

February 24, 2020

City of Detroit
Ms. Jennifer Ross, Architectural Historian
Historic District Commission
2 Woodward Ave., Suite 800
Detroit, MI 48226

Dear Ms. Ross,

Kraemer Design Group, LLC (KDG) is writing to the Historic District Commission regarding the buildings at 1249 and 1265 Washington Boulevard (Book Building and Book Tower, respectively). There have been several prior HDC submission for these properties so we will briefly summarize. Previous HDC applications have approved the following work: limestone veneer repairs on the Tower and Building; windows; brick veneer repairs on the Building; brick veneer repairs to both the Tower and the Building; terra cotta veneer repairs to the Tower; terra cotta repairs on the lintels and sills of the Building lightwell; copper water table repairs on the Tower; copper panel repairs on the Tower; copper roof repairs on the Tower; and terra cotta repairs and GFRP replacement on the cornice of the Building.

This application will present the remaining exterior work planned for the buildings at 1249 (“Book Building”) and 1265 (“Book Tower”) Washington Boulevard. The following is a detailed description of each exterior feature proposed to be rehabilitated:

Book Building Roof, Rooftop Additions, and Roof Deck

Existing Conditions:

There are two existing penthouses on the Book Building: one covers the southern stairwell on the west wing, and one covers the center portion above the elevator bank and central stairwell. The penthouse above the elevators is accessed through the center staircase and it contains two rooms, one with a large piece of mechanical equipment and the other with the elevator mechanical equipment to the east. The south penthouse ceiling has fallen in at the 13th floor and the roof is inaccessible. Both penthouses have doors that lead to the roof. The central penthouse appears to be in good condition with openings that are in poor to fair condition. The southern penthouse is in poor interior condition and appears to be in fair exterior condition.

Both light courts have black EPDM roofing membrane covering the flat-roofed courts on top of the 3rd floor. The roofing runs to just below the windowsills of the 4th floor and also covers the ‘elevator box’ in the north light court. The roofing appears to be in poor condition.

Proposed Work:

The south penthouse will be removed and rebuilt with a higher roof—extended to 20’—and wider walls to accommodate the new elevator adjacent to the egress stair. The new enclosure shall be of brick to match the historic penthouse and a water table complementary to the historic features of the roof structures. There will be an additional penthouse extension acting as a screen wall of the new mechanical equipment on the roof that runs from the south penthouse to the central penthouse. This enclosure will not have a roof and is intended to screen the mechanical equipment from sightlines from the public right of way. It will be constructed of the same brick and detailing as the parapet, and the enclosure wall will be held back from the exterior face of the penthouse to indicate the walls are not historic. The mechanical additions have been designed as low as they possibly can while still providing required mechanical service to the project while hiding the equipment from view. These additions were designed to appear as linear additions on the roof in keeping with the basic massing of the building, to keep their visual impact as minimal as possible.

The west side of the center penthouse will also be modified to accommodate the new generator for the building. The east side will be emptied of mechanical equipment and debris and remain at its current height with a shorter corridor addition to the south wall of the Tower where it ties into the 14th floor, providing egress for the Tower residents and amenity space. The amenity space from the 14th floor will include a removed and lowered portion of the building roof for a resident terrace on the level of the 14th floor resident lounge. As lowering the roof creates a new portion of the



wall plane and doesn't impact historic fabric significantly, it is proposed the resident lounge will be connected to the roof deck with operable nanawalls. The new corridor addition and resident terrace with nanawalls is not visible from any sightlines within a block of the building. Please see the figure on the left of page 18.

The proposed food & beverage addition to the east and south of the center penthouse will be constructed of brick to match the historic penthouses and will match the 20' height of the existing center penthouse. This penthouse will have punched French door openings to access the proposed roof deck on the Washington Boulevard (east) side of the building. For patron safety, there is a glass guardrail proposed at the back of the existing penthouse wall. The new food & beverage addition including the occupied roof deck and railings are not visible from any sightlines within a block of the building.

All remaining masonry units are to be inspected for damage at the existing penthouses. All damaged, deteriorating or spalling units are to be removed and replaced with new material to match original units. Remaining masonry is to be cleaned using the gentlest means possible to achieve acceptable results without damaging or substantially altering the physical characteristics of the masonry surfaces. Masonry will be repointed as needed and any loose or displaced units reset. Re-pointing mortar to match the color, texture, strength, joint width and joint profile of the existing historic masonry. Raking out mortar joints shall not damage masonry units. Masonry re-pointing will be done in accordance to Preservation Brief 2: *Re-pointing Mortar Joints in Historic Masonry Buildings*.

All roofing shall be removed and replaced with new membrane roofing and waterproofing systems as required by code.

Book Building 13th Floor Skylight

There is a hipped roof over the southern 3 bays of the east wing, added during the 1917 Book Building addition. This area was designed to be column-free on the 13th floor, thus the large open trusses. Original roofing materials are now gone, replaced with EPDM roofing.

A new glass skylight will be added over the 13th floor event space: in the southern 3 bays of the east wing—where the hipped roof portion currently exists—the roofing and concrete structure will be removed, and a glass skylight will be installed. The existing steel roof structure will remain in place to support the new skylight. Please see page 18 of the enclosed drawings.

Storefronts

The majority of the exterior storefronts were boarded up and but during investigative demolition the few remaining storefronts have been exposed. The majority of the historic storefronts were removed in the mid-century and replaced with aluminum-framed storefronts during the 1950s renovations or later. The original storefront had decorative cast iron detailing some of which is remaining and will be retained and restored. Much of the detailing appears to have been removed during storefront changes by tenants of a previous owner.

All non-original ground floor exterior storefronts are to be removed and replaced with new storefront systems designed to be appropriately compatible based on the original historic drawings and the remaining historic decoration. Doors will be added as needed for the ground floor tenants and as required per code. These doors will also be integrated into the storefront pattern in the same rhythm as the original building design. All new storefronts are to be consistent in look, style, and materials. New storefronts will match the existing profile dimensions and proportions of the remaining storefronts or will be based on the original drawings. Existing cast iron detail shall be cleaned, repaired as necessary, and repainted.

Awnings

There are non-historic awnings above each storefront that cover the top portion of the storefront including the original cast iron decoration and transoms. The awnings are not original and are in fair condition. These awnings will be removed in their entirety. New awnings are proposed to be located under the transoms in a similar fashion to the historic configuration. Please see page 20 of the enclosed drawing package.

Alley Activation



Originally the Book Building had a series of large, steel-framed window openings along the alley façade. The majority of the historic openings have been infilled and all historic fabric is gone, although evidence of the infill brick and original masonry openings are apparent today. Some smaller service masonry door openings do remain from the historic era.

The alley behind the Book Building and the Book Tower will have an alley activation plan much like other Bedrock projects in the city. Some of the smaller historic openings that remain will be filled in with brick to match the existing as they are no longer needed for the new use. New brick will be inset 1" from the existing face where it infills any historic openings. The large historic openings where the tenant alley access doors and sidelights existed will be re-opened and new storefront will be installed for access to the activated alley. The storefront will be divided into smaller lights, reminiscent of the historic steel framed storefronts as evidenced by the historic drawings. The finish will match the primary façade storefront finish. Remaining service openings will receive flat-panel metal doors or overhead solid metal doors.

The alley will be cleaned and green scaping with planters filled with greenery and flowers will be added. Murals and exterior lighting are also planned for the alley.

Fire Escapes

A steel fire escape is attached to the south façade of the Tower, stops at the Building roof, and once continued down the alley façade of the Building. Most of the remaining structure appears to be in fair, stable condition, though the alley portion was in poor, heavily deteriorated condition with the lower portion missing from the bottom landing. Most of the Tower connections to the masonry also appear to be in stable condition, with a few locations showing signs of spalling at the masonry or concrete substrate.

Existing Tower fire escape to be retained and rehabilitated as the second means of egress from the Tower. Connections to the structure shall be rehabbed as necessary to ensure structural stability. Any loose or spalling masonry units shall be repaired or reinstalled as necessary. The remaining lower alley portion of the fire escape had to be removed in its entirety during masonry restoration work. Subsequent design development has determined that the Building portion of the fire escape is not necessary for egress. Since it was only partially visible looking at the rear of the Building, it does not appear to be a character defining element.

Louvers and Infills

Louvers will be added for venting on the alley façade—both on the Book Tower and on the Book Building. The louvers will be installed to provide venting for the various mechanical and HVAC units. There will also be infills on southern facades (on the ends of the legs of the H). There will louvers and infills on the alley façade and both lightwells. New brick will be inset 1" from the existing face where it infills any historic openings. Please see pages 5 and 6 of the enclosed drawing package.

Pedestrian Bridge Modifications

The pedestrian bridge was added to the building in 1990 by a previous owner to connect the building to the parking structure to the north. It connects to the Tower at the 2nd floor on the Grand River façade but visually it has minimal impact along the street view since it is blocked by the Detroit People Mover track when looking towards the building from the west, and the curve in Grand River to the east of the building minimizes it in the views looking towards the building from the east. It appears that all of the original materials in the bay where the bridge was installed were removed and replaced with a solid wall with a stucco or EIFS finish. The bridge is designed with an arch-top glass and metal frame top and an EIFS-clad base to cover the structural support. The bridge has been unused for over a decade and is in poor condition with deteriorated cladding.

The bridge will remain and the EIFS cladding at the base will be removed and replaced with an aluminum metal panel system. The top arched curtain wall system has reached the end of its lifespan and will be replaced with a rectilinear curtain wall system with a flat roof. The visual impact of the bridge will remain minimal and the change to a more complimentary design will let it blend more with the Book Tower. The rectilinear design will also allow the EIFS/stucco on the Tower will also be removed and the new curtain wall will align more compatibly with the original



window opening in the wall and align with the transom above which will be replaced to match the existing historic sightlines. Please see page 41-55 of the enclosed drawing package.

Façade Lighting

Architectural lighting will be added to façade. It will be LED RGB lighting and kept as small as possible. Please see the attached lighting plan and mockup renderings on page 37 of the enclosed drawing package.

Signage

Signage is proposed on awnings and on the glass storefronts. There will be a small blade sign on the corner of Grand River and Washington Boulevard. There will be another blade sign on Grand River located just west of the main entrance on Grand River and a plaque sign will be added above the single door on the Grand River façade. Finally, on the corner of Grand River and Washington Boulevard there will be two small menu plaque signs—one on the Washington Boulevard façade and one on the Grand River façade.

The items listed above provide a synopsis of the proposed scope of work for the rehabilitation of the Book Tower and the Book Building, located at 1249 and 1265 Washington Boulevard. Further detail is provided in the attached drawings, renderings, reports, and photos. Please contact me if you have further questions.

Sincerely,

Kraemer Design Group, LLC



Brian Rebain, RA
Principal



March 27, 2020

City of Detroit
Historic District Commission
Audra Dye, Architectural Historian
2 Woodward Ave., Suite 800
Detroit, MI 48226

RE: Book Tower and Book Building HDC Addendum

Dear Ms. Dye,

Kraemer Design Group, LLC (KDG) is writing to the Historic District Commission with additional information—and to clarify some information already submitted—regarding the buildings at 1249 and 1265 Washington Boulevard (Book Building and Book Tower, respectively).

Awnings:

Cloth awnings will be located on the Grand River and Washington Boulevard facades over most storefronts: the two storefronts that flank the main entrance on Washington Boulevard will not have awnings and neither will the northern-most storefront on the Washington Boulevard façade nor will the eastern-most storefront on the Grand River façade. Finally, the storefront located directly below the pedestrian bridge on the Grand River façade will also not have an awning. Otherwise, all storefronts will have awnings, as indicated in the drawings. Awning material will be provided for HDC staff review once it is chosen.

Rooftop and Penthouses:

In the initial HDC application we indicated the south penthouse would be rebuilt to a height of 20'—this is incorrect. The southern penthouse will be 17'-6". Likewise, we also stated that the new penthouse extension on the eastern side of the roof would also be 20' tall—this is also incorrect. The new penthouse extension on the eastern side of the roof will also be 17'-6."

The south penthouse extension will be aligned with the west face of the existing south stair tower penthouse. This penthouse is set back from the existing west parapet 14'-6" approximately one structural bay in from the west parapet. The new penthouse extension on the east side of the roof will be set back from the east parapet 22'-0" approximately one-and-a-half structural bays back from the parapet.

The amenity space from the 14th floor of the Tower will include a removed and lowered portion of the Book Building roof for a resident terrace on the level of the 14th floor resident lounge. Please note this is the only section of the Book Building roof that will be lowered. The rest of the Book Building roof will remain at its current height.

Both roof decks on the eastern side of the building (the public amenity space roof deck and the tenant roof deck) will have a porcelain tile paver system. We are including cut sheets for these pavers. The roof deck railings will be 42" in height. Finally, we are including a drawing detail for the railing on the roof decks. Please see the attached drawings.

Alley Façade and Murals:

The murals mentioned in the initial HDC application will be applied on the non-historic side of the alley, on the People Mover building.

We are providing updated drawings of the alley façade of the Book Tower to better represent the openings. There are two door openings on the first floor of the alley façade of the Book Tower—one of these openings is a door and another is a door for elevator mechanical space. The elevator mechanical door will be removed, and the opening will be infilled with brick to match the surrounding façade brick. To help clarify the entirety of the alley façade, we are including an existing elevation with a comparison of the proposed changes, please see attached. This new drawing shows the scope of work on the alley façade.



Some openings on the alley façade will be fitted with louvers for venting purposes. We are including louver cut sheets here.

Lighting:

Exterior lighting for the alley will be mounted on the People Mover building, not on the Book Tower or the Book Building. These lights will be white in color with a color temperature of 3000k. Lighting locations on the Book Tower and Book Building are shown in the attached elevations. The final exterior light housing shall be submitted at a later date for staff approval.

Signage:

There will be two menu plaque signs located at the northeast corner of Grand River and Washington Boulevard—one on the Grand River façade and one on the Washington Boulevard façade. Both will be mechanically fastened to the building, but please note that the granite at this corner is not historic as the prior tenant Bookies had removed all the historic material in this area. New granite and limestone was installed to match the historic stone cladding. These two menu plaque signs are, therefore, not being attached to historic stone but a color-matched replacement. The signage may be illuminated.

Pedestrian Bridge:

No new damage will be done to the Book Tower façade where the pedestrian bridge meets the Tower. The metal panel system will not touch the transom below so that the bridge only effects the facade above the transom where the lighter-colored panels line up. The transom above the pedestrian bridge was removed when the existing pedestrian bridge was installed—this project proposes to replace the transom above the pedestrian bridge. The glazing on the pedestrian bridge itself will not be reflective, but rather, will be clear glazing.

Fire Escape:

To clarify information submitted in our earlier application, the fire escape on the Book Tower will be retained and rehabilitated while the fire escape on the Book Building will be removed.

We hope this letter clears up any outstanding items regarding our prior HDC submissions. Please reach out me via phone at (313) 820-1619.

Sincerely,

Kraemer Design Group, LLC



Brian Rebain, RA
Principal





Figure #1: Exterior, Book Tower & Building, Looking southwest. 6/1/12

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #2: Exterior, Book Building & Tower, Looking Northwest. 6/1/12

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #3: Exterior, Book Building, Looking Northwest. 6/1/12

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #4: Exterior, Book Tower & Building, Looking East. 6/1/12



Figure #5: Exterior, Book Tower Pedestrian Bridge, Looking South. 6/1/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #6: Exterior, Book Tower & Building, Looking Southeast. 6/22/12



Figure #7: Exterior, Book Tower, Looking Up. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #8: Exterior, Book Tower, Alley Façade. 6/22/2012



Figure #9: Exterior, Book Tower, Alley Façade. 6/22/2012

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI



Figure #10: Exterior, Book Tower, Looking West. 11/19/15

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #11: Exterior, Book Tower, Looking Southwest. 10/21/13

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #12: Exterior, Book Tower, Top of Tower. 11/19/15

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #13: Exterior, Book Tower, Close Up, North Elevation, Looking Southwest. 6/12/12



Figure #14: Exterior, Book Tower, Close Up, East Elevation, Looking Up. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #15: Exterior, Book Tower, South Elevation, Looking Up. 6/22/12



Figure #16: Exterior, Book Tower, South Elevation, Looking Up. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #17: Exterior, Book Tower, South Elevation, Looking Up. 6/22/12



Figure #18: Exterior, Book Tower, South Elevation, Looking Up. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #19: Exterior, Book Tower, South elevation, Looking North. 6/22/12



Figure #20: Exterior, Book Tower, South elevation, Looking North. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI



Figure #21: Exterior, Book Tower, West Elevation, Looking East. 6/22/12

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #22: Exterior, Book Building, Caryatid Detail, Looking Up. 11/19/15

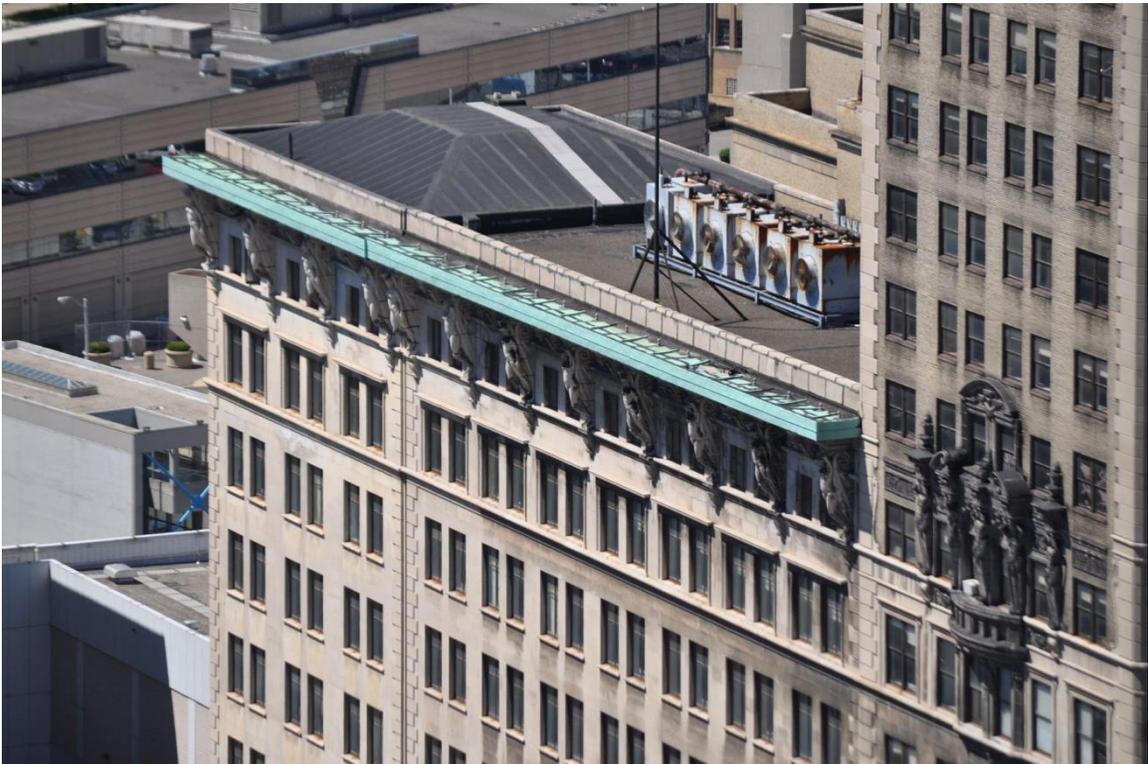


Figure #23: Exterior, Book Building Roof, Looking Southwest. 11/19/15

Book Building and Book Tower
1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #24: Exterior, Book Tower, Detail, Looking Up. 11/19/15



Figure #25: Exterior, Book Building & Tower, Looking West. 11/19/15

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2



Figure #26: Exterior, Book Building, Vestibule, Looking up. 6/22/12



Figure #27: Exterior, Book Building, Looking Southwest. 6/22/12

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2

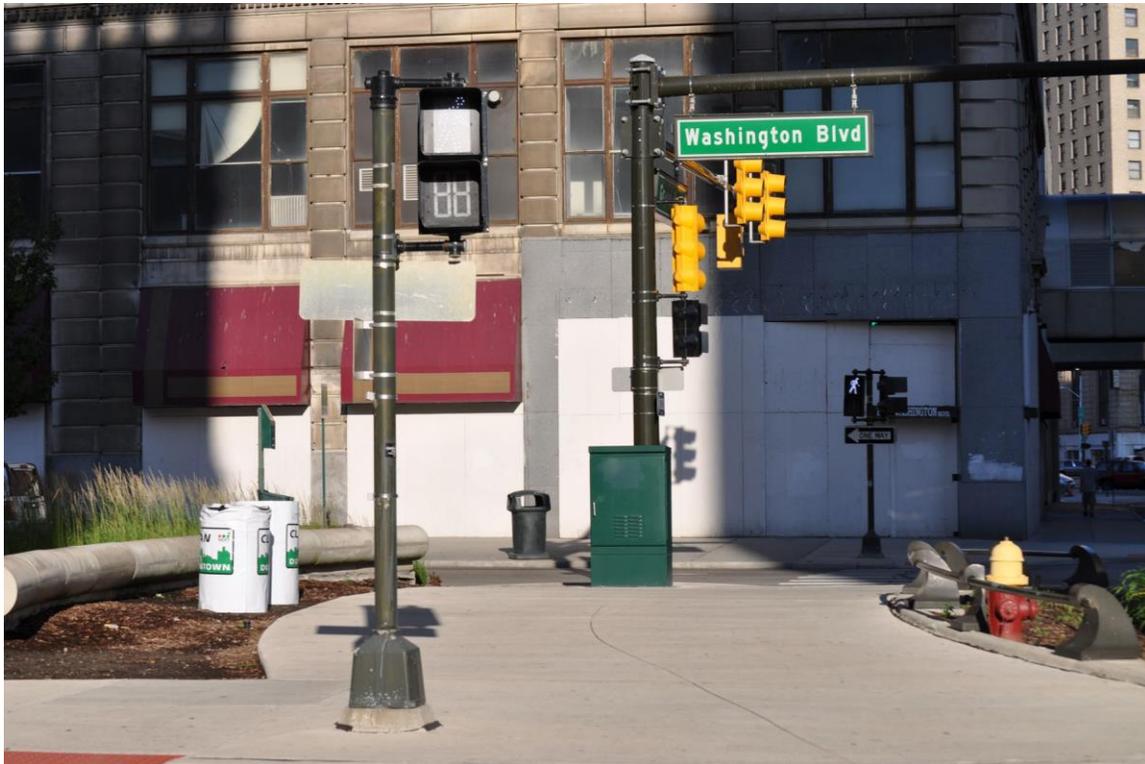


Figure #28: Exterior, Book Tower, Storefronts, Looking West. 6/22/12



Figure #29: Exterior, Book Tower, Looking South. 11/19/15

Book Building and Book Tower 1249 & 1265 Washington Blvd., Detroit MI



Figure #30: Book Tower and Building, Historic Photograph, date unknown.

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #31: Book Building, Historic Photograph, date unknown.

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure #32: Book Building and Tower, Historic Photograph, 1949

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI

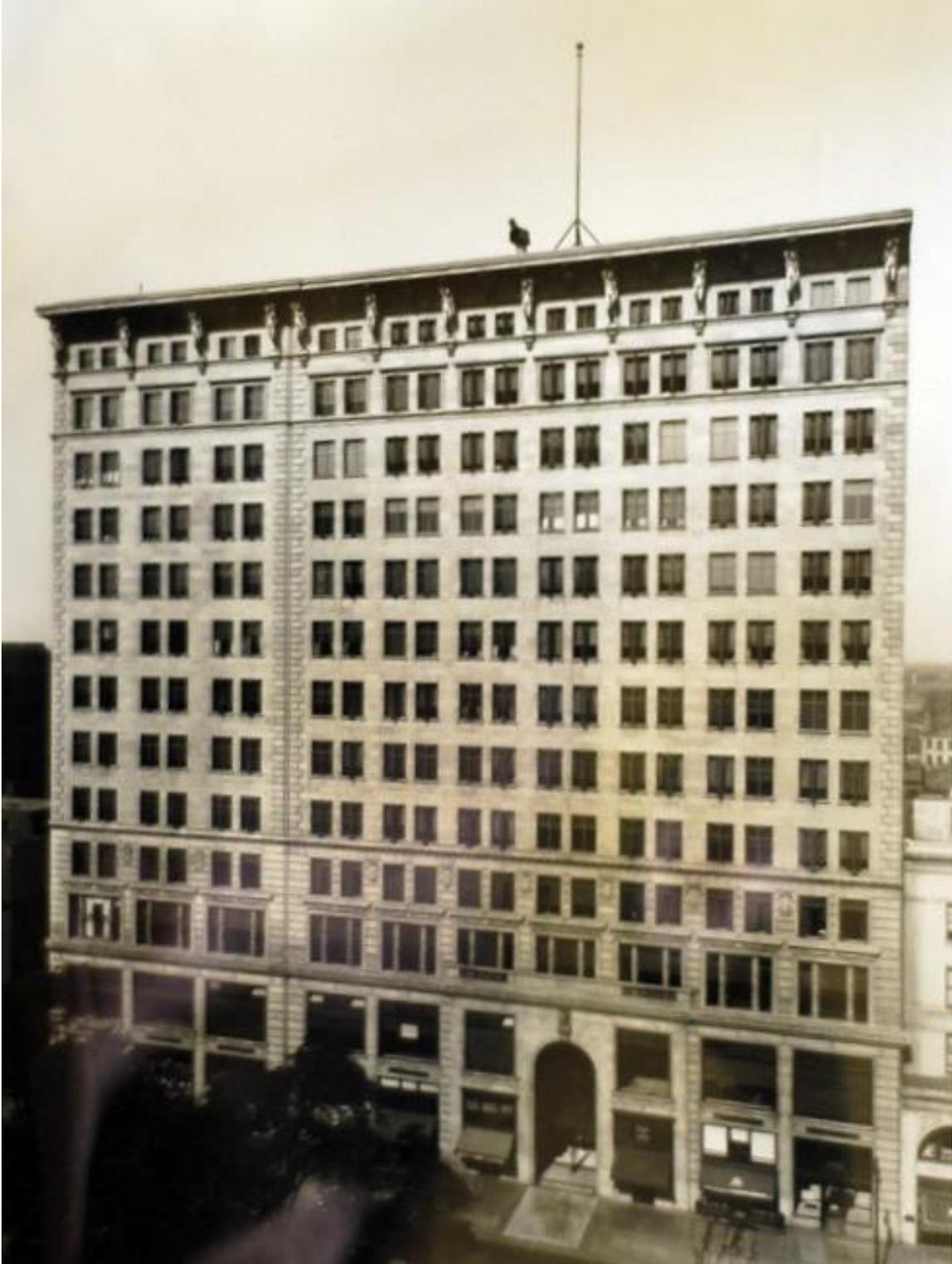


Figure #33: Book Building, Historic Photograph, date unknown

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2

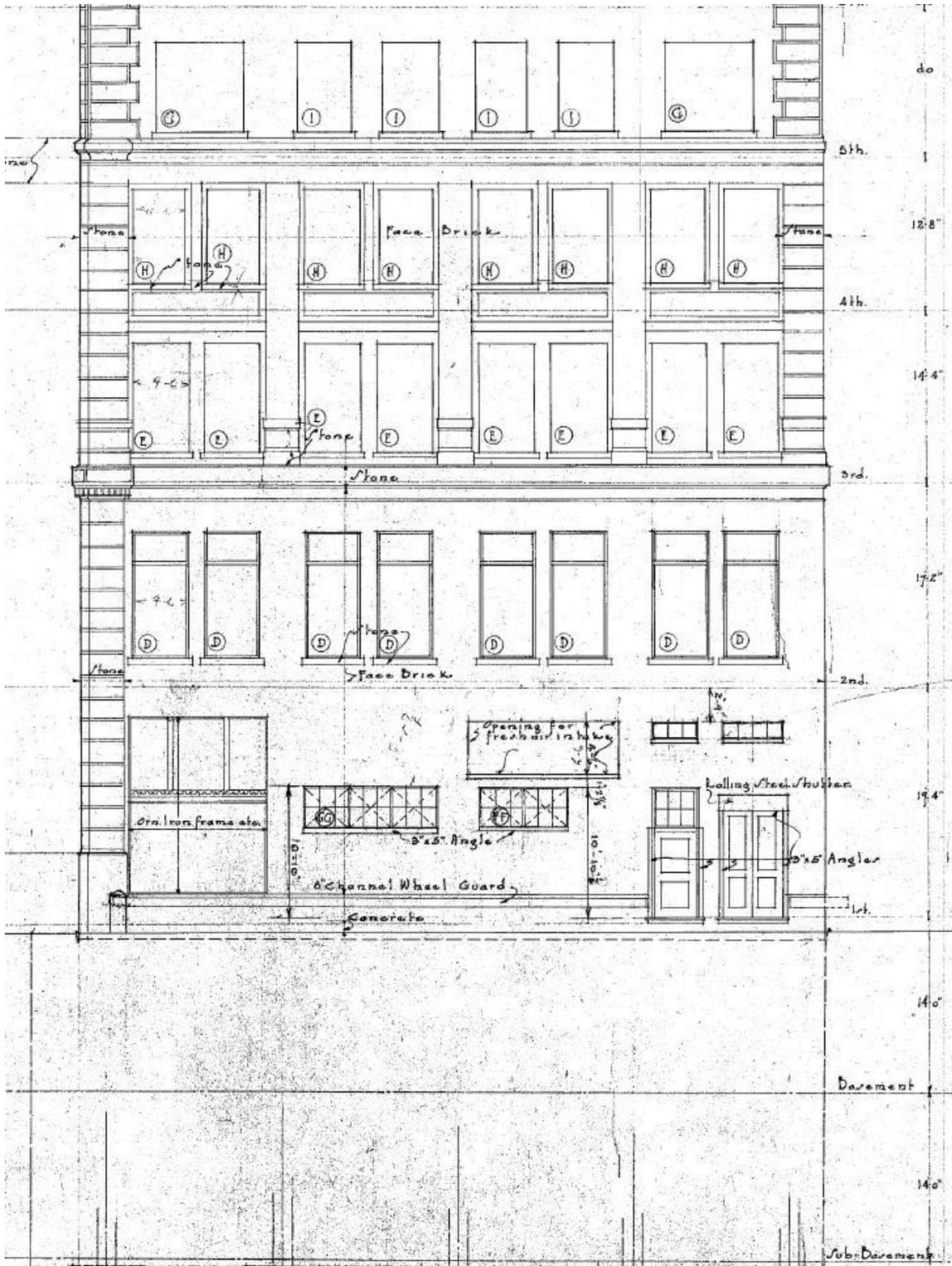


Figure #34: Historic Drawing, Book Tower, Alley Façade, 1925

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI

Historic Preservation Certification Application – Part 2

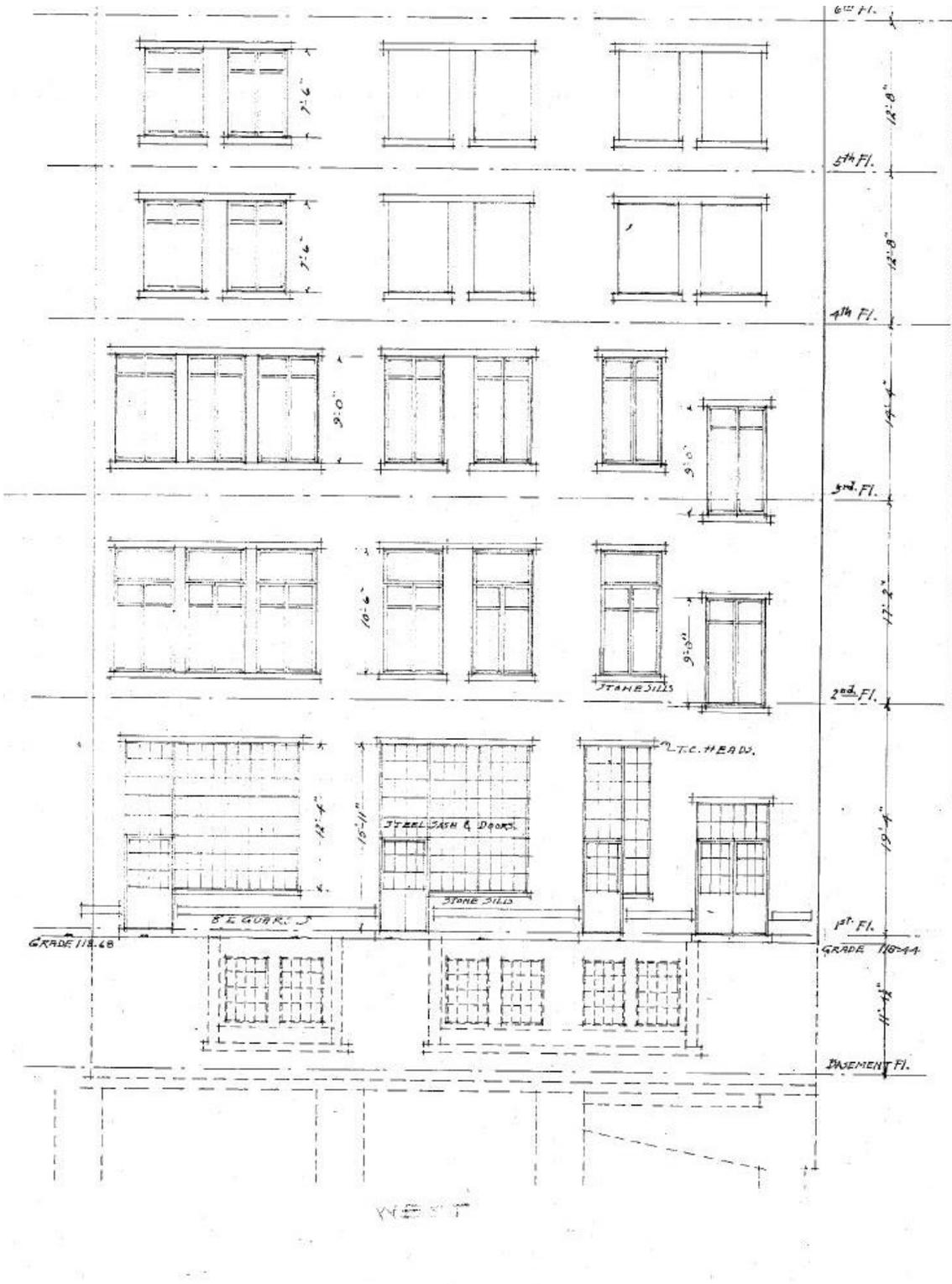


Figure #35: Book Building, Historic Drawing, Alley Façade, 1916

Book Building & Book Tower
1249 & 1265 Washington Blvd., Detroit MI



Figure 1: Roof, looking south. 2/27/20



Figure 2: Roof and Central Penthouse, looking southwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 3: Roof, Hipped Roof portion of Book Building, looking south. 2/27/20



Figure 4: Roof, Hipped roof portion of Book Building, looking south. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 5: Roof, Hipped roof portion of Book Building, Looking Southwest. 2/27/20



Figure 6: Roof, Hipped roof portion of Book Building, Looking Southwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 7: Roof, Western Side of Book Building, Looking Southwest. 2/27/20



Figure 8: Roof, Central Penthouse, Western Side of Book Building, Looking North. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 9: Roof, Penthouse, Southern end of Western side of Book Building, Looking Southwest. 2/27/20



Figure 10: Roof, Central Penthouse on Left, Looking East. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 11: Roof and Central Penthouse, Looking South. 2/27/20

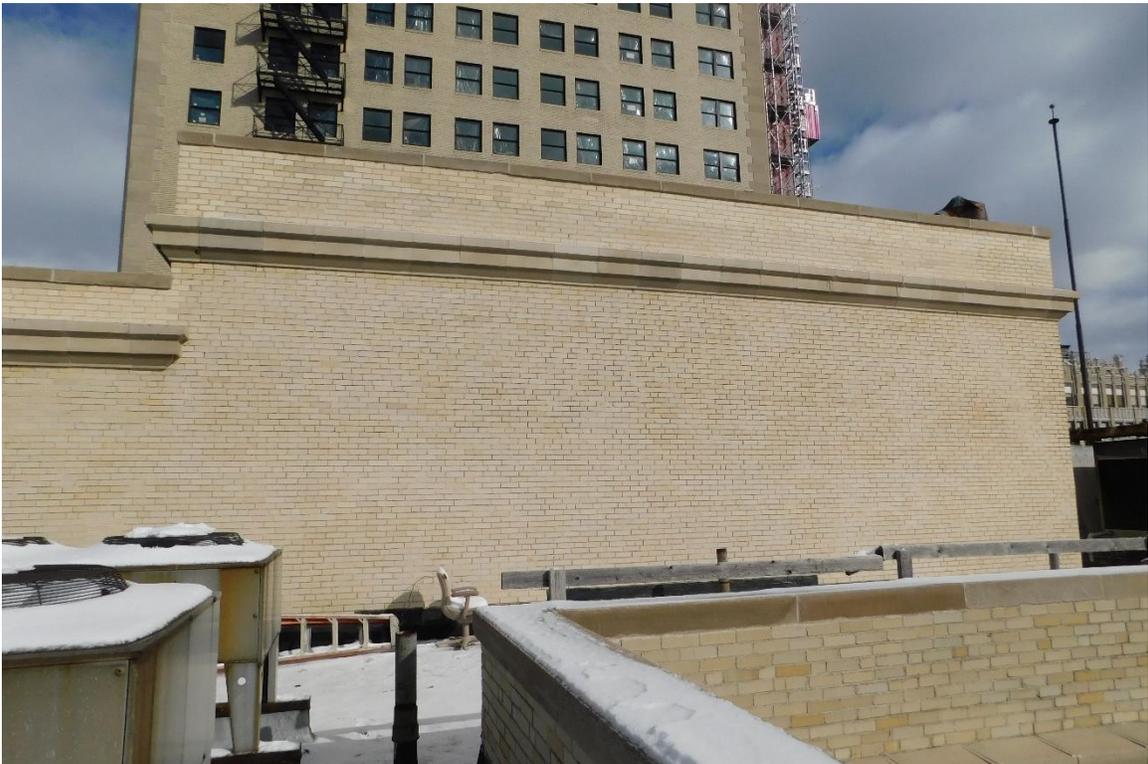


Figure 12: Roof, Central Penthouse, Looking North. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 13: Roof, Looking North. 2/27/20



Figure 14: Roof, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 15: Roof, Looking at Western arm of Roof, Next to North Lightwell, Looking West.
2/27/20



Figure 16: Roof, Southern Lightwell Roof, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 17: Roof, Southern Lightwell Roof, Looking Northwest. 2/27/20



Figure 18: Roof, Northern Lightwell Roof, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 19: Roof, Northern Lightwell Roof, Looking South. 2/27/20



Figure 20: Roof, Northern Lightwell Roof, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 21: Roof, Northern Lightwell, Looking Down/East. 2/27/20



Figure 22: Roof, Northern Lightwell, Looking Down/East. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 23: Exterior, Storefront, Looking West. 2/27/20



Figure 24: Exterior, Storefront, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 25: Exterior, Storefronts, Looking Southwest. 2/27/20

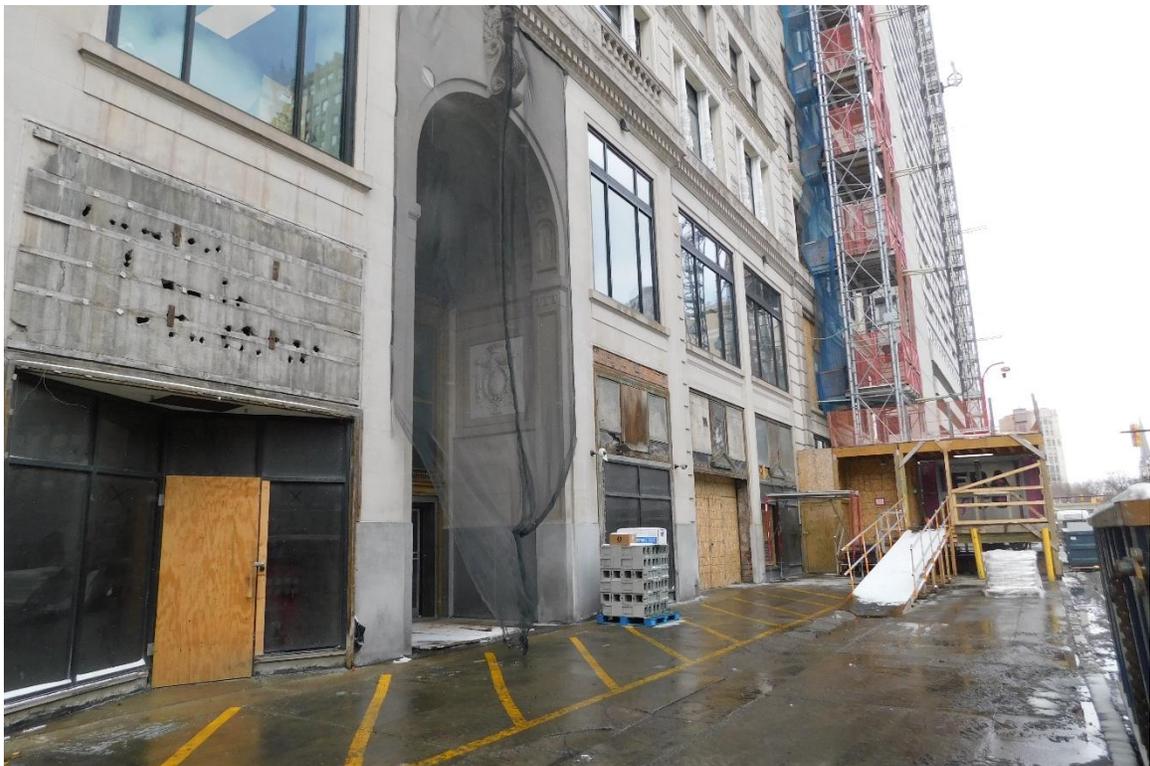


Figure 26: Exterior, Storefronts, Looking Northwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 27: Exterior, Storefronts, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 28: Exterior, Storefronts, Looking Northwest. 2/27/20



Figure 29: Exterior, Storefronts, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 30: Exterior, Storefront, Looking West. 2/27/20



Figure 31: Exterior, Storefront, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 32: Exterior, Storefronts, Looking Southwest. 2/27/20



Figure 33: Exterior, Storefronts, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 34: Exterior, Storefronts, Looking West. 2/27/20



Figure 35: Exterior, Storefronts, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 36: Exterior, Storefronts, Looking Southwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 37: Exterior, Storefronts, Looking Southwest. 2/27/20



Figure 38: Exterior, Storefronts, Looking Southwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 39: Exterior, Storefronts, Looking South. 2/27/20



Figure 40: Exterior, Storefronts, Looking Southwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 41: Exterior, Storefronts, Looking South. 2/27/20



Figure 42: Exterior, Storefronts, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 43: Exterior, Storefronts, Looking Southwest. 2/27/20



Figure 44: Exterior, Storefronts, Looking East. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 45: Exterior, Storefronts, Looking South. 2/27/20



Figure 46: Exterior, Storefronts, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 47: Exterior, Storefronts, Looking South. 2/27/20



Figure 48: Exterior, Storefronts, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 49: Exterior, Alley, Looking Southeast. 2/27/20



Figure 50: Exterior, Alley, Looking Southeast. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 50 ½ : Exterior, Alley, Looking North. 2/27/20



Figure 51: Exterior, Alley, Looking South. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 52: Exterior, Alley, Looking Up. 2/27/20



Figure 53: Exterior, Alley, Looking Southeast. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 54: Exterior, Alley, Storefront, Looking East. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 55: Exterior, Alley, Looking Up. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 56: Interior, Looking West, CMU Infill Where Alley Storefronts used to be located.
2/27/20



Figure 57: Interior, Looking West, CMU Infill Where Alley Storefronts used to be located.
2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 58: Exterior, Looking West. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 59: Exterior, Looking Northwest. 2/27/20

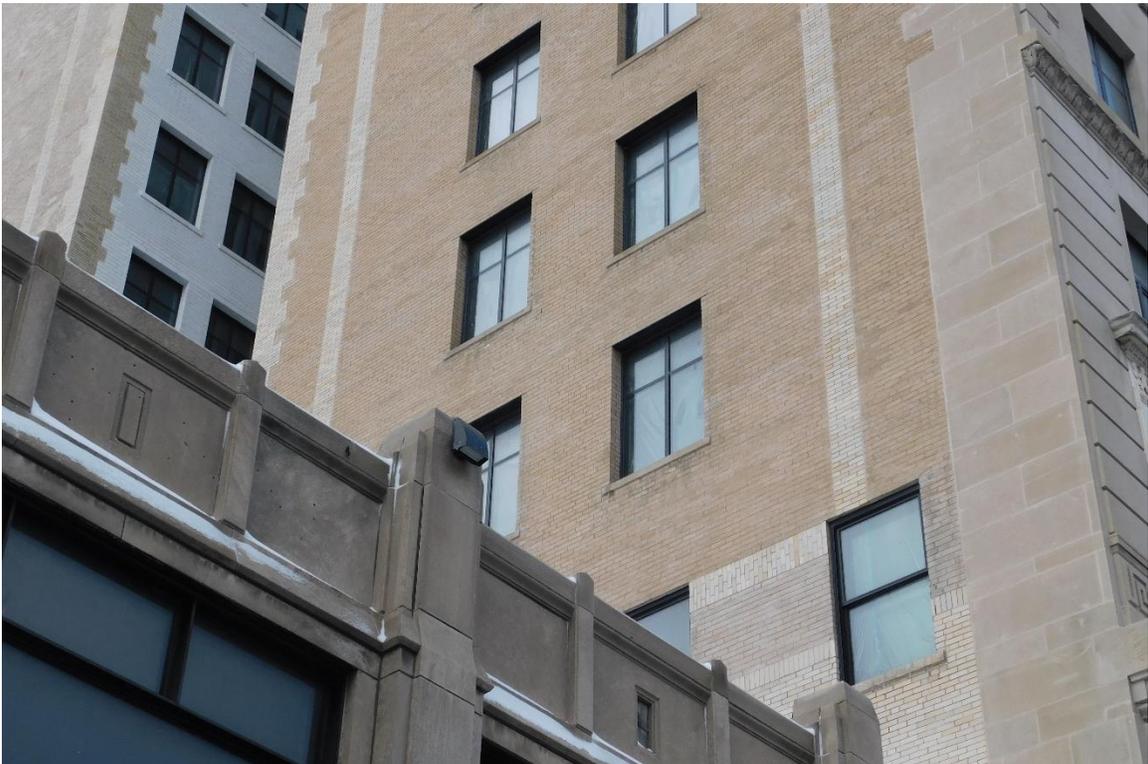


Figure 60: Exterior, Looking Northwest. 2/27/20

Book Tower & Book Building
1265 & 1249 Washington Blvd., Detroit MI



Figure 60 ½ : Exterior, Looking Northwest. 2/27/20

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Figure 61: Exterior, Book Building Fire Escape. 6/22/2012

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Figure 62: Exterior, Book Building Fire Escape. 6/22/2012



Figure 63: Exterior, Book Building Fire Escape. 6/22/2012

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Figure 64: Exterior, Looking West, South Lightwell. 2/27/20

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Figure 65: Exterior, South Lightwell, Looking West. 2/27/20



Figure 66: Exterior, South Lightwell, Looking West. 2/27/20

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Figure 67: Exterior, North Lightwell, Looking Northeast. 2/27/20

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Figure 68: Exterior, North Lightwell, Looking Northeast. 2/27/20



Figure 69: Exterior, North Lightwell, Looking Southwest. 2/27/20

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Figure 70: Exterior, North Lightwell, Looking North. 2/27/20



Figure 71: Exterior, North lightwell, Looking Southeast. 2/27/20

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Figure 72: Exterior, North Lightwell, Looking West. 2/27/20



Figure 73: Exterior, North Lightwell, Looking Northwest. 2/27/20

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Figure 74: Exterior, North lightwell, looking northwest. 2/27/20



Figure 75: Exterior, North lightwell, looking northwest. 2/27/20

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Figure 76: Exterior, North Lightwell, Looking Down. 2/27/20



Figure 77: Exterior, North Lightwell, Looking Down. 2/27/20

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Figure 78: Exterior, North Lightwell, Looking Northeast. 2/27/20



Figure 79: Exterior, North Lightwell, Looking Northeast. 2/27/20

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Figure 80: Exterior, Looking North. 2/27/20



Figure 81: Exterior, Looking North. 2/27/20

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Figure 82: Exterior, Book Tower Windows, Looking Up. 4/11/14



Figure 83: Exterior, Book Tower Windows, Looking Up. 4/11/14

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Figure 84: Exterior, Book Tower Windows, Looking Up. 4/11/14

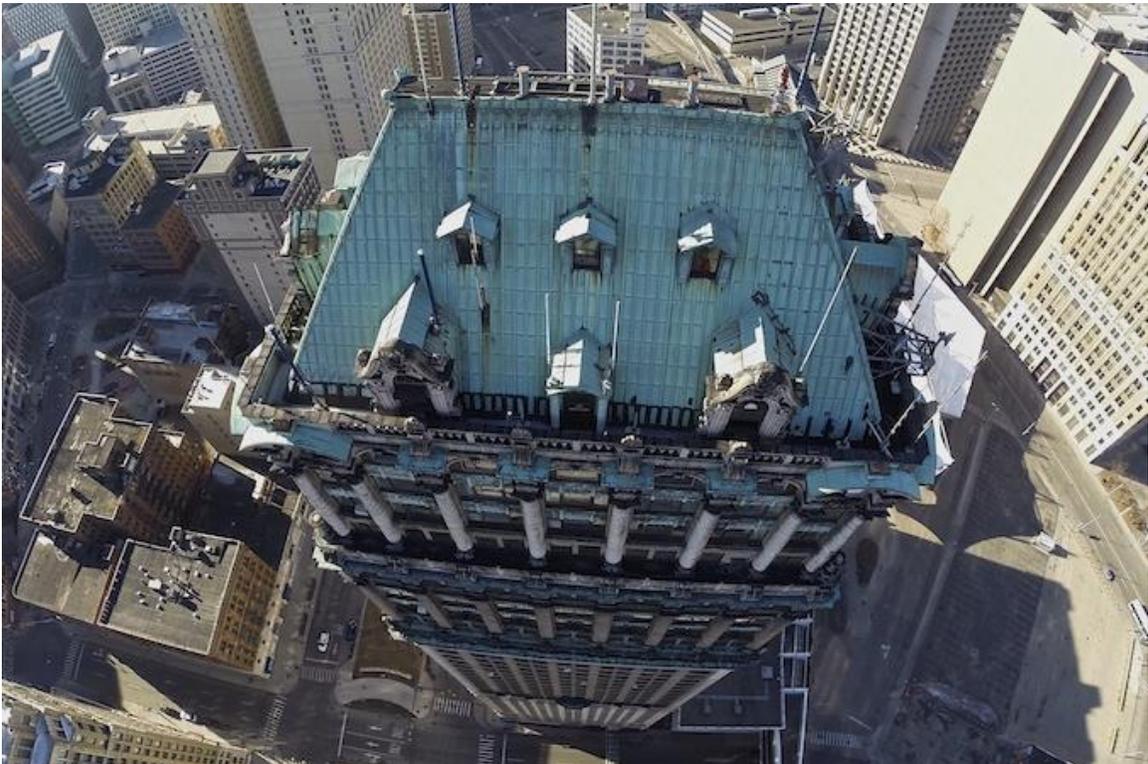


Figure 85: Exterior, Book Tower Windows, Looking Down. 2014

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Figure 86: Exterior, Book Tower Windows, Looking Up. 6/13/2012



Figure 87: Exterior, Book Tower Windows, Looking Up. 6/13/2012

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