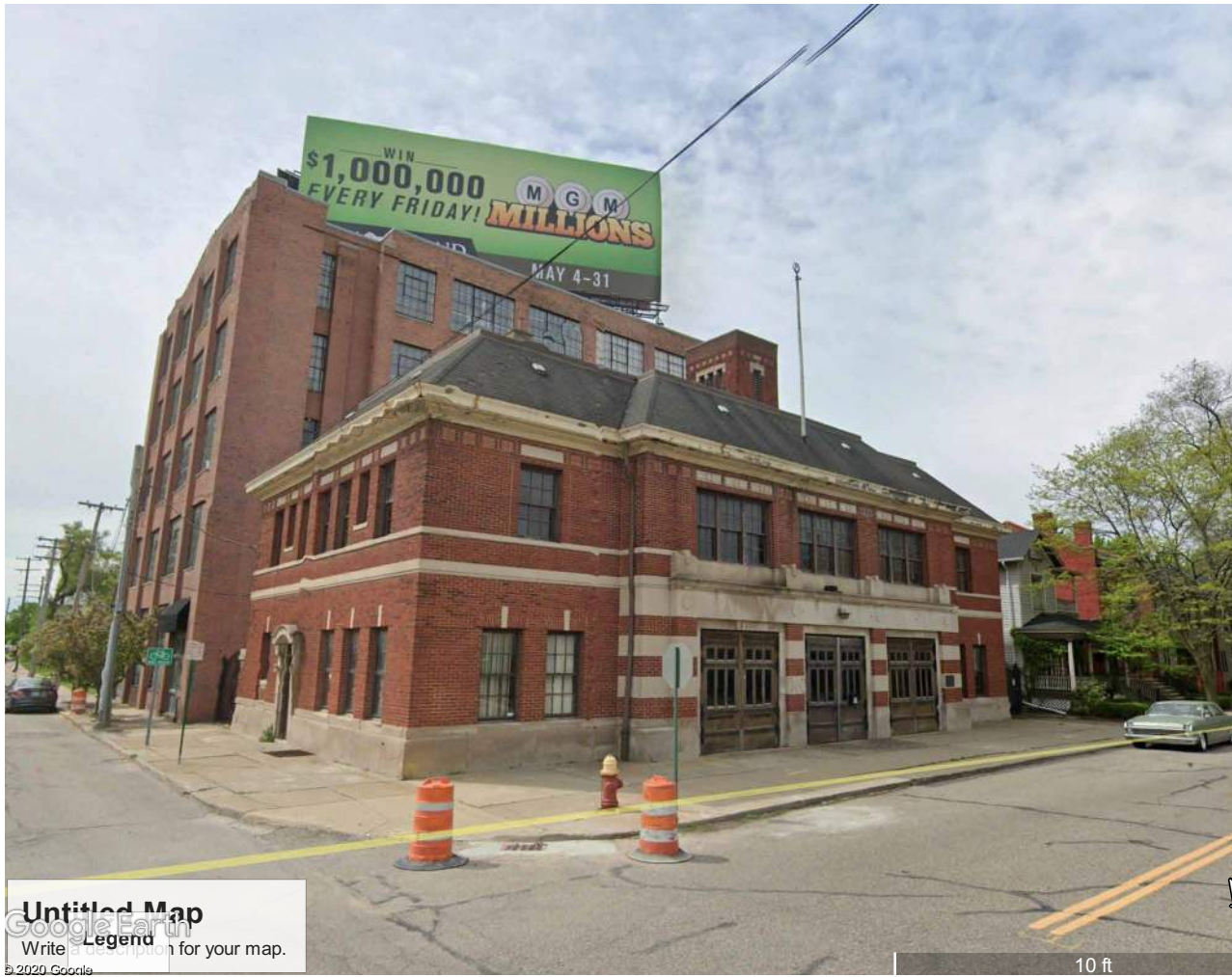
ATTIC DATUM (5 STORIES)

LEVEL 2 SETBACK

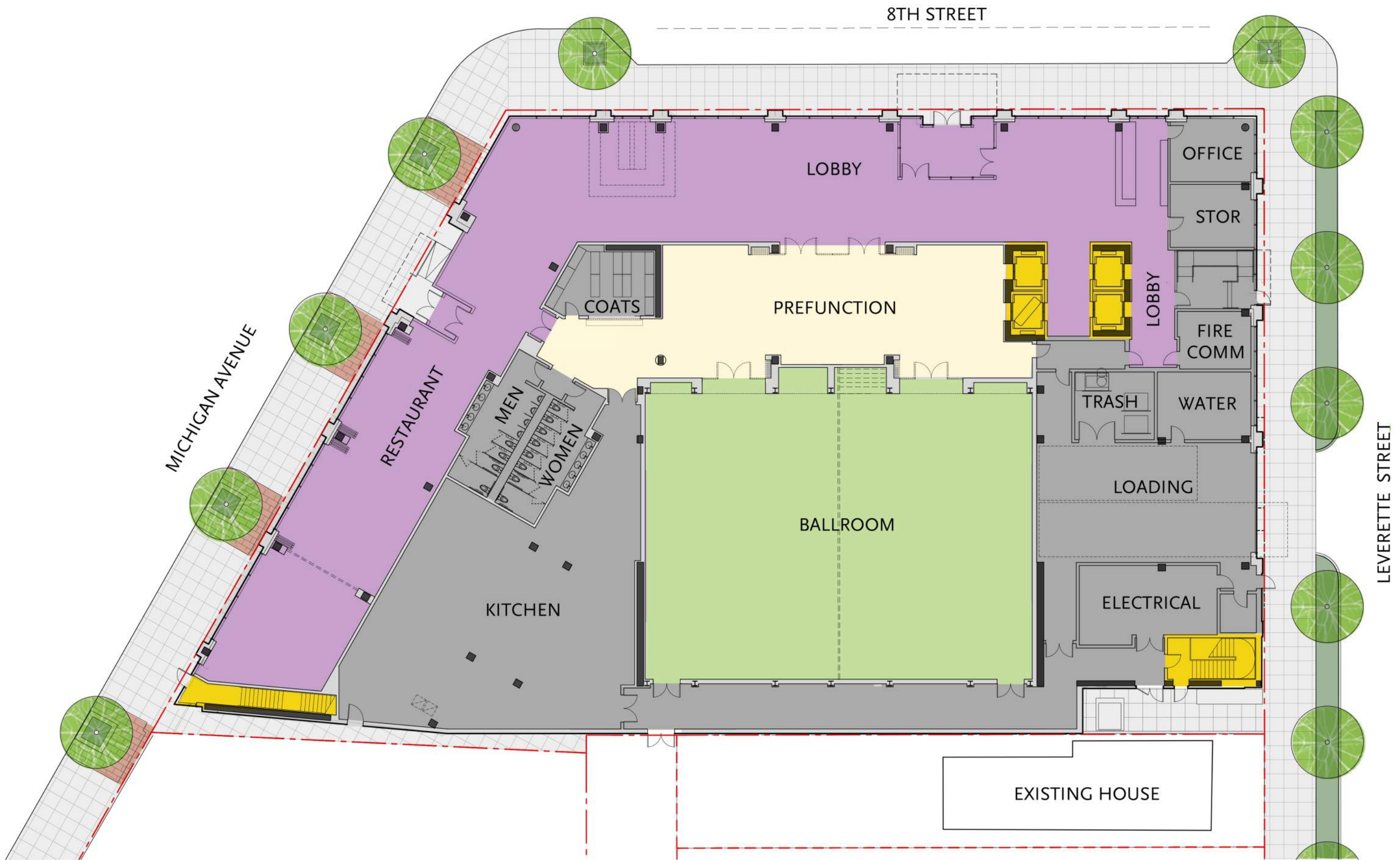
HISTORICAL STOREFRONT DATUM

10' SET BACK FROM  
PROPERTY LINE

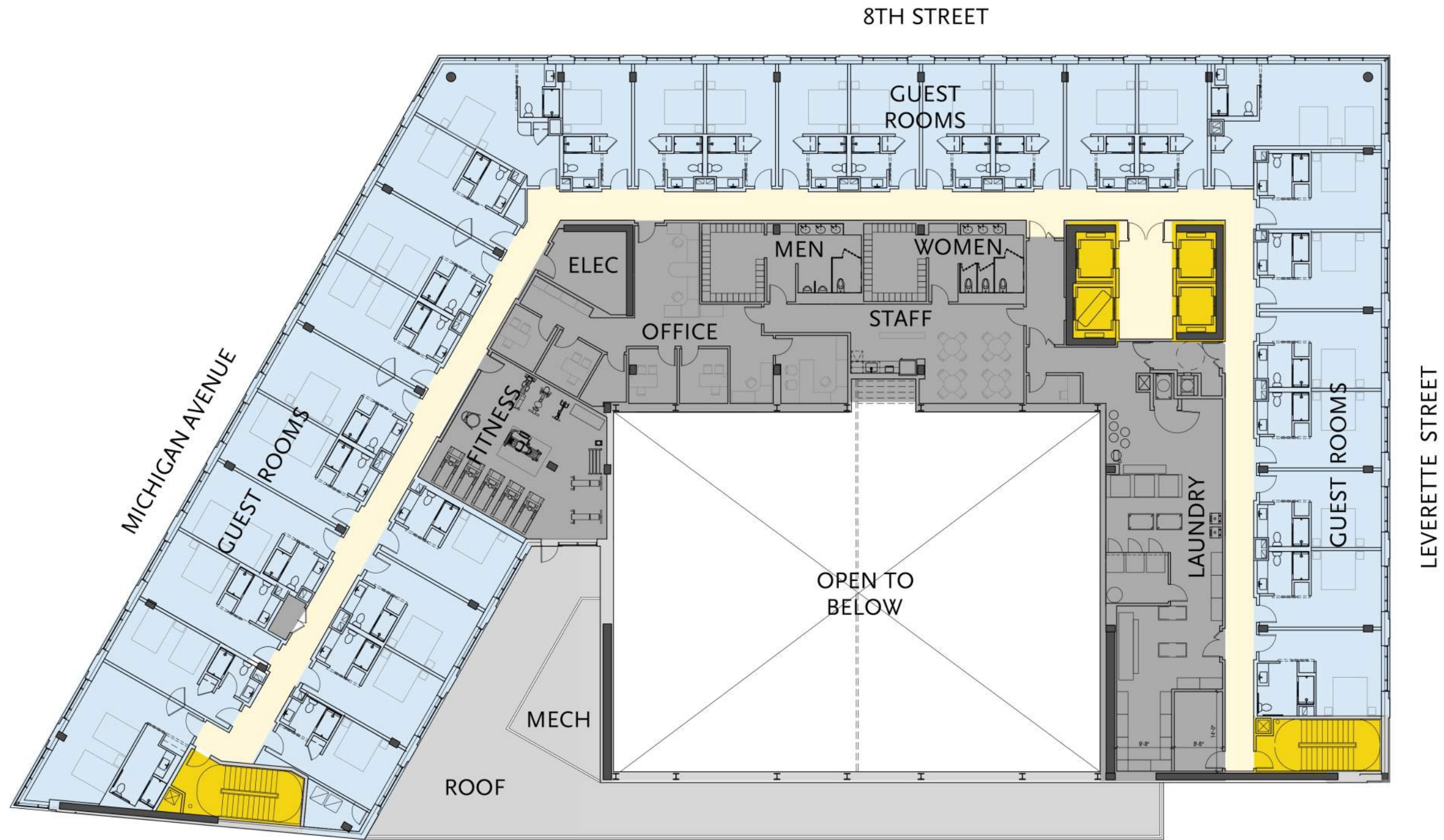












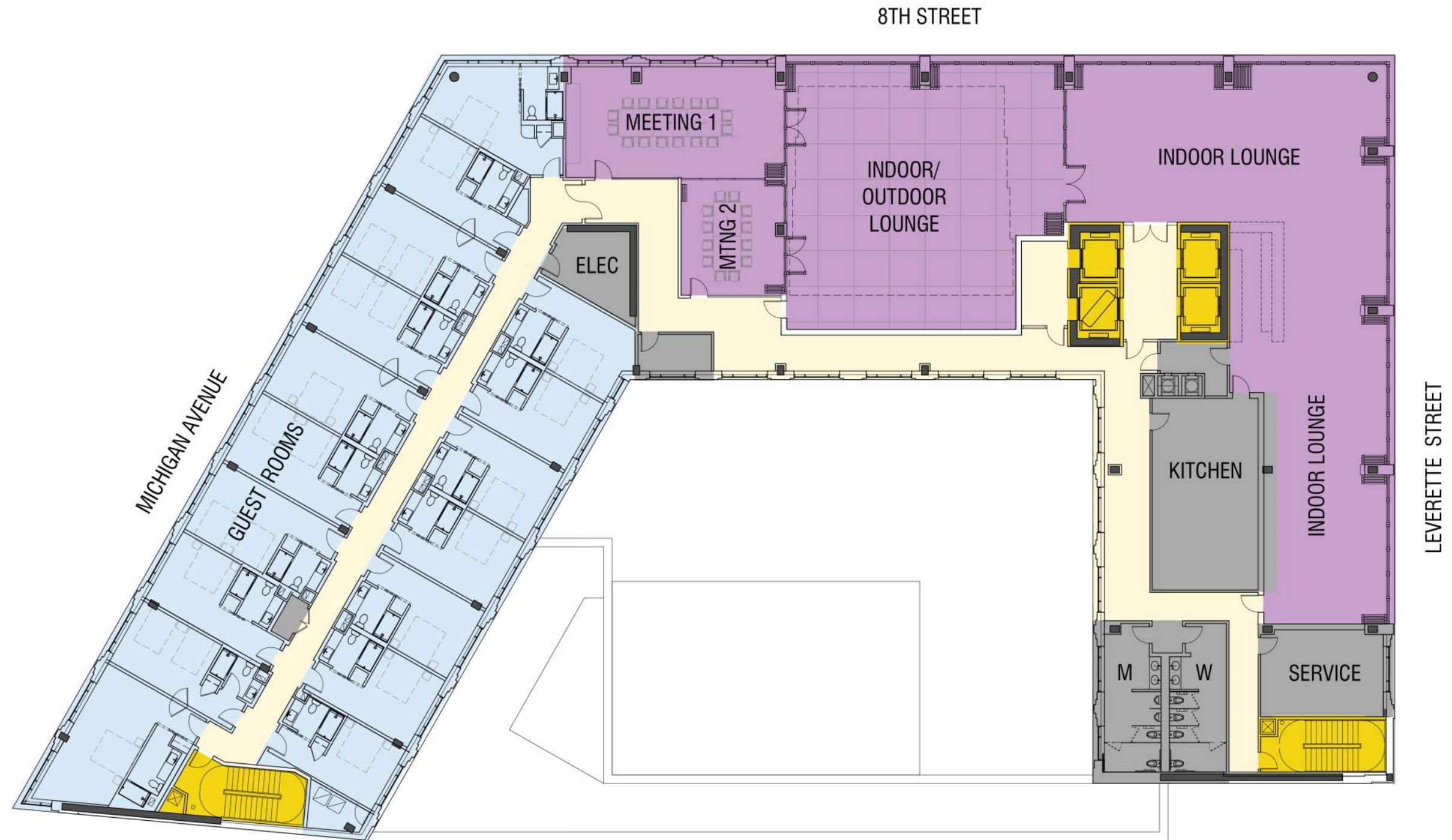






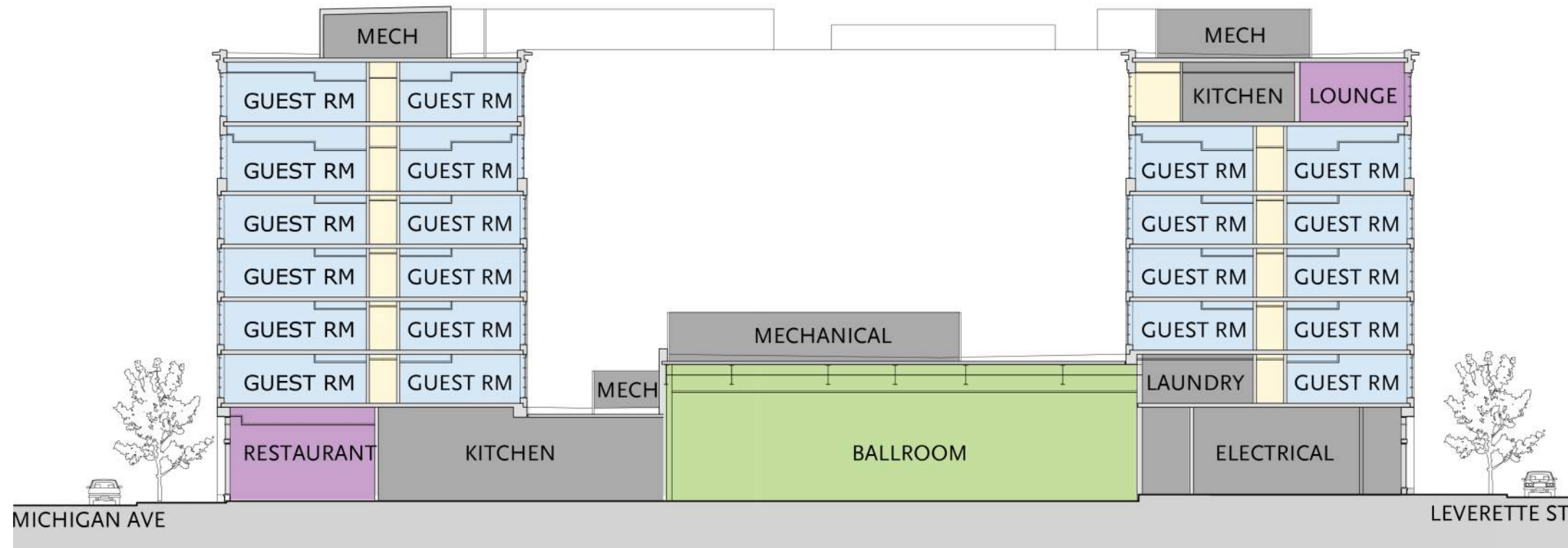
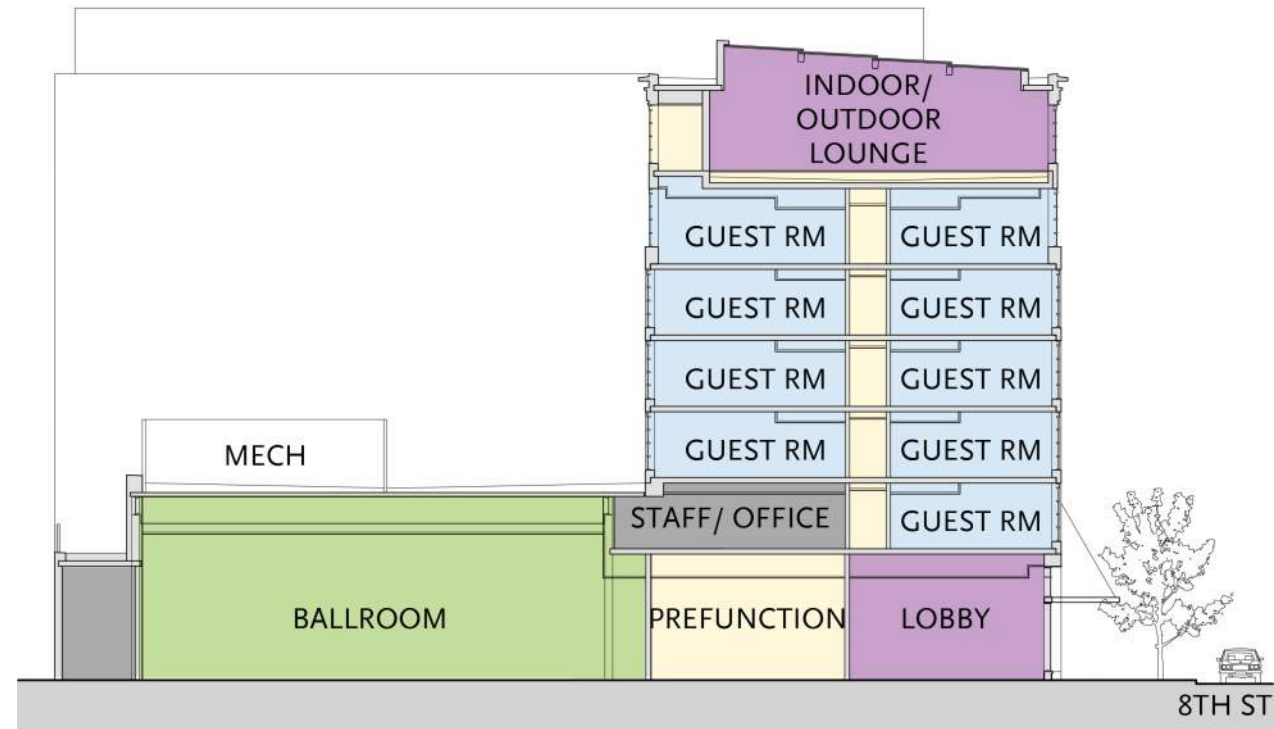




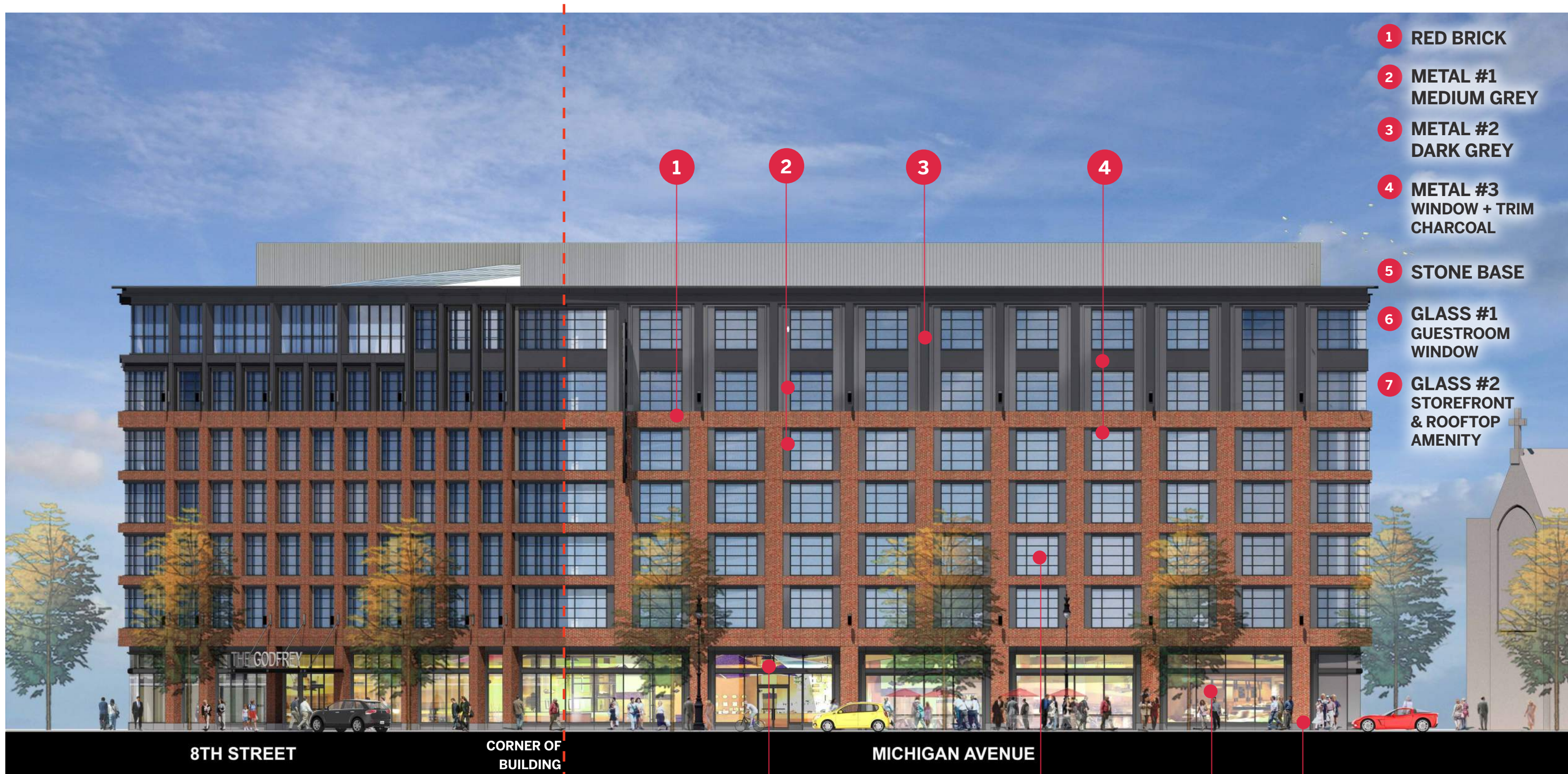


Level 7 Plan







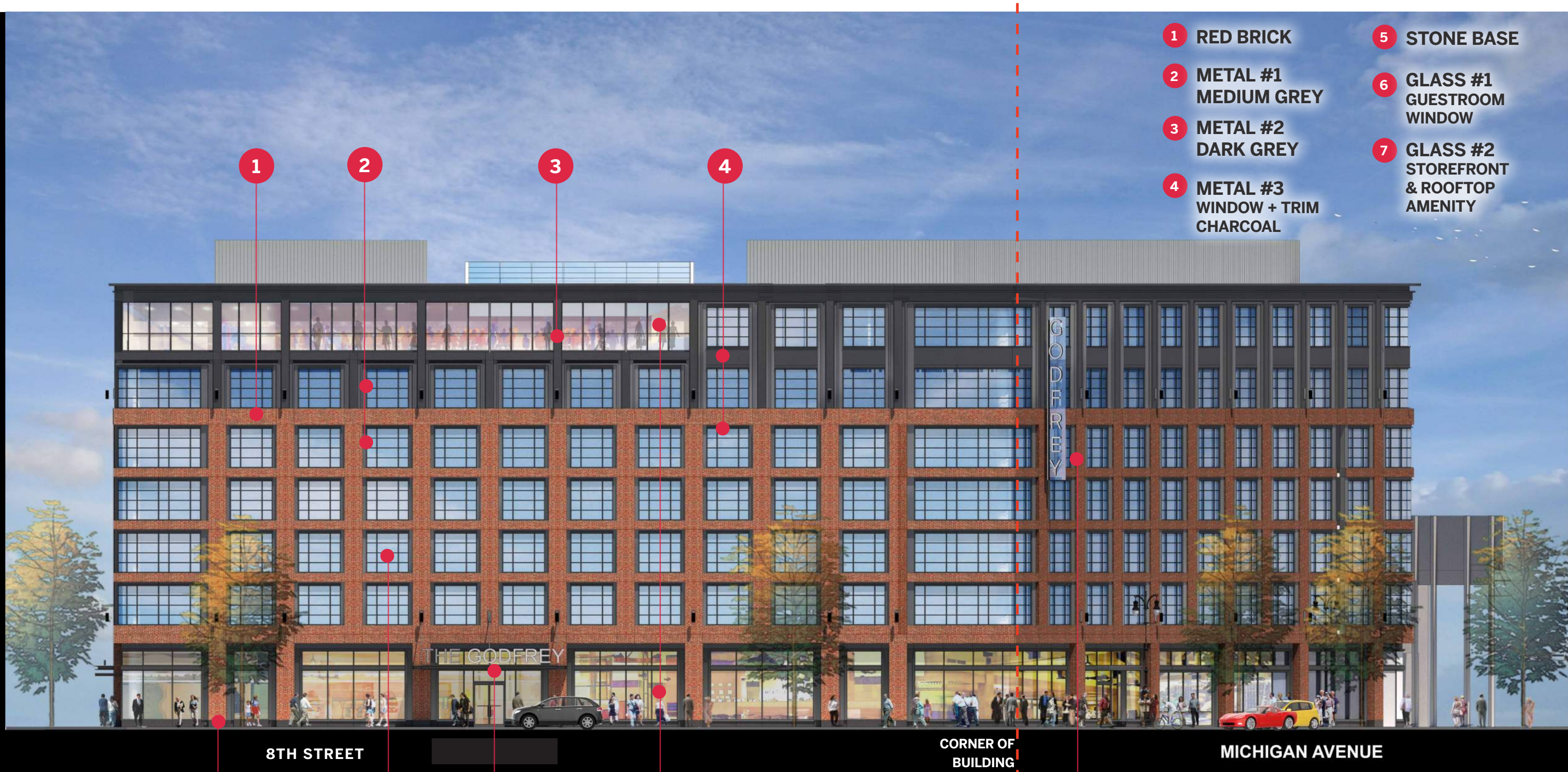


- 1 RED BRICK
- 2 METAL #1 MEDIUM GREY
- 3 METAL #2 DARK GREY
- 4 METAL #3 WINDOW + TRIM CHARCOAL
- 5 STONE BASE
- 6 GLASS #1 GUESTROOM WINDOW
- 7 GLASS #2 STOREFRONT & ROOFTOP AMENITY

Restaurant Entry Sign  
Aproximate Dimensions:  
1'-0" x 12'-0"

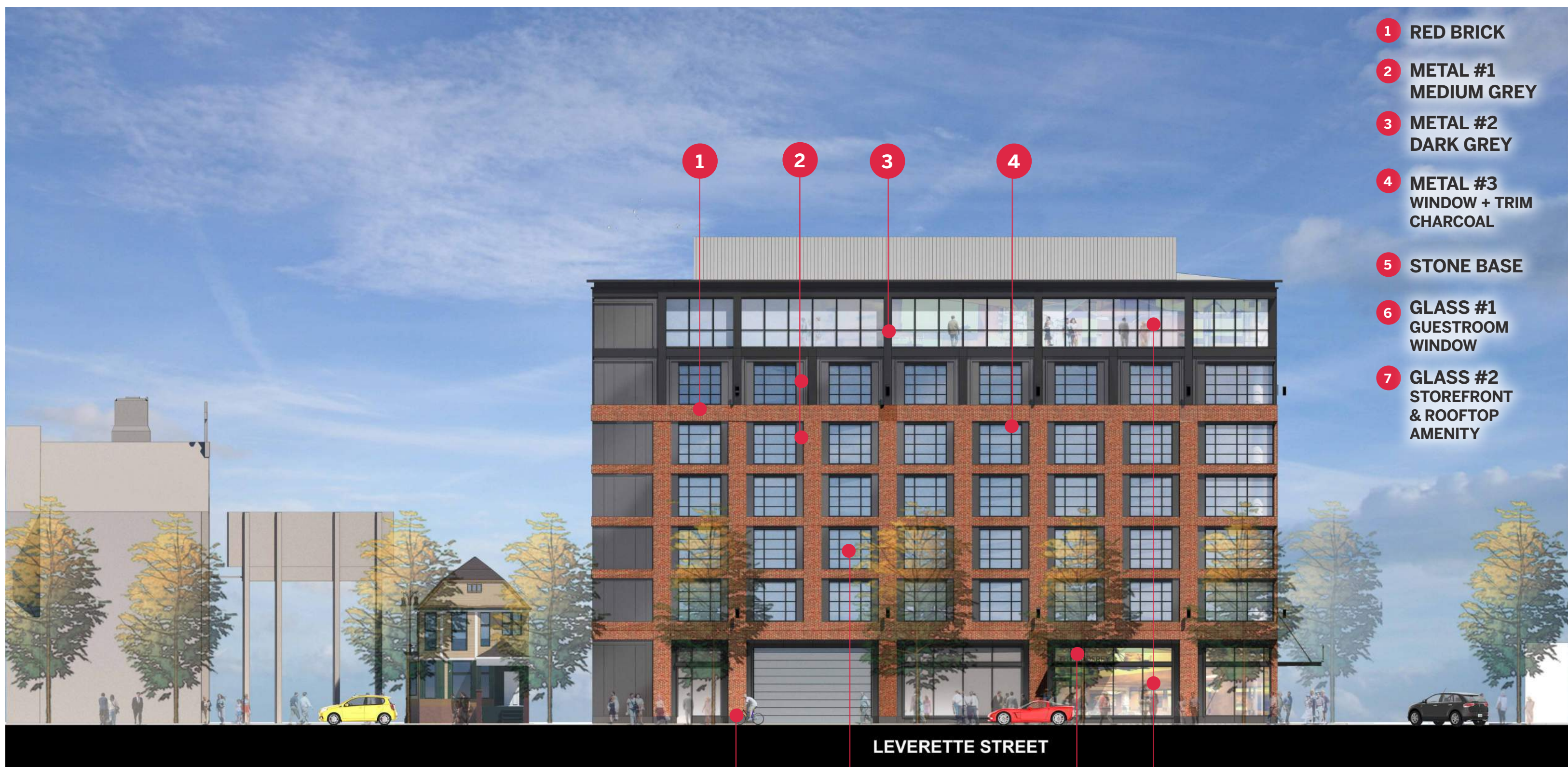
## Michigan Avenue Elevation





8th Street Elevation





- 1 RED BRICK
- 2 METAL #1  
MEDIUM GREY
- 3 METAL #2  
DARK GREY
- 4 METAL #3  
WINDOW + TRIM  
CHARCOAL
- 5 STONE BASE
- 6 GLASS #1  
GUESTROOM  
WINDOW
- 7 GLASS #2  
STOREFRONT  
& ROOFTOP  
AMENITY

LEVERETTE STREET

**Roof Lounge Entry Sign**  
Aproximate Dimensions:  
1'-0" x 12'-0"

## Leverette Street Elevation





Courtyard Elevation





**EXISTING MICHIGAN AVE**



**MICHIGAN AVENUE**





EXISTING 8TH STREET



8TH STREET



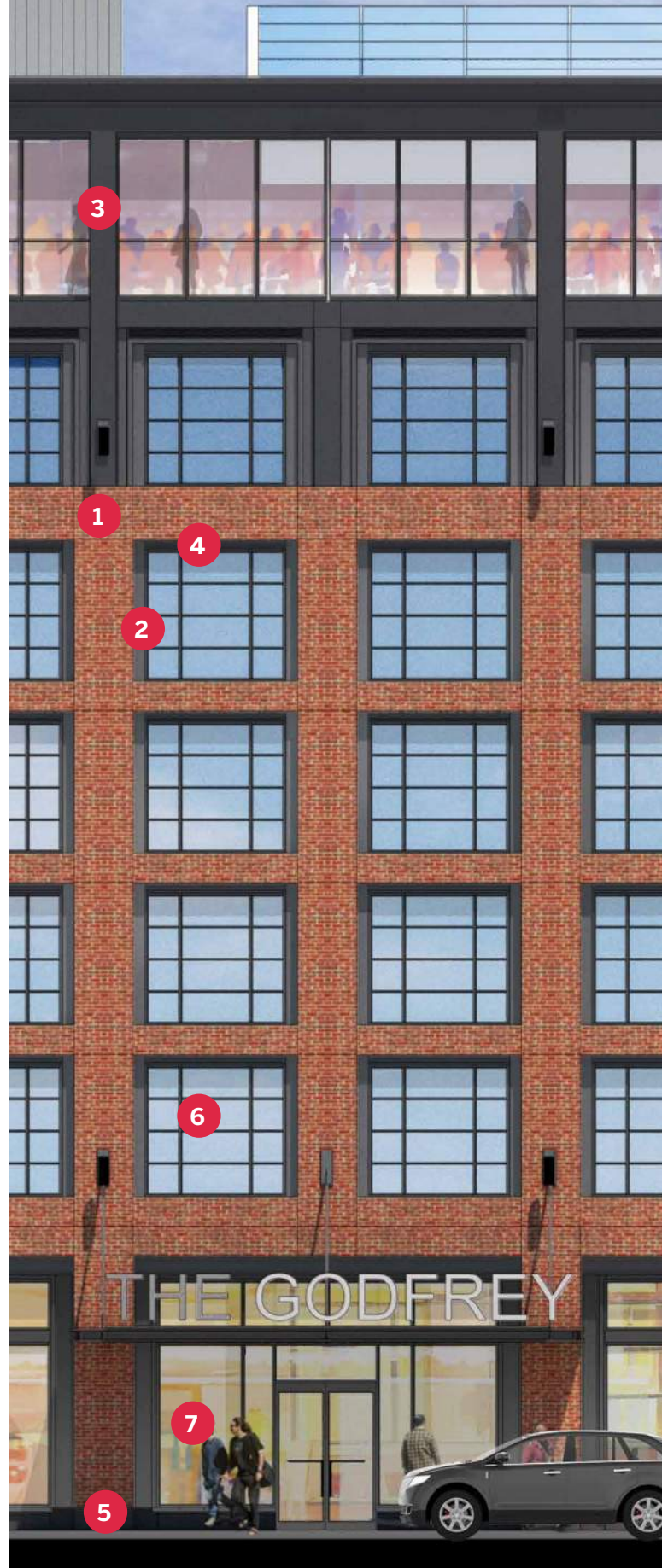


**EXISTING LEVERETTE STREET**

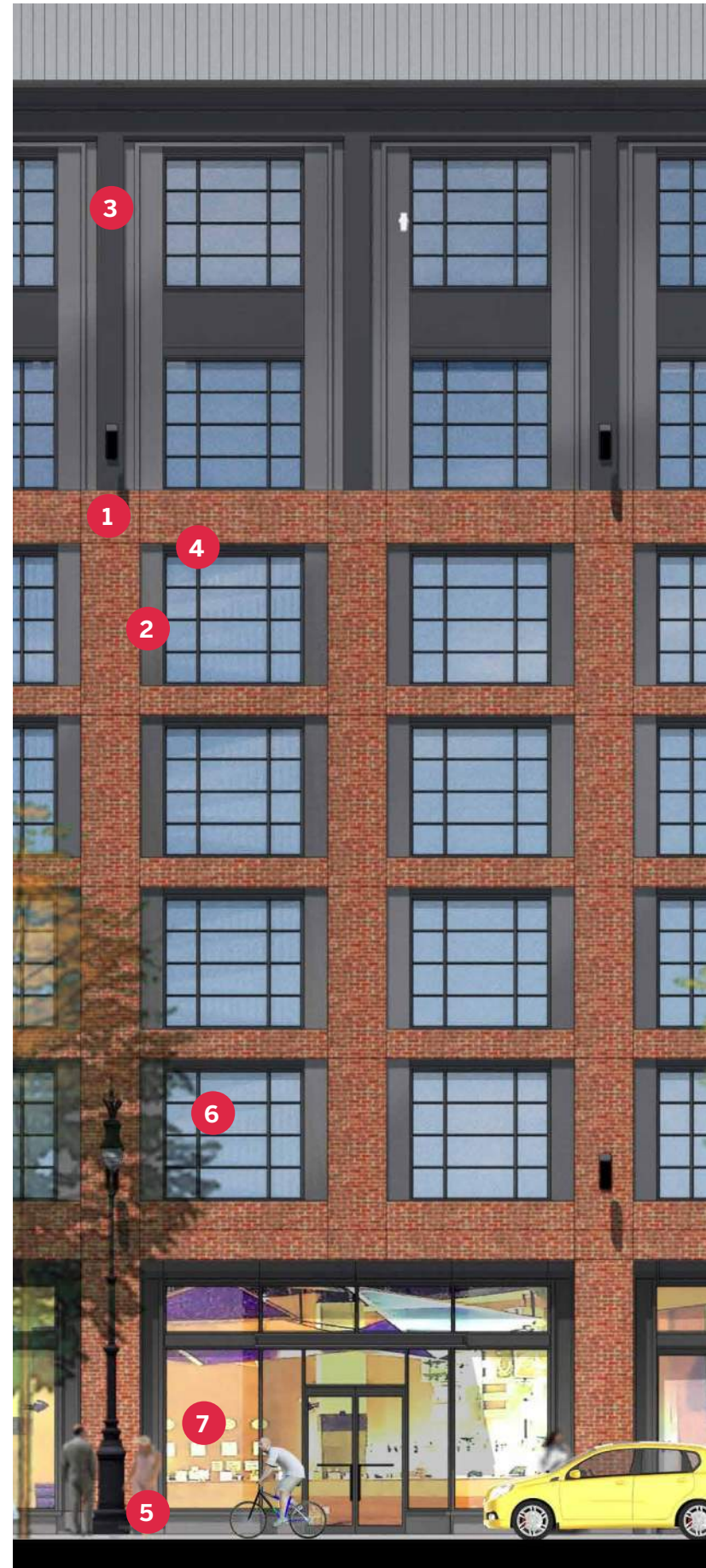
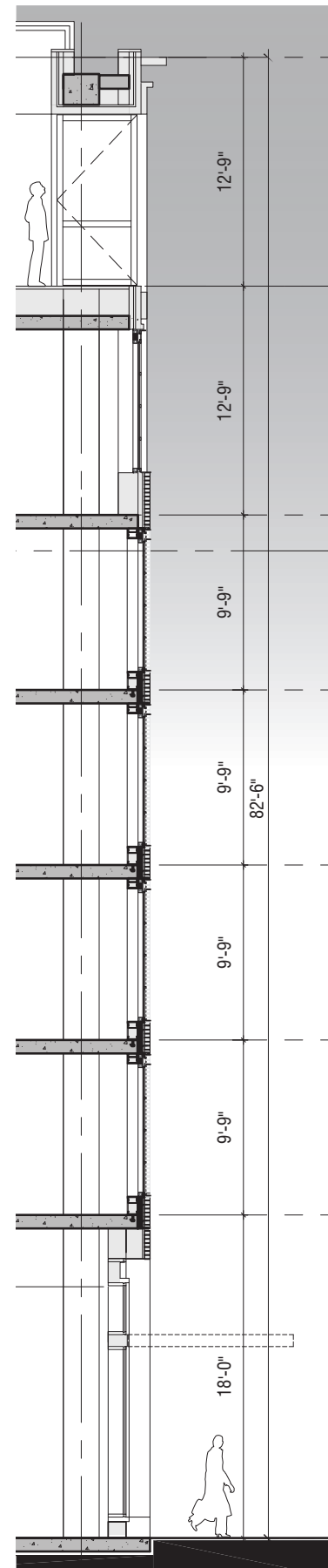


**LEVERETTE STREET**

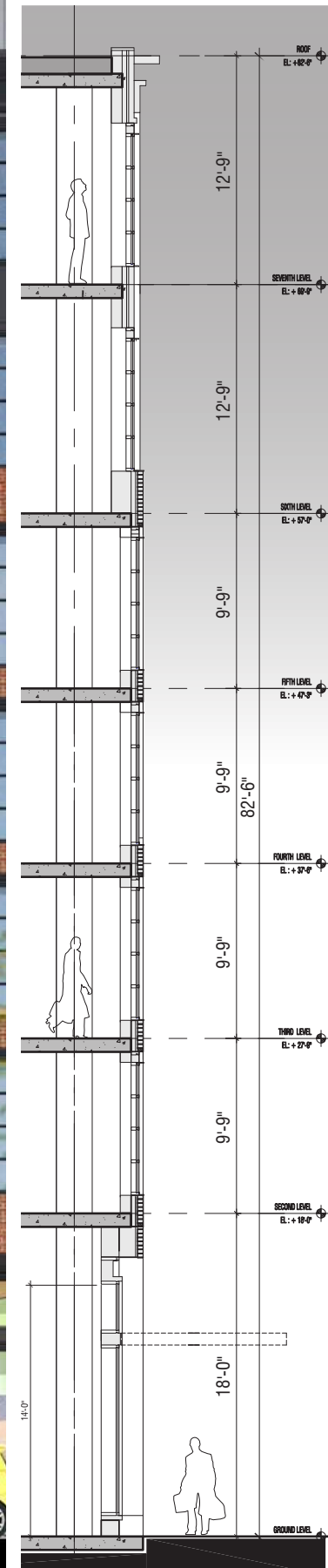




**8TH STREET**

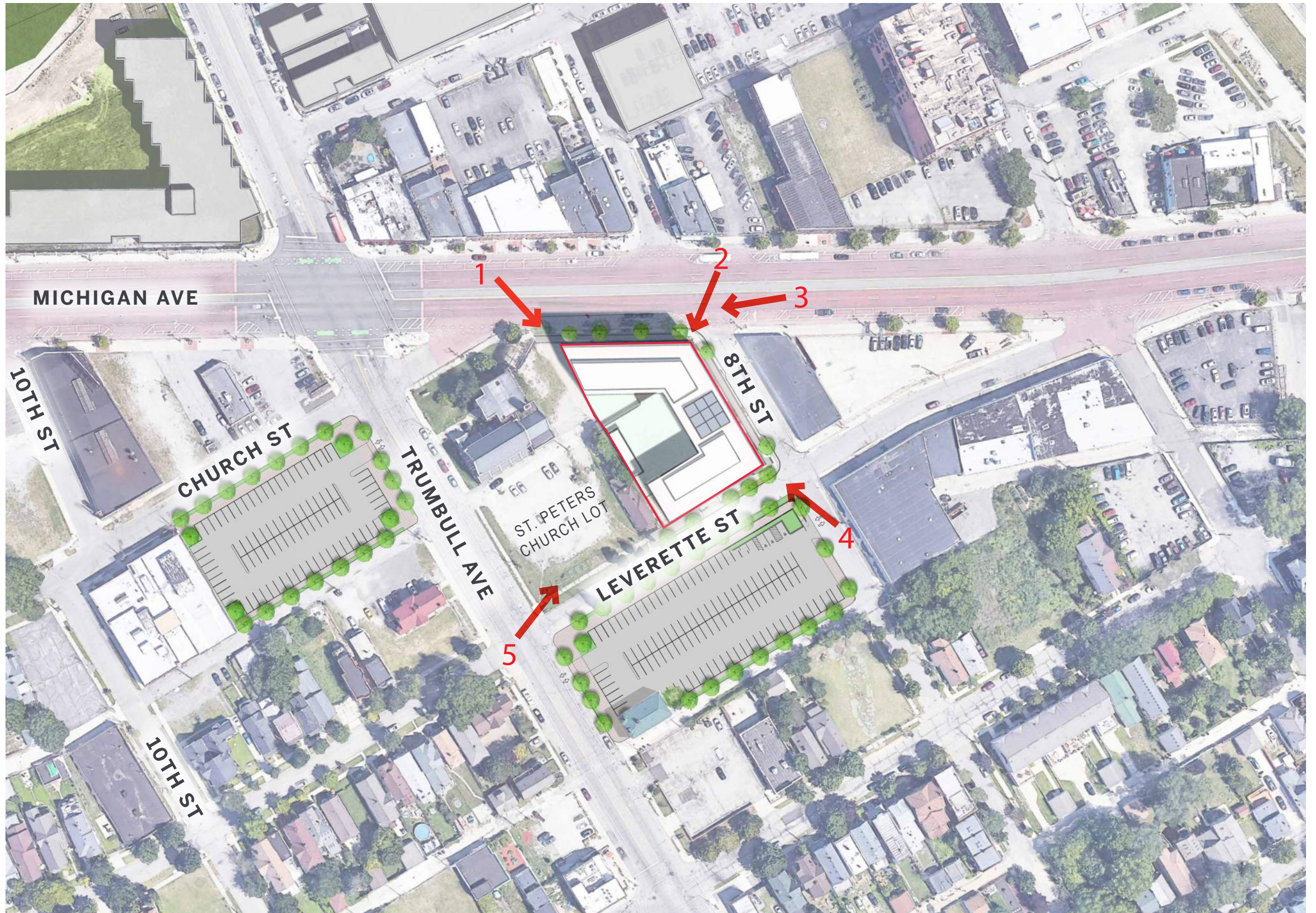


**MICHIGAN AVENUE**



- 1 RED BRICK**
- 2 METAL #1 MEDIUM GREY**
- 3 METAL #2 DARK GREY**
- 4 METAL #3 WINDOW MULLION + TRIM CHARCOAL**
- 5 STONE BASE**
- 6 GLASS #1 GUESTROOM WINDOW**
- 7 GLASS #2 STOREFRONT & ROOFTOP AMENITY**









**View 1 (from Michigan Avenue Looking South East)**





**View 2 (from Michigan Avenue Looking South West)**





**View 3 (from Michigan Avenue Looking West)**





© ELKUS MANFREDI ARCHITECTS

**View 4 (From Leverette Street Looking North West)**





© ELKUS MANFREDI ARCH

**View 5 (from Leverette Street Looking North East)**





**CHECKER BUILDING**  
Elton Park, Detroit



**THE FACTORY**  
Ford Campus, Detroit



**MICHIGAN AVENUE STOREFRONT**  
Corktown, Detroit



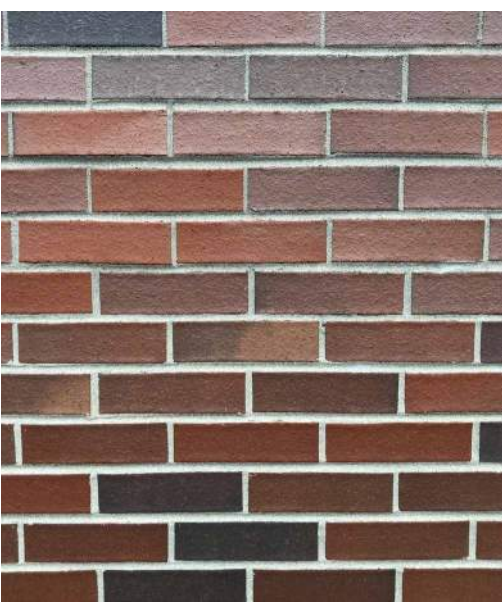
**THE CRAWFORD**  
Corktown, Detroit



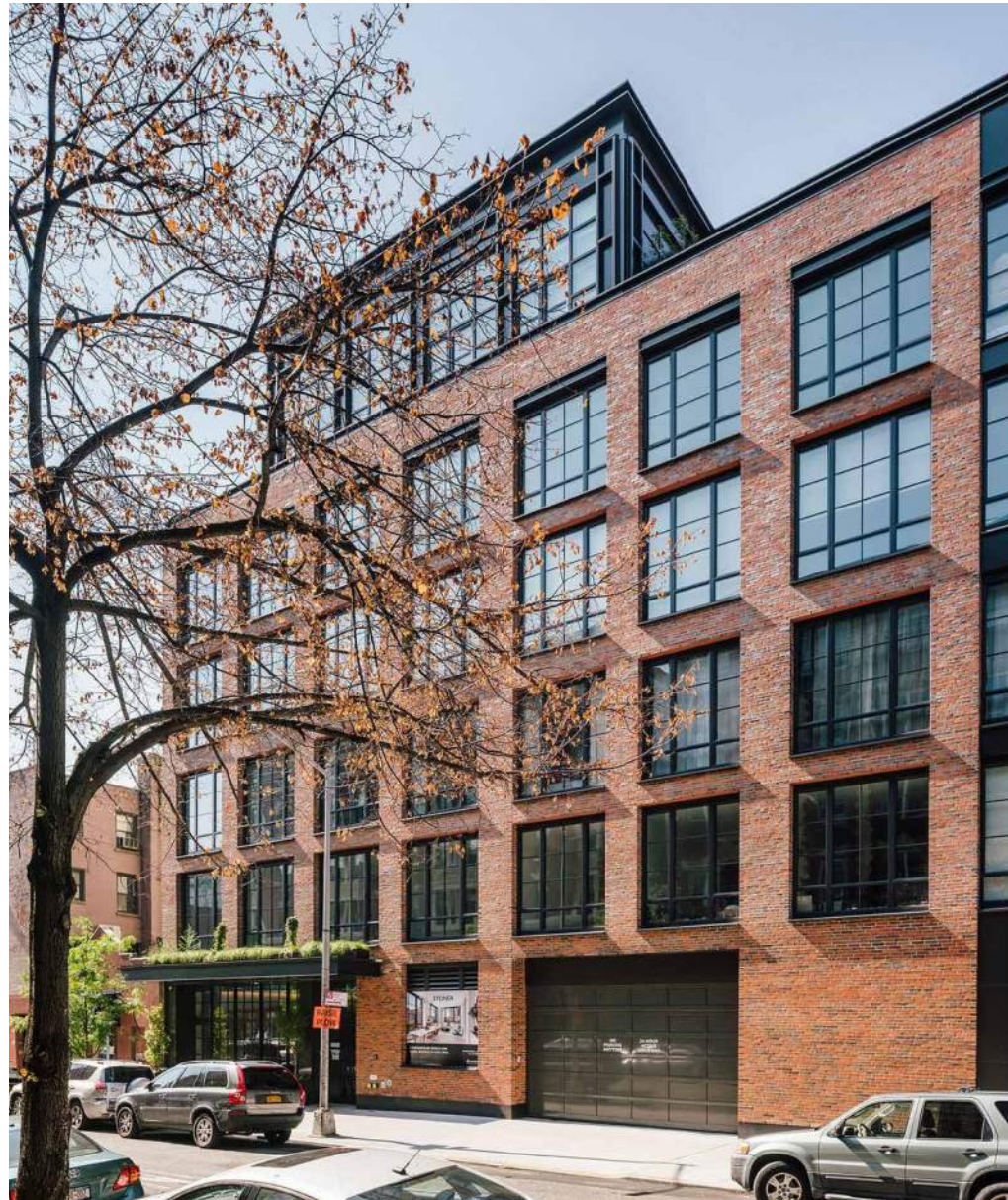
**OTTAVIAVIA RESTAURANT**  
Corktown, Detroit



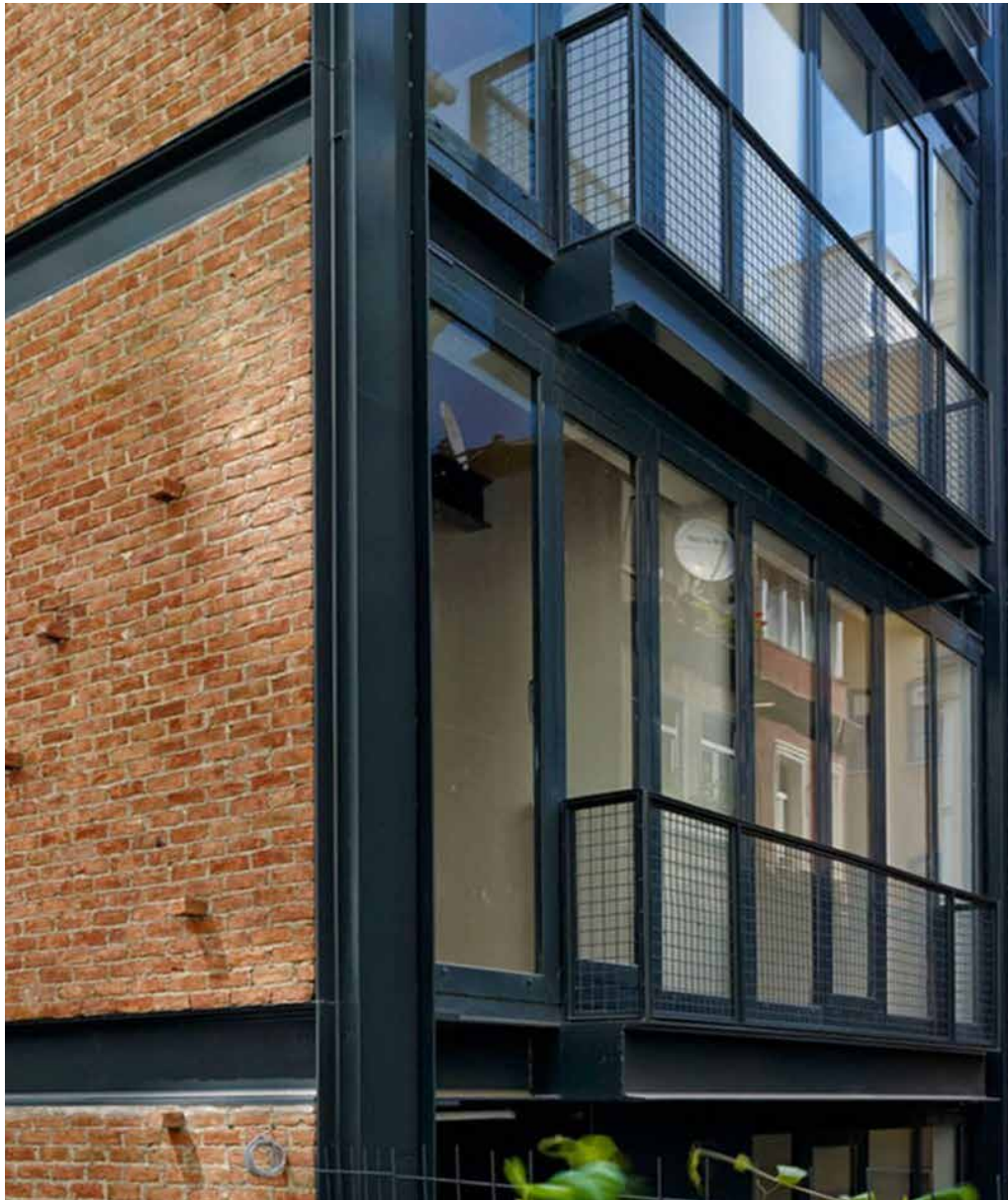
**TRUMBULL MARKET**  
Corktown, Detroit







**RED BRICK & CORNICE**



**DARK GREY METAL FRAME / MULLION**



**GREY METAL PANEL**











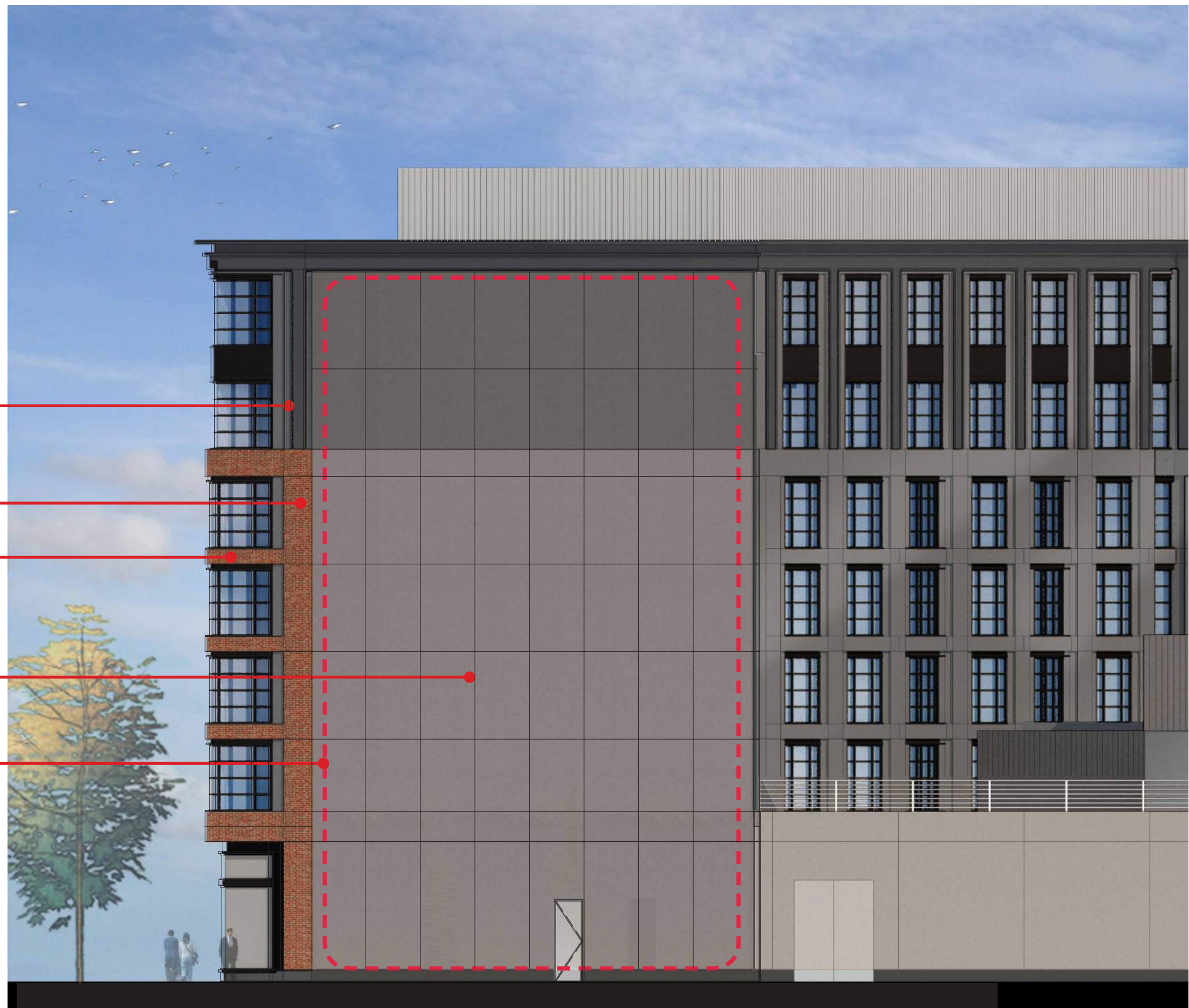
METAL VERTICAL PANEL

BRICK PILASTER

BRICK/METAL CORNER

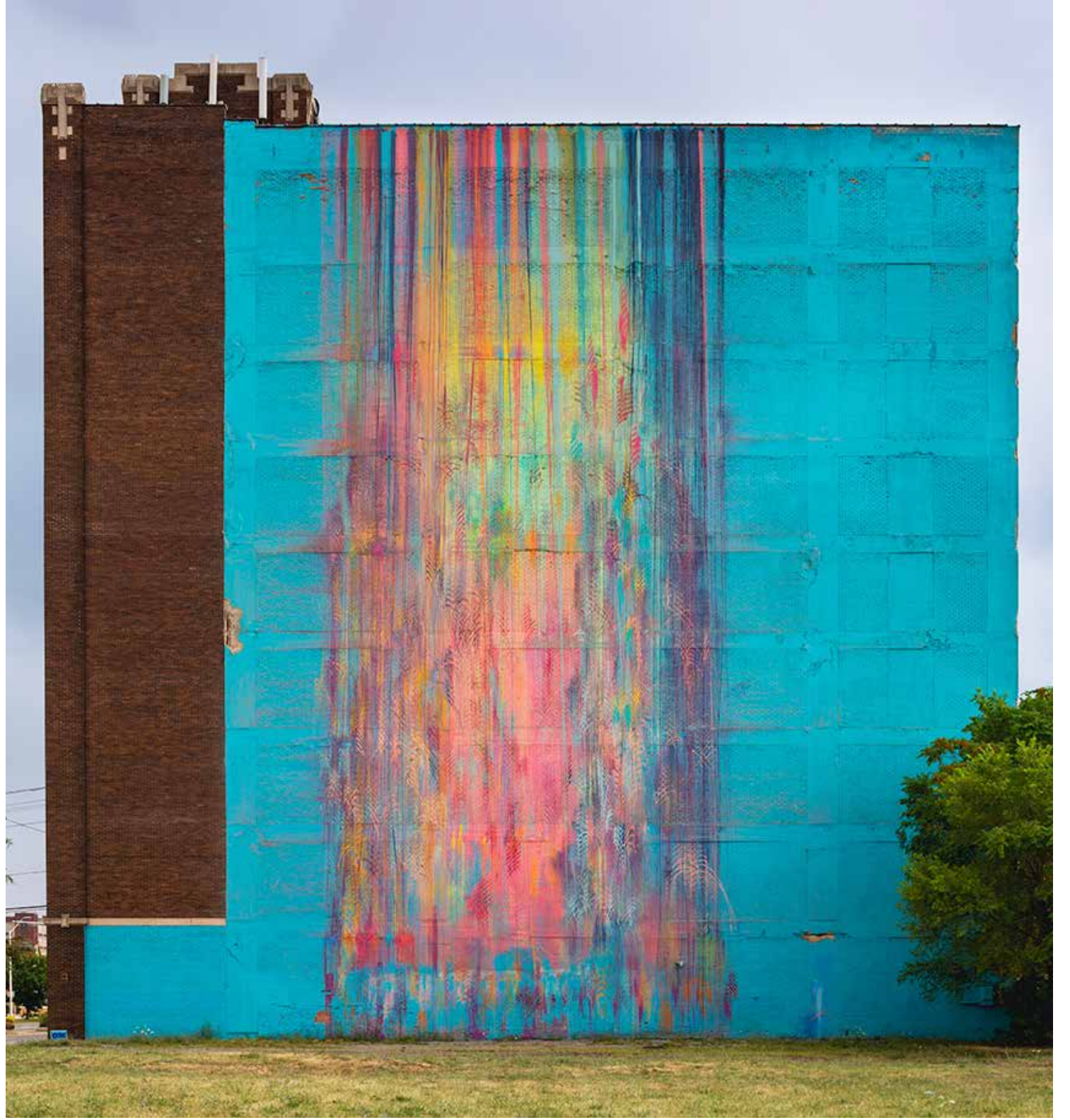
STUCCO

ARTISTIC MURAL  
3,600 SF



## North West Wall Elevation





**Artistic Mural Precedents**

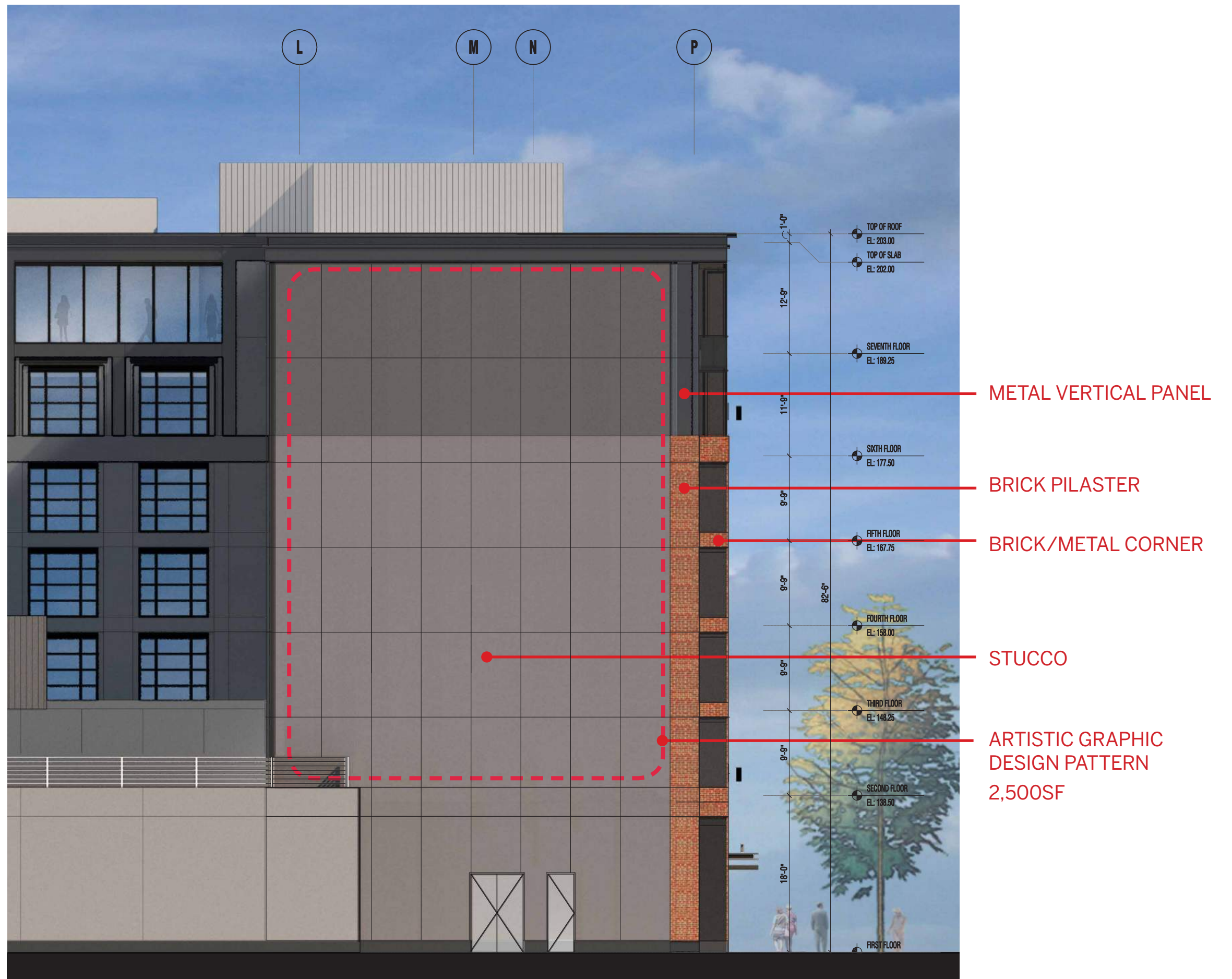












South West Wall Elevation

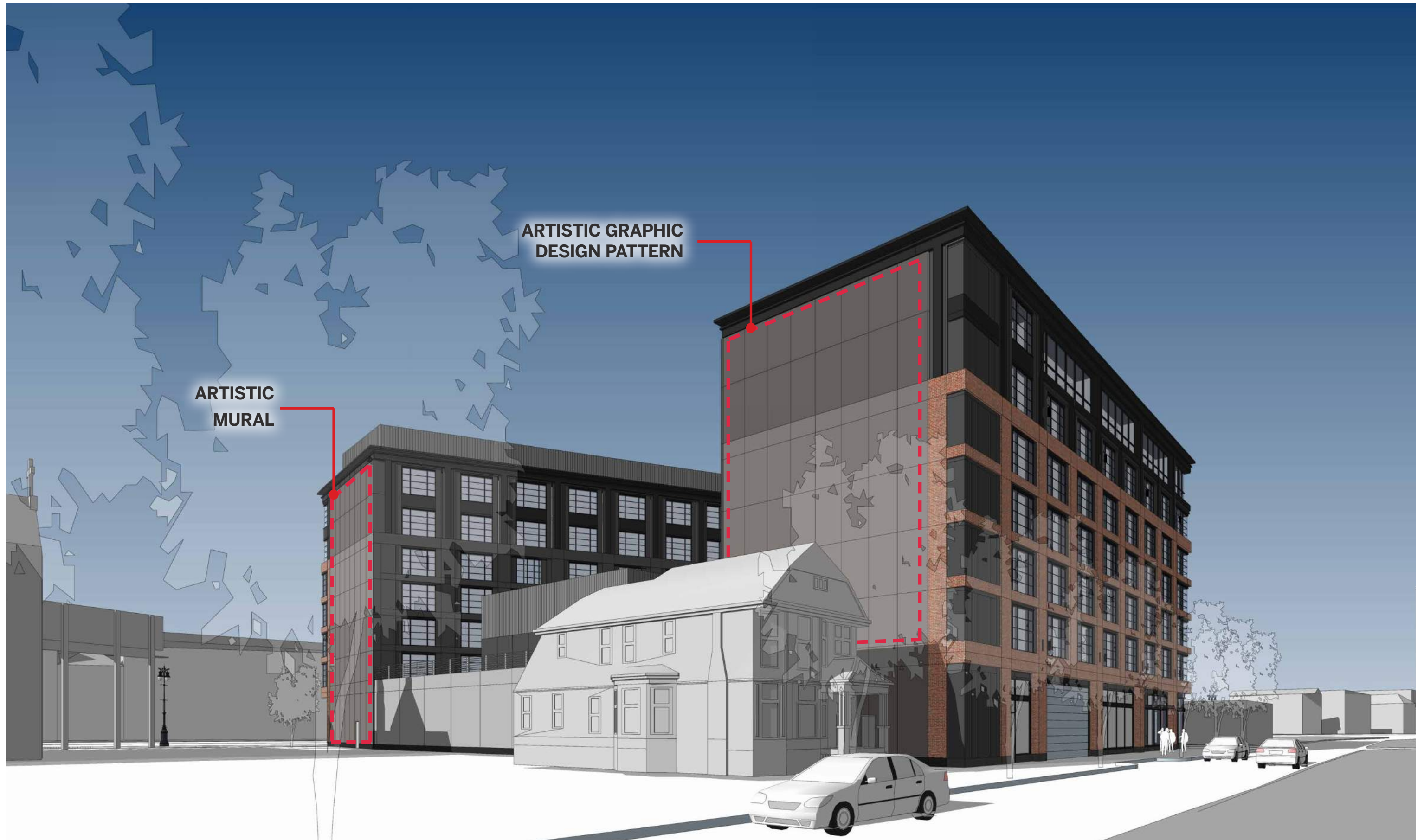






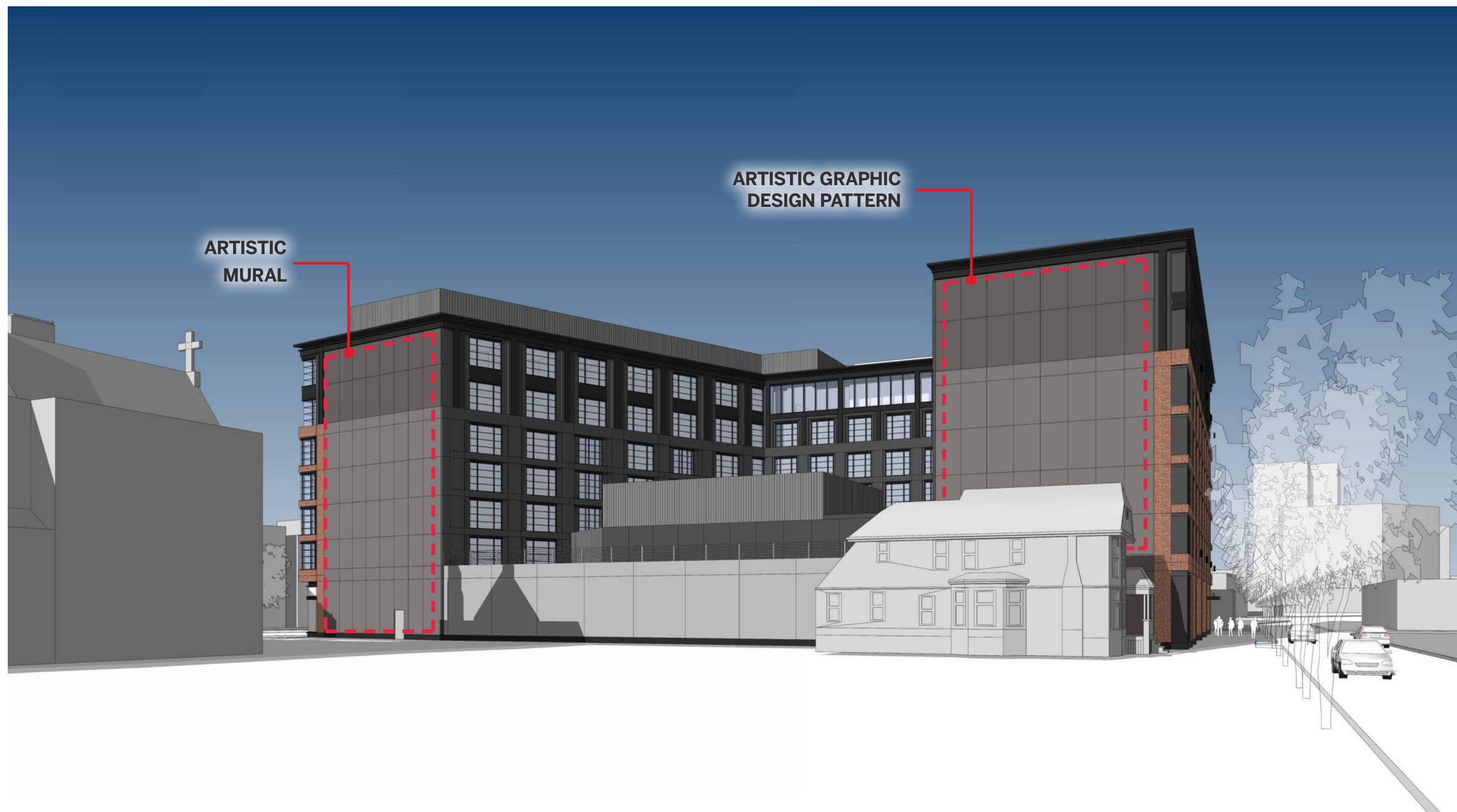






**View 'A' from Leverette Street Looking North East**





**View 'B' from Leverette Street Looking North East**



# Hunter Pasteur H O M E S

GODFREY DETROIT PROPCO, LLC

City of Detroit  
Planning and Development Department  
Historic District Commission

To whom it concerns:

The Owner, Godfrey Detroit Propco LLC, will retain the environmental consultant prior to demolition of the existing property to provide necessary testing/sampling of building elements and report the findings.

If any asbestos is located, specialty abatement contractor will be engaged along with environmental consultant to provide proper abatement/ asbestos removal prior to demolition of the existing building. Environmental consultant will monitor the procedures to assure compliance with the environmental regulations.

Thank you



GODFREY DETROIT PROPCO, LLC, a Delaware limited liability company

(248) 539-5511  
www.visitHPHomes.com

32300 Northwestern Hwy., Suite 230  
Farmington Hills, MI 48334



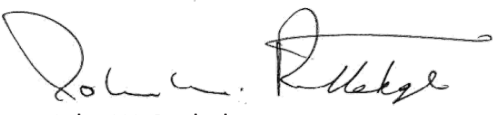
Mr. Garrick Landsberg  
Director of Historic Preservation  
Detroit Historic District Commission  
Planning & Development Department  
City of Detroit  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Mr. Landsberg:

Oxford Capital Group, LLC is a national real estate investment, development and management firm whose activities have concentrated on complicated, large scale acquisitions, developments and redevelopments. Oxford's long-time investors and joint-venture partners include leading institutional fund managers, endowment funds, pension funds, sovereign wealth funds, foundations, family offices and publicly traded companies including REIT's. Lenders include investment banks, commercial banks (balance sheet and CMBS), and credit companies.

Over its 25+ year history, Oxford has participated in approximately \$3B+ of real estate projects, with a primary focus on hospitality (13,000+ hotel rooms) and hospitality anchored mixed use projects including multifamily, retail, parking, senior housing (approximately 2,000+ units) and other operationally intensive forms of real estate.

For the Godfrey Detroit, we have raised all the required equity, the majority of which has come from local Detroit/Michigan investors. As is typical under such circumstances, our plan is to secure a third party construction loan, likely from a local bank, to round out capitalization of the project. Oxford has been investing in and developing hotels around the country for 25+ years and has worked with most of the major real estate/hospitality lenders and we are highly confident in our ability to finalize the debt financing of this project.



John W. Rutledge

CEO, President, Founder  
Oxford Capital Group, LLC.  
Oxford Hotels and Resorts, LLC.

350 W. Hubbard Street, Suite 440, Chicago, IL 60654, Tel (312) 755-9500, Fax (312) 755-9510

Boston • Charleston • Chicago • New York • Palm Beach • San Francisco • Washington, D.C.



Godfrey Detroit - Corktown Five Year Operating Proforma - Oxford Capital Group																				
	2022/2023 FCST				2023/2024 FCST				2024/2025 FCST				2025/2026 FCST				2026/2027 FCST			
Average Daily Rate	\$178.11				\$196.84				\$210.69				\$214.91				\$219.20			
Percentage Of Occupancy	69.68%				74.13%				74.13%				74.13%				74.13%			
RevPAR	\$124.11				\$145.91				\$156.18				\$159.30				\$162.49			
Number of Rooms	227				227				227				227				227			
# of Rooms Sold	57,734				61,419				61,419				61,419				61,419			
# of Rooms Available	82,855				82,855				82,855				82,855				82,855			
	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR	\$ Amount	% of Revenue	\$ PAR	\$ POR
REVENUES																				
Rooms	10,283,186	45.6%	\$45,300	\$178.11	12,089,629	48.4%	\$53,258	\$196.84	12,940,380	48.8%	\$57,006	\$210.69	13,199,188	48.5%	\$58,146	\$214.91	13,463,172	48.3%	\$59,309	\$219.20
Food & Beverage	7,927,015	35.2%	\$34,921	\$137.30	8,164,826	32.7%	\$35,968	\$132.94	8,409,771	31.7%	\$37,047	\$136.93	8,662,064	31.9%	\$38,159	\$141.03	8,921,926	32.0%	\$39,304	\$145.26
Meeting Space	3,664,133	16.3%	\$16,142	\$0.00	4,030,546	16.1%	\$17,756	\$65.62	4,433,601	16.7%	\$19,531	\$72.19	4,566,609	16.8%	\$20,117	\$74.35	4,703,607	16.9%	\$20,721	\$76.58
Telephone	5,773	0.0%	\$25	\$0.10	6,326	0.0%	\$28	\$0.10	6,516	0.0%	\$29	\$0.11	6,711	0.0%	\$30	\$0.11	6,913	0.0%	\$30	\$0.11
Parking Revenue	313,119	1.4%	\$1,379	\$5.42	343,099	1.4%	\$1,511	\$5.59	353,391	1.3%	\$1,557	\$5.75	363,993	1.3%	\$1,603	\$5.93	374,913	1.3%	\$1,652	\$6.10
Restaurant Lease	192,535	0.9%	\$848	\$3.33	198,311	0.8%	\$874	\$3.23	204,260	0.8%	\$900	\$3.33	210,388	0.8%	\$927	\$3.43	216,700	0.8%	\$955	\$3.53
Other Income	156,560	0.7%	\$690	\$2.71	171,549	0.7%	\$756	\$2.79	176,696	0.7%	\$778	\$2.88	181,997	0.7%	\$802	\$2.96	187,457	0.7%	\$826	\$3.05
Total Revenues	22,542,320	100.0%	\$99,305	\$390.45	25,004,285	100.0%	\$110,151	\$407.11	26,524,615	100.0%	\$116,849	\$431.87	27,190,949	100.0%	\$119,784	\$442.71	27,874,686	100.0%	\$122,796	\$453.85
DEPARTMENTAL EXPENSES																				
Rooms	3,648,261	35.5%	\$16,072	\$63.19	3,910,606	32.3%	\$17,227	\$63.67	4,048,148	31.3%	\$17,833	\$65.91	4,165,152	31.6%	\$18,349	\$67.82	4,285,600	31.8%	\$18,879	\$69.78
Food & Beverage	5,945,262	75.0%	\$26,191	\$102.98	6,123,619	75.0%	\$26,976	\$99.70	6,307,328	75.0%	\$27,786	\$102.69	6,496,548	75.0%	\$28,619	\$105.77	6,691,444	75.0%	\$29,478	\$108.95
Meeting Space	1,706,797	46.6%	\$7,519	\$29.56	1,877,477	46.6%	\$8,271	\$30.57	2,065,224	46.6%	\$9,098	\$33.63	2,127,181	46.6%	\$9,371	\$34.63	2,190,996	46.6%	\$9,652	\$35.67
Telephone	34,640	0.3%	\$153	\$0.60	35,679	0.3%	\$157	\$0.62	36,750	0.3%	\$162	\$0.64	37,852	0.3%	\$167	\$0.66	38,988	0.3%	\$172	\$0.68
Parking Expense	234,839	75.0%	\$1,035	\$4.07	257,324	75.0%	\$1,134	\$4.19	265,044	75.0%	\$1,168	\$4.32	272,995	75.0%	\$1,203	\$4.44	281,185	75.0%	\$1,239	\$4.58
Other Expenses	54,796	35.0%	\$241	\$0.95	60,042	35.0%	\$265	\$0.98	61,844	35.0%	\$272	\$1.01	63,699	35.0%	\$281	\$1.04	65,610	35.0%	\$289	\$1.07
Total Departmental Expenses	11,624,595	51.6%	\$51,210	\$201.35	12,264,747	49.1%	\$54,030	\$199.69	12,784,337	48.2%	\$56,319	\$208.15	13,163,427	48.4%	\$57,989	\$214.32	13,553,823	48.6%	\$59,708	\$220.68
DEPARTMENTAL PROFIT	10,917,726	48.4%	\$48,096	\$189	12,739,538	50.9%	\$56,121	\$207	13,740,278	51.8%	\$60,530	\$224	14,027,523	51.6%	\$61,795	\$228	14,320,863	51.4%	\$63,088	\$233
UNDISTRIBUTED OPERATING EXPENSES																				
Administrative & General	1,524,410	6.8%	\$6,715	\$26.40	1,619,783	6.5%	\$7,136	\$26.37	1,690,118	6.4%	\$7,445	\$27.52	1,737,851	6.4%	\$7,656	\$28.30	1,786,976	6.4%	\$7,872	\$29.09
Management Fees	676,270	3.0%	\$2,979	\$11.71	750,129	3.0%	\$3,305	\$12.21	795,738	3.0%	\$3,505	\$12.96	815,728	3.0%	\$3,594	\$13.28	836,241	3.0%	\$3,684	\$13.62
Franchise Fees	1,131,150	11.0%	\$4,983	\$19.59	1,450,755	12.0%	\$6,391	\$23.62	1,682,249	13.0%	\$7,411	\$27.39	1,715,894	13.0%	\$7,559	\$27.94	1,750,212	13.0%	\$7,710	\$28.50
Sales & Marketing	1,125,821	5.0%	\$4,960	\$19.50	1,159,997	4.6%	\$5,110	\$18.89	1,195,217	4.5%	\$5,265	\$19.46	1,231,516	4.5%	\$5,425	\$20.05	1,268,925	4.6%	\$5,590	\$20.66
Operations & Maintenance	869,877	3.9%	\$3,832	\$15.07	896,335	3.6%	\$3,949	\$14.59	923,605	3.5%	\$4,069	\$15.04	951,711	3.5%	\$4,193	\$15.50	980,681	3.5%	\$4,320	\$15.97
Utilities	407,055	4.0%	\$1,793	\$7.05	446,028	3.7%	\$1,965	\$7.26	459,409	3.6%	\$2,024	\$7.48	473,191	3.6%	\$2,085	\$7.70	487,387	3.6%	\$2,147	\$7.94
Total Undistributed Operating Expenses	5,734,583	25.4%	\$25,262	\$99.33	6,323,026	25.3%	\$27,855	\$102.95	6,746,336	25.4%	\$29,720	\$109.84	6,925,892	25.5%	\$30,511	\$112.77	7,110,421	25.5%	\$31,323	\$115.77
GROSS OPERATING PROFIT	5,183,143	23.0%	\$22,833	\$89.78	6,416,512	25.7%	\$28,267	\$104.47	6,993,942	26.4%	\$30,810	\$113.87	7,101,631	26.1%	\$31,285	\$115.63	7,210,443	25.9%	\$31,764	\$117.40
FIXED EXPENSES																				
FF&E Reserve	0	0.0%	\$0	\$0.00	378,132	1.5%	\$1,666	\$6.16	804,117	3.0%	\$3,542	\$13.09	823,065	3.0%	\$3,626	\$13.40	842,477	3.0%	\$3,711	\$13.72
RE Taxes (Including PA 210 Tax Abatement)	405,762	1.8%	\$1,787	\$7.03	450,077	1.8%	\$1,983	\$7.33	477,443	1.8%	\$2,103	\$7.77	491,766	1.8%	\$2,166	\$8.01	506,519	1.8%	\$2,231	\$8.25
Property Insurance	123,114	0.5%	\$542	\$2.13	126,807	0.5%	\$559	\$2.06	130,612	0.5%	\$575	\$2.13	134,530	0.5%	\$593	\$2.19	138,566	0.5%	\$610	\$2.26
Total Fixed Expenses	528,876	2.3%	\$2,330	\$9.16	955,016	3.8%	\$4,207	\$15.55	1,412,172	5.3%	\$6,221	\$22.99	1,449,361	5.3%	\$6,385	\$23.60	1,487,562	5.3%	\$6,553	\$24.22
HOTEL NET OPERATING INCOME	4,654,267	20.6%	\$20,503	\$80.62	5,461,495	21.8%	\$24,059	\$88.92	5,581,770	21.0%	\$24,589	\$90.88	5,652,270	20.8%	\$24,900	\$92.03	5,722,881	20.5%	\$25,211	\$93.18



## GODFREY HOTEL COMMUNITY ENGAGEMENT PLAN

### INTRODUCTION

This Community Engagement Plan is designed to provide residents with accurate information on the project in a transparent and reliable manner. The Godfrey team is committed to listening and responding to community concerns and seeking resident input and ideas about the project.

### BACKGROUND

According to the Encyclopedia of Detroit at the Detroit Historical Museum

Corktown is the oldest existing neighborhood in Detroit, Michigan, though it is only half as old as the city itself. In the 1820s and 30s, with the opening of the Erie Canal and the decreased cost of steamboat travel on the Great Lakes, immigrants began arriving in Detroit in significant numbers and settling downtown. As the number of Irish immigrants fleeing the Great Irish Potato Famine of the 1840s increased, they began to move west of downtown Detroit into the area now known as Corktown, named after County Cork, Ireland. By the early 1850s, half of the residents of the 8th Ward (which contained Corktown) were of Irish descent. Historically, the neighborhood was roughly bounded by Third Street to the east, Grand River Avenue to the north, 12th Street to the west and Jefferson Avenue to the south.

Corktown today has a different footprint today, Sixth St on the east, 17<sup>th</sup> St on the west, The freeways on the north and Fort Street on the south (zip codes 48216, and portions of 48226 and 48201) remains a vital part of Detroit's history and current narrative. While various demographic sources cite slightly different numbers. The general consensus is that the population of Corktown today is approximately 1260 residents, 55% female and 45% male. With a median income of \$56,558, Corktown has an educated population with a majority of residents having attended some college, received a bachelor's or master's degree.

Race and Ethnicity data paints a diverse picture. Corktown has the following breakdown -- 41.3% White, 34.3% Black and 21.9% Hispanic. The Corktown community has a history of serving both immigrant and transient populations that add to the diversity of the neighborhood. There is a tradition in Corktown of assisting homeless people that dates back to the 1930s.

### ENGAGEMENT PLAN and UPDATE ON ACTIVITIES TO DATE

As indicated above, the goals of the plan are to inform and educate the community about the project. The team seeks to gather input from the residents and to develop an ongoing strong relationship.

We will employ the standard tools for community engagement, including distributing flyers announcing meetings, developing an email and phone contact list, conducting a town hall meeting as well as small group gatherings. The Godfrey team will establish ongoing relationships with block clubs, the neighborhood association and business leaders throughout Corktown.

The hallmark of the development team's approach is demonstrated by the community engagement work done to-date.

On August 14, 2019, Mr. Randy Wertherheir from Hunter Pasteur Homes introduced a group of neighbors to the concept of a major Corktown development. At that time two proposals were shared with the community members present. Because Mr. Werthemr is committed to transparency he shared a project with residents before the actual development plans were completed. Approximately, 20 people attended this meeting at Nemo's back room.

On March 3, 2020, Mr. Wertheimer presented the hotel project to the Corktown Business Association Board of Directors, seeking support for the project as well as support for the demotion of the vacant Detroit Lions Administrative headquarters. See attached letter of support unanimously approved by Executive Board members present.

On March 11, 2020 the Godfrey team had the opportunity to present the hotel project at a meeting of the Corktown Historical Society. It was an opportunity not only to present to the society, but to answer questions and listen to suggestions from residents. There were approximately 25 people at this meeting at Nemo's back room.

On Thursday March 12<sup>th</sup>, Crossroads Consulting hosted a community-wide meeting at PAL on behalf of the Godfrey Hotel project. Email invitations were sent to members [for whom we had email addresses] of the three block clubs -- East End Corktown Block Club, the Central Corktown Block Club and the Train Station Neighbors block Club. The Corktown Neighborhood Association was notified and they shared the invitation with their membership. Flyers were distributed to every residence in Historic Corktown that could be accessed, including Clement Kern Gardens, Victor Attar Apartments and the Sixth Street Lofts.

Approximately 40 people were at the meeting. Representatives of both Hunter Pasteur Homes and The Godfrey Hotel presented to the group and responded to questions from the audience. A commitment was made to the group that the project team will insure that notices of any City meetings would be widely shared; as there is concern that the 300' legal requirement for notification leaves out many residents who have real interest and concerns about development projects in the neighborhood.

Our civic engagement challenge in a period of social isolation is increased. It remains our ongoing responsibility to keep the community informed. We will maintain an open channel through email and phone (calls or texts) we are developing a email database to advise residents of developments in the project.

Please see attached letters of support for the project and the demolition of the vacant Detroit Lions Administration building.





Corktown Business Association, Inc.  
PO Box 32310  
1401 W. Fort St  
Detroit, MI 48232

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March 3, 2020

City of Detroit  
Historic District Commission  
2 Woodward Ave.  
#808  
Detroit, Mi. 48226

To Whom It May Concern,

During a regular scheduled meeting of the Corktown Business Association, our Board of Directors unanimously vote to support the demolition of the building located at 1401 Michigan Ave. commonly referred to as the Detroit Lions Administrative Building. This demolition will allow for a new enterprise that will enhance the vibrancy of the neighborhood, while eliminating a long vacant eyesore.

We are a community of walkers, runners, bikers, strollers and visitors who enjoy the culture and atmosphere of Corktown. This demolition will aid in elevating that experience for everyone.

The Corktown Business Association feels this is a very important parcel with our commercial corridor and we look forward to being involved with it's future.

Contact me with any questions or concerns.

Respectfully Submitted,

Bob Roberts  
President

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www.corktowndetroit.biz  
hello@corktowndetroit.biz



----- Forwarded message -----

From: **Dorothy Bennick** <[bdeb8575@gmail.com](mailto:bdeb8575@gmail.com)>

Date: Fri, Apr 3, 2020, 5:28 PM

Subject: Godfrey Corktown Hotel

To: <[hdc@detroitmi.gov](mailto:hdc@detroitmi.gov)>, <[Rossj@detroitmi.gov](mailto:Rossj@detroitmi.gov)>

As a resident of historic Corktown I am writing to you to express my endorsement of the planned hotel on Michigan Ave and 8th St.

I attended 2 presentations for this project and feel that the design fits into the Michigan Ave look.

My 2 concerns would relate to noise from the roof top and enough parking for a full building. Both of these questions were addressed at the meeting and I will trust the answers given will address these concerns.

Should you have any questions please do not hesitate to contact me.

Dorothy Bennick  
Resident on Labrosse and 8th

Thank you for your time.





**Board of Directors**  
Debra Walker, Chair  
Lynn Lutton, Treasurer  
Kathleen Mutch, Secretary

April 3, 2020

Attention: Detroit Historic District Commission  
Jennifer Ross, Architectural Historian

**RE: Letter of Support for the Godfrey Hotel Project Demolition Request**

The Godfrey Hotel Project, as planned, would be an appropriate complement to Michigan Avenue in Corktown. The architectural design for the hotel supports the intent of the Traditional Main Street Overlay. The Board of Directors of Corktown Experience supports the project's request for approval to demolish the building currently on site.

For a time the building to be demolished was used as the headquarters for the Detroit Lions and later by the City Cab Company. It has been vacant for some time. While the painted-over, glazed brick of the building is interesting, the building itself has no historical or architectural significance.

The developers' willingness to place a memento somewhere on the hotel property recognizing previous use of the site by the Detroit Lions is commendable.

The developers have been transparent in their plans for this project, making presentations to the community on several occasions. Corktown residents attended, expressed their opinions, and the developers listened, stating their intent to mitigate any concerns. The developers are well on their way to being great neighbors.

The reputation of the hotel owners is exemplary. It has been helpful to confirm they have been successful with similar projects in other cities, including Chicago. This development will bring a much needed vitality and vibrancy to Detroit's oldest neighborhood. We look forward to the Godfrey Hotel being more than a destination; we welcome it as a Corktown partner that appreciates, respects and shares our community values.

Please affirm the Godfrey Hotel's request to demolish this vacant building.

Yours in community,

Kathleen M. Mutch, Secretary  
Corktown Experience  
248-224-4211

**Godfrey Hotel project community meeting - Thursday, March 12, 2020**

Print Name	Address	Email
Bob Roberts	[REDACTED]	[REDACTED]
Chris & Tim Hooker	[REDACTED]	[REDACTED]
JENNIFER REYNOLDS	[REDACTED]	[REDACTED]
Blake Alastead	[REDACTED]	[REDACTED]
Vince Kurnat	[REDACTED]	[REDACTED]
Giles Simmer	[REDACTED]	[REDACTED]
JANET RAY	[REDACTED] DETROIT	[REDACTED]
Samir Olabi	[REDACTED]	[REDACTED]
MONET DAVIS	[REDACTED] Detroit	[REDACTED]
DAVID LARSEN	[REDACTED]	[REDACTED]
DAVID JONAH	[REDACTED]	[REDACTED]



Print Name	Address	Email
KELLY LARSON	[REDACTED]	[REDACTED]
MIKE HICKOY	[REDACTED]	[REDACTED]
Sarah McKay	[REDACTED]	[REDACTED]
Tinn McKay	[REDACTED]	[REDACTED]
MIKE EATON	[REDACTED] 48216	[REDACTED]
Ben Mori	[REDACTED] 48217	[REDACTED]
Dorothy RENNICK	[REDACTED] 48216	[REDACTED]
Kevin SCHROENCE	[REDACTED]	[REDACTED]
Brandon Lee	[REDACTED]	[REDACTED]
Brandon Leversoe	[REDACTED]	[REDACTED]
James Turney	[REDACTED]	[REDACTED]
Hilliard Hampton	[REDACTED]	[REDACTED]
Kyle FRANKLIN	[REDACTED]	[REDACTED]

[illegible]





Mr. Garrick Landsberg  
Director of Historic Preservation  
Detroit Historic District Commission  
Planning & Development Department  
City of Detroit  
2 Woodward Avenue, Suite 808  
Detroit, MI 48226

Mr. Landsberg:

As part of the Godfrey Hotel Detroit development, Oxford Capital Group projects the following annual figures for permanent job creation, salaries/hourly wages, taxes, and temporary (18-24 months) construction job creations.

**Estimated Annual Payroll Including Benefits and Payroll Tax:** Approximately \$11M stabilized.


**Estimated Number of Permanent FTE's:** Approximately 200 (including all F&B venues).

**Estimated Hourly Wage:** Estimated at \$18-22/hour but depends on market wage. We expect to pay at or above union hourly wage scale + benefits and offer 401K.

**Estimated Manager Salaries:** Estimated at between \$50K-200K depending on position

**Projected Annual Federal, State, City, County Tax Revenue:** Approximately \$10M generated annually (Hotel Tax, RE Tax – PA 210, Sales Tax, Payroll Tax, Income Tax, etc).

**Projected Temporary Construction Jobs:** 350 over an 18-24 month period with an average salary of \$75K plus benefits.



John W. Rutledge

CEO, President, Founder  
Oxford Capital Group, LLC.  
Oxford Hotels and Resorts, LLC.

350 W. Hubbard Street, Suite 440, Chicago, IL 60654, Tel (312) 755-9500, Fax (312) 755-9510

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