

STAFF REPORT: 05-13-2020 MEETING

PREPARED BY: A. DYE

APPLICATION NUMBER: 20-6719

ADDRESS: 2000 W BOSTON

HISTORIC DISTRICT: BOSTON EDISON

APPLICANT: SHELLY PATTON, PNC BANK

PROPERTY OWNER: PNC BANK

DATE OF COMPLETE APPLICATION: 04/27/2020

SCOPE: REPLACE CLAY TILE ROOF WITH ASPHALT SHINGLES

EXISTING CONDITIONS

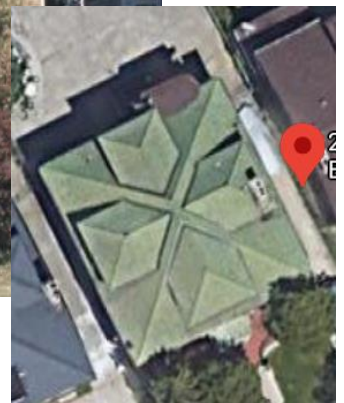
Constructed in 1921, this house's uniform brown brick walls offer a quiet backdrop to the array of richly appointed details, including: Corinthian columns and pilasters supporting a pedimented portico (which returns into a shed roof to emulate the main roof); mulled window openings; flared and widely overhanging eaves further emphasized by grouped decorative brackets; and an equally embellished hip roof where large articulated dormers protrude from each side of the matte green Ludowici Spanish tile roof.

In 2019, the property owner contracted to have the tile roof removed and asphalt shingles installed. The applicant claims he/she was not aware approval had to be sought prior to any work started at the property. HDC staff received notice work was occurring at the property; a violation was noted on June 4, 2019. By that time, a portion of the front roof, as well as a portion of the porch roof, had been removed. Photos taken by HDC staff in June 2019 are at the end of this report documenting the stoppage of work.



Designation photo, 1974

Google Maps aerial image denoting the roof lines due to the four dormers





Motor City Mapping, July 2016

PROPOSAL

The applicant would like to continue the tile roof removal and installation of asphalt shingles. Two estimates for the tile removal and asphalt shingle installation were submitted. One estimate to repair the existing roof was also obtained. Copies of each estimate are available for review with this staff report.

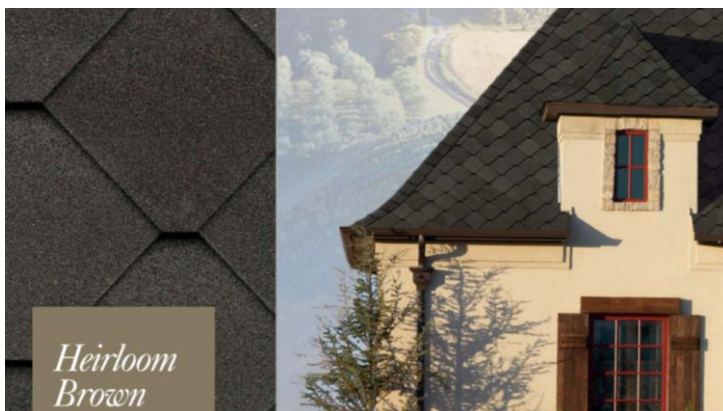
REPLACEMENT

Estimate #1

Bloomfield Construction (Insurance Claim Contractor), August 2019 Estimate

GAF Sienna Shingles, Heirloom Brown

Cost: No price shown



Additional quote provided by Bloomfield Construction to install Decra Villa Tile - a stone coated steel product fabricated in a shape to mimic the appearance of clay tile.
Cost: \$72,565

DECRA Villa Tile Specs

Product Size: 17" x 44-1/4"
Installed Exposure: 14-1/2" x 39-1/2"
Panels per Square: 25.2 per 100 sq. ft.
Panels per Pallet: 350
Squares per Pallet: 13.8
Pallet Weight: 2,104 lbs.
Installed Weight: 160 lbs. Per 100 sq. ft.
Installation Method:
Designed to be Installed Direct to Deck



DECRA VILLA TILE Amalfi Sand



DECRA VILLA TILE Capri Clay



DECRA VILLA TILE Pompeii Ash



DECRA VILLA TILE Rustico Clay



DECRA VILLA TILE Tuscan Sun



DECRA VILLA TILE Venetian Gold

Estimate #2

Quick Silver Landscape

Install 3-Tab Shingles (no manufacturer or color submitted)

Cost: \$21,000



Staff included this picture as reference only to depict a 3-tab shingle pattern

REPAIR

Estimate #1

Detroit Cornice & Slate

- ~ Ludowici tile has a life expectancy of over 100 years and is still in good useable condition, except for the broken tile which is estimated to comprise approximately 35% of the total roof area.
- ~ Shingle tile on the dormers is in good condition and only needs repairs.
- ~ Back porch roof was replaced with asphalt shingles; new tile is proposed for installation.
- ~ The estimate includes cost to repair the tile roof, all supporting roof components and materials, as well as the purchase of new tiles needed as described above.

Cost: \$138,000

STAFF OBSERVATIONS AND RESEARCH

- The Boston-Edison local historic district was designated in 1974.
- Material and visual qualities of a tile roof are intrinsically tied to each other. Even tile roof components, such as ridge end caps (clearly displayed atop this house's front entry pediment), further accentuate the unique roof material and design.
- Staff sees the deep eaves and eave brackets as proportional to the clay tile roof. Any alteration to the tiles, most notably their replacement with asphalt shingles, will alter the features and architectural proportions that characterize the property.

ISSUES

- It is staff's opinion the entire composition of this house was designed to showcase the roof. Beginning with the raised porch and pedimented portico, one's eye naturally travels upward to the vertical lines of the eave brackets which then leads a person to looking (no matter the side of the house) to the hip roof and the dominate dormers, each culminating with their own peaked roof.
- While only one repair quote was obtained, it states the tile roof is not beyond repair, even after the partial removal of tiles.

RECOMMENDATION

HDC staff recommends the Commission deny a Certificate of Appropriateness for the project as proposed as it does not meet the Secretary of Interior Standards for Rehabilitation, specifically Standards:

2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



Photo by HDC Staff, Violation Site Visit, June 2019



Photo by HDC staff, Violation Site Visit, June 2019



Photo by HDC staff, Violation Site Visit, June 2019



PNC Bank
3232 Newmark Drive
Miamisburg, OH 45342

RE: 2000 W BOSTON BLVD DETROIT MI 48206

PNC services this loan on behalf of U.S. Department of Housing and Urban Development. Our intention will be to convey this property back to HUD once it is placed in conveyance condition per HUD's requirements. HUD will ultimately be responsible for marketing and selling this property to an end buyer. We understand that our vendor began work to replace with roof with shingles instead of tile and was stopped prior to completion of the replacement. At that time PNC was not aware that approval had to be sought from the historical society and the requirement to replace the existing tile roof with similar product. Since PNC will not be marketing this property, we would like to request that the end buyer to be responsible for repairing / replacing the tile roof.

Sincerely,

Shelly Patton

Shelly Patton

Assistant Vice President
Conveyance, Retail Lending Default
Retail Lending Services

Member of The PNC Financial Services Group

One PNC Plaza 249 Fifth Avenue Pittsburgh Pennsylvania 15222-2707

www.pnc.com



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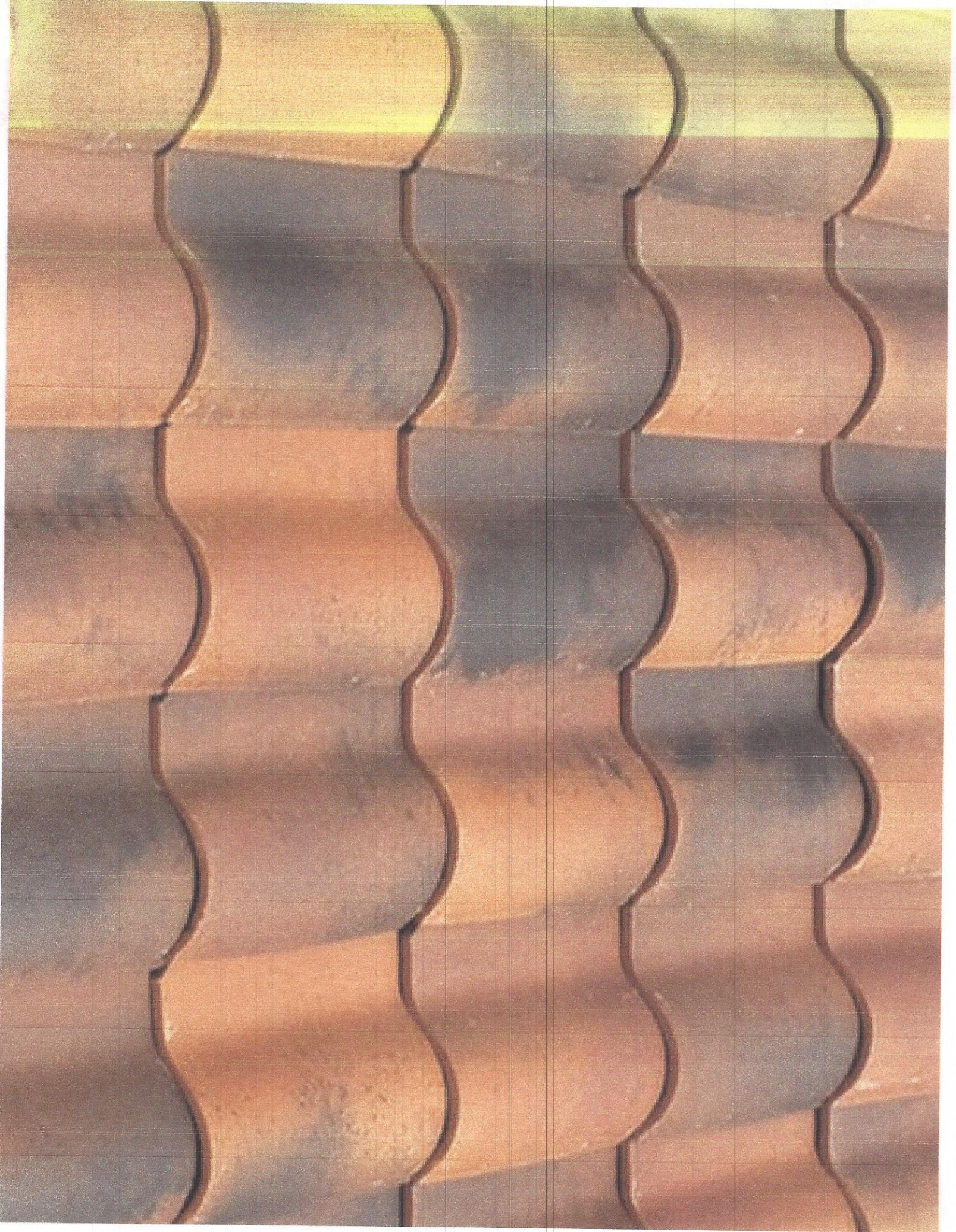
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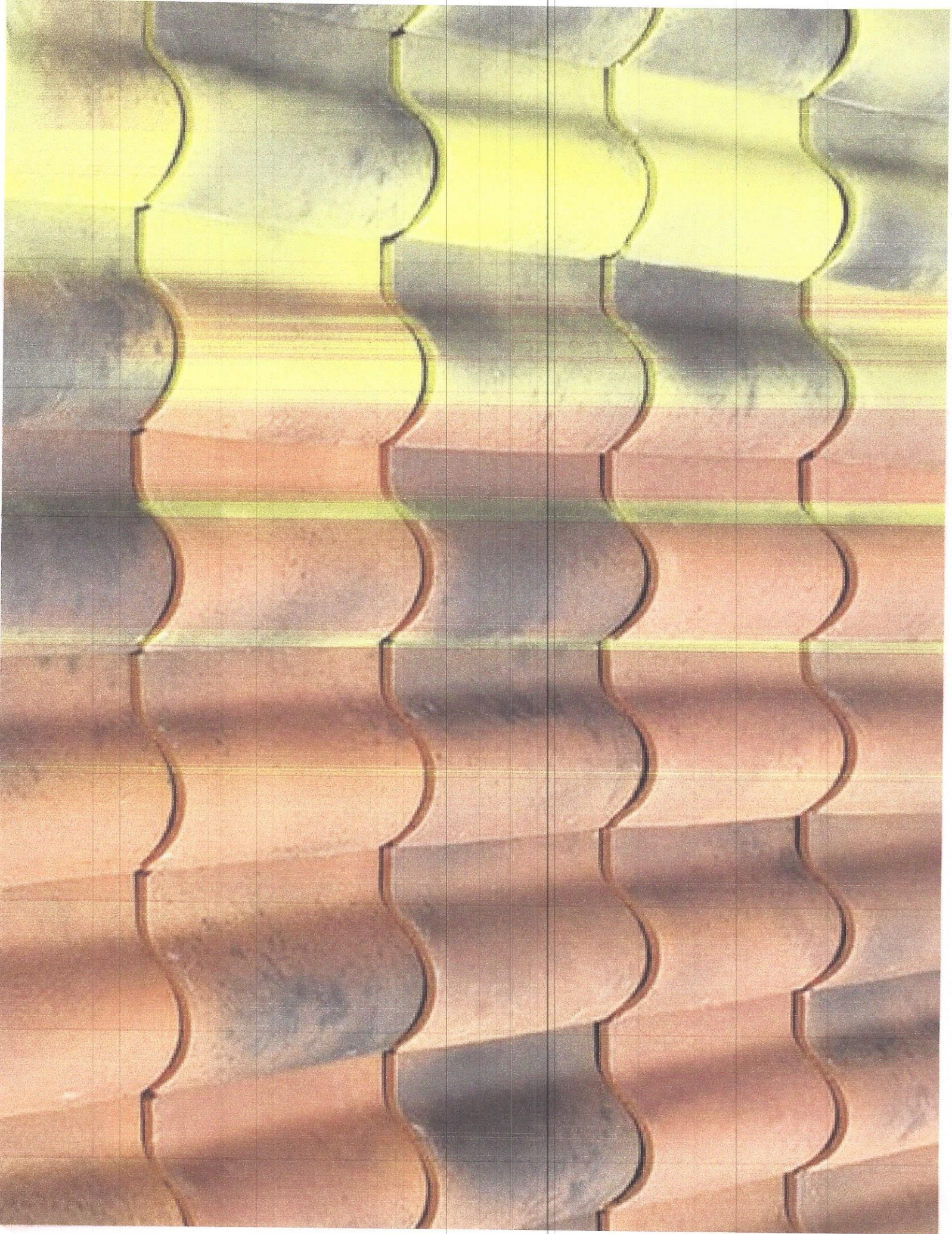


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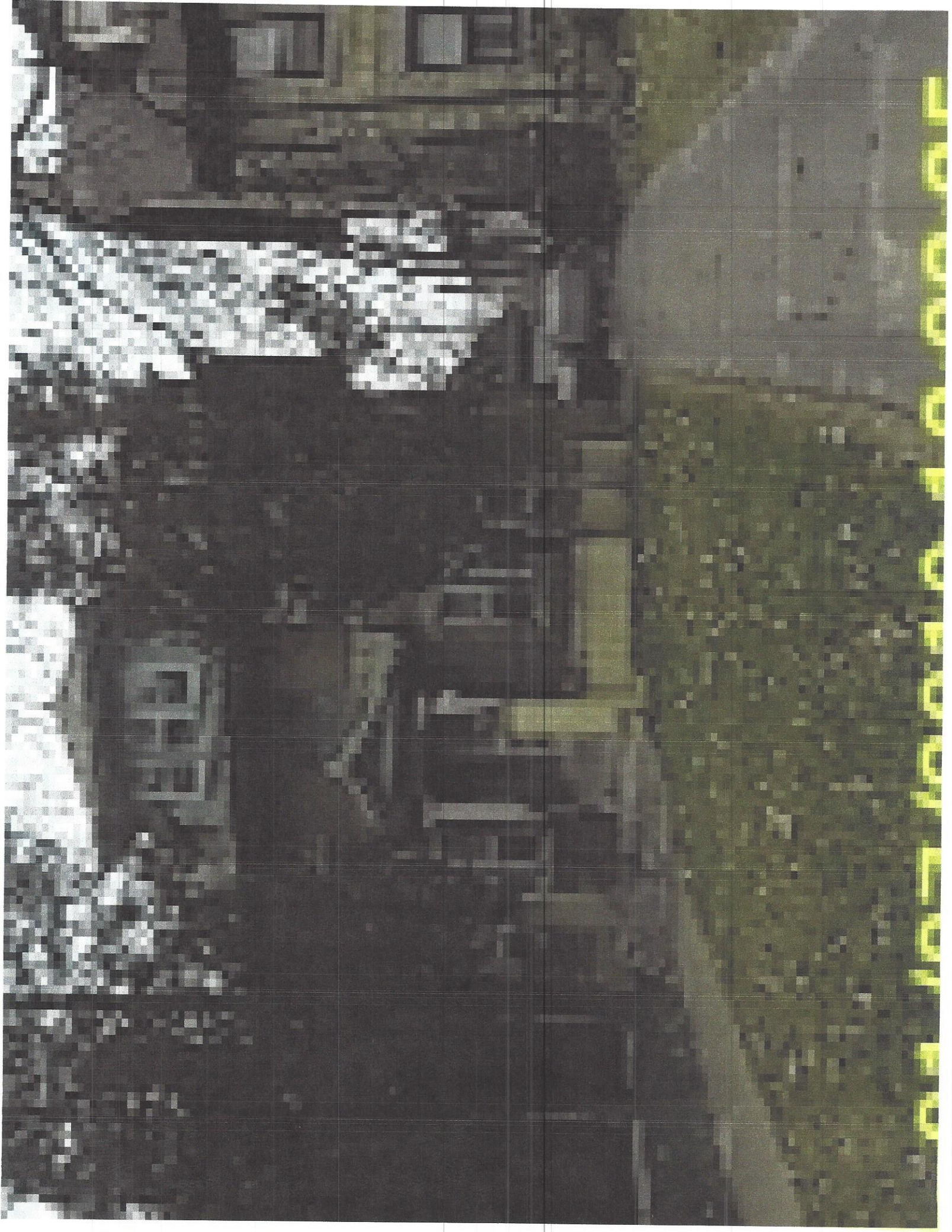
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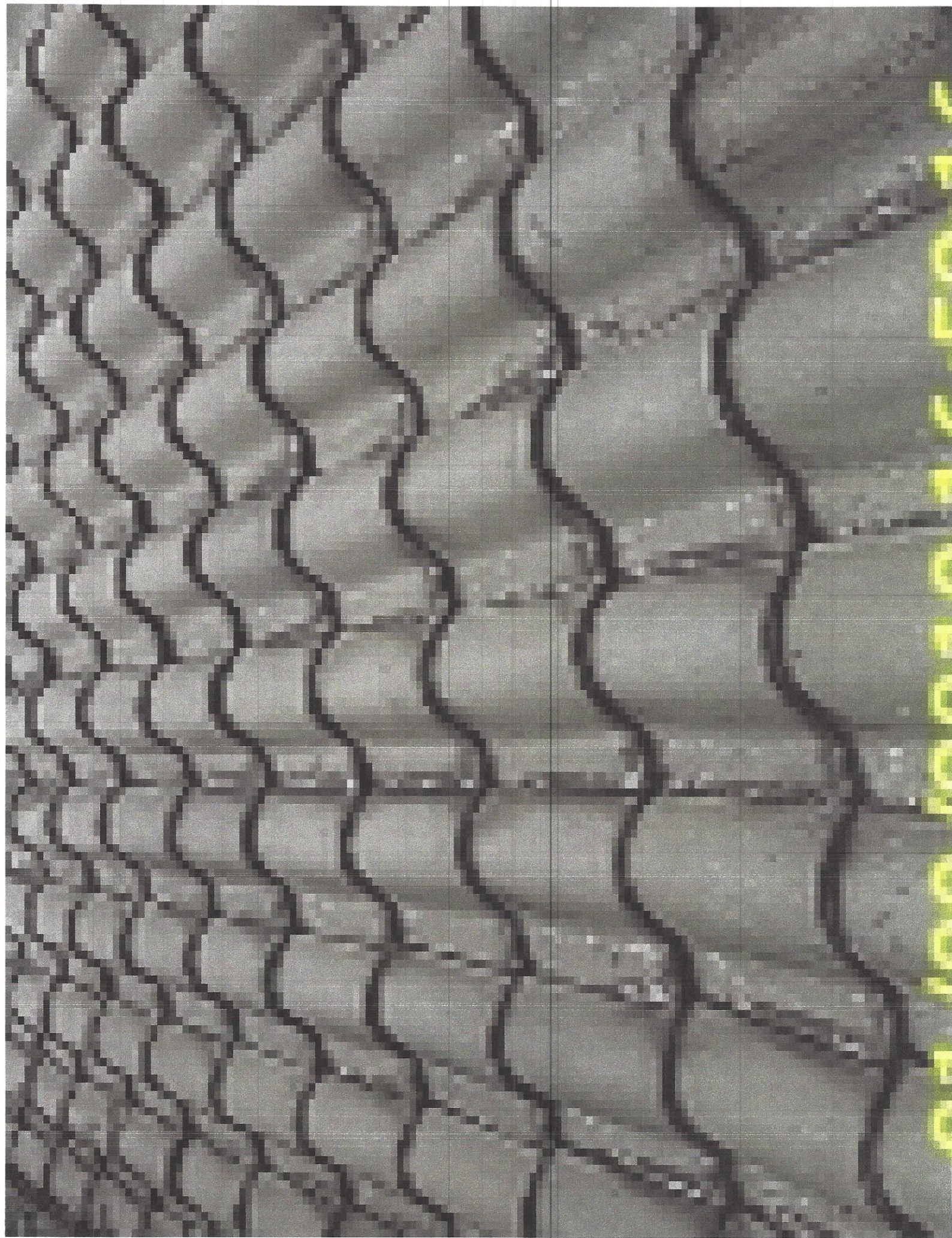


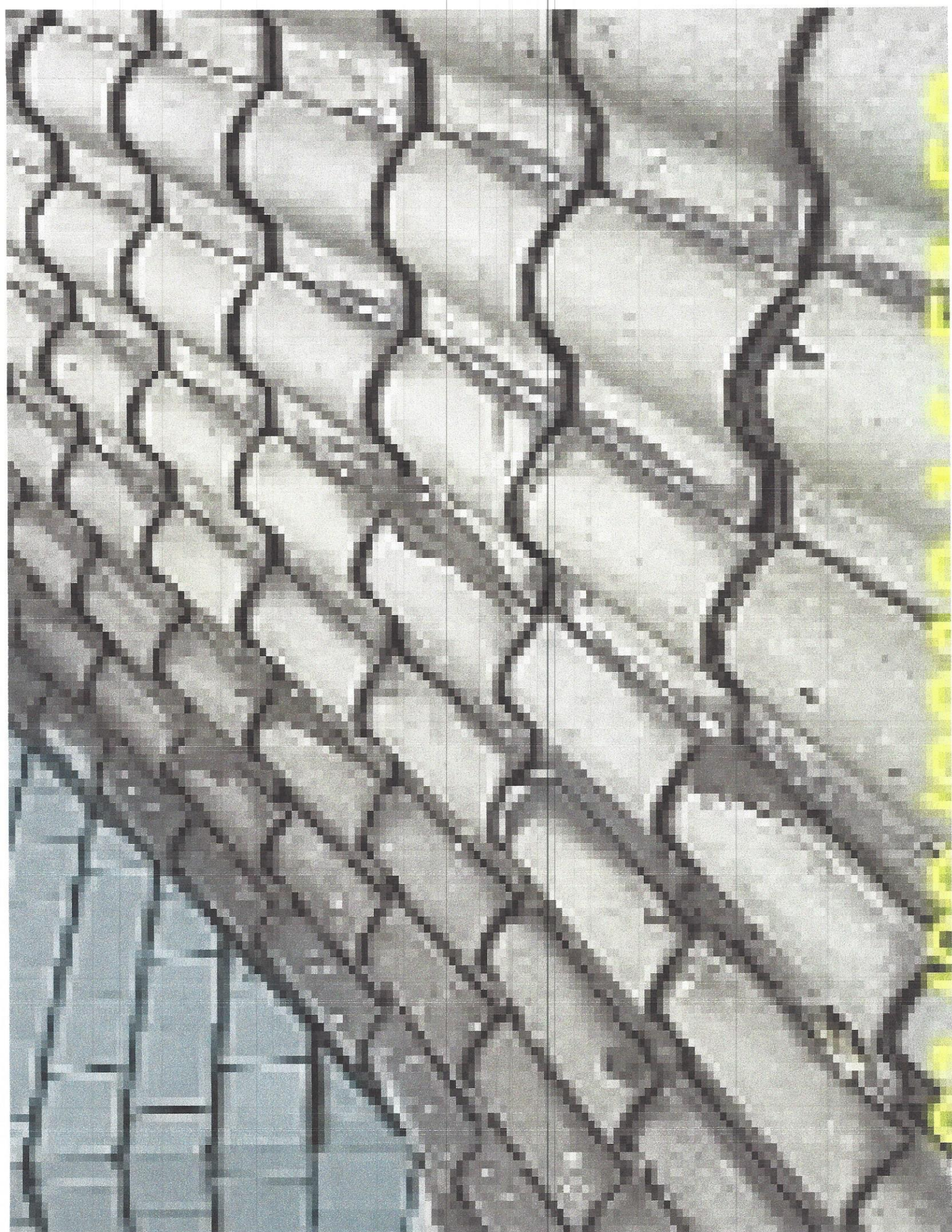








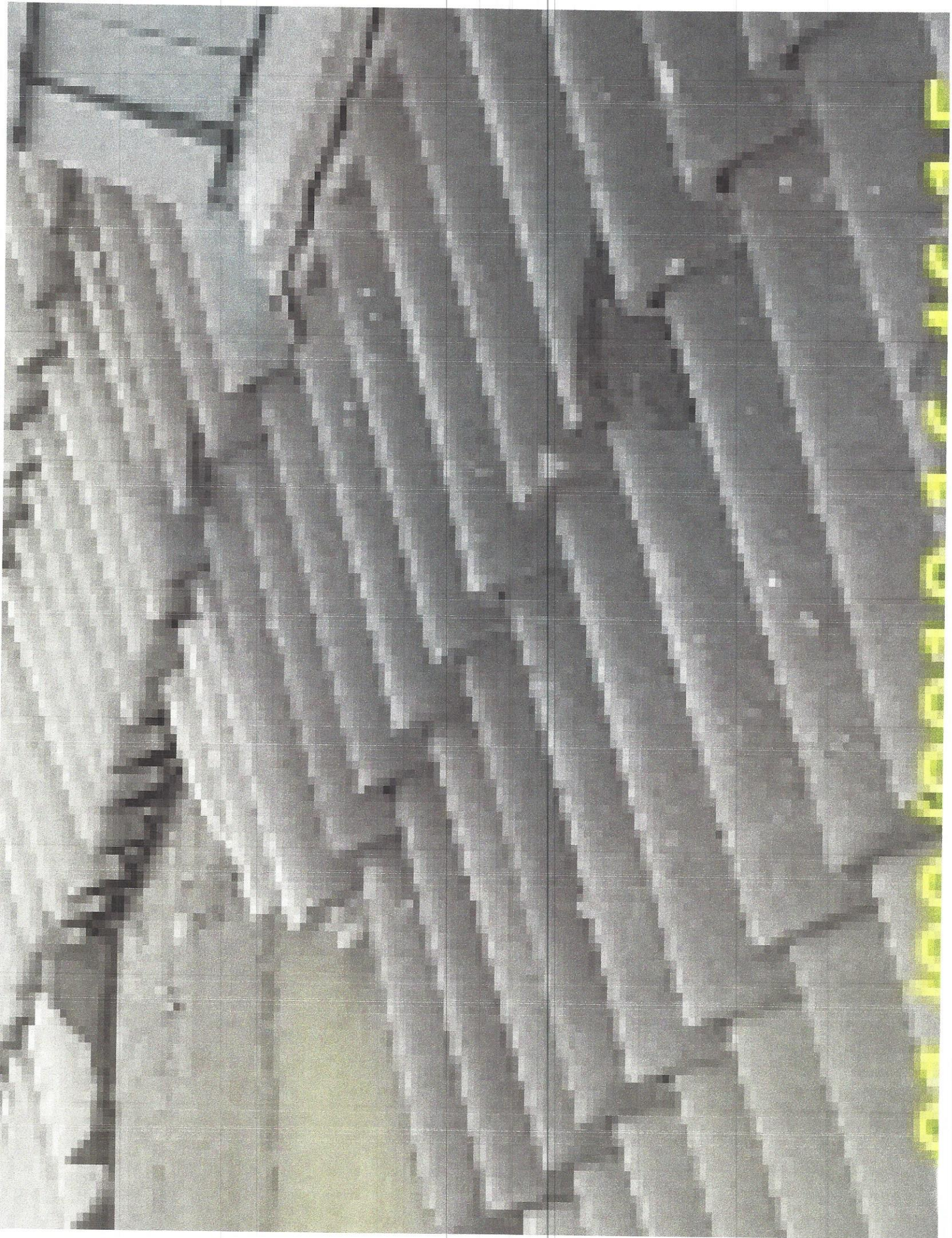




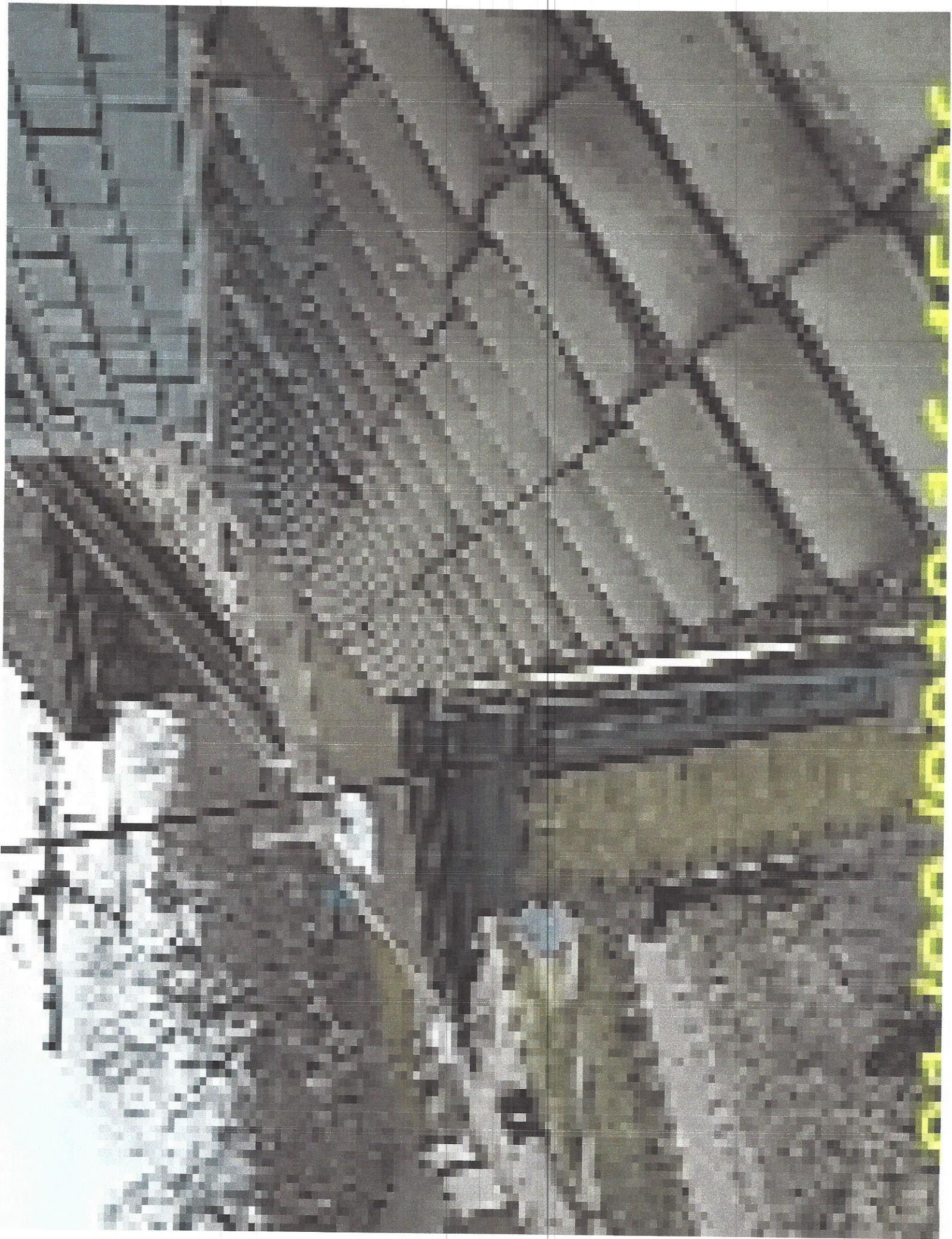




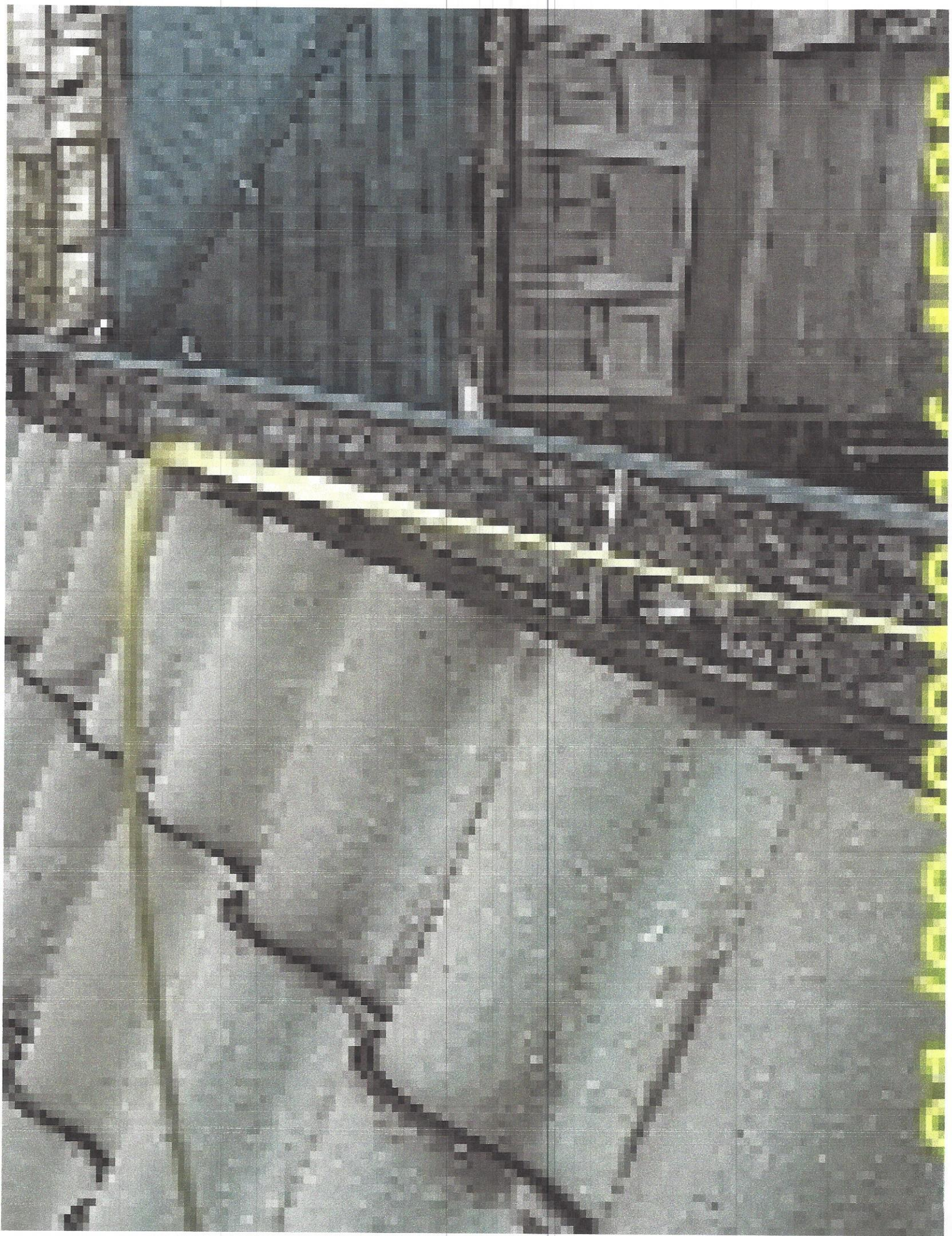




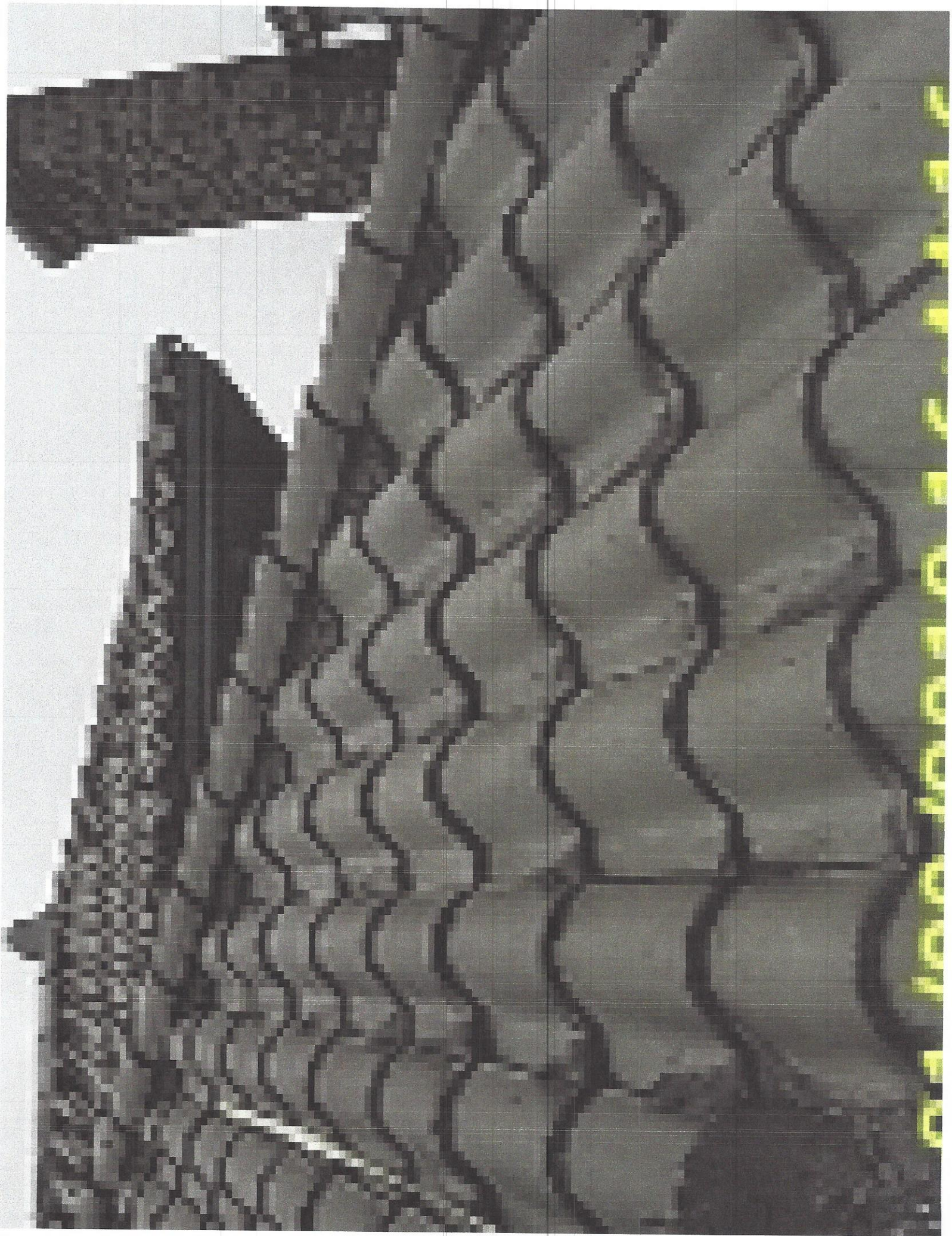


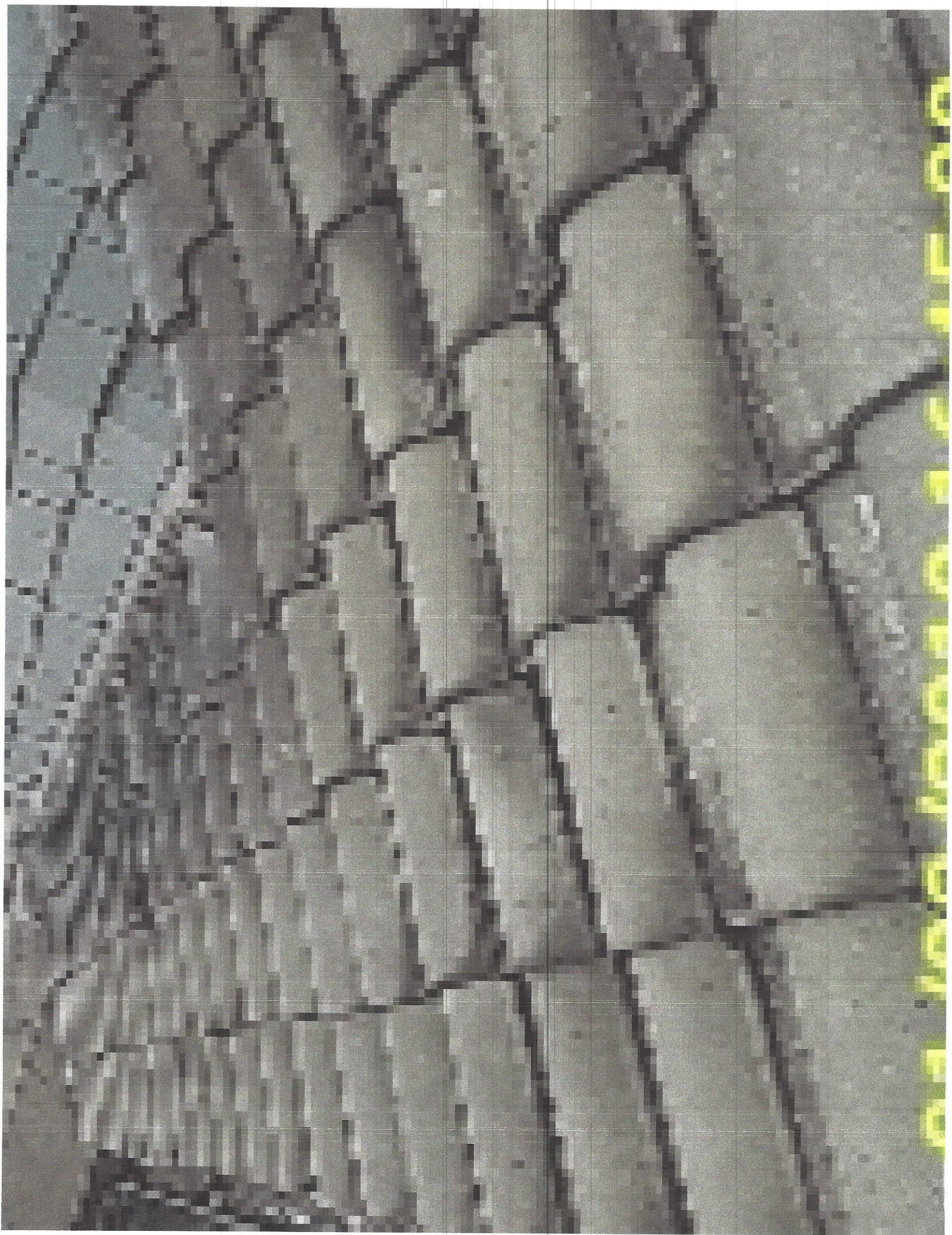


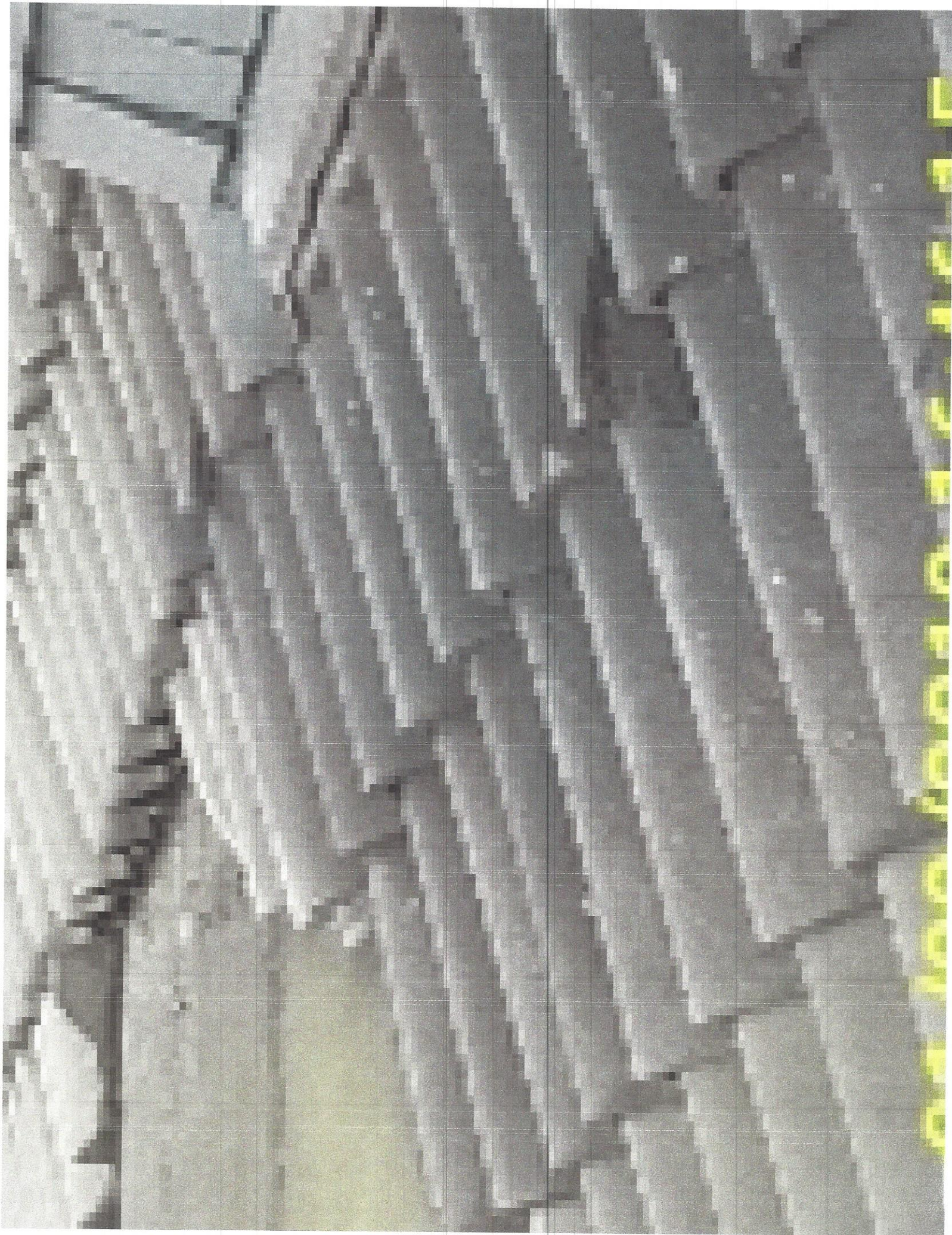


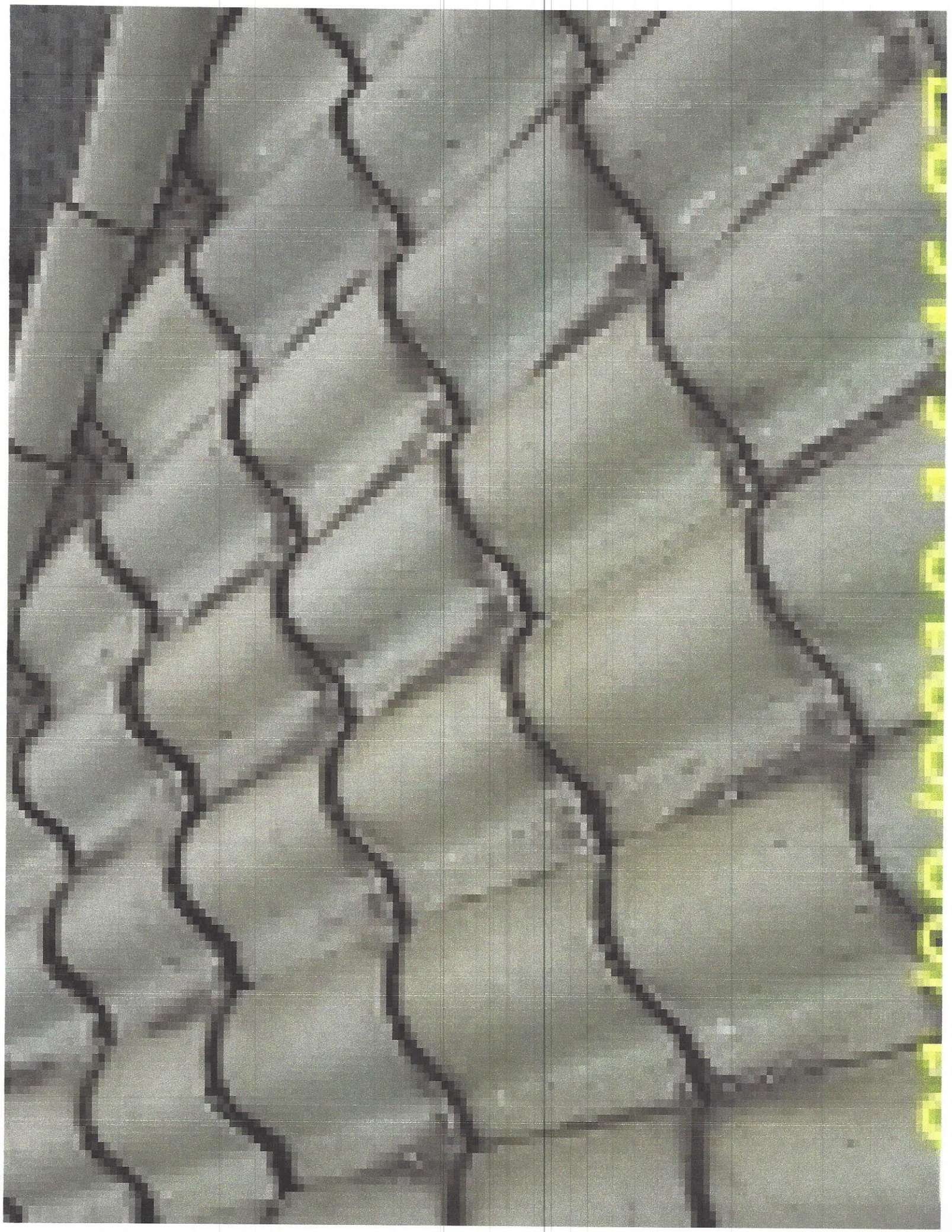




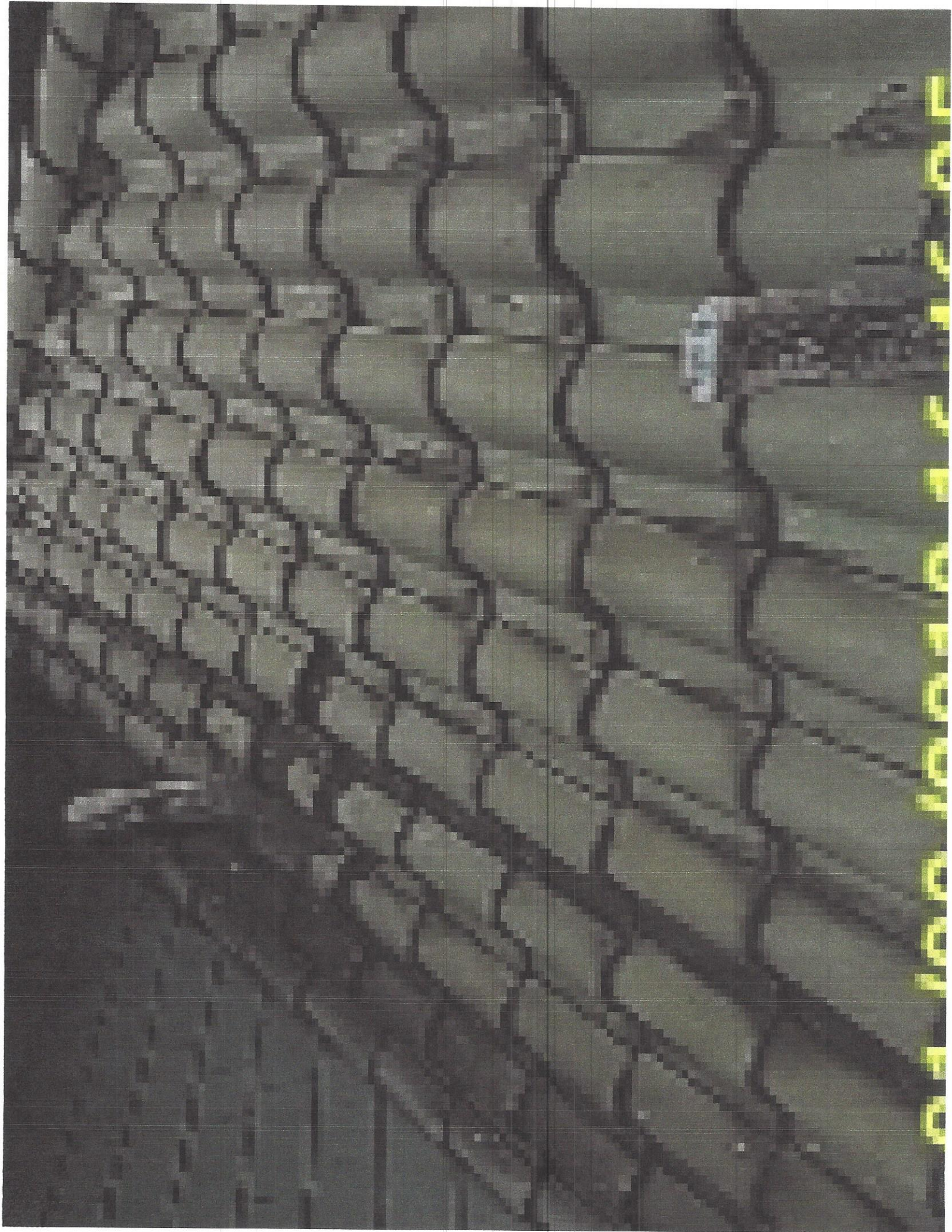


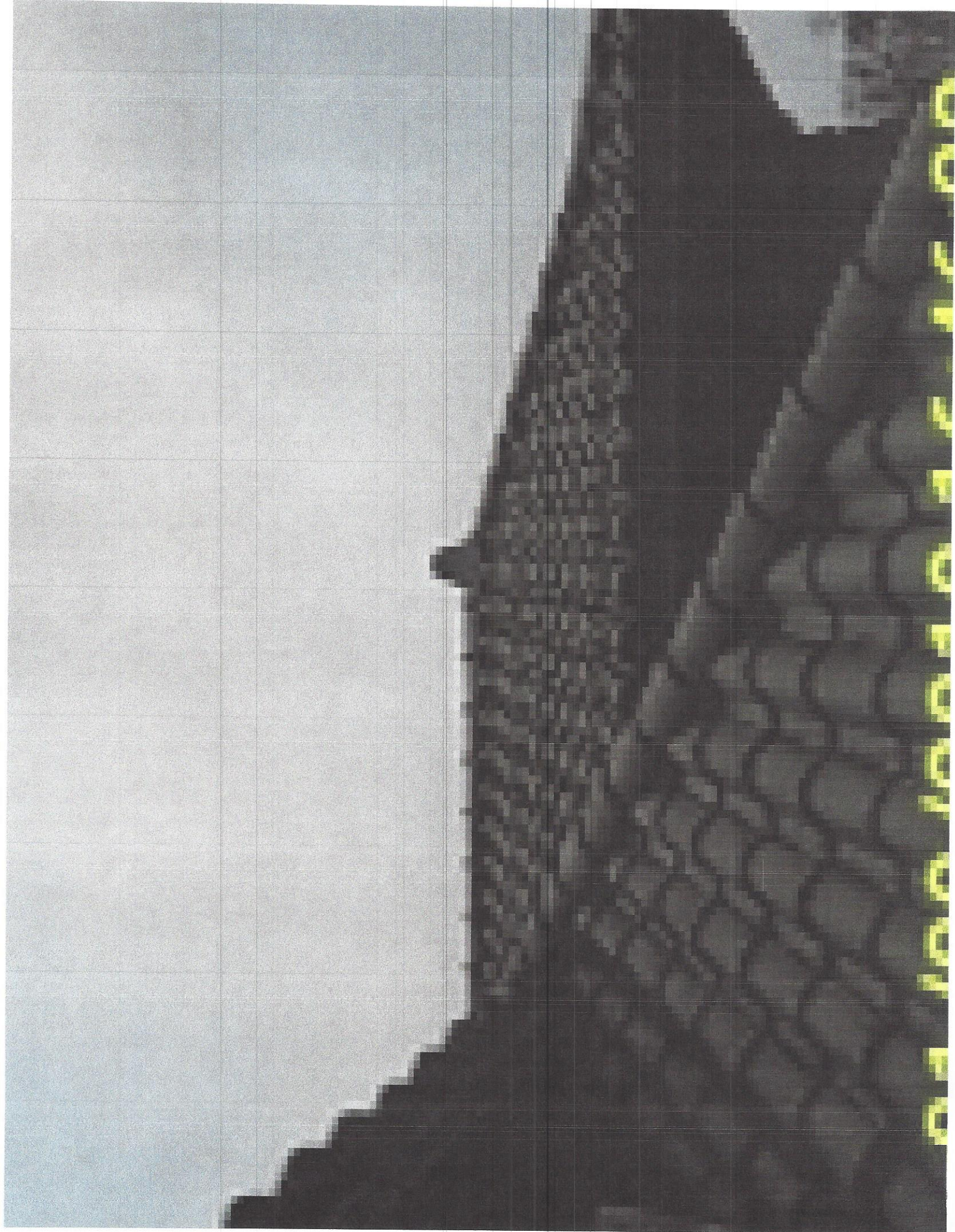














AGREEMENT

BLOOMFIELD CONSTRUCTION INSURANCE CLAIM CONTRACTOR FIRE • WATER • STORM • ROOFING

Project Name: 2000 W Boston
Address: 2000 W. Boston Blvd Detroit MI 48206

Date: 8/15/2019

2035 Franklin Rd. Bloomfield Hills, MI 48302
Phone # - 248-333-3987
Contact - Russ Enfield
Email - russe@bloomfieldconstruction.com



Name: GAF Sienna Shingles (Color: Heirloom Brown)
Shingle
Fasteners: 1-1/2" Coil Nails
Starter Shingles: GAF WeatherBlocker Starter

GAF Sienna Shingles (Color: Heirloom Brown)
GAF TimberTex Premium Colors
Bostitch Staples
GAF Deck Armor
GAF StormGuard Ice & Water Shield
1-1/2" Coil Nails
GAF WeatherBlocker Starter
W-Style Valley (Color: Brown)
Install New Counter Flashing around Chimney Cut Into Brick Where Applicable
T-Style Rake Edge 1-1/2" (Color: Brown)
GAF Cobra Snow Country Advanced Ridge Vent (4' Sections)
T-Style Eave Edge 1-1/2" (Color: Brown)
3-4" Aluminum Plumbing Boot (Color: Brown)
Step Flashing-Aluminum (Color: Black/Brown)
Apron Flashing-Aluminum
Trim Coil Roll (Color: Black/Brown)
Dumpster (Rubber Wheel)

Remove & Dispose Clay Tile Roof

GAF Golden Pledge Warranty - GAF Inspected 50 Yr Non Pro Rated Material & 25 Yr Workmanship

If Clay Tile appearance is preferred, We will furnish and install Debra Villa Tile and its components ant a cost of - \$72,565.00

Contract Cost:

\$36,159.30

You the buyer, may cancel this transaction at any time prior to midnight of the third business day after the date of this transaction.

All checks are made payable to Bloomfield Construction

All permits additional, if necessary.

Unforeseen Roof Sheeting Charges:

- Any rotten roof sheathing will be replaced at an additional cost of \$60.00 per sheet. \$70.00 per sheet on anything over an 8/12 pitch
- Any rotten 1x6 roof boards will be replaced at an additional cost of \$5.00 per linear foot
- Any additional bathroom exhaust roof vents will be an added charge of \$125.00 per vent installed (connecting to existing ductwork)
- If an additional dumpster is needed because of unforeseen rotted roof decking, there may be additional charges added to this contract.

5 Year Workmanship & No Leak Guarantee on complete roof projects

Financing available

This pricing is only valid for 10days

Payment as follows: \$ 1/2 down & balance upon completion

Ventilation/Mold Checklist (Waiver release form) Attachment#1

The purpose of this form is to educate you regarding all aspects of the following ventilation & mold:

1. Soffit intake ventilation
2. Roof deck exhaust ventilation
3. Attic insulation or a lack of
4. Mold

By signing this waiver you are stating that you have an understanding of all the aspects mentioned above. You also are stating that you have either acceptor or declined additional work to the contract regarding additional ventilation. Anything below that is not stating in your original contract would be an additional charge.

- I understand that Bloomfield Construction is not an insulation contractor, and that I need to call a qualified insulation contractor to determine if my attic is sufficiently insulated and that my ventilation systems are working adequately.
- I understand that if necessary, any increased soffit ventilation needed or desired, will be additional charge above and beyond the original contract.
- I understand that in order to achieve proper ventilation in my attic, any gable vents need to be filled in either from the inside of the attic by myself/homeowner, or by an insulation contractor and is not the responsibility of Bloomfield Construction Co.
- I understand that if my roof receives a snowfall that restricts or covers my roof venting system (i.e. can vents, ridge vent, or power-vents) that I am responsible for removing the snow in order for this venting system to work properly.
- I understand that if snow, and or ice should accumulate on my roof or in my gutters and result in leaking I will be responsible for removing this snow and ice. I also hold Bloomfield Construction harmless of all damage as a result of ice damming to any area of my home or property.
- I understand that it is my responsibility to keep the roof and gutter system free of debris such as (leaves, sticks, snow, ice) and that if a leak results from my neglect to maintain my roof properly, I will accept responsibility for these leaks. Should Bloomfield Construction be called out and it is determined that neglecting to maintain your roof was the cause of a leak a service call fee will apply.
- Whether or not you as a homeowner experience mold growth depends largely on how you manage and maintain your home, Our responsibility as a remodeling contractor/builder must be limited to things that we can control. As explained in our written warranty, provided by separate instrument, we will repair or replace defects in our construction (defects defined as a failure to comply with reasonable standards of residential construction) for a period of 5 years. We the builder, will not be responsible for any damages caused by mold, or by some other agent, that may be associated with defects in our construction, to include but not be limited to property damage, personal injury, loss of income, emotional distress, death, loss of value, and adverse health effects, or any other effects. Any implied warranties, including an implied warranty of workmanlike construction, an implied warranty of habitability, or an implied warranty of fitness for a particular use, are hereby waived and disclaimed.

This disclosure and disclaimer agreement is hereby appended to and made a part of the contract of sale. The Consideration for this agreement shall be the same consideration as stated in the contract of sale. Should a court of competent jurisdiction rule any term or provision of this agreement invalid or unenforceable, the remainder of this agreement shall nonetheless stand in full force and effect.

Bloomfield Construction Company (BCC) General Requirements Attachment #2

The following is a list of the General Conditions, which are used on projects of Bloomfield Construction.

- Change Orders: "Extra Work" is defined to mean any addition to, deletion from or change in the Work as described in the specifications page. During the progress of construction the Owner may order "Extra Work" without invalidating this Agreement. The cost for such "Extra Work" shall be presented by BCC to Owner in advance of work being done, if possible; or may be charged at BCC's. Standard rates for time and materials. All sums for "Extra Work" shall be due and payable upon the next scheduled payment, or at such other time as agreed to by

2. Concealed Conditions, Termites, Hidden Damage, Hazardous Material Removal: BCC shall not be obligated to correct hidden damage caused by termites, other pests, dry rot or any other cause. BCC shall not be required to remove any asbestos or other hazardous material discovered during the course of the job. Any such work discovered once work has commenced shall be considered "Extra Work".
3. Building Code: If, during the course of construction, it is revealed that the structure is not up to current building code, the Owner shall be liable for "Extra Work" needed to bring the structure up to code as required by the city, county or prevailing inspector(s). BCC shall not be obligated to repair code violations that aren't included in our original agreement.
4. Matching Materials: BCC calls attention to the limitations of matching material such as; plaster, stucco, and concrete, and while BCC shall make every effort to match or blend to existing materials; textures, colors and planes, and exact duplication are not promised and should not be expected.
5. Electrical Services: Existing circuits and wiring will be re-used where possible. Unless specifically indicated, electrical work includes no change or upgrade to existing service panel, other than additions of circuit breakers or fuse blocks to distribute electric current to new outlets. Any such change, or change in the point of service, main switch or meter, or changes in wiring in areas undisturbed by the alterations covered by this agreement, whether requested by the Owner or required by an inspector or utility, shall be considered "Extra Work".
6. Filled Ground, Rock, Cisterns, Wells, or Springs: Unless otherwise stated, the Price does not include excavation or grading costs resulting from underground springs, cisterns, wells, rock removal or other such conditions. If such work is required, BCC shall inform Owner of the unusual conditions necessitating such work and Owner shall pay for such work as "Extra Work".
7. Underground Pipes: BCC, unless otherwise stated, shall not be held responsible for damage to, or removal of, hidden pipes, sprinkler lines, water or sewage disposal systems or conduits in excavation and grading areas. Unless specifically indicated, the Price does not include re-routing vents, pipes, ducts or wiring conduits, or correcting other hidden conditions that may be discovered through removing, or cutting open walls. All such work shall be considered "Extra Work".
8. Property Lines: Owner shall furnish, if necessary, at Owner's own expense, all necessary surveys and assume responsibility for the accuracy of all boundary markers unless otherwise agreed in writing.
9. Access to Work: Owner shall grant free access to work areas for workmen and vehicles and shall allow areas for storage of materials and debris. Owner agrees to keep driveways clear and available for movement and parking of trucks during normal work hours. If the site is fenced, BCC and workmen shall not be expected to keep gates closed for animals and children. Owner agrees to remove and protect any personal property, inside and outside, including shrubs and flowers, and BCC shall not be held responsible for damage to such items.
10. Requirement of Public Bodies and Permits: Any changes, alterations, additions to, or omissions from the drawings and specifications which may be required by any public body, utility, historical preservation groups, or inspector shall constitute a change in the work and shall be paid for in the same manner as "Extra Work". BCC shall obtain a standard building permit, if required (owner responsible for all permit fees). Owner will provide all building plans, surveys, plot plans and other such documents, which are required by the permitting authority. Compliance of the Work to other property restrictions, approvals required by Zoning Authorities, historical preservation, or by other person(s) shall be the Owner's responsibility.
11. Materials Removed, Debris: All materials removed from structures in the course of the Work shall be disposed of by BCC, except those items designated in writing by Owner prior to commencement of the Work. All construction debris shall be removed by BCC at completion of the Work.
12. Facilities, Utilities: Owner agrees to make domestic waste, electricity, and toilet facilities available to BCC's employees and trade contractors during the course of construction.
13. Extra Time: BCC agrees to diligently pursue the work through to completion. The agreed time (if any) for completion shall be extended by an amount of time equal to the delay caused by any act, condition or occurrence beyond BCC's control, including inclement weather, delays occasioned by the availability of material and/or equipment specified, an act (including requests for "Extra Work") or omissions of the Owner or any governmental agency or body.
14. Work Stoppage: BCC shall have the right to stop work if payments are not made to BCC when due and to keep the job idle until such time as such payments are received.
15. Substitutions and Allowances: In the event any of the materials herein described are not available, BCC reserves the rights to make substitutions, providing the substitutions is equal to or exceeds the quality of the items herein described. Any additional costs can include taxes, shipping charges, and any additional costs or expenses will be incurred by BCC.
16. Control and Use of Construction Personnel: BCC, or its duly designated agent, shall have sole control of construction personnel. Owner shall not negotiate for additional work with BCC's trade contractors, or engage another contractor or trade contractor except with BCC's prior consent and then only in such manner as will not interfere with BCC's completion of the Work under this Contract.
17. Default: If Owner defaults on any obligation under this Contract, BCC may, at its option, treat this Contract as null and void and retain all payments made hereunder, or may pursue any other legal remedy including specific performance. In the event of a failure to pay the amount due under this contract when due, or any breach of this contract, contractor shall be entitled to reimbursement for all collection costs and expenses, attorney's fees and paralegal fees reasonably incurred in the collection of amounts due, or the enforcement of this contract.
18. Successors and Assigns: The rights and obligations created under this Contract shall insure to and bind the heirs, administrators, executors, successors and assignees of BCC and Owner.
19. Guarantee of Workmanship: No material warranty is offered or extended by BCC on owner supplied items or on items of owner relocated by contract such as, but not limited to, windows, doors, electrical fixtures, vents, etc. All material warranties apply from the manufacturer.
20. Final Lien Waiver: On final payment by Owner and upon Owner's request, BCC shall provide Owner with a final lien waiver stating that all labor, material and equipment used in the performance of the Work have been paid for or will be paid in full by BCC unless otherwise noted.
21. Owners Insurance: If, prior to completion, the work & or total structure described herein should be wholly or partially destroyed by fire, defective soil, accident, disaster, storm, flood,

sustained by the Owner. Owner agrees to purchase insurance in the full amount of labor and material as the work progresses in the joint names of the Owner and BCC. If Owner fails to obtain insurance, BCC may procure such insurance, but need not do so, and Owner agrees to reimburse BCC for the cost.

22. Contractor's Insurance: BCC shall carry Workmen's Compensation Insurance on all their employees and General Liability insurance in the name of BCC, and shall furnish Owner satisfactory evidence of such insurance.

23. Asbestos and/or other hazardous materials: It is the obligation of the Owner to determine if the structure covered by this contract contains asbestos and/or other hazardous materials. This proposal and contract does not include any provision (neither monetary provisions nor time-schedule provisions) to cover the unforeseen hazards or additional work necessitated by removal of asbestos and/or other hazardous materials. If asbestos and/or other hazardous materials are discovered, after the work is already in progress, if the asbestos and/or other hazardous materials represent a changed condition from those described in the plans and/or specification, then the contractor shall be entitled to additional compensation and an increase in time for completion of the project.

24. Licensing: A residential builder or a residential maintenance and alteration contractor is required to be licensed under article 24 of Act 299 of the Public Acts of 1980, as amended, being sections 399.2401 to 399.2412 of the Michigan Compiled Laws. An electrician is required to be licensed under Act No. 217 of the Public Acts of 1956, as amended, being sections 338.881 to 338.892 of the Michigan Compiled Laws. A plumber is required to be licensed under Act No. 266 of the Public Acts of 1929, as amended being sections 338.901 to 338.917 of the Michigan Compiled Laws. Builder is Licensed (License No. 2102116378).

25. Buyers Right To Cancel: You, the buyer, may cancel this transaction any time prior to midnight of the third business day after the date of acceptance. The parties acknowledge that they have read this agreement thoroughly, they understand it, and sign it voluntarily.

26. General Conditions: Any alteration or deviation from the above specifications or scope of work involving extra costs other than roof decking replacement will be executed upon written request & will become an extra charge over and above the original estimate. BCC will not be responsible for any unevenness of walls, rafters, or roof boards on any existing structure. We will not be responsible for any damage caused by a leak, except to repair the leak. When standing seam roofing is installed all materials are subject to oil canning and will not be reason for objection or nonpayment. We will not be responsible for any consequential or incidental damage arising from any leakage. The customer will submit any damage claims to their insurance carrier. BCC will not be held responsible for any uneven appearance of shingles or roof decking when more than one layer of roof is applied. BCC will not be responsible for any waving, dips or unevenness in existing roof deck unless all plywood and trusses are replaced. We accept no responsibility for the color, shading or color selection of shingles, siding or trim. The owner of the property shall be responsible for removing & protecting items on the interior of the structure(s) and surrounding the subject property. The contractor will strive to avoid excess damage to landscaping, siding, decks and other features of the subject property. Due care and caution will be used when removing and/or working around existing accessories such as solar panels, skylights, antennas, railings, etc. however, we will not be responsible for these items. We will not be responsible for any leaks around skylights units unless the existing units are replaced and new flashing kits are installed. When roofing is torn off, we will not be responsible for any roofing debris that may fall into the attic, nor do we clean out attics before or after a roof is completed. When roofing is torn off old tar lines on the existing siding will show and damage to the siding may occur. This siding may need painting and is not the responsibility of Bloomfield Construction. We will not be responsible for any damage that may result to the ceilings, walls, or foundations for any work done to the subject property. We will not be responsible for any damage incurred to concrete, asphalt, or brick-paver driveways due to settling, cracking, or resulting damage from dumpster containers or material supplier vehicles. All unused materials shall, under any conditions, remain the title and property of the contractor. We will not be responsible for any damage caused to any area of the home from improperly insulated attics, knee walls, walls, windows, or frozen pipes of any kind. We will not be responsible for ice damming, leakage caused from any ice damming or any damage caused from ice back up that may occur on any area of the home. We are not responsible for removing snow or ice off any roofing, siding, or gutters on the subject property. This warranty is not transferable.

***In order to reduce risks due to uncertainty in future materials availability and unpredictable and rapidly increasing pricing of some construction materials, contractor recommends that the materials be ordered at this time with payment to be made at the time of delivery and the materials suitably stored, with appropriate insurance in place, until the materials are needed at the job site. The cost to store and insure the materials and to transport the materials from the storage facility to the job site would be at customer's expense.

Alternatively, if the customer prefers not to have the contractor obtain the materials at this time as described above, the customer accepts the risk of material unavailability and price escalation in the costs incurred to obtain and have the materials delivered to the job site.

****This pricing is only valid for 10 days****
****Rooftop delivery included-Handloading will be additional fees****
****Credit Cards accepted-at an additional 3%****

Payment as follows: \$ 1/2 down & balance upon completion.

Customer Signature _____

Date _____

Bloomfield Construction Company (BCC) General Requirements

The following is a list of the General Conditions, which are used on projects of Bloomfield Construction.

1. Building Code: If, during the course of construction, it is revealed that the structure is not up to current building code, the Owner shall be liable for "Extra Work" needed to bring the structure up to code as required by the city, county or prevailing inspector(s). BCC shall not be obligated to repair code violations that aren't included in our original agreement.
2. Work Stoppage: BCC shall have the right to stop work if payments are not made to BCC when due and to keep the job idle until such time as such payments are received.
3. Substitutions and Allowances: In the event any of the materials herein described are not available, BCC reserves the rights to make substitutions, providing the substitutions is equal to or exceeds the quality of the items herein described. Any additional costs can include taxes, shipping charges, and any additional costs or expenses will be incurred by BCC.
4. Default: If Owner defaults on any obligation under this Contract, BCC may, at its option, treat this Contract as null and void and retain all payments made hereunder, or may pursue any other legal remedy including specific performance. In the event of a failure to pay the amount due under this contract when due, or any breach of this contract, contractor shall be entitled to reimbursement for all collection costs and expenses, attorney's fees and paralegal fees reasonably incurred in the collection of amounts due, or the enforcement of this contract.
5. Successors and Assigns: The rights and obligations created under this Contract shall insure to and bind the heirs, administrators, executors, successors and assignees of BCC and Owner.
6. Guarantee of Workmanship: No material warranty is offered or extended by BCC on owner supplied items or on items of owner relocated by contract such as, but not limited to, windows, doors, electrical fixtures, vents, etc. All material warranties apply from the manufacturer.
7. Contractor's Insurance: BCC shall carry Workmen's Compensation Insurance on all their employees and General Liability insurance in the name of BCC, and shall furnish Owner satisfactory evidence of such insurance.
8. Asbestos and/or other hazardous materials: It is the obligation of the Owner to determine if the structure covered by this contract contains asbestos and/or other hazardous materials. This proposal and contract does not include any provision (neither monetary provisions nor time-schedule provisions) to cover the unforeseen hazards or additional work necessitated by removal of asbestos and/or other hazardous materials. If asbestos and/or other hazardous materials are discovered, after the work is already in progress, if the asbestos and/or other hazardous materials represent a changed condition from those described in the plans and/or specification, then the contractor shall be entitled to additional compensation and an increase in time for completion of the project.
9. Buyers Right To Cancel: You, the buyer, may cancel this transaction any time prior to midnight of the third business day after the date of acceptance. The parties acknowledge that they have read this agreement thoroughly, they understand it, and sign it voluntarily.
10. Final Lien Waiver: On final payment by Owner and upon Owner's request, BCC shall provide Owner with a final lien waiver stating that all labor, material and equipment used in the performance of the Work have been paid for or will be paid in full by BCC unless otherwise noted.
11. General Conditions: Any alteration or deviation from the above specifications or scope of work involving extra costs other than roof decking replacement will be executed upon written request & will become an extra charge over and above the original estimate. BCC will not be responsible for any unevenness of walls, rafters, or roof boards on any existing structure. We will not be responsible for any damage caused by a leak, except to repair the leak. We will not be responsible for any consequential or incidental damage arising from any leakage. BCC will not be held responsible for any uneven appearance of shingles or roof decking when more than one layer of roof is applied. BCC will not be responsible for any waving, dips or unevenness in existing roof deck unless all plywood and trusses are replaced. We accept no responsibility for the color, shading or color selection of shingles, siding or trim. The owner of the property shall be responsible for removing & protecting items on the interior of the structure(s) (attics, knee walls, garages, etc) and surrounding the subject property. The contractor will strive to avoid excess damage to landscaping, siding, decks and other features of the subject property. Due care and caution will be used when removing and/or working around existing accessories such as solar panels, skylights, antennas, railings, etc. however, we will not be responsible for these items. When roofing is torn off, we will not be responsible for any roofing debris that may fall into the attic or garage. We do not clean out attic before or after a roof is completed. When roofing is torn off old nail lines on the existing siding

Construction. We will not be responsible for any damage incurred to concrete, asphalt, or brick-paver driveways due to settling, cracking, or resulting damage from dumpster containers or material supplier vehicles. All unused materials shall, under any conditions, remain the title and property of the contractor. We will not be responsible for any damage caused to any area of the home from improperly insulated attics, knee walls, walls, windows, or frozen pipes of any kind. We will not be responsible for ice damming, leakage caused from any ice damming or any damage caused from ice back up that may occur on any area of the home. We are not responsible for removing snow or ice off any roofing, siding, or gutters on the subject property. This warranty is not transferable.

Proposal/Invoice



Grotz Silver Landscapes

42049 Schoenherr
Sterling Heights, MI 48313

(586) 246-2519

Fax: (586) 323-4009

PROPOSAL SUBMITTED TO	Safeguard		PHONE		DATE	1.10.19
STREET	200 W. Boston Blvd.		JOB NAME	204873723		
CITY, STATE AND ZIP CODE	Detroit mi 48206		JOB LOCATION			
AREA						

We hereby submit specifications and estimates for:

Remove 70x55 clay tile roof.
replace with 3850 Sgft of
3 tab shingles, 250 lft of
drip edge, 3 rolls of ice
+ water, 3 rolls of tar
paper. 1-5 gallon bucket
of taro. House is a 3 story
property and this will require
a 50 ft lift to complete roof.

We propose hereby to furnish material and labor - complete in accordance above specifications, for the sum of:

Payment to be as follows:

dollars (\$ 21,000.00)

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner will carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized
Signature

Note: This proposal may be
withdrawn by us if not accepted within 30 days.

Acceptance of Proposal - The above specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

Date of Acceptance:

Signature

DETROIT CORNICE & SLATE CO., INC.

1315 ACADEMY
FERNDAL, MICHIGAN 48220



PHONE (248) 398-7690
FAX (248) 398-9794

ROOFING, SHEET METAL & HISTORIC RESTORATION
SLATE, TILE, COPPER, BUILT-UP & SINGLE PLY

ESTABLISHED 1888

October 21, 2019

Scott Bobek
Quicksilver Property Management
2000 W. Boston Blvd.
Detroit, MI. 48206
sbobek996@gmail.com

Subject: Roof Inspection

This report includes a complete roof and soffit inspection in reference to the above address.

- According to our sources, this house was built in 1921.
- It has a Ludowici Spanish tile roof that is finished in matte green.
- The original underlayment appears to be a 43# base sheet
- There are 8 valleys total on the dormers. 3 of which have been replaced with new copper valleys, the other 5 galvanized valleys have been covered in asphalt roof cement and are in need of replacement
- The original galvanized apron gutter has been cut off at the roof flange and residential 5" Aluminum K style gutters have been installed to replace them.
- This Ludowici roof tile has a life expectancy of over 100 years and is still in good useable condition with the exception of the broken tile which we estimate that approximately 35% of the total roof area has been destroyed and will need new tile.
- The fascia boards are in stable condition but will deteriorate with continued water infiltration.
- The crown molding on the rear dormer is separating from the fascia.
- Shingle tile on the dormer walls is in good condition and needs just minor repairs.
- The back-porch roof has been replaced with asphalt shingles and should have tile installed to correct it to its original architectural design.
- The flat seam metal deck has reached its life expectancy and is need of replacement

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Soffits

The bead board soffit mostly appears to be in good usable condition with the exception of three areas that have deteriorated and need to be replaced. These areas total approximately 100 square feet.



Valleys

There are 8 dormer valleys. Three (3) have been replaced with new copper valleys, 5 are original galvanized valleys that have been covered in asphalt roof cement and need to be replaced.



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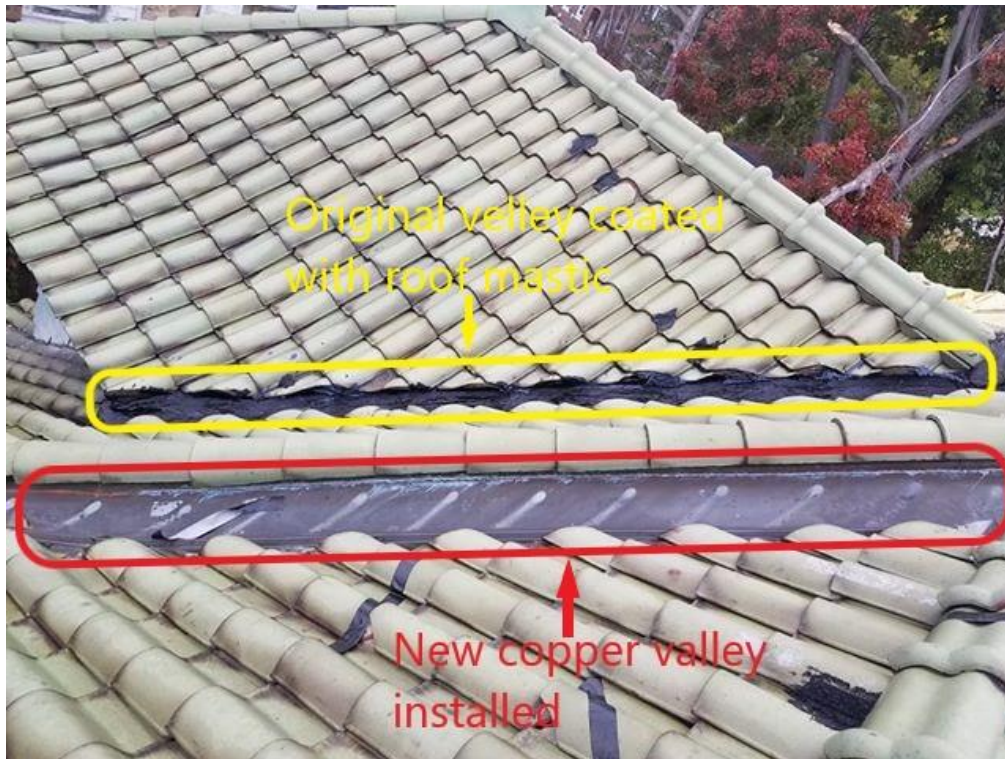
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Gutters

The original galvanized apron style gutter has been cut off at the roof flange and replaced with a residential 5" aluminum K style gutter.



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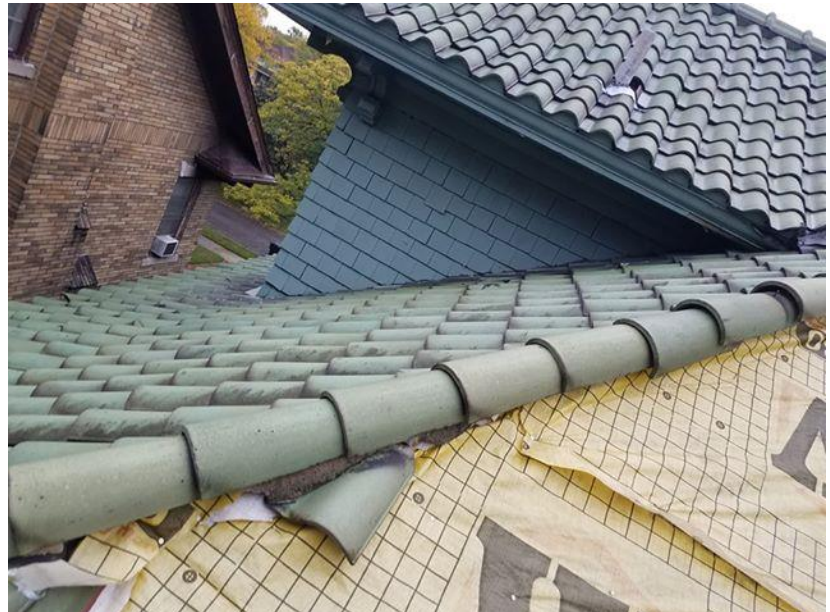
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Roof Tile

This Ludowici roof tile has a life expectancy of over 100 years and is still in good useable condition with the exception of the broken tile which we estimate that approximately 35% of the total roof area has been destroyed and will need new tile.



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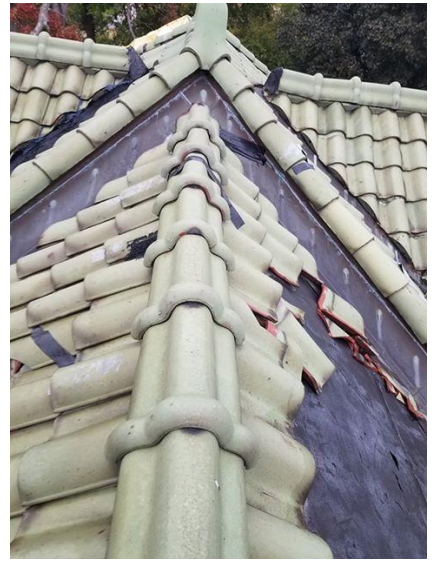
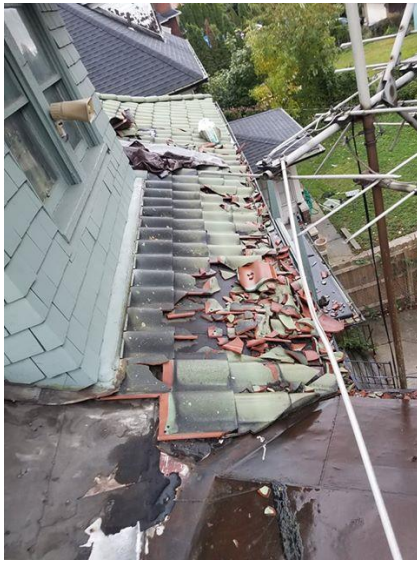
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Crown Molding

The crown molding on the rear dormer is separating from the fascia.



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Back Porch Roof

The back-porch roof has been replaced with asphalt shingles and should have tile installed to correct it to its original architectural design.



Flat Seam Deck

The metal flat seam metal deck has reached its life expectancy and is in need of replacement.



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Summary

We would recommend removing all of the roof tile and flashings. Installing new UL30 rated roof felts with new Ice & Water Shield at eaves and valleys, new flashings and gutters, then reinstalling the tile replacing the damaged / missing tile with new tile. Installing a new flat seam metal deck to replace the deteriorated one on the rear of the house.

Estimated cost for this scope of work \$138,000.00

Thank you,

Mike Wilson

visit our website at detroitcornice.com

Sec. 21-2-106. - Boston-Edison Historic District.

- (a) An historic district, known as the Boston-Edison Historic District, was established by a Resolution of the City Council adopted on April 2, 1974, remained in effect on the date of enactment of this article, which was November 5, 1976, and shall be administered in accordance with the provisions of this article.

- (b) The boundaries of the Boston-Edison Historic District are:

The area includes both sides of Boston Boulevard, Chicago Boulevard, Longfellow Avenue, and Edison Avenue from Woodward Avenue center line to Linwood Avenue center line; said property description being described as the Voight Park Subdivision - Lots 188-461, 465-510; Atkinson's Subdivision - Lots 24-48 (even numbers only); E. W. Voight Subdivision - Lot 96; Boston Boulevard Subdivision - Lots 76-116, 126-167, 176-270, 277-283, 290-355, 361-378, 383-437, 442-454; Guerolds Subdivision - Lots 17-24; Lewis Park Subdivision - Lots 17-30; Jackson Park Subdivision - Lots 17-31; Joy Farm Subdivision - Lots 683-1076; Voight's Park, Boston Boulevard, Chicago Boulevard, Longfellow Avenue and Edison Avenue from Woodward Avenue to Linwood Avenue.

- (c) The elements of design, as defined in Section 21-2-2 of this Code, for the Boston-Edison Historic District shall be as follows:

- (1) *Height.* Virtually all of the houses in the district have two full stories plus an attic or a finished third floor within the roof, which are generally called 2½-story houses; additions to existing buildings shall be related to the existing structure. New buildings shall meet the following standards:

- a. The eight adjoining houses on the same block face, excluding any houses built since 1930, shall be used to determine an average height. If eight houses are not available on the same block face, then one or more houses as close as possible to being directly across the street from the proposed structure may be used. The height of the two adjoining houses shall be added into the total twice, with a divisor of ten used to determine the average. The main roof of any new building must have a height of at least 80 percent of the resulting average. In no case shall a new building be taller than the tallest roof height included in the calculation. In determining the height of existing buildings and proposed buildings, the highest point of the main roof shall be used, even where towers or other minor elements may be higher.
- b. The level of the eaves of the proposed new structure has as much or more significance for compatibility as the roof height. Therefore, an average eave or cornice height shall be determined by the same process as described in Subsection (c)(1)a of this section. The proposed new structure shall have a height at the eaves or cornice of not less than 90 percent of the average determined from

existing structures; and in no case shall the eaves or cornice of the proposed structure be lower than the lowest eave or cornice height used in the computation or higher than the highest eave or cornice.

- (2) *Proportion of buildings' front façade.* Proportion varies in the district, depending on the age, style, and location in a specific subdivision. Most houses are wider than tall, especially those on large or multiple lots east of the John C. Lodge Freeway. With height being established by the standards in Subsection (c)(1) of this section, proportion will be established by prohibiting any proposed building or addition from creating a front façade wider than the widest, or narrower than the narrowest, of those existing on the same block face.
- (3) *Proportion of openings within the façade.* Windows openings are virtually always taller than wide; however, several windows are sometimes grouped into a combination that is wider than tall. Window openings are always subdivided. The most common window type is double-hung with sashes that are generally further subdivided by muntins or leaded glass. Façades have approximately 15 percent to 35 percent of their area glazed. Sun porches, with a very high proportion of window openings subdivided by mullions and muntins, are common.
- (4) *Rhythm of solids to voids in front façades.* In buildings derived from Classical precedents, voids are usually arranged in a symmetrical and evenly-spaced manner within the façades. In examples of other styles, particularly those of English Medieval Inspiration, voids are arranged with more freedom, but usually in a balanced composition.
- (5) *Rhythm of spacing of buildings on streets.* The spacing of the buildings is generally determined by the setback from side lot lines. There is a variance in the widths of subdivision lots from one block to another. The lots generally range from 40 feet to 75 feet in width. The minimum spacing between houses is ten feet and the maximum spacing between houses is approximately 325 feet, where several lots are combined. The typical spacing is ten feet to 15 feet from side lot lines. In the case of very wide properties, two conditions exist:
 - a. The house is located in the center of the site with extensive side yard space, which only occurs with extremely large houses by district standards; or
 - b. The house is located at the side of the wide site, which creates an extensive side yard on one side of the house.
- (6) *Rhythm of entrance and/or porch projections.* In those examples derived from Classical precedents, entrances and porches, if any, tend to be centered on the front façade. Other examples display more freedom with entrance and porch placement. Porches and permanently enclosed sun porches are often placed at the side and, sometimes, at the rear of the building.

- (7) *Relationship of materials.* The majority of houses are faced with brick, while many are partially or totally stucco. There are some stone buildings, sometimes combined with stucco; clapboard is rare and is extremely rare as the sole material. Roofing includes slate, tile, and asphalt shingles. Wood shingle roofs were once common and have generally been replaced with asphalt. Wood shake does not exist and there is no known evidence that it was ever used in the district. Stone trim is common. Wood is almost universally used for window frames and other functional trim and is used in many examples for all trim.
- (8) *Relationship of textures.* The most common relationship of textures in the district is that of a low-relief pattern of mortar joints in brick contrasted with the smooth surface of wood or stone trim. There are a few houses with rough or rusticated stone surfaces. The use of stucco or concrete, with or without half-timbering, as a contrast to brick surfaces, is not unusual. Tile, slate, or wood shingle roofs have particular textural values where they exist. Asphalt shingles generally have little textural interest, even in those types which purport to imitate some other variety.
- (9) *Relationship of colors.*
- a. Natural brick colors, such as red, yellow, brown, and buff, predominate in wall surfaces. Natural stone colors also exist. Where stucco or concrete exists, it usually remains in its natural state, or is painted in a shade of cream. Roofs are in natural colors (tile and slate colors, natural and stained wood colors), and asphalt shingles are predominantly within this same dark color range. Paint colors often relate to style. The buildings derived from Classical precedents, particularly those of Neo-Georgian style, generally have woodwork painted white, cream, or in the range of those colors including "putty;" doors and shutters are frequently dark green or black.
 - b. Colors known to have been in use on similar buildings of this style in the 18th Century or early 20th Century may be considered for appropriateness. Buildings of Medieval inspiration, notably Neo-Tudor, generally have painted woodwork and window frames of a dark brown or cream color. Half timbering is almost always stained dark brown. The original colors of any building, as determined by professional analysis, are always acceptable for a house, and may provide guidance for similar houses.
- (10) *Relationship of architectural details.* Architectural details generally relate to style. Neo-Georgian buildings display classic details, mostly in wood, and sometimes in stone. Porches, shutters, window frames, cornices, and dormer windows are commonly, although not always, treated. Details on "Mediterranean" style or vernacular buildings, including arched windows, door openings and porches, are often done in stone, brick,

tile, and sometimes in stucco. Buildings of Medieval inspiration tend to have details in the form of carved wood or carved stone ornaments on window frames, door frames, and eaves. In general, the various styles are rich in architectural details.

- (11) *Relationship of roof shapes.* A variety of roof shapes exist in the district, depending on building style. Shallow hipped roofs with dormers, roofs with triangular gables, and steep hipped roofs predominate. A few Gambrel roofs exist. Complex arrangements of the gabled and/or the hipped types, with subsidiary or transverse roofs, are not unusual. Dormers are common. Flat roofs are present only as subsidiary roofs on residential structures. Garage roofs generally reflect the style and pitch of the roof on the main house.
- (12) *Walls of continuity.* The major wall of continuity is created by the buildings with their uniform setbacks within the blocks. New buildings should contribute to this wall of continuity. Minor walls of continuity are created where rows of trees have survived in sufficient numbers or new trees are planted in rows, and where hedges along front lot lines exist in numbers.
- (13) *Relationship of significant landscape features and surface treatments.*
 - a. The typical treatment of individual properties is a flat or graded front lawn area in grass turf, often subdivided by a straight or curving walk leading to the front entrance. Materials for such walks are concrete, brick, stone, or combinations of those materials. Some front yards have rectangular raised earthwork terraces upon which the house stands. These unpaved terraces having sloping embankments or retaining walls which are made of brick, stone, or both, at the change of grade foundation plantings, often of a deciduous character that are characteristic of the period 1900 to 1930, are present virtually without exception. Hedges between properties and along front property lines are not uncommon. It is characteristic for corner lots to have hedges or fencing at side lot lines along the sidewalk. There is a wide range in the type of fencing. Fencing within the public view was generally designed to compliment the style, design material, and date of the residence. Although the American Elm was once the dominant tree, it is virtually extinct in the district. Replacement trees should be characteristic of the area and period. Plantings of new trees should be directed to "tree lawns" and medians. If an American Elm tree is planted, it should be disease resistant.
 - b. Straight side driveways leading from the street to rear garages are the norm, although access to garages is also off the alley, especially in areas of the district that were developed earlier. On corner lots, garages and driveways often face the side streets. These driveways are paved in asphalt, concrete, or brick. Side lots are

not uncommon for the larger properties in the district, and a number of these form a part of the original site plan for the residence. Such side lots are usually landscaped and are often fenced at or near the setback line.

- c. The width of tree lawns varies from block to block. Street pavements are now asphalt. Cut stone curbs exist in areas of the district where they have not yet been replaced with concrete, primarily east of the John C. Lodge Freeway. Public sidewalks are concrete. In parts of the district, some tree lawns/berms have been covered with concrete, which may represent encroachment on City property. The resulting wide sidewalks are not appropriate in the district. The ample 125-foot street rights-of-way of West Boston Boulevard and Chicago Boulevard each have two narrow pavements divided by the large graded grassy median strips which are planted with evergreens and deciduous trees. The other east-west streets, Longfellow Street and Edison Boulevard, are 66 feet wide.
- d. The Public Lighting Commission's ornamental poles ("O.P.") with cast iron bases (Pattern #10 and Cast Iron Panel Pattern #16A) and wooden shafts are placed at regular intervals primarily on the medians on Boston Boulevard and Chicago Boulevard, and on the tree lawns on other east-west streets. Lighting on the north-south side streets consists of steel poles, some of which are fluted, with either ornate pendants or simple cranes. There are historic upright poles along the periphery of Voight Park. Concrete and brick entrance piers exist at Woodward Avenue and Longfellow Street. Alleys run east-west down the center of the blocks, with the exception of the north-south alleys behind the Woodward Avenue frontage.

- (14) *Relationship of open space to structures.* Open space in the district occurs in the form of vacant land, a City park, side lots, and grassy median strips in the boulevards. There are no houses facing Woodward Avenue. Ample open space is provided at Woodward Avenue and Boston Boulevard, creating a park-like entrance into the district. The John C. Lodge Freeway is depressed and forms a visual and physical gap in the district. All houses have rear yards as well as front yards. Where an original or early arrangement of house and grounds included, and still includes, landscaped lots which form part of the landscaping plan for the residence, such landscaped lots have significant landscape features.
- (15) *Scale of façades and façade elements.* There is a variety in scale from block to block and style to style, the largest and most substantial houses being primarily those on the first two blocks west of Woodward Avenue and on Boston Boulevard east of the John C. Lodge Freeway. West of the John C. Lodge Freeway and on Longfellow Street and Edison Boulevard, the houses are generally smaller in scale and are situated on smaller lots. The size and complexity of façade elements and details either accentuate or subdue the

scale of the façades. Façade elements have been determined by what is appropriate for the style. Window sashes are usually subdivided by muntins, which affect the apparent scale of the windows within the façades.

- (16) *Directional expression of front elevations.* Although many of the larger buildings are wider than tall, the expression is generally neutral.
- (17) *Rhythm of building setbacks.* Because of the existence of various subdivisions and related subdivision and deed restrictions, setbacks vary from area to area within the district, although they are generally consistent within each block or area. The varying designs of the houses, occasionally with slight setbacks in the façades, cause the houses to relate to the front setback line in different ways. This creates a slight variation in the setback line. Nevertheless, within each block or area, a wall of continuity is created.
- (18) *Relationship of lot coverage.* Lot coverage ranges from approximately 40 percent to ten percent or less in the case of homes with large yards. Most homes are in the 25 percent to 35 percent range of lot coverage.
- (19) *Degree of complexity within the façade.* The degree of complexity has been determined by what is typical and appropriate for a given style. The buildings derived from Classical precedents usually have simple, rectangular façades with varying amounts of ornamentation. Other styles, such as those of Medieval inspiration, frequently have façades complicated by gables, bays, slight setbacks, and an occasional tower. In general, the smaller houses in the district are less complex.
- (20) *Orientation, vistas, overviews.* Most of the houses in the district have front entrances, which are oriented toward the streets running east-west. The houses on LaSalle Boulevard, from Chicago Boulevard to Edison Boulevard, are orientated toward LaSalle. Garages are frequently oriented either toward an alley and/or the front drive or toward a side street in the case of corner lots. Almost all garages are detached and are at the rear of the lot.
- (21) *Symmetrical or asymmetric appearance.* Neo-Georgian and other buildings derived from Classical precedents are generally symmetrical; buildings in other styles, including the Neo-Tudor, are generally asymmetric, but balanced, compositions.
- (22) *General environmental character.* The Boston-Edison District, with its long straight streets, two boulevards, large-to-moderate-sized, stately single-family homes, and Voight Park and Woodward Avenue's open space, has an urban, substantial, low density residential character.

(Code 1984, § 25-2-126; Res. of 4-2-1974 (Journal of City Council Pages 722-724); Ord. No. 44-98, § 1(25-2-126), eff. 12-23-1998)