

STAFF REPORT: 04-15-2020 MEETING
APPLICATION NUMBER: 20-6678
ADDRESS: 2201-2007 WABASH
HISTORIC DISTRICT: CORKTOWN
APPLICANT: JAMES SILLERY
DATE OF COMPLETE APPLICATION: 03-20-2020

PREPARED BY: J. ROSS

SCOPE: REHABILITATE BUILDING

EXISTING CONDITIONS

Erected ca. 1910, the dwelling at 2201-2207 Wabash is a two-story, single-family home. The wood-frame home features a red brick veneer cladding with limestone at the foundation wall, front porch, front elevation parapet, window sills and lintels, and soffit area. Limestone quoins are found at the northeast, southeast, and southwest corners. The building's roof is flat. A partial-width masonry porch with concrete steps and deck, limestone balustrade and wingwalls, and wood cornice shelters the building's primary entrance. Currently only one historic-age, round wood column remains at the front porch. Window and door opening at the rear elevation are arched while those at the front and side elevations are flat.





PROPOSAL

With the current application, the property owner is seeking the Commission's approval of the following work items:

- As per the attached quote, demolish the existing brick wall at the rear elevation (including the wall framing and brick veneer) while retaining the existing limestone foundation wall and the gutter/cornice. Rebuild the wall and reclad with a new red brick veneer to match the existing (sample not included). The new rear wall will result in the following:
 - Removal of one existing door opening at the first story
 - Addition of three new window openings at the first story. Install new 1/1 wood, aluminum-clad windows
 - Additional of a new door opening and two new window openings at the second story. Install new 1/1 wood, aluminum-clad windows and wood door (type/style of door not specified/material of window not specified)
 - Removal of decorative limestone quoins at southwest corner (as per drawings)
- As per the submitted drawings, erect a new wood balcony at the rear elevation (finish color not specified)
- At the front elevation, rebuild/repair the front porch, to include the installation of new round wood columns, new concrete steps and deck, and the repair of the existing limestone elements where possible. Where limestone elements are missing or deteriorated beyond repair, replace in kind with new to match existing in material, design, dimension, texture, and detailing. The wood cornice/roof will be retained and repaired
- At the front elevation, replace the current paneled metal door with a new, full light wood French door
- At north elevation, first story, remove one window and trim, infill opening with brick to match adjacent existing brick veneer
- At south elevation, first story, west end, remove one window and trim; partially infill opening with brick to match existing/adjacent, install new 1/1 wood, aluminum-clad window
- At the rooftop, install two HVAC condenser units, pushed back to the west of the roof (dimensions not specified)

STAFF OBSERVATIONS AND RESEARCH

- Please note that the applicant submitted a proposal to replace the windows at the front and side elevation with new wood units (while retaining the brickmould) to the Commission in June 2017. The Commission issued a COA for this work item. Although depicted in the current drawing set, this work item has not been included in the current report/is not subject to HDC review because it has been approved
- In re: to the rear/west elevation, staff has noted that the set of submitted set of drawings are inaccurate in plan, elevation, and section as they do not depict the applicant's current intention, i.e., to demolish the rear elevation above the limestone foundation as per the **quote/estimate from Poe**. However, the applicant has noted that the information depicted in the drawings re: the proposed new balcony and the location/type, size of window and door openings at the rear/west elevation is accurate

- The applicant has stated that the building is in poor condition and that he is proposing to demolish the brick portion of the rear wall because the “west elevation wall needs to be demolished and rebuilt. The majority of the water damage occurred in the back (West) of the house and the internal wood framing is gone in some places. The brick façade is bowing in places.”
- It is staff’s opinion that the single remaining column at the front elevation porch does appear to be in deteriorated condition

ISSUES

- It is staff’s opinion that the rusticated stone quoins at the northeast, southeast, and southwest corners of the building are character-defining features. It appears that the rebuilding of the rear wall is likely to result in the removal of these elements from the southwest corner which is not in keeping with Secretary of the Interior Standards.
- The window and door openings at the rear elevation are currently arched and topped with two header courses of brick. It is not clear that the proposed new rear brick wall will replicate this feature, which staff considers to be character defining.

RECOMMENDATION

It is staff’s opinion that the project, in general, will not destroy the historic character of the property. Staff therefore recommends that the Commission issue a Certificate of Appropriateness (COA) for the project because it meets the Secretary of the Interior Standards for Rehabilitation. In particular, standards:

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

However, staff does recommend that the Commission issue the above-referenced COA with the following conditions:

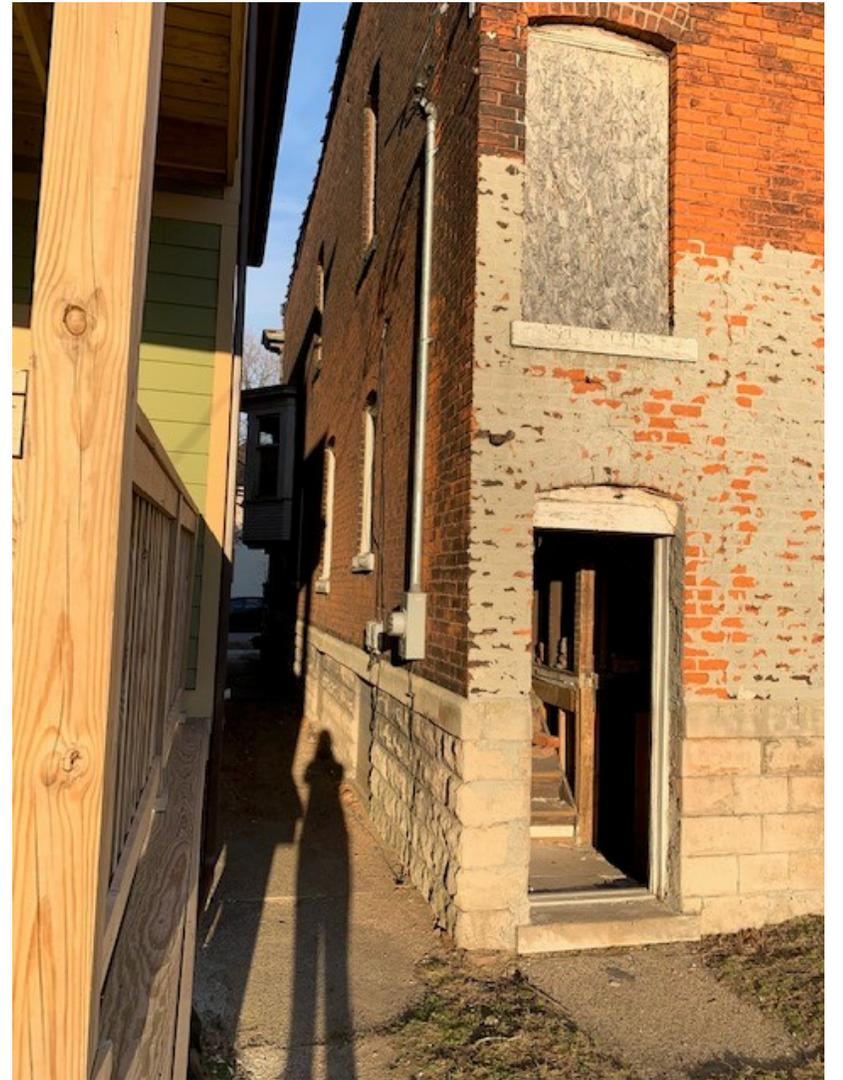
- The applicant shall revise the drawing set/CDs to reflect the proposed rear wall demolition and submit to HDC staff for review and approval prior to pulling the project’s permit. If staff determines that this work item does not meet the Secretary of the Interior Standards for Rehabilitation, the work item shall be forwarded to the Commission for a hearing/review at one of their regular meetings
- The applicant shall retain and repair the existing limestone quoins at the southwest corner, if possible. If these quoins cannot be retained, they must be replicated in dimension, material, texture, and finish. If replicated that applicant shall provide staff with drawings

of the quoins which provide the current dimensions/conditions and the details of the proposed so that staff might determine if the new adequately replicate the existing. If staff feels that the new quoins do not adequately replicate the existing, they shall forward the work to the Commission for a hearing/review at one of their regular meetings

- The window infill proposed at the side elevations shall be inset ½” to 1”
- The applicant shall provide HDC with the final details for the exterior new brick veneer (proposed for the new rear wall) and condenser unit dimensions. Staff shall be afforded the opportunity to review and approve this submission prior to the permit is pulled for the project
- The proposed new porch shall be painted a color that complements the home on or before April 15, 2021. Staff shall be afforded the opportunity to review and approve the final finish color prior to the painting of the balcony
- The applicant shall replicate the window and door arches at the rear rebuilt elevation, above the new first story door opening and the first story northernmost window opening. The revised elevation drawings must reflect this detail.



Drawings indicate that these quoins will be removed. Staff recommends that they remain or be replicated



Photos of South Elevation to be removed, rebuilt:







2201 Wabash St. Detroit, MI 48216

James Sillery and Danielle Manley, homeowners

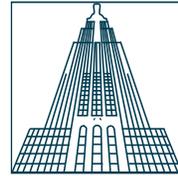
The current condition of this structure as it sits is poor. The structure experienced water damage from a leaking roof over a long period of time. There are no current interior mechanical systems, no "rooms," and no usable space. Extensive demolition of the interior has occurred to remove, where possible, rotted wood. All interior walls are gone, all mechanical systems removed.

The building has a newer (2016) roof to help stabilize the deterioration and some minor masonry repair has been completed.

The scope of work for this project is vast including all new interior framing, mechanicals, and finishes.

Of note from an historical context:

- The West elevation wall needs to be demolished and rebuilt. The majority of the water damage occurred in the back (West) of the house and the internal wood framing is gone in some places. The brick façade is bowing in places. Current brick patterns show that there were once different openings than are there now and rudimentary repair work leaves a lot of the brick covered in masonry cement. Please see drawings for proposed rebuild of wall with more historically accurate window openings.
- Proposed shortening of one window on South elevation to accommodate kitchen counter inside. Original height to be maintained and original stone lintel to be reused, two brick courses higher.
- Removal of window on North elevation to accommodate interior design plans. This window is not visible from front or back of house sitting in a small space less than five feet from neighboring structure.
- New windows to be installed per Historic Commission approval granted June 13, 2017
- Front porch to be rebuilt with like materials, roof over porch to remain.



POE
RESTORATION & WATERPROOFING

REPORT

February 3, 2020

Mr. James Sillery
2201 Wabash St.
Detroit, MI 48216
VIA EMAIL

RE: 2201 Wabash – Rebuild Brick on West Elevation

Poe Restoration & Waterproofing will furnish all labor, material, equipment, supervision, and insurance to complete the following scope of work.

SCOPE OF WORK:

Poe Restoration will rebuild the brick masonry and repair the stone on the west (rear) elevation as described below. This bid is based on our understanding of the site observations and discussion. We assume the work to use high-quality materials and experienced tradespeople and that it will be performed in a workman-like manner using industry standard means and methods with locally available materials. We are happy to provide any clarifications or additional detail that would be helpful.

Specific Inclusions:

- Remove the brick on the west (rear) elevation from the roof down to the stone/block base;
- Build a wood stud wall per the drawing provided;
- Install sheathing and building paper to the new stud wall;
- Lay a new brick wall including all necessary ties, flashings, lintels, and other work incidental to a standard masonry wall;
- Patch any significantly damaged stone on the west elevation;
- Repoint the stone and block base on the west elevation, as necessary; and
- Clean the wall free of mortar smears and construction dust.

Poe Restoration will perform the scope of work described above for \$22,690 (Twenty-two thousand, six hundred ninety).

General Inclusions:

- A safety-conscious crew with extensive masonry experience
- Daily site cleanup and disposal of all of our refuse
- Providing a one-year warranty on our work

General Exclusions:

- Performing, or retaining others to perform, any type of engineering, architectural, inspecting, testing, or other professional work
- Performing, or retaining others to perform, any work required to obtain safe and legal access to our work areas (e.g. covering or de-energizing electric lines, site work, restricting pedestrian or vehicular traffic, etc.)
- Providing or paying for any winter conditions

Sincerely,

Poe Restoration & Waterproofing

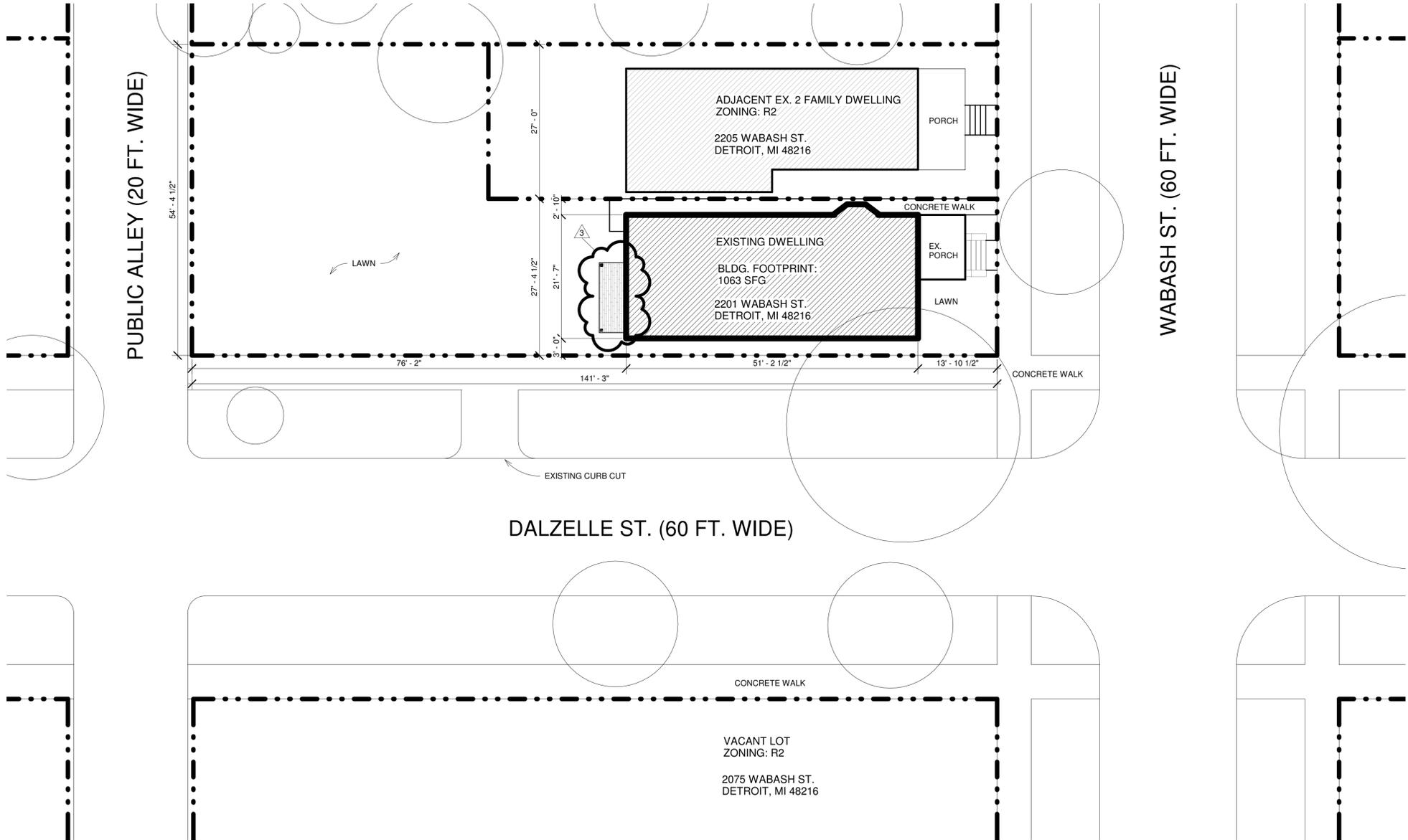
GENERAL SITE NOTES:

THE DRAWINGS HEREIN ARE FOR INFORMATIONAL PURPOSES AND CONVEYANCE OF DESIGN INTENT. INFORMATION DEPICTED IS NOT INTENDED TO BE CONSTRUED AS LEGAL SURVEY OR ENGINEERED CIVIL. REFER TO SUBMITTALS BY PROFESSIONAL CONSULTANTS FOR WORK BEYOND THE SCOPE DEPICTED HEREIN.

- GENERAL CONTRACTOR TO VERIFY ALL EXISTING ELEVATIONS AND BUILDING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL HAVE A REGISTERED LAND SURVEYOR TIE OUT AND RESET ANY PROPERTY CORNERS OR SECTION CORNERS PLANNED TO BE DISTURBED BY CONSTRUCTION OF THIS PROJECT, AND SHALL HAVE A REGISTERED LAND SURVEYOR RE-ESTABLISH ANY PROPERTY CORNERS OR SECTION CORNERS INADVERTENTLY DISTURBED DURING CONSTRUCTION OF THIS PROJECT.
- ALL STREET, SANITARY SEWER, STORM SEWER AND WATERLINE CONSTRUCTION SHALL CONFORM TO THE LOCAL MUNICIPALITY STANDARDS AND SPECIFICATIONS CURRENT AT THE DATE OF EXECUTION OF THE CONSTRUCTION.
- STREET PAVING SHALL NOT BEGIN UNTIL SUBGRADE COMPACTION TESTS ARE TAKEN AND THE CITY ENGINEER APPROVES THE RESULTS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SOILS REPORT PREPARED FOR THIS PROJECT AND APPROVED BY THE MUNICIPALITY'S ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING MISSDIG, CALL TWO BUSINESS DAYS PRIOR (NOT INCLUDING THE DAY OF THE CALL) TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER 24 HOURS ADVANCED NOTICE.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE CONTRACTOR DURING CONSTRUCTION AS IDENTIFIED ON THE EROSION CONTROL PLAN. MAINTENANCE OF ONSITE DRAINAGE AND EROSION CONTROL FACILITIES DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITIES TO COORDINATE SERVICE AND SCHEDULES.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION THAT WILL AFFECT TRAFFIC SIGNALS OF ANY TYPE, THE CONTRACTOR SHALL CONTACT THE MUNICIPALITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION.
 - ALL SIGNS, STRIPING AND TRAFFIC CONTROL DEVICE SHALL CONFORM TO, AND PLACEMENT SHALL BE PERFORMED IN ACCORDANCE WITH, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION AND MDOT OR COUNTY STANDARDS, LATEST EDITION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND CLEANING OF TRAFFIC CONTROL DEVICES.
 - THE CONTRACTOR SHALL MAINTAIN EXISTING PAVEMENT MARKINGS DURING CONSTRUCTION OPERATIONS, IN CONFORMANCE WITH CONSTRUCTION DOCUMENTS.
 - REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE SURFACE OR TEXTURE OF THE PAVEMENT OR EXISTING SURFACING. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY ARE NOT VISIBLE UNDER DAY OR NIGHT CONDITIONS.
 - SCRAPE AND REPAINT ALL EXISTING PAINTED SITE FEATURES, INCLUDING, BUT NOT LIMITED TO CURBS, BOLLARDS, RAILINGS, & SITE LIGHTING BASES.
- THE CONTRACTOR SHALL CONTACT THE LOCAL CONSTRUCTION INSPECTOR PRIOR TO ANY STREET CUT. THE EXISTING STREET CONDITION SHALL BE DOCUMENTED BY THE CONSTRUCTION INSPECTOR BEFORE ANY CUTS ARE MADE. ANY STREET PATCHING SHOWN ON THE DRAWINGS IS APPROXIMATE. ACTUAL LIMITS OF STREET PATCH SHALL BE DETERMINED BY THE CONSTRUCTION INSPECTOR. PATCHING SHALL BE DONE IN CONFORMANCE WITH MUNICIPAL DESIGN CRITERIA AND CONSTRUCTION SPECIFICATIONS. ALL LARGE PATCHES SHALL BE PAVED WITH AN ASPHALT LAY-DOWN MACHINE. IN STREETS WHERE MORE THAN ONE CUT IS MADE, AN OVERLAY OF THE ENTIRE STREET WIDTH, INCLUDING THE PATCHED AREA, MAY BE REQUIRED. IN ACCORDANCE WITH THE REFERENCED SPECIFICATIONS, THE ENGINEER SHALL MAKE THE DETERMINATION OF THE NEED FOR A COMPLETE OVERLAY.
- THE CONTRACTOR SHALL RESTORE ANY DISTURBED AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED BEFORE CONSTRUCTION. DRAINAGE DITCHES OR WATERCOURSES THAT ARE DISTURBED BY CONSTRUCTION SHALL BE RESTORED TO THE GRADES AND CROSS-SECTIONS THAT EXISTED BEFORE CONSTRUCTION, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, PROPERTY CORNERS, REFERENCE POINTS, STAKES AND OTHER SURVEY REFERENCE MONUMENTS OR MARKERS. IN CASE OF WILLFUL OR CARELESS DESTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATIONS. RESETTling OF MARKERS SHALL BE PERFORMED UNDER THE DIRECTION OF A LICENSED PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS AND MUD TRACKED ONTO EXISTING ROADWAYS. THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY THE CONSTRUCTION.
- ALL DAMAGED EXISTING CURB, GUTTER, AND SIDEWALK SHALL BE REPAIRED PRIOR TO ACCEPTANCE OF COMPLETED IMPROVEMENTS.
- THE TYPE, SIZE, LOCATION AND NUMBER OF ALL KNOWN UNDERGROUND UTILITIES ARE APPROXIMATE WHEN SHOWN ON THESE CONSTRUCTION DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK PRIOR TO COMMENCING ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE OF ANY UNKNOWN UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS DEPARTMENT AT LEAST 48 HOURS PRIOR TO INSTALLING A NEW SEWER, WATER SERVICE OR ABANDONING AN EXISTING WATER SERVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE SERVICES OF A QUALIFIED TESTING LABORATORY TO PERFORM ALL COMPACTION TESTING, ASPHALT TESTING, CONCRETE TESTING AND ANY OTHER TESTING AS MAY BE REQUIRED TO COMPLETE THE WORK. QUALITY CONTROL TEST RESULTS MUST BE SUBMITTED FOR ALL PHASES OF THIS PROJECT PER THE MUNICIPALITY'S REQUIREMENTS.
- THE CONTRACTOR SHALL MAINTAIN ONE (1) SET OF "REDLINED" PRINTS OF THE CONSTRUCTION PLANS. THE "REDLINED" PRINTS SHALL BE KEPT CURRENT TO ACCURATELY REPRESENT THE DIMENSIONS AND LOCATIONS OF ALL WORK PERFORMED BY THE CONTRACTOR. PRIOR TO FINAL PAYMENT, THE CONTRACTOR MUST PRESENT THE "REDLINED" PRINTS TO THE OWNER'S ENGINEER FOR PREPARATION OF A SET OF REPRODUCIBLE "RECORD DRAWINGS" WHICH SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER WITHIN 30 DAYS OF CONSTRUCTION ACCEPTANCE.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED LOT STAKING AND CONSTRUCTION STAKING. THE CONTRACTOR SHALL COORDINATE THROUGH THE OWNER'S DESIGNATED REPRESENTATIVE TO ASSURE THAT THE SURVEYOR IS GIVEN ADEQUATE NOTICE AND INSTRUCTION IN ORDER TO COMPLETE THE SURVEY REQUIREMENTS FOR THE VARIOUS PHASES OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF RE-SURVEYING REQUIRED DUE TO THE CONTRACTOR'S, OR SUBCONTRACTOR'S, ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH RESCHEDULING THE SURVEYOR TO ACCOMMODATE THE CONTRACTOR'S REQUESTS FOR UNSCHEDULED STAKING.
- THE CONTRACTOR SHALL PROVIDE AND IMPLEMENT A "TRAFFIC CONTROL PLAN" RELATED TO ALL CONSTRUCTION ACTIVITIES FOR THIS PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL WORK ACCORDING TO ALL LOCAL, COUNTY, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS. IN PARTICULAR, THE TRENCHING AND OPEN EXCAVATION OPERATIONS SHALL COMPLY WITH ALL CURRENT O.S.H.A. REGULATORY REQUIREMENTS.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH LOCAL AND STATE PERMITTING PROCESSES FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY".
- WHEN DISCHARGING GROUNDWATER, ALL DEWATERING METHODS SHALL BE IN CONFORMANCE WITH ALL LAWS AND REGULATIONS OF THE STATE. THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORMWATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK.
- THE ENGINEER WHO HAS PREPARED CIVIL PLANS, BY EXECUTION AND/OR SEAL HEREON, DOES HEREBY AFFIRM RESPONSIBILITY FOR ANY ERRORS AND OMISSIONS CONTAINED IN THESE PLANS, AND APPROVAL OF THESE PLANS SHALL NOT RELIEVE THE ENGINEER WHO HAS PREPARED THESE PLANS OF ANY SUCH RESPONSIBILITY.
- ALL PARKING LOT IMPROVEMENTS SHALL MEET THE REQUIREMENTS OF THE ADA ACT AND PROVIDE FOR PARKING, SIGNAGE AND ACCESS. IT IS THE CONTRACTOR AND OWNER'S RESPONSIBILITY TO PROVIDE, PROVIDE DETECTABLE WARNING AT TRANSITION FROM SIDEWALK TO DRIVE AISLE. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL HAVE A SURFACE SLOPE NOT TO EXCEED 2% IN ALL DIRECTIONS. CROSS SLOPE ALONG ENTIRE LENGTH OF ACCESSIBLE ROUTE NOT TO EXCEED 2%.
- REFER TO ELECTRICAL DRAWINGS FOR SITE RELATED ELECTRICAL SCOPE.

NOTE:

- ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
- REFER TO SITE PLAN BY CIVIL ENGINEER FOR ALL CIVIL ENGINEERING INFORMATION.
- ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.
- ALL LANDSCAPE SELECTIONS BY CONTRACTOR



1 EXISTING SITE PLAN
A-11 3/32" = 1'-0"

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Revision Schedule

#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20
3	ADDENDUM 1	03/17/20



2201 WABASH
2201 Wabash Street, Detroit, MI 48216

MANLEY AND SILLERY
ARCHITECTURAL SITE PLAN

SHEET NUMBER
4CSP

3/17/2020 3:48:06 PM

DEMOLITION NOTES:

REGULATORY REQUIREMENTS:

- A. COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE STARTING DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION. OBTAIN AND PAY FOR ALL PERMITS REQUIRED. WHERE TOXIC SUBSTANCES ARE SUSPECTED TO BE PRESENT, PARTICULARLY LEAD PAINT AND ASBESTOS, A CERTIFIED REMOVAL ENTITY SHALL BE RETAINED AND FOLLOW GOVERNING AGENCY GUIDELINES FOR REMOVAL AND DISPOSAL.
- B. CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY PROTECTION REQUIRED BY FEDERAL, STATE, AND LOCAL LAW TO INSURE PUBLIC AND WORKER SAFETY. COMPLY WITH OSHA AND EPA REQUIREMENTS.

PREPARATION:

- A. AS PART OF THE PROJECT SCOPE, THE CONTRACTOR SHALL PREPARE ALL DRAWINGS, DOCUMENTS, AND APPLICATIONS AND SHALL OBTAIN ALL GOVERNMENT AGENCY APPROVALS AND PERMITS REQUIRED FOR DEMOLITION ACTIVITIES.
- B. CONDUCT DEMOLITION OPERATIONS AND REMOVE MATERIALS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED AND UTILIZED FACILITIES.
- C. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR UTILIZED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING REGULATIONS.
- D. CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. ENSURE SAFE PASSAGE OF PEOPLE AROUND DEMOLITION AREA.
- E. ERECT TEMPORARY PROTECTION, SUCH AS WALKS, FENCES, RAILINGS, CANOPIES, AND COVERED PASSAGeways, WHERE REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- F. MAINTAIN TEMPORARY PROTECTION TO PEOPLE AT EXTERIOR AREAS OF THE EXISTING BUILDING WHERE DECORATIVE MEDALLION REMOVAL WORK IS BEING DONE.
- G. PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES, AND LANDSCAPING THAT ARE DESIGNATED TO REMAIN IN PLACE.
- H. PROVIDE AND MAINTAIN INTERIOR AND EXTERIOR SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF BUILDINGS TO BE DEMOLISHED AND ADJACENT BUILDINGS TO REMAIN.
- I. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- J. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED.
- K. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF DEMOLITION AND RECYCLING REQUIRED.
- L. SURVEY CONDITION OF THE BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN A STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF THE STRUCTURE OR ADJACENT STRUCTURES DURING DEMOLITION.
- M. RETAIN A LICENSED AND QUALIFIED STRUCTURAL ENGINEER TO PROVIDE ANALYSIS, INCLUDING CALCULATIONS, NECESSARY TO ENSURE THE SAFE EXECUTION OF THE DEMOLITION WORK. BEARING WALLS, STRUCTURAL STEEL, CONCRETE FOUNDATIONS AND SUPPORTED SLABS WITH STRUCTURAL FRAMING SHALL NOT BE ALTERED WITHOUT A FIELD INVESTIGATION BY THE ARCHITECT OR A STRUCTURAL ENGINEER.

GENERAL:

- A. DEMOLITION DRAWINGS INDICATE GENERAL AREAS OF DEMOLITION ONLY. EXTENT OF REMOVAL OF EXISTING CONSTRUCTION MATERIALS TO BE DETERMINED BY FIELD INVESTIGATION AND COORDINATION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS AS REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL TO BE RELOCATED PER DRAWINGS, COORDINATE WITH CONTRACTORS AS REQUIRED.
- B. COORDINATE REMOVAL OF EXISTING ITEMS WITH PROPOSED FRAMING DETAILS, INTERIOR ELEVATIONS, AND DETAILS. PROVIDE TEMPORARY STRUCTURAL SUPPORT AS REQUIRED PRIOR TO STRUCTURAL DEMOLITION.
- C. PATCH AND REPAIR EXISTING MATERIALS TO REMAIN AS REQUIRED WHERE REMOVAL OF EXISTING CONSTRUCTION OR WHERE REQUIREMENTS OF NEW CONSTRUCTION NECESSITATES CUTTING OR ALTERING EXISTING MATERIALS. EXISTING WALLS, FLOORS, AND CEILING TO REMAIN INTACT AS IS INDICATED ON DRAWINGS. COORDINATE WITH ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR THE PATCH AND REPAIR OF ALL DAMAGE ARISING FROM DEMOLITION OPERATIONS AS REQUIRED TO MATCH EXISTING.
- D. ALL DEMOLITION WORK SHALL ATTEMPT TO SALVAGE ADJACENT AREAS AND RE-USABLE MATERIALS TO THE EXTENTS POSSIBLE. VERIFY OWNER'S INTENT TO REUSE OR STORE ANY BUILDING COMPONENTS PRIOR TO DISPOSAL. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN PROPERTY OF OWNER, DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED, RECYCLED, OR DISPOSED FROM PROJECT SITE IN AN APPROPRIATE AND LEGAL MANNER.
- E. EVERY ATTEMPT SHALL BE MADE BY THE DEMOLITION CONTRACTOR TO SEPARATE BUILDING MATERIALS INTO RECYCLABLE CONTENT.
- F. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE BUILDING AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
- G. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER TO GROUND BY METHOD SUITABLE TO AVOID FREE FALL AND TO PREVENT GROUND IMPACT OR DUST GENERATION.
- H. PROVIDE TEMPORARY AND SECURE WATERPROOF ENCLOSURE DURING CONSTRUCTION.
- I. PREPARE ALL SURFACES AS REQUIRED TO RECEIVE NEW WORK AND NEW FINISHES AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- J. ALL SALVAGED ITEMS TO BE CLEANED, REPAIRS, OR PATCHED AS NECESSARY PRIOR TO NEW INSTALLATION.
- K. REMOVE ANY DAMAGED MASONRY AT REMAINING WALLS. PROVIDE NEW INFILL TO MATCH EXISTING.
- L. REMOVE EXISTING MECHANICAL AND PLUMBING SYSTEMS, VENTS, FIXTURES, DRAINS, AND DUCTWORK NOT INDICATED FOR REUSE. DO NOT ABANDON ITEMS IN PLACE UNLESS NOTED OTHERWISE. REFER TO MECHANICAL AND PLUMBING FOR ADDITIONAL INFORMATION.

DISPOSAL PRACTICES AND HAULING:

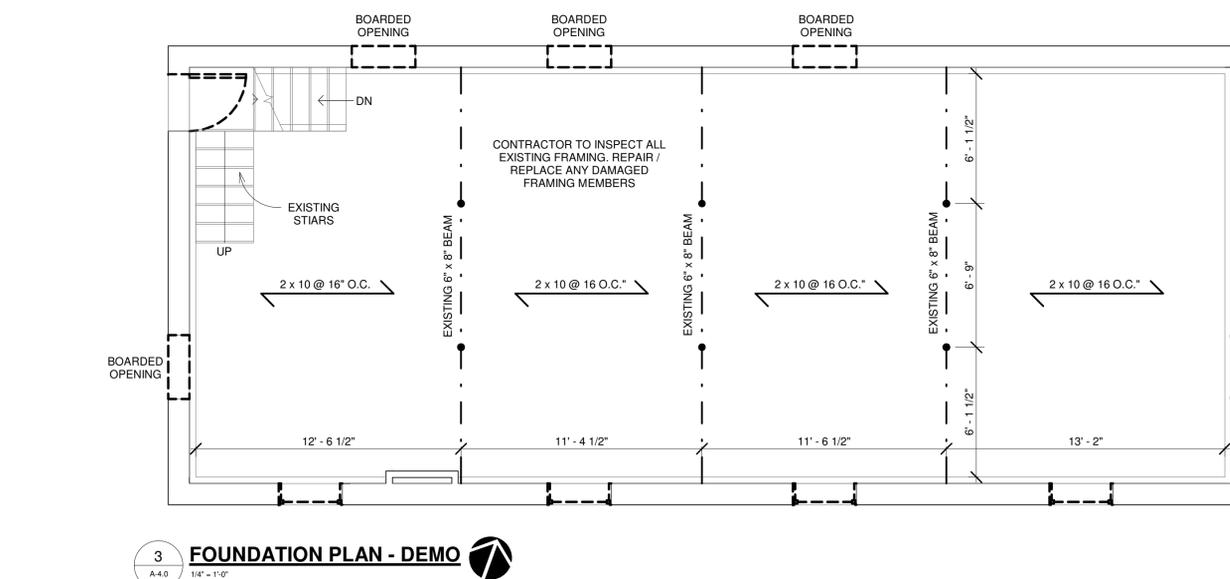
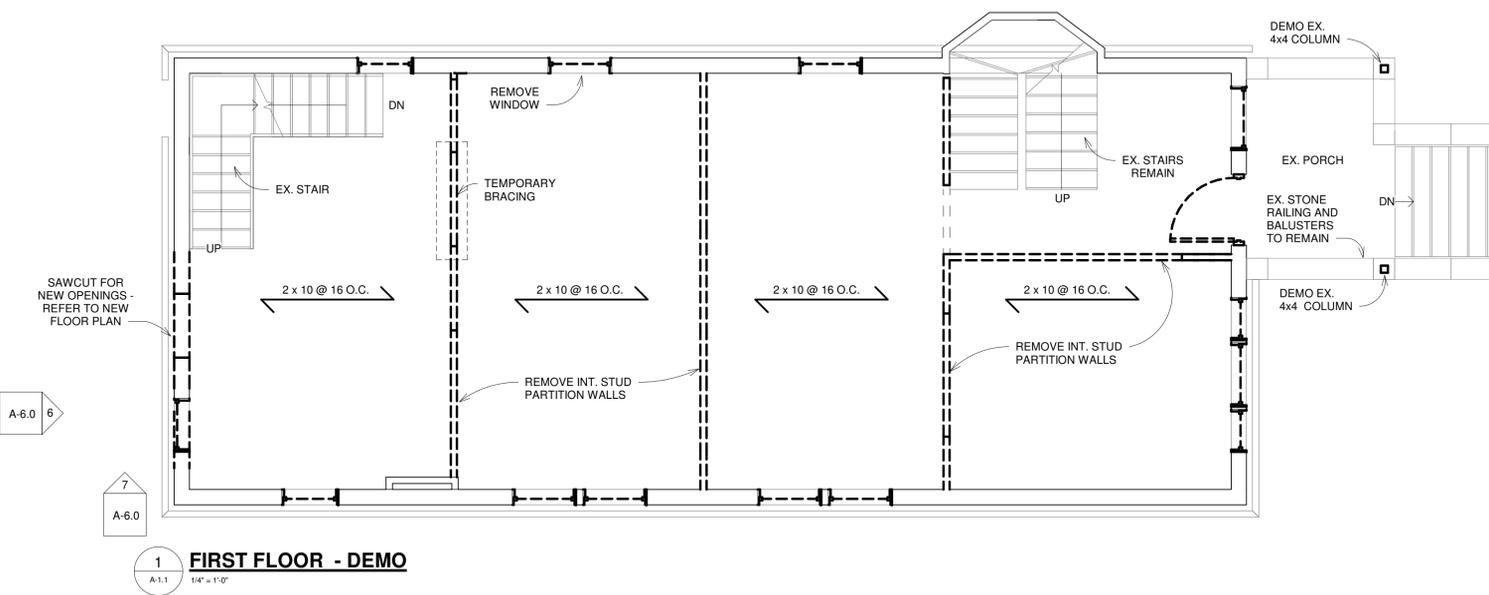
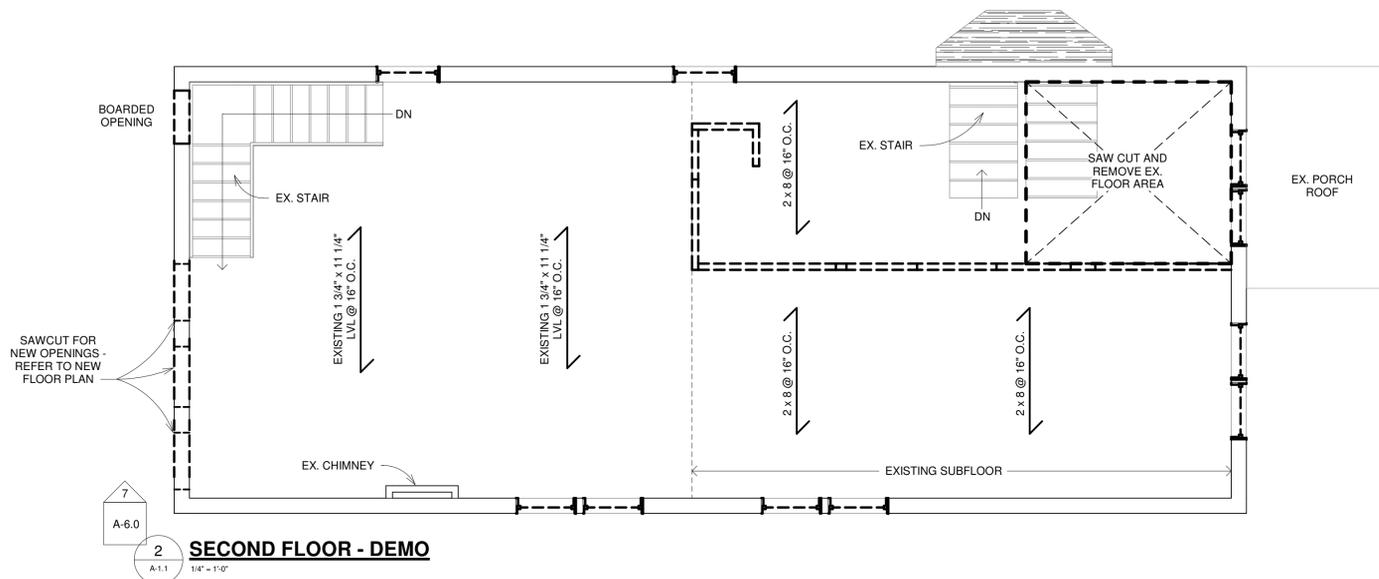
- A. LEGALLY TRANSPORT AND DISPOSE OF MATERIALS THAT CANNOT BE DELIVERED TO A SOURCE-SEPARATED OR MIXED RECYCLING FACILITY TO A TRANSFER STATION OR DISPOSAL FACILITY THAT CAN LEGALLY ACCEPT THE MATERIALS FOR THE PURPOSE OF DISPOSAL.
- B. USE A PERMITTED WASTE HAULER OR CONTRACTOR'S TRUCKING SERVICES AND PERSONNEL. TO CONFIRM VALID PERMITTED STATUS OF WASTE HAULERS, CONTACT THE APPROPRIATE WASTE MANAGEMENT AGENCY.
- C. BECOME FAMILIAR WITH THE CONDITIONS FOR ACCEPTANCE OF NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS AT RECYCLING FACILITIES, PRIOR TO DELIVERING MATERIALS.
- D. DELIVER TO FACILITIES THAT CAN LEGALLY ACCEPT NEW CONSTRUCTION, EXCAVATION AND DEMOLITION MATERIALS FOR PURPOSE OF RE-USE, RECYCLING, COMPOSTING, OR DISPOSAL.
- E. DO NOT BURN, BURY OR OTHERWISE DISPOSE OF RUBBISH AND WASTE MATERIALS ON PROJECT SITE.
- F. DEMOLISH CONCRETE AND MASONRY IN SIZES THAT WILL BE SUITABLE FOR ACCEPTANCE AT RECYCLING OR DISPOSAL FACILITIES.

ELECTRICAL DEMOLITION:

- A. SAFETY-RELATED WORK PRACTICES SHALL BE EMPLOYED TO PREVENT ELECTRIC SHOCK OR ELECTRICAL CONTACTS, WHEN WORK IS PERFORMED NEAR OR ON EQUIPMENT OR CIRCUITS WHICH ARE OR MAY BE ENERGIZED. LIVE PARTS SHALL BE DE-ENERGIZED BEFORE WORK COMMENCES ON THEM. ONLY QUALIFIED ELECTRICIAN MAY WORK ON ENERGIZED CIRCUITS OR EQUIPMENT.
- B. THE CIRCUITS AND EQUIPMENT TO BE WORKED ON SHALL BE DISCONNECTED FROM ALL ELECTRIC ENERGY SOURCES. ELECTRIC EQUIPMENT OR CIRCUITS WHICH HAVE BEEN DE-ENERGIZED SHALL BE LOCKED OUT OR TAGGED OR BOTH.
- C. A QUALIFIED ELECTRICIAN SHALL USE TEST EQUIPMENT (VOLT-OHM METER, ETC.) AND SHALL VERIFY THAT THE CIRCUIT AND EQUIPMENT ARE DE-ENERGIZED. IF THE CIRCUIT IS OVER 600 VOLTS, THE TEST EQUIPMENT SHALL BE CHECKED FOR PROPER OPERATION IMMEDIATELY BEFORE AND IMMEDIATELY AFTER THIS TEST.
- D. STORED ELECTRIC ENERGY WHICH MIGHT ENDANGER PERSONNEL SHALL BE RELEASED. CAPACITORS SHALL BE DISCHARGED AND HIGH CAPACITANCE ELEMENTS SHALL BE SHORT-CIRCUITED AND GROUNDED, IF THE STORED ELECTRIC ENERGY MIGHT ENDANGER PERSONNEL.
- E. A QUALIFIED ELECTRICIAN SHALL CONDUCT TESTS AND VISUAL INSPECTIONS TO VERIFY THAT ALL TOOLS, ELECTRICAL JUMPERS, SHORTS, GROUNDS, AND OTHER SUCH DEVICES HAVE BEEN REMOVED, SO THAT THE CIRCUITS AND EQUIPMENT CAN BE SAFELY ENERGIZED.
- F. CAP, TERMINATE, OR REMOVE ALL MISCELLANEOUS POWER WIRES, OUTLETS, AND SWITCHES AS REQUIRED DURING CONSTRUCTION AND DEMOLITION.
- G. DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL LIGHTING FIXTURES, LOW VOLTAGES TRANSFORMERS, WIRING DEVICES IN ENTIRETY. ALL CONDUIT, WIRING, CABLING, ETC. SHALL BE REMOVED BACK TO THE SOURCE.

GAS PIPING:

- A. ALL GAS TO BE SHUT OFF TO AREAS OF DEMOLITION BY A QUALIFIED CONTRACTOR. TEST FOR LEAKS PRIOR TO COMMENCING WORK.
- B. WHERE APPLICABLE, PROVIDE NEW SHUT OFF VALVES WHERE PIPING REACHES AREA OF DEMOLITION.



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Revision Schedule

#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20



2201 WABASH
2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
SHEET TITLE
DEMOLITION PLANS

SHEET NUMBER
A-1.0



BASEMENT - BEAM - WATER DAMAGE



CURRENT CONDITION - 1ST FLOOR



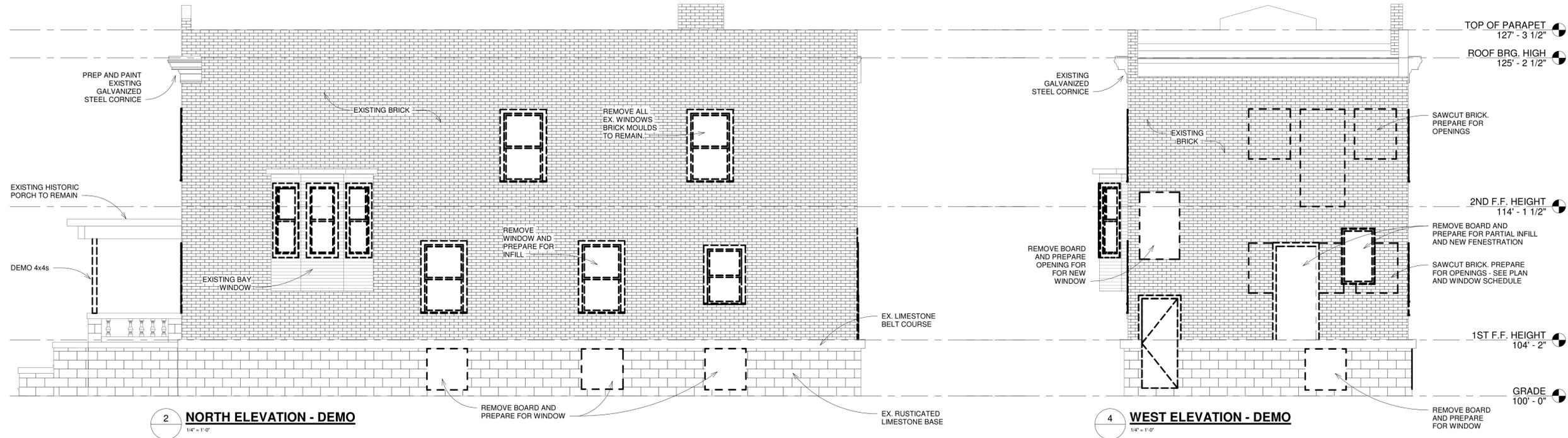
EAST ELEVATION - PORCH



SOUTHEAST PERSPECTIVE FROM STREET

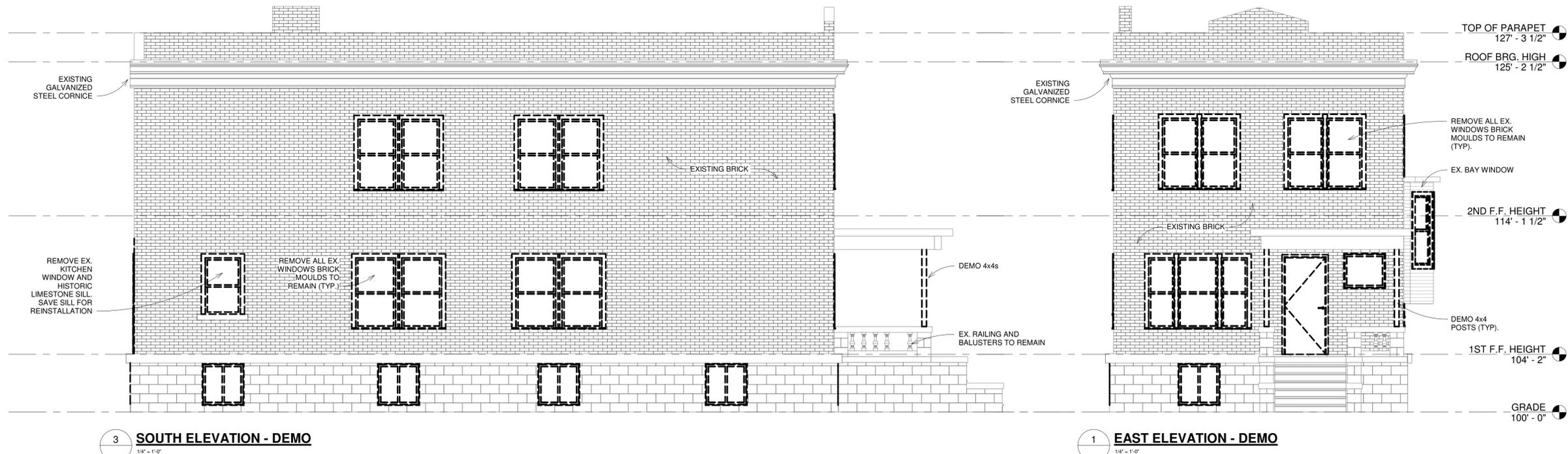


SOUTHWEST PERSPECTIVE FROM STREET



2 NORTH ELEVATION - DEMO
1/4" = 1'-0"

4 WEST ELEVATION - DEMO
1/4" = 1'-0"



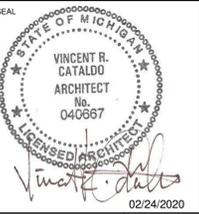
3 SOUTH ELEVATION - DEMO
1/4" = 1'-0"

1 EAST ELEVATION - DEMO
1/4" = 1'-0"

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#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20



2201 WABASH
 2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
 SHEET TITLE
DEMOLITION ELEVATIONS

SHEET NUMBER
A-1.1

GENERAL CONDITION NOTES:

- ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS REVIEW AND COORDINATE PLANS WITH EXTERIOR BUILDING ELEVATIONS, SECTIONS, AND DETAILS BEFORE COMMENCING WITH THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, BUILDING ELEVATIONS, SECTIONS, AND DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW, AND COORDINATE THE WORK AND CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE PLACEMENT OR PART(S) OF THE WORK, SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY CONSTRUCTED.
- CONTRACTOR TO PROVIDE PROTECTIVE MEASURES DURING CONSTRUCTION TO ENSURE THAT FROST DOES NOT PENETRATE BELOW FOOTINGS. MEASURES INCLUDE THICK STRAW BEDS, TARPING AND TEMPORARY HEAT AT ANY AREAS OF EXCAVATION BELOW GRADE.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, RULES AND REGULATIONS.
- ASSUMED SOIL PRESSURE IS 3,000 PSF - VERIFY CAPACITY BEFORE COMMENCING CONSTRUCTION AND NOTIFY ARCHITECT IF LESS THAN THIS VALUE IS FOUND. OWNER SHALL BE RESPONSIBLE TO RETAIN A LICENSED SOIL ENGINEER FOR BORING AND RECOMMENDED DESIGN DATA.

DRAWING INFORMATION:

- ARCHITECTURAL DOCUMENTS ESTABLISH THAT FIRST (MAIN) FLOOR LEVEL = ACTUAL ELEVATION (ASL) FOR COORDINATION OF CIVIL DOCUMENTS: ARCHITECTURAL VALUE = CIVIL ENGINEERS VALUE AND INTERPOLATION SHALL BE REQUIRED BY CONTRACTORS FOR VALUE RELEVANT TO THE SITE.
- EXTERIOR DIMENSIONS ARE MEASURED FROM FACE OF STUD WALL TO FACE OF STUD WALL. WINDOWS AND DOORS ARE DIMENSIONED TO CENTERS. U.N.O. OR WHERE C.M.U. DIMENSIONS ARE USED.
- INTERIOR DIMENSIONS ARE MEASURED FACE OF STUD WALL TO FACE OF STUD WALLS. INTERIOR DOORS AND CASED OPENINGS ARE TO BE MIN. 6" OFF WALLS FOR TRIM ALLOWANCE U.N.O.

GENERAL FRAMING NOTES:

- EXTEND ALL INTERIOR PARTITIONS UP TO CEILING STRUCTURE @ MIN. 8" O.C. U.N.O.
- COORDINATE OPENINGS AND VERTICAL SHAFTS WITH M/E/P AND FIRE TRADES
- ALL GYP. BD. TO BE 5/8" AT CEILINGS AND MIN. 1/2" AT WALLS U.N.O.
- ALL DEMISING WALLS TO BE SECURED TO STRUCTURE ABOVE, SEALING ALL PENETRATIONS PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG DEMISING PARTITION.

WALL CONSTRUCTION NOTES:

- PROVIDE DENSE OR FIBER REINFORCED GYPSUM INTERIOR PANELS TO BE USED AT ALL CORRIDOR AND HIGH IMPACT AREAS
- WHERE EXISTING C.M.U. WALLS ARE TO BE FURRED FOR GYP. BD. FINISH, PROVIDE PROPER FURRING DEPTH FOR FLUSH TRANSITIONS TO ADJACENT WALLS.
- WHERE EXISTING C.M.U. WALLS ARE TO BE RENOVATED, TOOTH IN NEW AREAS AND PROVIDE CONSISTENT FINISH

FIRE STOPPING:

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENING (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE STOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS.

- CONCEALED WALL SPACES - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- CONNECTIONS BETWEEN HORIZONTAL AND VERTICAL SPACES - FIRE BLOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS.
- STAIRWAYS - FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES BETWEEN STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED.
- ARCHITECTURAL TRIM - FIRE BLOCKING SHALL BE INSTALLED WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER ARCHITECTURAL ELEMENTS AT MAXIMUM INTERVALS OF 20 FEET. IF NON-CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH AT LEAST 4 INCHES OF SEPARATION BETWEEN SECTIONS.

FIRE BLOCKING MATERIALS - FIRE BLOCKING SHALL CONSIST OF 2-INCH NOMINAL LUMBER OR TWO THICKNESSES OF 1-INCH NOMINAL LUMBER WITH BROKEN JOINTS OR ONE THICKNESS OF 0.719-INCH WOOD STRUCTURAL PANEL WITH JOINTS BACKED BY 0.719-INCH WOOD STRUCTURAL PANEL OR ONE THICKNESS OF 0.75-INCH PARTICLEBOARD WITH JOINTS BACKED BY 0.75-INCH PARTICLEBOARD. GYPSUM BOARD, CEMENT FIBERBOARD, BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE SHALL BE PERMITTED AS AN ACCEPTABLE FIRE BLOCK.

DRAFTSTOPPING (REQUIRED IN ENCLOSED AREAS AND ATTICS WHEN BUILDING IS NOT EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM) SHALL BE PROVIDED IN DIRECTION OF FRAMING, MAX. 3,000 SQ.FT. COMPARTMENT AREA U.N.O.

NEW WALL SCHEDULE

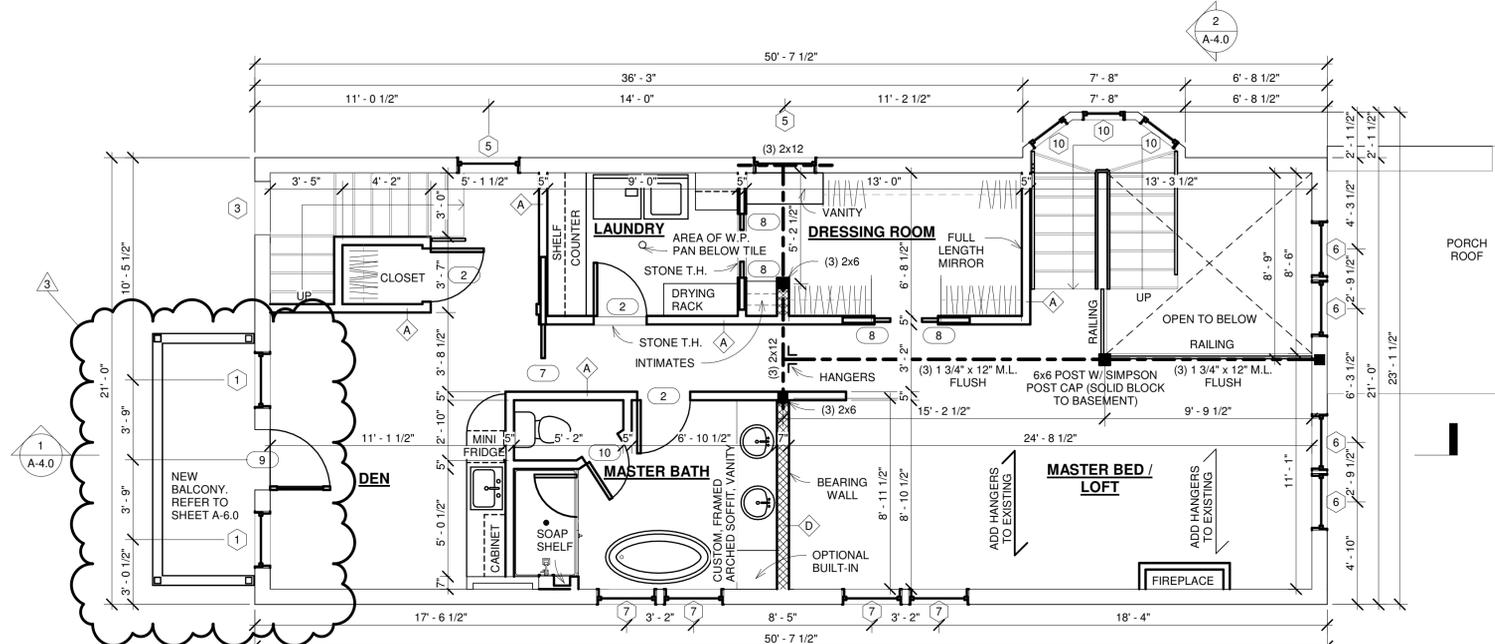
A	5/8" GYP. ON 2x4 WOOD STUDS @ 16" O.C. ON 5/8" GYP.
B	3 5/8" BRICK w/ 1" MIN. AIRSPACE ON 1" RIGID INSULATION ON VAPOR BARRIER ON 3/4" OSB EXTERIOR SHEATHING ON 2x4 WOOD STUDS @ 16" O.C. w/ BATT INSULATION w/ GYP. INT.
D	5/8" GYP. ON 2x6 WOOD STUDS @ 16" O.C. ON 5/8" GYP.

NEW DOOR SCHEDULE

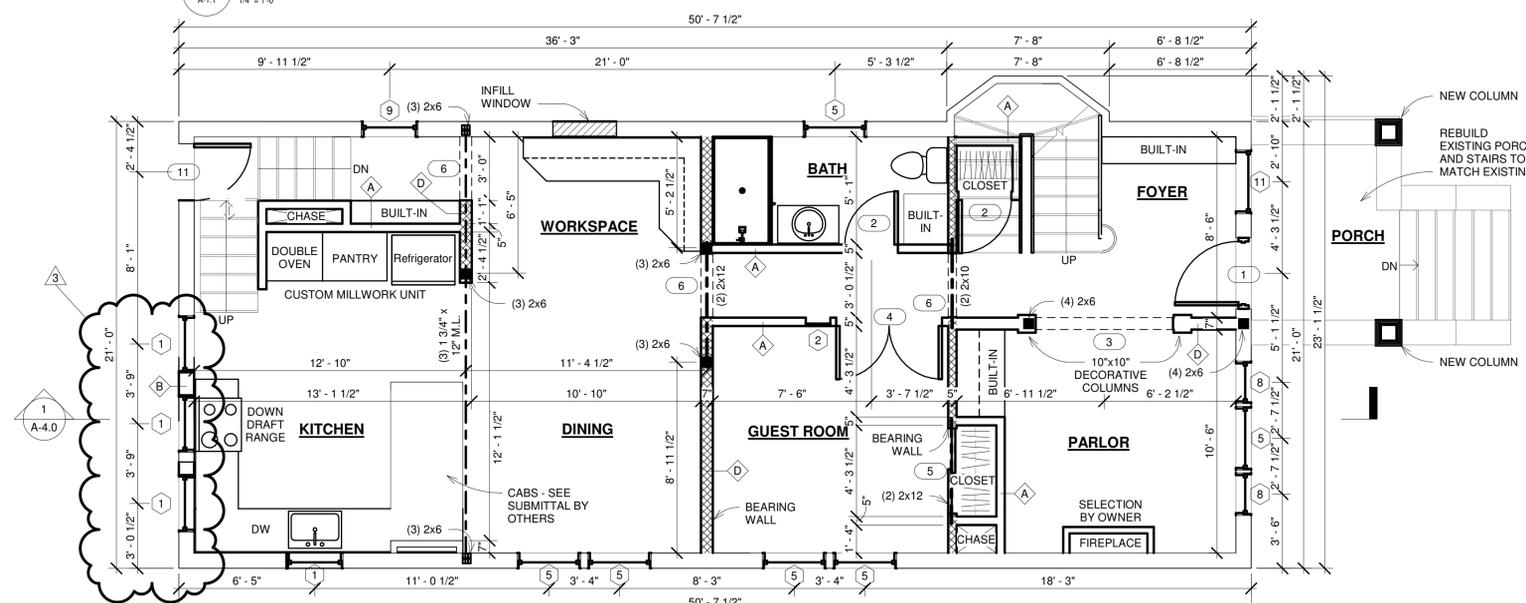
Type Mark	Count	Width	Height	Description	Comments
1	1	3'-0"	7'-0"		
2	5	2'-6"	7'-0"		
3	1	6'-6"	7'-0"	CASED OPENING	
4	1	5'-0"	7'-0"		
5	1	4'-0"	7'-0"		
6	3	3'-0"	7'-0"	CASED OPENING	
7	1	3'-2"	7'-0"		CUSTOM SLIDING DOOR. - V.I.F.
8	4	1'-6"	7'-0"		
9	1	2'-10"	7'-0"		
10	1	2'-0"	7'-0"		PROVIDE LOUVER
11	1	2'-8"	7'-0"		

NEW WINDOW SCHEDULE

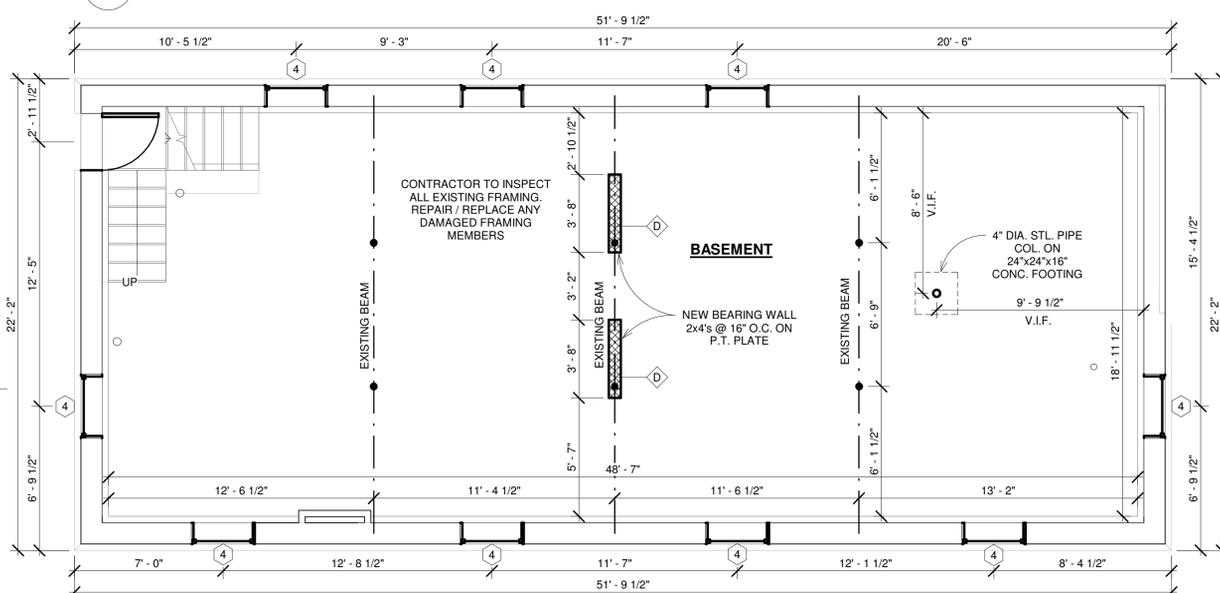
Type Mark	Count	Height	Width	Description	Comments
1	6	3'-4"	2'-8"	DOUBLE HUNG	
2	1	7'-0"	1'-2"	DOUBLE HUNG	
3	1	4'-8"	2'-6"	DOUBLE HUNG	
4	9	3'-0"	3'-0"	FIXED	
5	8	5'-2"	3'-0"	DOUBLE HUNG	
6	4	5'-2"	2'-8"	DOUBLE HUNG	
7	4	5'-2"	2'-10"	DOUBLE HUNG	
8	2	5'-2"	2'-0"	DOUBLE HUNG	
9	1	4'-2"	2'-8"	DOUBLE HUNG	
10	3	5'-2"	2'-0"	DOUBLE HUNG	
11	1	2'-6"	3'-0"	FIXED	



2 SECOND FLOOR - PROPOSED



1 FIRST FLOOR - PROPOSED



3 FOUNDATION PLAN - PROPOSED



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Revision Schedule

#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20
3	ADDENDUM 1	03/17/20



2201 WABASH
2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
SHEET TITLE
PROPOSED FLOOR PLANS

SHEET NUMBER
A-2.0

MASONRY REPAIR NOTES

ALL MASONRY OPENINGS TO BE INFILLED SHALL HAVE A 1" REVEAL TO INDICATE THAT A HISTORIC OPENING HAS BEEN INFILLED.

ALL EXTERIOR ELEVATIONS SHALL UNDERGO COMPLETE BRICK AND STONE CLEANING USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESS SOILING. ALL MASONRY CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION, AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS. DO NOT USE ABRASIVE CLEANING METHODS WITHOUT DIRECTION FROM THE ARCHITECT.

REMOVE ALL LOOSE BRICK, STONE, MORTAR, AND OTHER DELETERIOUS MATERIALS. LOOSE MATERIALS ARE ITEMS WHICH CAN BE REMOVED BY HAND OR BY A LIGHT SWING WITH A BRICK HAMMER.

RECONSTRUCT OR REMOVE BRICK AND STONE WALL AREAS NOTED ON THE DRAWINGS. RECONSTRUCT BRICK WALLS AND STONE WHERE THE EXISTING MASONRY CANNOT BE REPAIRED AS DIRECTED BY THE ARCHITECT.

MORTAR USED FOR ALL REPAIR AND RECONSTRUCTION WORK SHALL BE COMPATIBLE WITH THE EXISTING HISTORIC BRICK AND STONE. USE ONLY HIGH-LIME CONTENT MORTAR FOR HISTORIC BRICK AND STONE WORK. SUBMIT TUCKPOINTING REQUIREMENTS: REPAIR ALL AREAS WHERE THE CRACKS IN UNITS ARE 1/4 INCH OR WIDER. SAW CUT AND REMOVE ALL CRACKED MORTAR TO 1 INCH DEPTH MINIMUM OR UNTIL SOUND MORTAR IS REACHED. REMOVE BROKEN UNITS AND INSTALL NEW WHOLE UNITS WHERE REQUIRED, TUCKPOINT MORTAR INTO PREPARED JOINTS. TOOL JOINTS TO MATCH ORIGINAL MORTAR PROFILES. CLEAN WALL WITH MURIATIC ACID.

MECHANICAL STITCHING REQUIREMENTS: ROUTE FACE OF WIDE CRACKS INTO A V-SHAPE. EMBED STAINLESS STEEL STITCH PINS INTO THE STONE SURFACE. PATCH RESULTING PIN HOLES AND CRACK SURFACE TO MATCH SURROUNDING STONEMWORK.

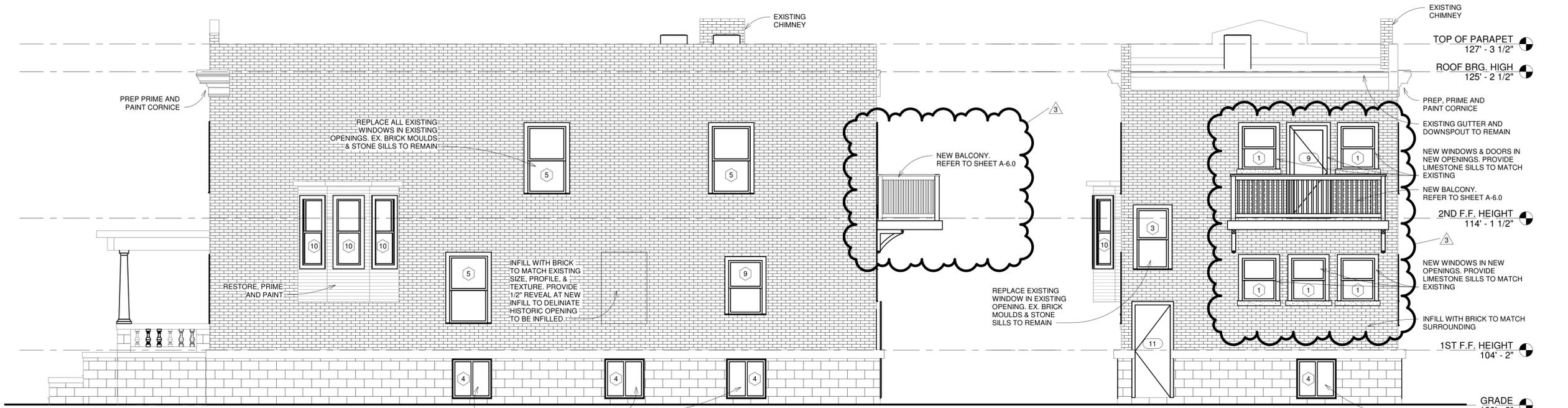
PATCHING REQUIREMENTS: PREPARE SMALL AREAS OF DETERIORATED OR SPALLED STONE FOR PATCHING. IDENTIFY APPROPRIATE LOCATIONS FOR SUPPORT PINS WHERE NECESSARY. KEEP PINS CLEAN AND FREE OF ADHESIVE OR EPOXY. PATCH MATERIALS SHALL BE WEAKER THAN THE STONE SUBSTRATE. MATCH THE COLOR AND TEXTURE OF THE PATCHING MATERIAL TO THE EXISTING STONE. MIXING IN COLORED SAND AND WITH GROUND STONE AS REQUIRED. PRESSING STONE DUST AND CHIPS INTO THE SURFACE OF THE PATCH TO BLEND THE REPAIR AREA WITH THE SURROUNDING MASONRY. TO ACHIEVE AN ACCURATE MATCH, ARTIFICIAL COLORANTS MAY BE USED, ALTHOUGH THESE MAY FADE OR CHANGE SLIGHTLY IN APPEARANCE OVER TIME. PATCHING MATERIAL SHALL BE APPLIED PAST THE STONE SURFACE, TO FACILITATE FINISH CARVING ONCE THE PATCH HAS SET. SUBMIT SAMPLES, MSDS, AND PRODUCT SPECIFICATIONS OR SHEETS OF PROPOSED PATCHING MATERIALS TO ARCHITECT FOR REVIEW AND APPROVAL.

DUTCHMAN REPAIR REQUIREMENTS: REPLACE THE MISSING PORTIONS OF A CHIPPED OR BROKEN STONE UNIT WITH A NEWLY CARVED PIECE OF STONE WHERE SO IDENTIFIED. REPAIR STONE SHALL MATCH THE HUE AND TEXTURE OF THE EXISTING MASONRY. SECURED WITH ADHESIVE, SET WITH PINS, OR SET IN MORTAR AS APPROPRIATE. TO MAINTAIN THE APPEARANCE OF A CONTINUOUS STONE UNIT, THE JOINT BETWEEN THE REPAIR PIECE AND THE EXISTING STONE SHALL BE AS NARROW AS POSSIBLE. SUBMIT STONE SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL.

STONE REPLACEMENT REQUIREMENTS: REPLACE THE MISSING, DAMAGED, OR BROKEN STONE UNITS WITH A NEWLY CARVED PIECE OF STONE WHERE SO IDENTIFIED. REPLACEMENT STONE UNITS SHALL MATCH THE HUE AND TEXTURE OF THE EXISTING MASONRY. SET WITH PINS, OR SET IN MORTAR AS APPROPRIATE. SUBMIT STONE SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL.

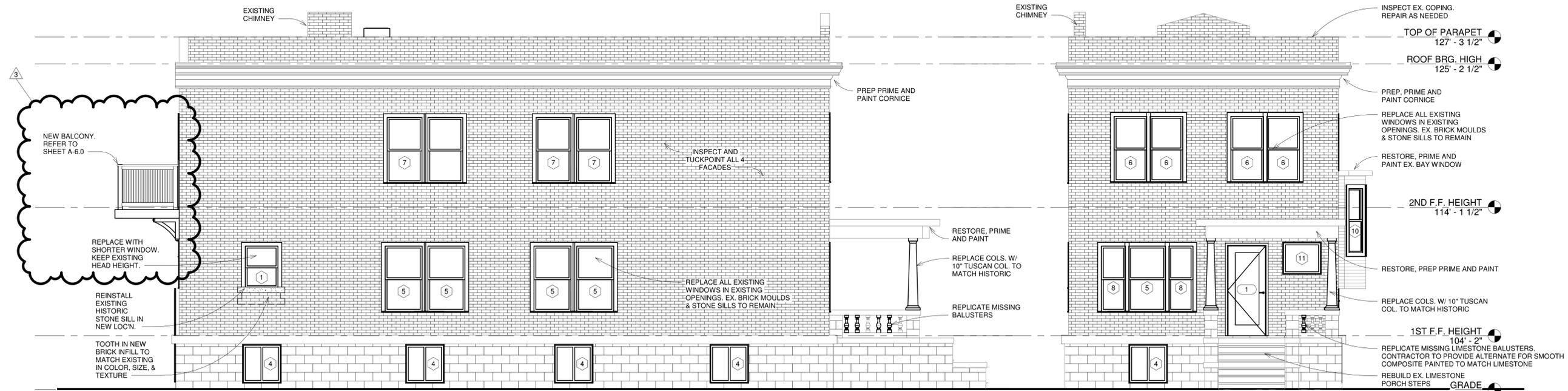


ORIGINAL TUSCAN COLUMNS FROM 2015 GOOGLE STREETVIEW



2 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"

4 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"

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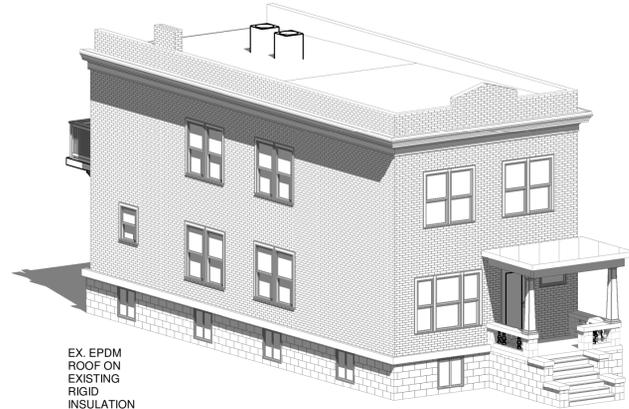
Revision Schedule

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1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20
3	ADDENDUM 1	03/17/20



2201 WABASH
2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER
A-3.0

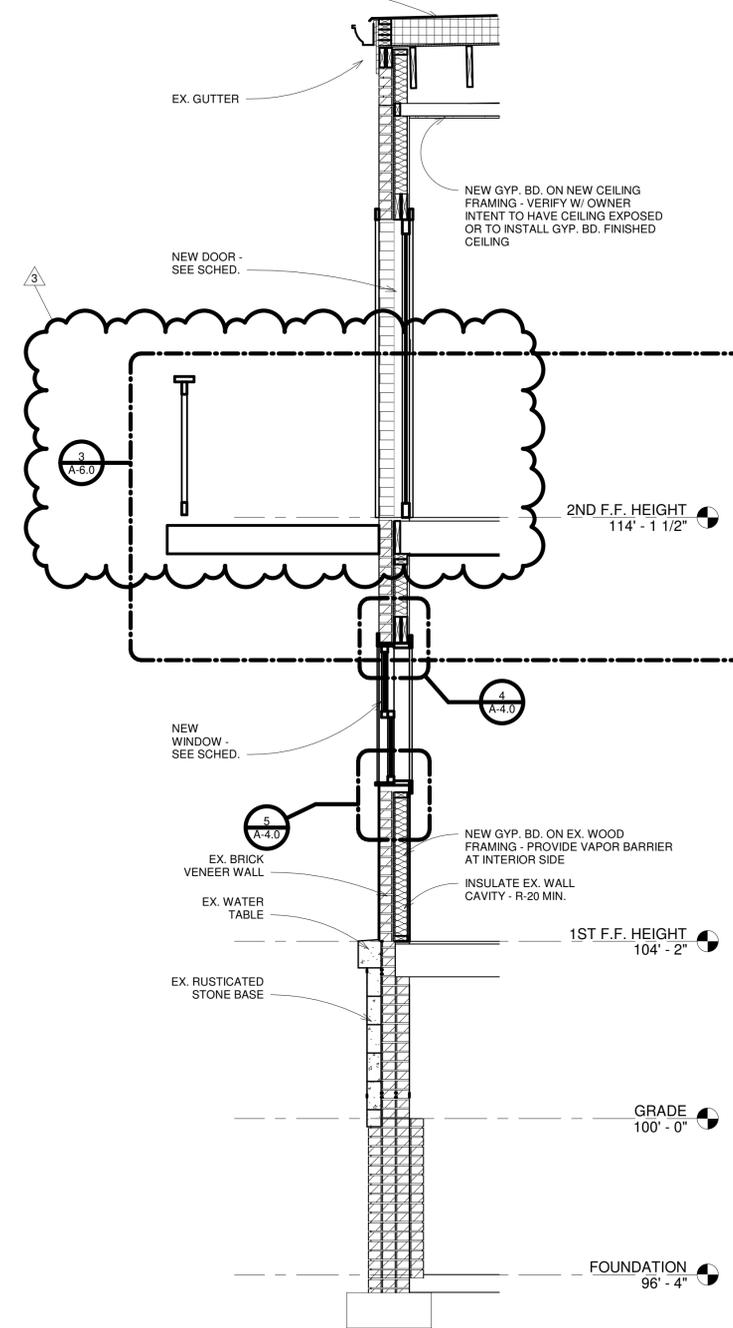


NOTE:
RENOVATION OF THIS BUILDING WILL COMPLY W/ 2015 MRC CH. 11 - ENERGY EFFICIENCY

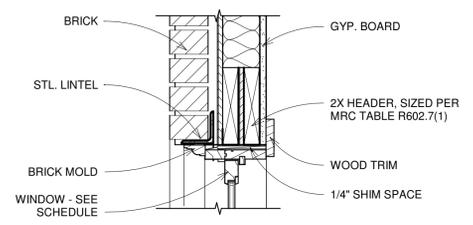
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Revision Schedule

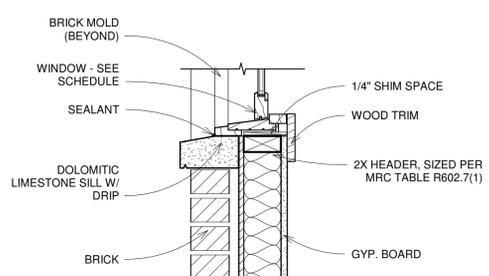
#	Description	Date
1	OWNER REVIEW	02/21/20
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3	ADDENDUM 1	03/17/20



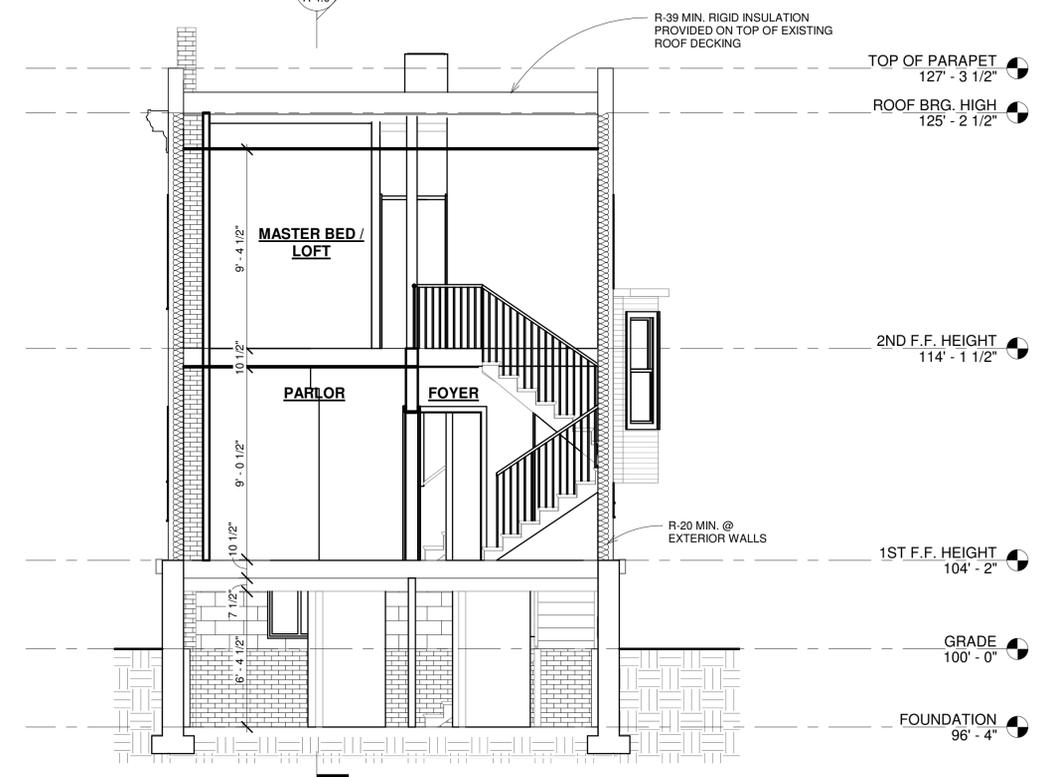
3 WALL SECTION - WEST WALL
 A-4.0 1/2" = 1'-0"



4 WINDOW HEAD DETAIL
 A-4.0 1 1/2" = 1'-0"



5 WINDOW SILL DETAIL
 A-4.0 1 1/2" = 1'-0"



2 BUILDING SECTION - TRANSVERSE
 A-2.0 1/4" = 1'-0"



1 BUILDING SECTION - LONGITUDINAL
 A-2.0 1/4" = 1'-0"

2201 WABASH
 2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
 SHEET TITLE
WALL SECTIONS & DETAILS

SHEET NUMBER
A-4.0

GENERAL ELECTRICAL NOTES:

1. ALL WORKMANSHIP, MATERIALS AND METHODS OF INSTALLATION SHALL BE GOVERNED BY THE REQUIREMENTS OF THESE SPECIFICATIONS, THE NATIONAL ELECTRICAL CODE, LATEST REVISION, LOCAL CODES AND OSHA.
2. EXERCISE CARE IN INSTALLING SUPPORTS TO MAINTAIN STRUCTURAL DESIGNED QUALITY. ALLOW FOR EXPANSION MOVEMENTS AS REQUIRED IN ALL SUPPORTS, CABLES AND CONDUIT.
3. VERIFY WALL SWITCH AND POWER OUTLETS LOCATIONS WITH OWNER AND LOCAL GOVERNING ENFORCEMENT OFFICIAL. WHERE NOT SPECIFIED ALL SWITCHES SHALL BE LOCATED 48" ABOVE FINISHED FLOOR TO CENTERLINE. CONVENIENCE RECEPTACLES SHALL BE LOCATED 18" ABOVE FINISHED FLOOR TO BOTTOM OF BOX, EXCEPT WHERE INDICATED ON PLANS TO BE OTHERWISE. ALL WALL SWITCH OUTLETS SHALL BE INSTALLED ON THE LOCK SIDE OF THE DOOR IMMEDIATELY ADJACENT TO DOOR FRAME. VERIFY DOOR SWINGS WITH GENERAL CONTRACTOR PRIOR TO ROUGH-IN WORK. WHERE GLASS PARTITIONS OR OTHER ARCHITECTURAL FEATURES PREVENT SUCH LOCATIONS, SWITCHES SHALL BE LOCATED IN HOLLOW METAL DOOR FRAMES.
4. ALL RECEPTACLES LOCATIONS SHALL BE IN ACCORDANCE WITH THE LAYOUT SHOWN EXCEPTED AS OTHERWISE NOTED OR AS OTHERWISE REQUIRED BY CODES AND/OR AGENCIES HAVING JURISDICTION. ALL OUTLETS SHALL BE OF ADEQUATE SIZE AND TYPE AS REQUIRED FOR THE PARTICULAR LOCATION AND SERVICE INTENDED. RECEPTACLES SHALL NOT BE RATED LESS THAN 20 AMPS AND SHOULD BE LABELED ON THE INSIDE OF EACH FACE PLATE WITH PANEL AND CIRCUIT NUMBER DESIGNATION. CHECK ALL RECEPTACLE CIRCUITS FOR CONTINUITY AFTER COMPLETION.
5. ALL WIRING SHALL BE RUN IN ELECTRICAL RACEWAY AS REQUIRED PER APPLICABLE CODES.

STANDARDS OF MATERIALS AND WORKMANSHIP

- A. ALL MATERIALS SHALL BE NEW. THE ELECTRICAL AND PHYSICAL PROPERTIES OF ALL MATERIALS, AND THE DESIGN, PERFORMANCE CHARACTERISTICS AND METHODS OF CONSTRUCTION OF ALL ITEMS OF EQUIPMENT, SHALL BE IN ACCORDANCE WITH THE LATEST ISSUE OF THE VARIOUS APPLICABLE STANDARD SPECIFICATIONS OF THE FOLLOWING RECOGNIZED AUTHORITIES:

- N.E.C. - NATIONAL ELECTRICAL CODE
 A.N.S.I. - AMERICAN NATIONAL STANDARDS INSTITUTE
 I.E.E.E. - INSTITUTE OF ELECTRICAL ELECTRONICS ENGINEERS
 A.S.T.M. - AMERICAN SOCIETY FOR TESTING MATERIALS
 I.P.C.E.A. - INSULATED POWER CABLE ENGINEERS ASSOCIATION
 N.E.M.A. - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
 U.L. - UNDERWRITERS LABORATORIES, INC.

- B. ALL WORK SHALL BE PERFORMED IN FIRST CLASS AND WORKMANLIKE MANNER, IN ACCORDANCE WITH THE LATEST ACCEPTED STANDARDS AND PRACTICES FOR THE TRADES INVOLVED. NONE BUT EXPERIENCED PERSONS IN THE WORK TO BE PERFORMED SHALL BE ALLOWED TO DO THE WORK. THIS APPLIES PARTICULARLY TO ITEMS SUCH AS CABLE SPLICING, CONTROL WORK, SYSTEMS CONNECTION, ETC.

CONDUIT

- C. CONDUIT SHALL BE EMT, PVC OR RIGID GALVANIZED STEEL. ALL CONDUIT INSTALLED UNDERGROUND SHALL BE PVC SCHEDULE 40 OR RIGID GALVANIZED STEEL AS NOTED.
- D. THE DRAWINGS SHOW THE GENERAL ARRANGEMENT, DESIGN AND EXTENT OF THE WORK ENUMERATED ABOVE AND ARE MORE OR LESS DIAGRAMMATIC.
- E. THE DRAWINGS ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN MEASUREMENTS, NOT TO SERVE AS SHOP DRAWINGS. CONSULT EQUIPMENT SHOP DRAWINGS FOR CORRECT MEASUREMENTS WHEREVER POSSIBLE.
- F. THE ELECTRICAL SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FIT OF THE WORK INSTALLED, AND SHALL TAKE FIELD MEASUREMENTS NECESSARY FOR ORDERING MATERIALS AND FITTING THE INSTALLATION TO THE BUILDING CONSTRUCTION AND ARRANGEMENT.

GROUNDING

- G. ALL METAL NON-CURRENT CARRYING PARTS OF ELECTRICAL EQUIPMENT, ENCLOSURES, BASES, FRAMES, LIGHTING FIXTURES, WIREWAYS AND SUPPORTS SHALL BE GROUNDED.
- H. PROVIDE ANY SPECIAL GROUNDS REQUIRED BY THE LATEST N.E.C., UTILITIES, AND AS RECOMMENDED BY EQUIPMENT MANUFACTURERS.
- I. GROUND SERVICE EQUIPMENT TO BUILDING STEEL, GROUND RODS AND WATER SERVICE AS REQUIRED BY THE LATEST N.E.C.
- J. ALL FEEDER AND BRANCH CIRCUITS SERVING PANELS, LIGHTING, RECEPTACLES, MOTORS, MECHANICAL EQUIPMENT, ETC., INSTALLED IN EMT, MC, PVC OR RIGID GALVANIZED STEEL CONDUIT, SHALL BE INSTALLED WITH AN INSULATED (GREEN) GROUND CONDUCTOR.

EGRESS LIGHTING

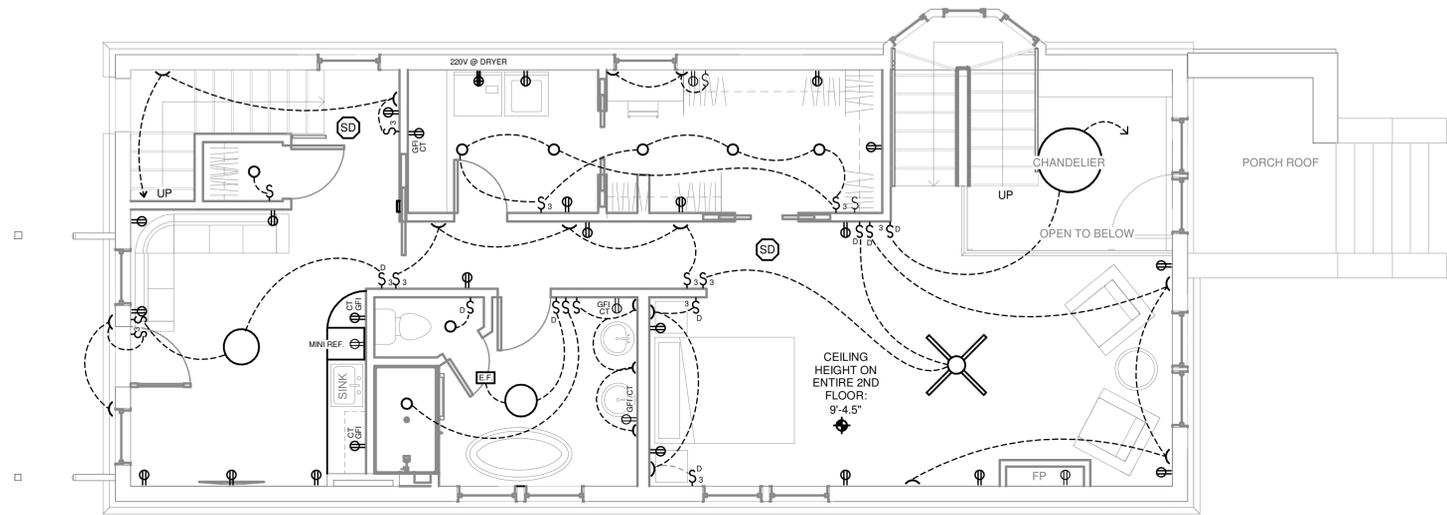
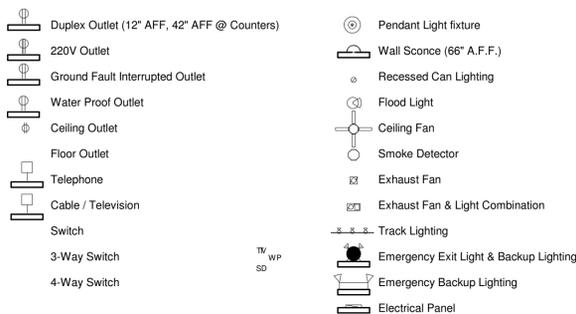
1. APPROVED EXIT SIGNS SHALL BE INSTALLED TO INDICATE THE LOCATION OF THE DESIGNATED MEANS OF EGRESS. ALL EXIT SIGNS SHALL HAVE CONSTANT ILLUMINATION.
2. EMERGENCY LIGHTING SHALL BE PROVIDED THROUGHOUT THE FACILITY ACCORDING TO THE LATEST IFC/IBC AND NFPA, AS WELL AS CURRENT FIRE CODES. ELECTRICAL CONTRACTOR TO PROVIDE LIGHTING TO MEET FOOTCANDLE REQUIREMENTS.
3. COMBINATION EXIT AND EMERGENCY LIGHTING UNITS MAY BE USED IN LIEU OF SEPARATE FIXTURES AS LONG AS ALL CODE REQUIREMENTS ARE MET.
4. THERE SHALL BE CLEAR MARKINGS OF ARROW/CHEVRON INDICATORS TO DISTINGUISH THE DIRECTION OF TRAVEL TO THE PATH OF EGRESS.
5. ELECTRICAL CONTRACTOR TO VERIFY STYLE AND COLOR OF EXIT FIXTURES WITH OWNER. WHERE ACCEPTABLE, USE BLUE OR GREEN LED; GLASS FIXTURES.
6. EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

GENERATOR

VERIFY WITH BUILDING OWNER THE INTENT TO PROVIDE A NATURAL GAS/LP GAS ENGINE GENERATOR SET, IN A WEATHERPROOF SOUND ENCLOSURE, OF THE LATEST COMMERCIAL TYPE AND DESIGN. IN A STAND-BY POWER CAPACITY. IT SHALL BE CAPABLE OF CONTINUOUS SERVICE AND RATED OUTPUT FOR THE DURATION OF ANY UTILITY POWER FAILURE. THE ENGINE GENERATOR MANUFACTURER AND ITS AUTHORIZED DEALER SHALL HAVE SOLE RESPONSIBILITY FOR THE PERFORMANCE OF THE ENGINE GENERATOR SET AND ITS ACCESSORIES. IT SHALL BE A NEW, FACTORY ASSEMBLED AND TESTED SET.

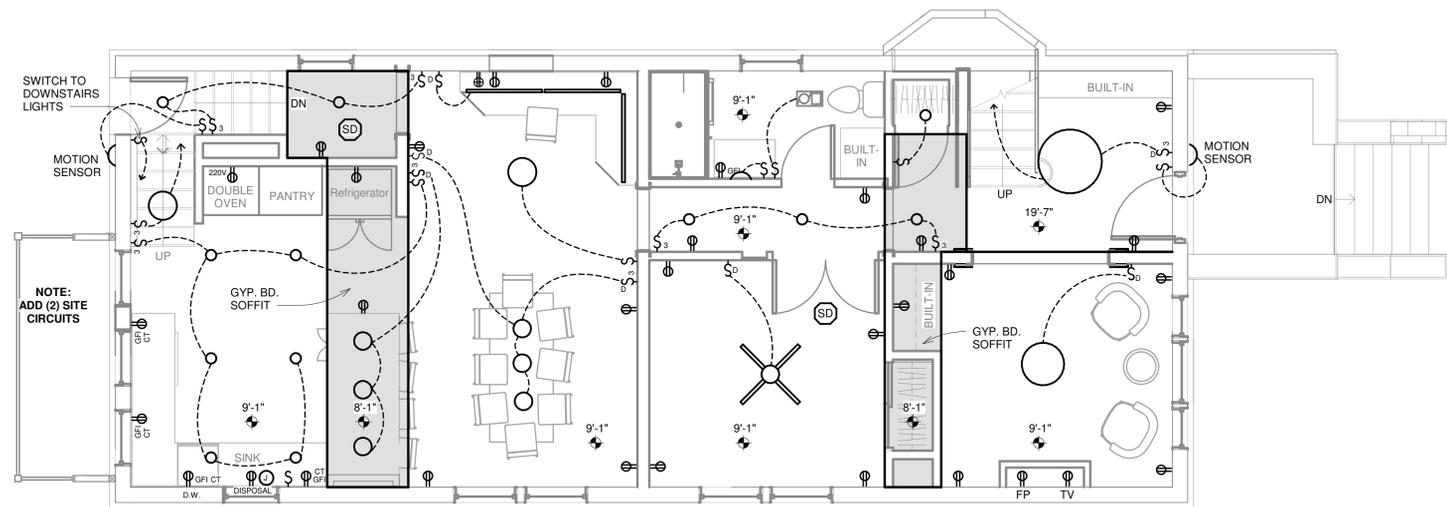
TELEPHONE/DATA/CABLE TELEVISION SERVICE

VERIFY OWNER'S REQUIREMENTS FOR LOW VOLTAGE SYSTEM INCLUDING SECURITY SYSTEM, ALARMS, TELEPHONE AND/OR CABLE/SATELLITE TELEVISION SERVICE, AND COMPUTER NETWORK CABLE. TERMINATE SERVICE CONDUIT PER MANUFACTURER REQUIREMENTS.



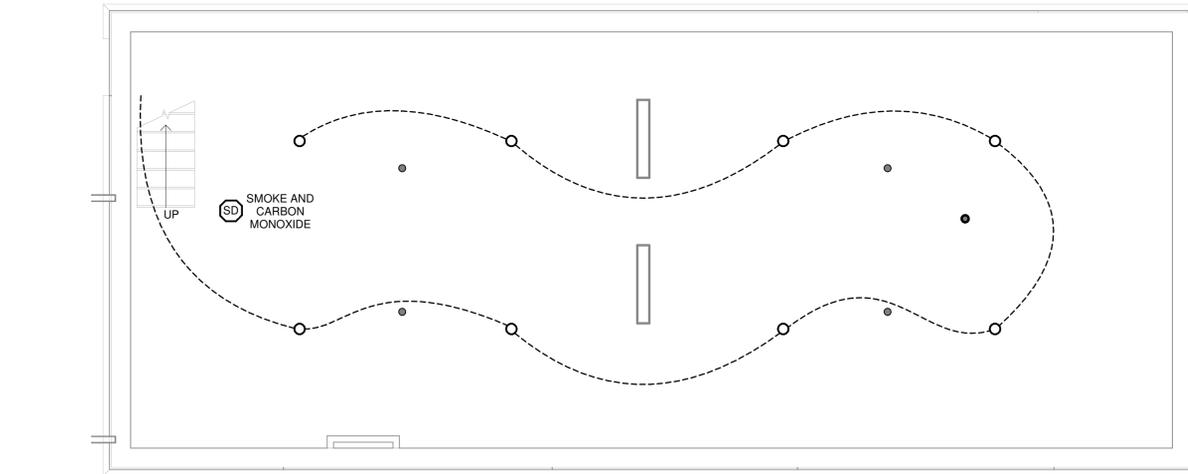
3 SECOND FLOOR - PROPOSED POWER AND LIGHTING

A-1.1 1/4" = 1'-0"



2 FIRST FLOOR - PROPOSED POWER AND LIGHTING

A-1.1 1/4" = 1'-0"



1 FOUNDATION PLAN - PROPOSED POWER AND LIGHTING

A-4.0 1/4" = 1'-0"

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Revision Schedule

#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20



GENERAL MECHANICAL NOTES:

- A. FURNISH ALL LABOR, MATERIAL AND EQUIPMENT, AND FURNISH AND INSTALL ALL MECHANICAL WORK COMPLETE WITH ALL INCIDENTALS AND ACCESSORIES REQUIRED, IN ACCORDANCE WITH THE DRAWINGS.
- B. IN THE CASE OF INCONSISTENCY ON THE DRAWINGS THE ENGINEER'S INTERPRETATION AND SHALL TAKE PRECEDENCE UNLESS OTHERWISE DIRECTED BY THE ENGINEER IN WRITING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICT OR DISCREPANCIES. ALL NOTIFICATION MUST BE COMPLETED PRIOR TO THE PURCHASE OF ANY MATERIALS OR EQUIPMENT.
- C. NO MODIFICATIONS TO THE CONSTRUCTION DOCUMENTS OR INTENT OF THE SCOPE OF WORK SHALL BE ALLOWED WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEER. ALL MODIFICATIONS, CHANGE ORDERS, ALTERNATES, VALUE ENGINEERING OR ANY REVISIONS GENERATED BY THE GENERAL CONTRACTOR, ANY MANUFACTURER, MANUFACTURER'S REPRESENTATIVE OR SUB-CONTRACTOR SHALL BE FIRST SUBMITTED TO THE ARCHITECT AND ENGINEER IN WRITING. ANY REDESIGN, ADDITIONAL ENGINEERING, VALUE ENGINEERING, ALTERNATE MANUFACTURERS OR REVIEW WORK REQUIRED TO IMPLEMENT CONTRACTOR CHANGES SHALL BE DONE BY A LICENSED PROFESSIONAL ENGINEER. SEALED DRAWINGS SHALL BE SUBMITTED FOR REVIEW.
- D. ALL MATERIALS AND EQUIPMENT USED SHALL BE STANDARD COMPONENTS, REGULARLY MANUFACTURED FOR THIS AND/OR OTHER SYSTEMS AND NOT CUSTOM DESIGNED SPECIALLY FOR THIS PROJECT. THE SYSTEMS AND COMPONENTS SHALL HAVE BEEN THOROUGHLY TESTED AND PROVEN IN ACTUAL USE FOR AT LEAST TWO YEARS.
- E. FURNISH AND LOCATE FOR INSTALLATION BY GENERAL TRADES, ACCESS DOORS FOR CONCEALED VALVES, AUTOMATIC AIR VENTS, FILTERS, MOTORS AND OTHER MECHANICAL WORK ITEMS THAT REQUIRE ACCESSIBILITY FOR OPERATION AND MAINTENANCE. UNIT CURBS SHALL BE FABRICATED BY MECH CONTRACTOR FROM 18 GA. GALVANIZED METAL WITH WELDED CORNERS, WATER TIGHT AND INTERNALLY INSULATED.
- F. ALL DUCTWORK TO COMPLY WITH A.S.H.R.A.E. CONSTRUCTION STANDARDS. NON-FLEXIBLE DUCT AND ALL AIR DISTRIBUTION DEVICES SHALL BE INSULATED U.N.O. AND SHALL BE INDEPENDENTLY HUNG FROM STRUCTURAL MEMBERS PER SMACNA LOW-VELOCITY DUCT MANUAL (LATEST ISSUE). HVAC CONTRACTOR SHALL HIRE AN A.A.B.C. OR N.E.E.B. CERTIFIED, INDEPENDENT TEST AND BALANCE COMPANY TO CONDUCT A COMPLETE, CERTIFIED TEST AND BALANCE OF ALL HVAC EQUIPMENT.
- G. ACCESS DOORS SHALL BE 12" X 12" MINIMUM WHERE VALVES, ETC., ARE WITHIN EASY REACH OF PERSONNEL, AND AT LEAST 24" X 24" WHEN PERSONNEL MUST PASS THROUGH OPENING IN ORDER TO REACH THE VALVE, FILTER OR OTHER MECHANICAL DEVICE.
- H. PROVIDE PIPING SYSTEMS IDENTIFICATION FOR ALL PIPING WITHIN THE BUILDING.
- I. IDENTIFICATION OF PIPING SYSTEMS SHALL BE BY LETTERED LEGEND, PLACED ON A COLOR BAND, GIVING THE NAME OF THE CONTENTS IN FULL OR ABBREVIATED FORM. ARROWS INDICATING THE DIRECTIONS OF FLOW SHALL BE PLACED ADJACENT TO EACH LEGEND.
- J. ALL PIPING SYSTEMS ARE TO BE IDENTIFIED IN ACCORDANCE WITH OSHA REQUIREMENT.

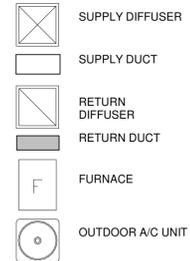
1.2 RESPONSIBILITY

- A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR THAT HIS WORK BE INSTALLED IN THE MOST DIRECT AND WORKMANLIKE MANNER AND THAT INTERFERENCES BE AVOIDED. ARCHITECTURAL DRAWINGS WILL TAKE PRECEDENCE OVER MECHANICAL DRAWINGS IN ANY CONFLICT OF LOCATION OR INSTALLATION OF EQUIPMENT OR PIPING. IN CASE INTERFERENCES DEVELOP, THE ARCHITECT/ENGINEER SHALL DECIDE WHICH WORK IS TO BE RELOCATED, REGARDLESS OF WHICH WAS FIRST INSTALLED.
- B. THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE EQUIPMENT AND SYSTEMS TO BE INSTALLED AND THE GENERAL LOCATION AND ARRANGEMENT OF MECHANICAL WORK. DUE TO THE SCALE OF THE DRAWINGS IT IS NOT POSSIBLE TO INDICATE THE EXACT LOCATION AND ROUTING OF MECHANICAL WORK, UNLESS REFERENCE DIMENSIONS ARE SPECIFICALLY INDICATED ON DRAWINGS. DEVIATIONS FROM CONTRACT DRAWING LAYOUT IN ORDER TO AVOID INTERFERENCES WITH OTHER TRADES, OR OTHER MECHANICAL WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, WITH NO INCREASE IN CONTRACT PRICE. ALL COSTS FOR REMOVAL AND RELOCATION OF MECHANICAL WORK RESULTING FROM FAILURE TO COORDINATE WITH OTHER TRADES SHALL BE PAID BY THE MECHANICAL SUBCONTRACTOR.
- C. PROVIDE ALL CONSULTATION, SUPERVISION, MANPOWER, EQUIPMENT AND INSTRUMENTATION NECESSARY TO COMPLETE THE PROPER INSPECTION, TESTING, BALANCING AND ADJUSTING OF HEATING, COOLING, VENTILATION AND WATER SYSTEMS (AS REQUIRED) IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL FRAMING REQUIRED FOR HVAC WORK SHALL BE BY THE GENERAL CONTRACTOR.

1.3 LAWS, CODES, ORDINANCES AND REGULATIONS

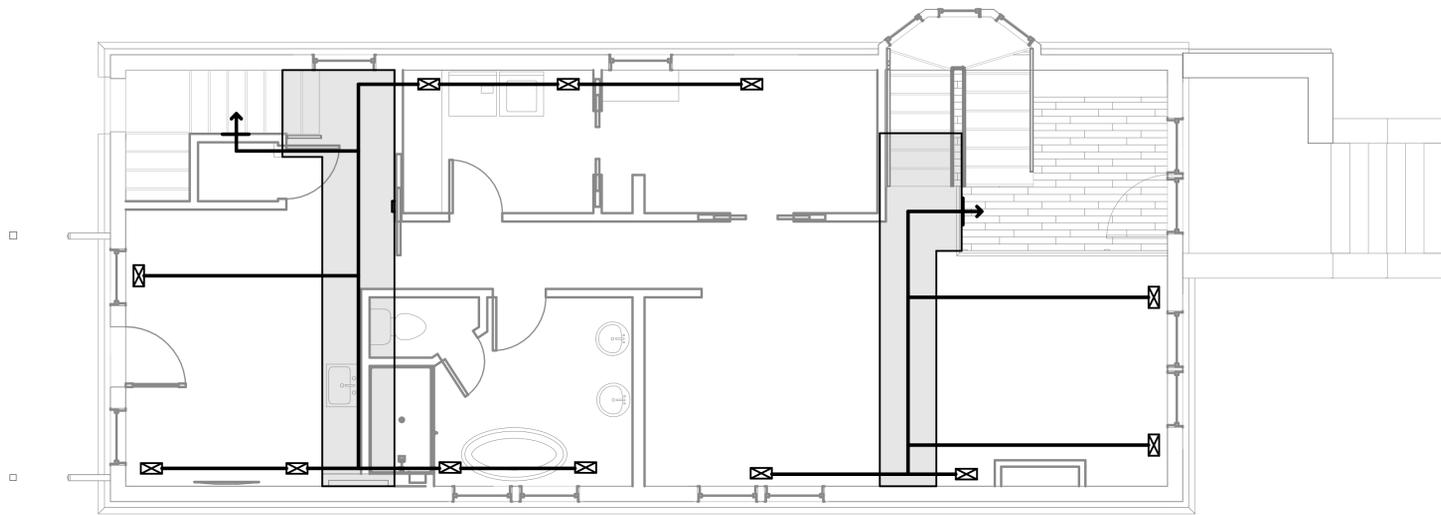
- A. WHEREVER THE REQUIREMENTS OF THESE DRAWINGS EXCEED THE REQUIREMENTS OF THE MENTIONED CODES, THESE SPECIFICATIONS AND/OR DRAWINGS SHALL GOVERN.
- B. SHOULD ANY CHANGE IN THE DRAWINGS AND SPECIFICATIONS BE REQUIRED TO CONFORM TO THESE CODES, THE MECHANICAL SUBCONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AT THE TIME OF SUBMITTING HIS BID. AFTER ENTERING INTO A CONTRACT, THE MECHANICAL SUBCONTRACTOR WILL BE HELD TO COMPLETE ALL MECHANICAL WORK NECESSARY TO MEET THE CODE REQUIREMENTS WITHOUT INCREASING THE CONTRACT PRICE.
- C. THIS PROJECT SHALL BE DESIGNED TO MEET ALL THE REQUIREMENTS OF THE LATEST VERSION OF THE MECHANICAL, PLUMBING AND BUILDING CODE AND THE LATEST EDITION OF NFPA SHALL GOVERN FOR THE COORDINATION WITH THE FIRE PROTECTION SYSTEM DESIGN ENGINEERS.
- D. ALL WORK AND ANY REFERENCE TO TECHNICAL SOCIETIES, TRADE ORGANIZATION AND GOVERNMENTAL AGENCIES SHALL BE COMPLETED IN ACCORDANCE WITH THE FOLLOWING ABBREVIATIONS AND AGENCY STANDARDS:

- AABC ASSOCIATED AIR BALANCE COUNCIL
- AFI AIR FILTER INSTITUTE
- AGA AMERICAN GAS ASSOCIATION
- AMCA AIR MOVING AND CONDITIONING ASSOCIATIONS, INC.
- ASHRAE AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS
- ASHRAE ENERGY CODE (LATEST EDITION)
- ASME AMERICAN SOCIETY OF MECHANICAL ENGINEERS
- ASTM AMERICAN SOCIETY OF TESTING MATERIALS
- ARI AMERICAN REFRIGERATION INSTITUTE
- IRI INDUSTRIAL RISK INSURERS
- FM FACTORY MUTUAL LABORATORIES
- NFPA NATIONAL FIRE PROTECTION ASSOCIATION
- NEMA NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION
- UL UNDERWRITERS' LABORATORIES
- AWWA AMERICAN WATER WORKS ASSOCIATION
- CS COMMERCIAL STANDARDS
- SBI STEEL BOILER INSTITUTE
- ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
- OSHA OCCUPATIONAL SAFETY HEALTH ACT
- OSHA STATE OCCUPATIONAL SAFETY AND HEALTH ACT
- SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTOR'S NATIONAL ASSOCIATION, INC.
- ADA AMERICANS WITH DISABILITIES ACT (LATEST EDITION)
- IBC INTERNATIONAL BUILDING CODE



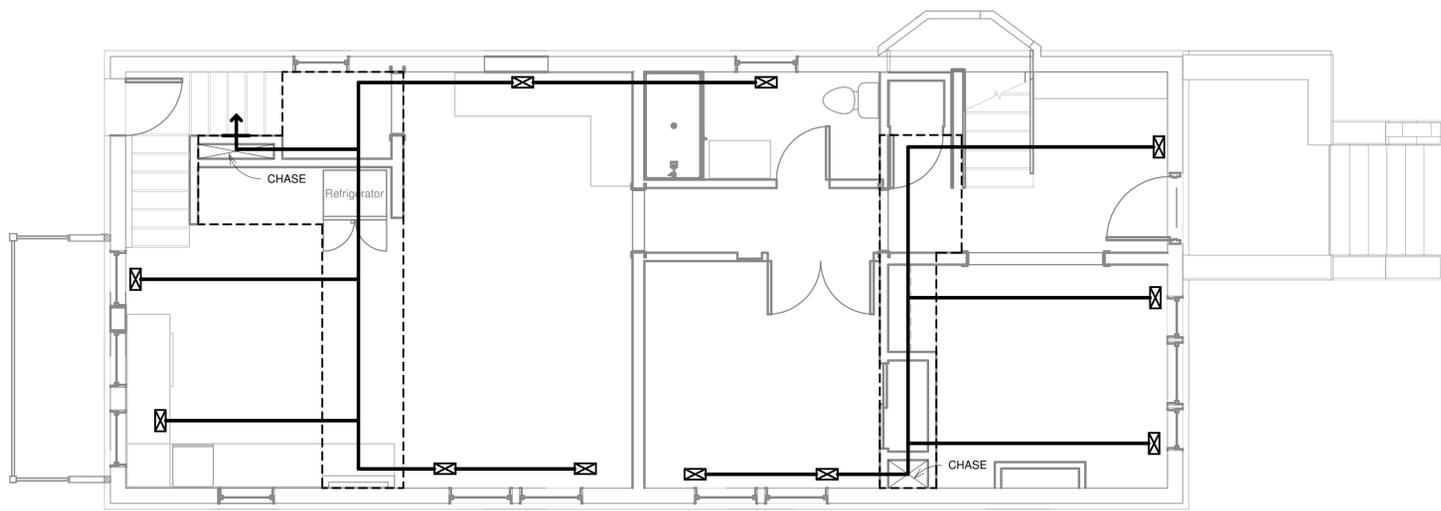
EXHAUST FANS

TOILET FANS AS REQUIRED: GREENHECK SP-6, 75 CFM @ 1/8 S.P., WITH ROOF CAP, 4" E.D. OR APPR'VD EQUAL



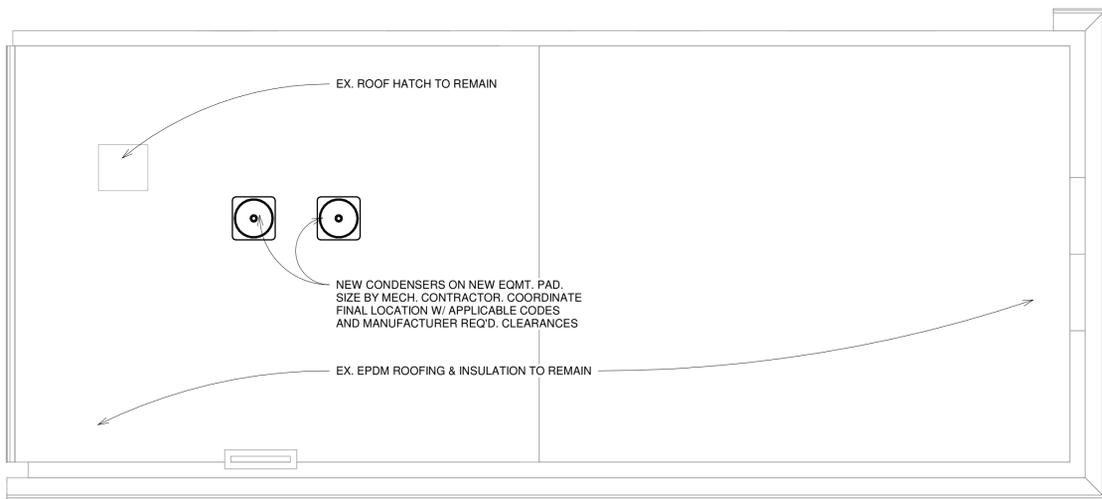
2 SECOND FLOOR - PROPOSED MECHANICAL PLAN

2 A-1.1 1/4" = 1'-0"



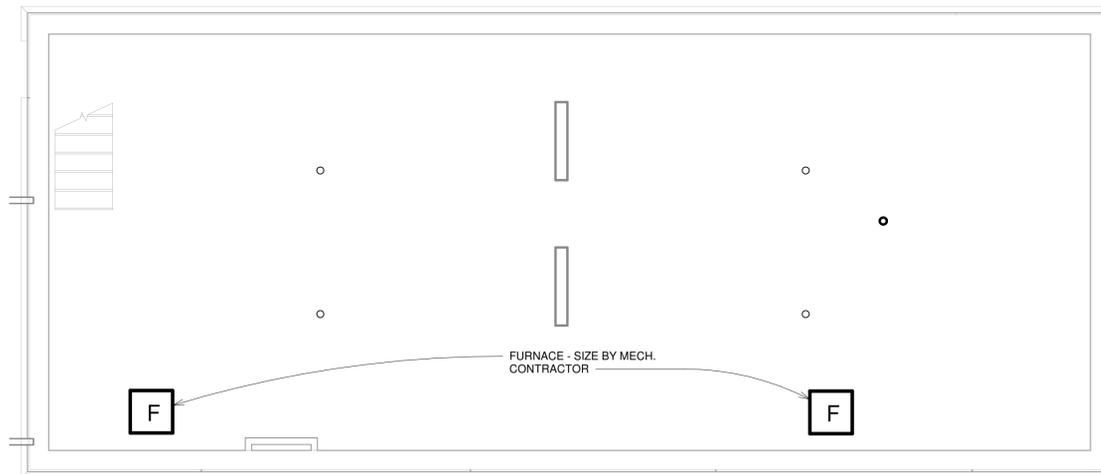
1 FIRST FLOOR - PROPOSED MECHANICAL PLAN

1 A-1.1 1/4" = 1'-0"



4 ROOF PLAN

4 A-1.1 1/4" = 1'-0"



3 FOUNDATION PLAN - PROPOSED MECHANICAL PLAN

3 A-4.0 1/4" = 1'-0"

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Revision Schedule

#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20



2201 WABASH
 2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
 SHEET TITLE
MECHANICAL PLANS

SHEET NUMBER
A-5.2

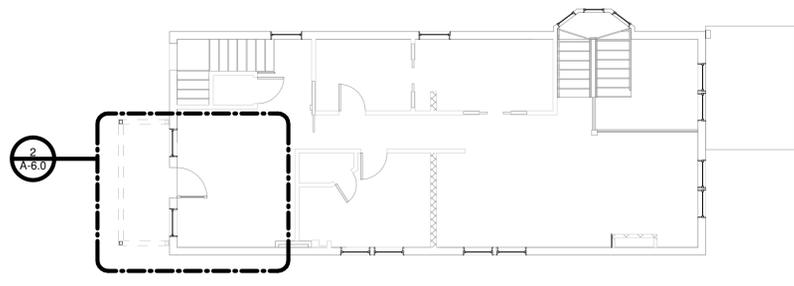
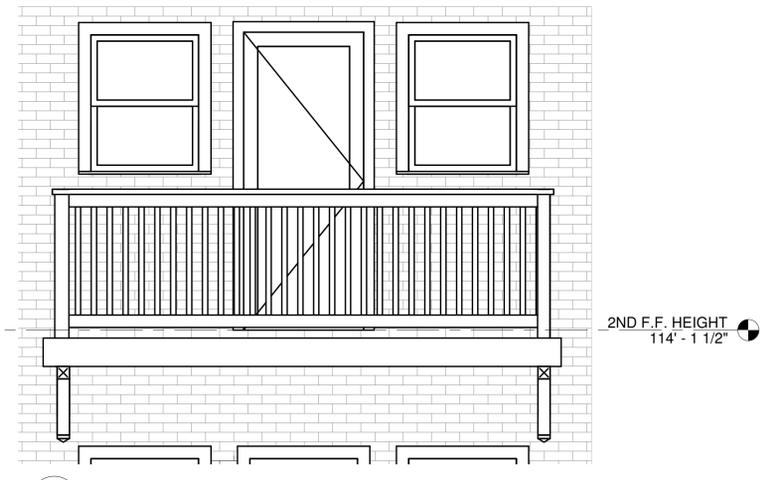
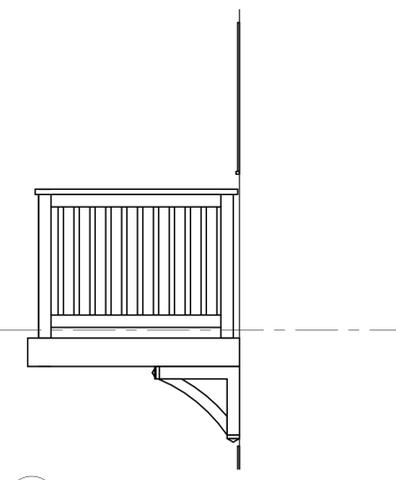
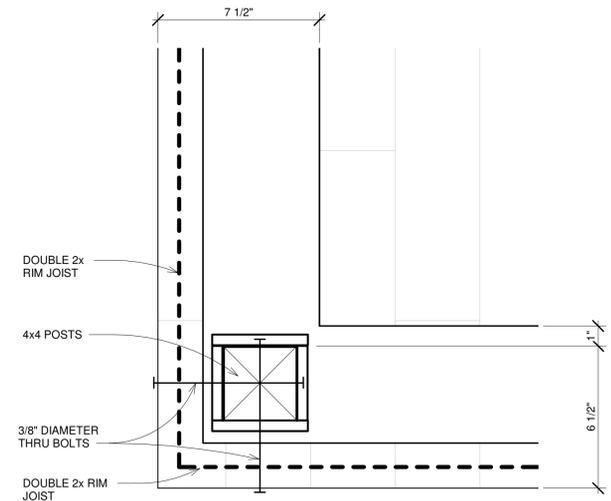
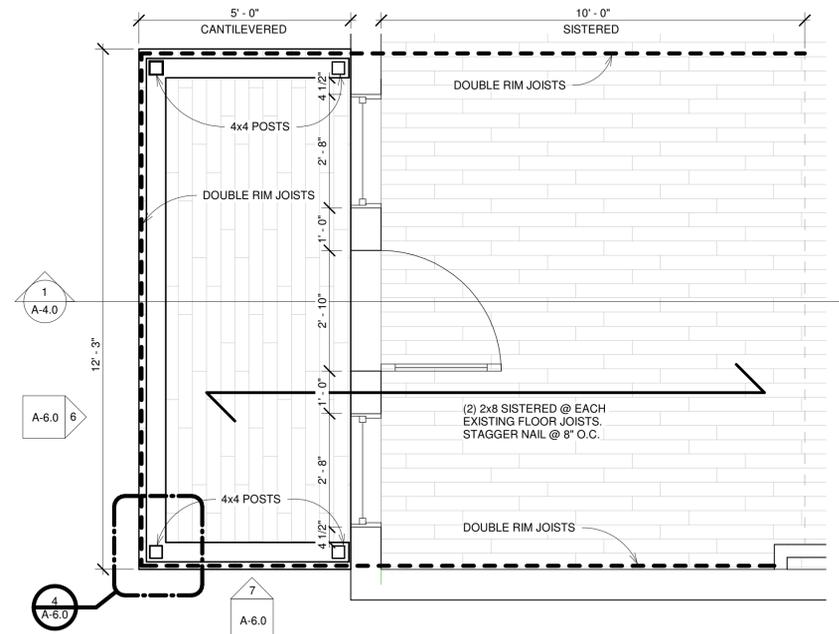
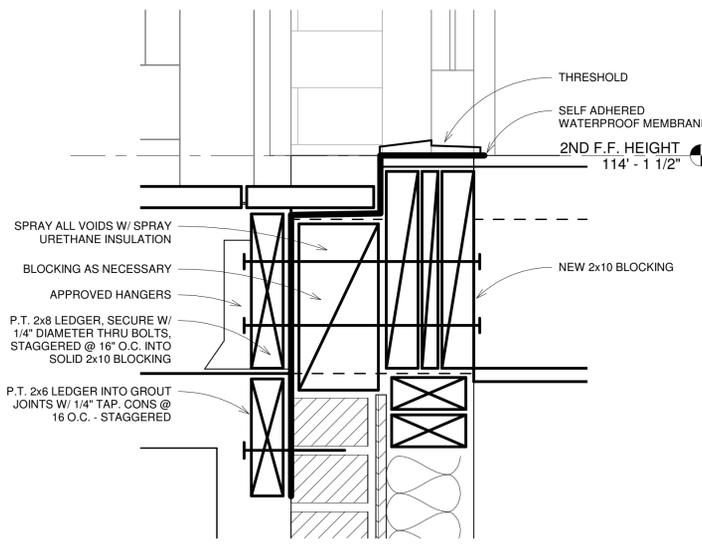
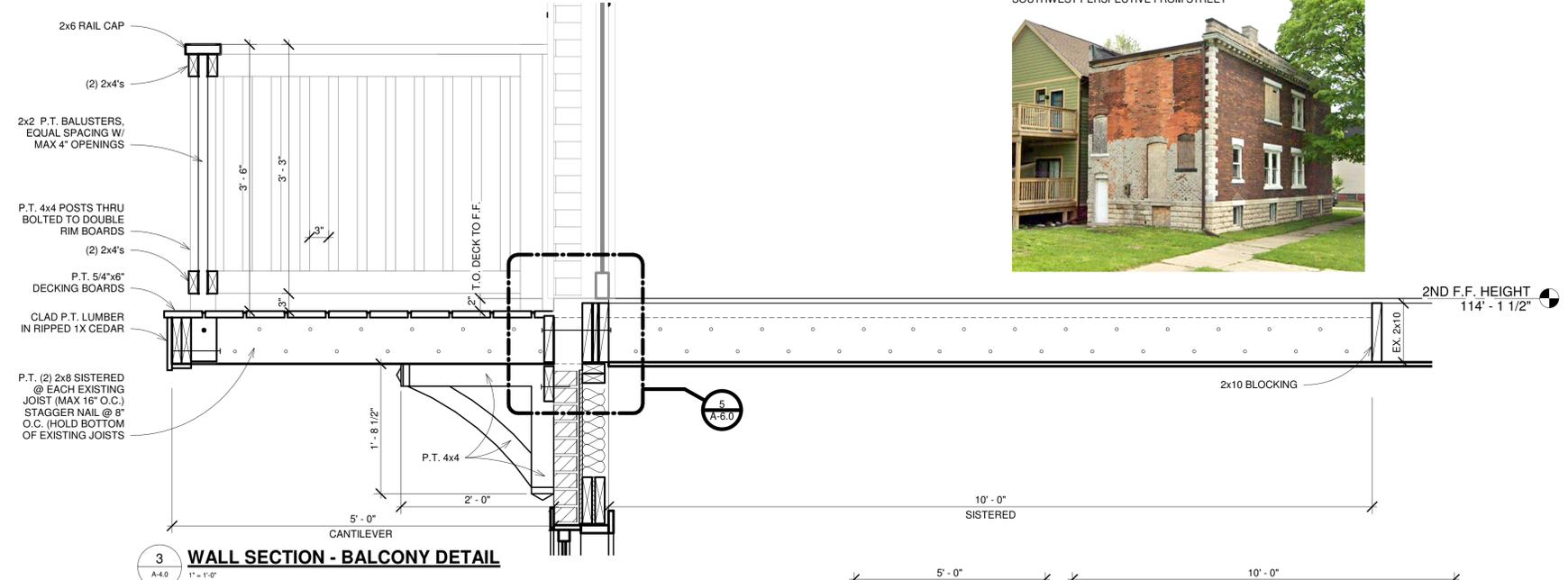
WOOD DECK NOTES:

- VERIFY ALL DIMENSIONS IN FIELD PRIOR TO PROCEEDING WITH WORK.
- ALL LUMBER SHALL BE GRADE #2 HEM-FIR, DOUGLAS-FIR, OR BETTER AND SHALL BE PRESSURE TREATED TO RESIST INSECT AND DRY ROT IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS (CATEGORY). THE PRESSURE-TREATMENT CATEGORY IDENTIFIED BELOW WILL BE IDENTIFIED ON THE LUMBER. THE LEVEL OF TREATMENT DEPENDS ON THE USE AS FOLLOWS:
 - A. DECKING MATERIAL, RAILINGS, JOISTS, AND BEAMS MUST BE TREATED TO A CATEGORY UC3B.
 - B. POSTS AND OTHER WOODS LOCATED ON, IN, OR IN CONTACT WITH THE GROUND MUST BE A CATEGORY UC4B.
 - C. ANY WOOD LESS THAN SIX INCHES ABOVE THE GROUND OR IN CONTACT WITH CONCRETE OR MASONRY MUST BE A CATEGORY UC4A.
- TREAT FIELD-CUT ENDS OF THE WOOD WITH A PAINT-ON PRESERVATIVE. CUT ENDS EXPOSE THE INNER UNTREATED WOOD TO POTENTIAL MOISTURE AND INSECT DAMAGE.
- ALL SCREWS AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL HARDWARE (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
- THRU-BOLTS SHALL HAVE A MINIMUM DIAMETER OF 1/2". LEAD (PILOT) HOLES FOR THRU-BOLTS SHALL BE 17/32" TO 9/16" IN DIAMETER. THRU-BOLTS MUST BE EQUIPPED WITH WASHERS AT THE BOLT HEAD AS WELL AS THE NUT. THRU-BOLTS ARE THOSE WHERE A HOLE IS DRILLED ALL THE WAY THROUGH THE WOOD MEMBERS AND A NUT AND WASHER ARE ATTACHED TO COMPLETE THE CONNECTION.
- ALL DECKING MATERIAL SHALL BE COMPOSED FIVE QUARTER ("5/4") WOOD BOARDS. ATTACH DECKING TO EACH JOIST WITH TWO 10D NAILS OR TWO #8 SCREWS. DECKING MUST HAVE A SPAN LENGTH SUCH THAT EACH BOARD BEARS ON A MINIMUM OF TWO JOISTS. THE MAXIMUM SPACING OF JOISTS FOR 5/4" MATERIAL IS 16 INCHES WHEN PERPENDICULAR TO JOISTS AND 12 INCHES WHEN DIAGONAL TO JOISTS.
- COMPOSITE DECKING PRODUCTS MAY BE USED AS A SUBSTITUTE FOR CONVENTIONAL WOOD DECKING, BUT INSTALLATION AND SPAN LENGTHS OF THE SUBSTITUTED MATERIAL MUST BE IN STRICT CONFORMANCE WITH THE PRODUCT LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- EASE AND SAND ALL WOOD EDGES AND SURFACES TO CREATE A SMOOTH SURFACE AND AVOID SPLINTERS.

EXTERIOR FINISH NOTES:

- EXTERIOR WOOD TO BE PAINTED SHALL RECEIVE ONE COAT OF OIL-BASED PRIMER AND TWO COATS OF LATEX EXTERIOR PAINT. WOOD MUST BE PROPERLY DRIED PRIOR TO PAINTING. ALL PRESSURE TREATED WOOD TO BE PAINTED SHALL CURE A MINIMUM OF 6 MONTHS PRIOR TO PRIMING AND PAINTING.
- ALL WOOD GUARD RAILS, INCLUDING BALUSTERS, TOP RAILS, AND BOTTOM RAILS, SHALL BE PAINTED IN ACCORDANCE WITH THE DETROIT HISTORIC DISTRICT COMMISSION'S APPROVED COLORS FOR THE BUILDING AFTER PROPER CURING OF PRESSURE TREATED WOOD.
- ALL WOOD DECKING SHALL BE TREATED WITH AN EXTERIOR GRADE ANTI-SLIP OIL FINISH DESIGNED FOR INCREASING THE COEFFICIENT OF FRICTION FOR EXTERIOR DECKS AND STAIR WALKING SURFACES. PAINT IS NOT RECOMMENDED FOR DECKING WEAR SURFACES DUE TO ON GOING MAINTENANCE CONCERNS.
- ALL METAL RAILINGS SHALL BE FACTORY FINISHED BLACK.

SOUTHWEST PERSPECTIVE FROM STREET



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Revision Schedule

#	Description	Date
3	ADDENDUM 1	03/17/20



2201 WABASH
2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
SHEET TITLE
PROPOSED BALCONY

SHEET NUMBER
A-6.0

DOOR NOTES (U.N.O.):

ALL DOORS AND HARDWARE SHALL COMPLY WITH APPLICABLE CODES, INCLUDING ADA-AG&MSBC BARRIER FREE SUBCODES AND SHALL BE CAPABLE OF OPERATION WITH THE USE OF (1) HAND
 ALL HOLLOW METAL DOOR FRAMES ARE TO BE 16 GAUGE KNOCK DOWN TYPE
 ALL FRAMES ARE TO RECEIVE THREE DOOR SILENCERS
 CONTRACTOR SHALL SUBMIT SHOP DRWG'S & CATALOG CUTS (FOR REVIEW) FOR ALL DOORS, FRAMES AND HARDWARE
 CONTRACTOR SHALL PROVIDE ALL MISC. HARDWARE REQ'D. FOR COMPLETE OPERATION OF EACH DOOR.
 ALL EXTERIOR DOORS TO HAVE SELF-CLOSING HARDWARE, THRESHOLDS AND WEATHER STRIPPING.
 DOOR THRESHOLDS SHALL NOT EXCEED ON-HALF INCH (1/2") IN HEIGHT. THRESHOLDS EXCEEDING ONE-QUARTER INCH (1/4") IN HEIGHT SHALL HAVE A 1:2 BEVEL.
 ALL LOCKS ARE TO BE KEYPED PER THE REQUIREMENTS OF THE OWNER
 ALL HINGES BRUSHED ALUM. & BALL BRG.
 ALL DOORS TO BE SUPPLIED & INSTALLED WITH DOOR STOPS WITH SOLID BLOCKING FOR EACH LOCATION
 ALL GLASS IN DOORS MUST BE TEMPERED AS PER CODE
 STOREFRONT ENTRANCE DOORS TO BE KAWNEER OR EQUAL WITH FRAMING SYSTEM
 AS INDICATED ON SCHEDULE WITH CLOSERS, LOCK ASSEMBLIES, AND ALL OTHER HARDWARE REQUIRED FOR A COMPLETE INSTALLATION
 ALL EXTERIOR METAL DOORS SHALL BE INSULATED
 VER. ALL DOOR OPTIONS, INCLUDING HANDING, TYPE AND HARDWARE W/ OWNER SELECTIONS. PROVIDE BUMPERS/STOPS WHERE REQ'D
ALL DOORS TO BE SALVAGED DOORS SELECTED BY OWNER. CONFIRM SIZES PRIOR TO FRAMING OPENINGS.

HARDWARE NOTES:

LOCK AND LATCH SETS TO BE 'YALE' SERIES WITH LEVER HANDLE AND SATIN CHROME FINISH (U.N.O.)
 ALL DOORS TO RECEIVES 'IVES' OR APPROVED EQUAL DOMED FLOOR STOPOR CONVEX WALL STOP ANSI 156.16. ALL DOORS TO HAVE APPROPRIATE DOOR STOPS.
 PANIC HARDWARE SHALL CONSIST OF PANIC BAR (HORIZONTAL BAR) AND LATCHING DEVICE WITH PROPER LATCH BOLT LENGTH, STEEL BALL BEARING HINGES AND CLOSER.
 PROVIDE PANIC HARDWARE ON ALL EXTERIOR DOORS. IT IS 'YALE' MANUFACTURER OR APPROVED EQUAL
 PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HIGHT OF NOT LESS THAN 30 INCHES & 44 INCHES A.F.F.
 DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
 VERIFY ALL HARDWARE FINISHES AND LOCK REQUIREMENTS WITH OWNER - DOOR SUPPLIER TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL

ABBREVIATIONS:

AL/GL - GLASS IN ALUM. FRAME
 SCWD. - SOLID CORE WOOD
 ANOD. - ANIDIZED
 STL. - STEEL
 STN. - STAIN
 PTD. - FACTORY FINISH PAINT
 H.M./R.F. - HOLLOW METAL / READY FRAME
 H.M. - HOLLOW METAL
 WD/GL - GLASS IN WOOD FRAME
 STVN - FACTORY FINISH STAINED VENEER
 BRZ. PT. - BRONZE PAINT

WINDOWS AND GLAZING NOTES:

- A. PROVIDE FLASHING AT ALL WINDOW HEAD, JAMB AND SILL CONDITIONS.
- B. FIXED GLASS SIZES ARE SHOWN FOR REFERENCE ONLY. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION AND PROVIDE SEPARATE SHOP SUBMITTAL FOR ALL OPENINGS.
- C. PROVIDE APPROPRIATE SAFETY GLASS FOR ALL HAZARDOUS LOCATIONS IN ACCORDANCE WITH CURRENT BUILDING CODES INCLUDING ALL DOORS, GLAZED AREAS IN EXCESS OF 9 SQ. FT., WITHIN 5' OF TUBS AND GLAZING WITHIN 18" OF WALKING/SITTING SURFACES.
- D. PROVIDE FOR EGRESS OPENINGS WHERE CODE REQUIRES
- E. WINDOW SIZES AND OPERABILITY ARE SHOWN FOR REFERENCE ONLY. WINDOW SUPPLIER SHALL CONFIRM ALL SIZES AND CONFIGURATIONS WITH OWNER PRIOR TO ORDER. GLAZING CONTRACTOR SHALL FIELD MEASURE ALL OPENINGS.

FLOORING NOTES:

- A. ALL FLOORS SHALL BE PROPERLY PREPARED AND SKIM COATED AS NECESSARY TO ACHIEVE CLEAN SURFACES SO THAT BLEMISHES DO NOT TELEGRAPH THROUGH FINISH MATERIAL
- B. ALL CARPET IS TO BE INSTALLED USING DIRECT GLUE-DOWN METHOD UNLESS OTHERWISE NOTED OR CARPET TILES ARE USED.
- C. ALL FLOOR FINISH CHANGES AT DOORWAYS SHALL BE CENTERED UNDER DOORS.
- D. ALL ADHESIVES TO BE APPROVED BY MATERIAL MFR.
- E. WHERE TILE FLOORS ARE INSTALLED OVER CONCRETE, PROVIDE PLIABLE SILICONE JOINTS (MATCHING GROUT) AT ALL CONTROL AND EXPANSION JOINTS AND AT ANY TRANSITIONS IN FOUNDATIONS.

HARDWARE NOTES:

- A. LOCK AND LATCH SETS TO BE 'YALE' SERIES WITH LEVER HANDLE AND SATIN CHROME FINISH (U.N.O.)
- B. ALL DOORS TO RECEIVES 'IVES' OR APPROVED EQUAL DOMED FLOOR STOPOR CONVEX WALL STOP ANSI 156.16. ALL DOORS TO HAVE APPROPRIATE DOOR STOPS.
- C. PANIC HARDWARE SHALL CONSIST OF PANIC BAR (HORIZONTAL BAR) AND LATCHING DEVICE WITH PROPER LATCH BOLT LENGTH, STEEL BALL BEARING HINGES AND CLOSER.
- D. PROVIDE PANIC HARDWARE ON ALL EXTERIOR DOORS AND WHERE INDICATED ON THE DOOR SCHEDULE. MANUFACTURER: YALE OR APPROVED EQUAL
- E. PANIC HARDWARE SHALL HAVE THE ACTIVATING MEMBER MOUNTED AT A HEIGHT OF NOT LESS THAN 30 INCHES AND NOT GREATER THAN 44 INCHES A.F.F.
- F. DOOR CLOSERS SHALL MEET OPENING FORCE AND SWEEP PERIOD REQUIREMENTS.
- G. VERIFY ALL HARDWARE FINISHES AND LOCKING REQUIREMENTS WITH OWNER. DOOR SUPPLIER TO PROVIDE SUBMITTAL FOR ARCHITECT APPROVAL

FINISH NOTES

PAINTING:
 SURFACE PREPARATION AND APPLICATION. PAINT TO MATCH THE APPROPRIAT HISTORIC DISTRICT COMMITTEE COLOR SYSTEM.

METALS: ALL METAL SURFACES SHALL BE CLEAN AND FREE OF RUST, MILL SCALE, GREASE, OIL, DIRT AND OTHER FOREIGN MATTER. SURFACES MUST BE ABRADED WITH STEEL WOOL OR ABRASIVE PAPER PRIOR TO PRIME COAT. FINISHES TO BE GLOSS UNLESS NOTED OTHERWISE.

PLASTER: DEEP CRACKS MUST BE CUT OUT AND PATCHED BEFORE PRIMER AND PAINT ARE APPLIED. UNDERCUT PLASTER TO A 'V' GROOVE. AFTER PATCH DRIES AND IS SANDED SMOOTH. DUST COMPLETELY. PATCHED AREAS MUST BE SPOT PRIMED AND SCUFF SANDED BEFORE THEY ARE PAINTED. NEW PLASTER MUST BE DRY BEFORE IT IS PRIMED AND PAINTED.

GYPSTUM BOARD: BE SURE ALL SCREW HEADS ARE SET BELOW THE SURFACE AND SPACKLED OVER. JOINTS SHOULD BE TAPED AND COVERED WITH SUITABLE JOINT COMPOUND. SAND SMOOTH AND DUST WELL BEFORE PRIMING. GYPSUM BOARD SHOULD BE FINISHED TO A LEVEL 4 FINISH UNLESS NOTED OTHERWISE.

CONCRETE & MASONRY: SURFACE SHALL BE 'AGED' BEFORE PAINTING. AGING ALLOWS ALKALI TO LEACH OUT OF CEMENT PRODUCTS AND MOISTURE TO ESCAPE. CONCRETE PRODUCTS SHALL BE FILLED BY APPLYING LATEX BLOCK FILLER. PROVIDE SATIN CLEAR SEALERS ON CONCRETE SURFACES AS NOTED.

WOOD FINISHES: PROVIDE FINISH SANDING TO REPAIR MINOR DEFECTS IN ALL FINISHED LUMBERS. PATCH MAJOR DEFECTS WITH PROPER WOOD FILLERS. FILLER/SEALER IS USED TO FILL POURS OF OPEN GRAINED WOODS SO THAT STAINS AND VARNISHES WILL DRY EVENLY. APPLY MINIMUM TWO (2) COATS OF CLEAR VARNISH, LIGHTLY SAND OR STEEL WOOL AFTER EACH COAT. ON OPAQUE FINISHES PROVIDE 'KILZ' (OR EQUAL) PRIMER AFTER SANDING. SURFACES PRECIOSLY COATED WITH GLOSS PAINTS DILUTED WITH PENETROL PER ARCHITECTS DIRECTION. PREPARE TEST STRIPS FOR ALL SPECIAL AND TEXTURED PAINT TO BE APPROVED BY ARCHITECT.

TYPICAL FINISH
CEILINGS - FLAT
WALLS - SATIN OR EGGSHELL
TRIM - SEMI GLOSS, W/CLEAR VARNISH OR POLYURETHANE
METALS - GLOSS, W/CLEAR VARNISH OR POLYURETHANE

GENERAL EXTERIOR FINISH NOTES:

- A. ALL CONSTRUCTION TO COMPLY WITH THE LOCAL BUILDING CODES AND ORDINANCES FOR MATERIAL REQUIREMENTS AND PERFORMANCE.
- B. ALL MATERIALS WITHIN 8" OF GRADE SHALL BE OF NON-ROTTING COMPOSITION PER CODE.
- C. **VERIFY ALL SELECTIONS WITH OWNER PRIOR TO ORDER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.**

SIDING/TRIMS:

- A. WHERE PAINTED PRODUCTS ARE SELECTED, PROVIDE ALTERNATE FOR COMPOSITES.
- B. WHERE OWNER SELECTS PAINTED SIDING OR TRIMS, PROVIDE SAMPLE/MOCK-UP PRIOR TO PAINT ORDER. ALL EXTERIOR PAINTED ELEMENTS SHALL BE PREPARED, CAULKED, PRIMED WITH OIL-BASE FINISHES AND PAINTED WITH EXTERIOR LATEX PAINT PER INDUSTRY STANDARDS OR APPROVED EQUAL.
- C. ALUMINUM COIL TRIMS, AS WELL AS GUTTERS AND DOWNSPOUTS, SHALL BE VERIFIED WITH OWNER AND COORDINATED WITH ROOFING AND WINDOW COLOR SELECTIONS. UNLESS DESIGN INTENT CONVEYS OTHERWISE, DOWNSPOUTS SHALL MATCH FAÇADE COLOR THEY ARE MOUNTED TO.
- D. ALL EXTERIOR SEALANTS SHALL MATCH COLOR OF MATERIALS THEY ABUT AND SHALL HAVE U. V. INHIBITORS. USE 'SOLAR SEAL' OR APPROVED EQUAL.
- E. WHERE COMPOSITE EMBELLISHMENT OR SUPPORT BRACKETS ARE PRESENT, PROVIDE SOLID BLOCKING IN FRAME WALLS FOR PROPER SUPPORT AND TRANSFERRED LOADS. WHERE ELEMENTS OCCUR IN MASONRY, PROVIDE BUILT-UP PRESSURE TREATED 2X BLOCKING AS NECESSARY TO ASSURE FLUSH MOUNTING OF ELEMENTS AND/OR BRACKET PLATES.

INTERIOR FINISH ABBREVIATIONS:

CT - CERAMIC TILE
 PGB - PAINTED GYPSUM BOARD
 -- - NO FINISH MATERIAL
 HW - HARDWOOD

ROOM FINISH SCHEDULE					
Name	Area	Wall Finish	Ceiling Finish	Floor Finish	Base Finish
BASEMENT	913 SF	--	--	--	--
BATH	56 SF	CT / PGB	PGB	CT	CT
DEN	149 SF	PGB	PGB	HW	HW
DINING	136 SF	PGB	PGB	HW	HW
DRESSING ROOM	87 SF	PGB	PGB	HW	HW
FOYER	75 SF	PGB	PGB	HW	HW
GUEST ROOM	119 SF	PGB	PGB	HW	HW
KITCHEN	184 SF	PGB	PGB	HW	HW
LAUNDRY	60 SF	PGB	PGB	CT	CT
MASTER BATH	107 SF	CT / PGB	PGB	CT	CT
MASTER BED / LOFT	328 SF	PGB	PGB	HW	HW
PARLOR	119 SF	PGB	PGB	HW	HW
WORKSPACE	78 SF	PGB	PGB	HW	HW

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Revision Schedule		
#	Description	Date
1	OWNER REVIEW	02/21/20
2	PERMITS	02/25/20



02/24/2020

2201 WABASH
 2201 Wabash Street, Detroit, MI 48216
MANLEY AND SILLERY
 SHEET TITLE
SCHEDULES

SHEET NUMBER
A-8.0

Pella® Reserve – Traditional Double-Hung Windows

Aluminum EnduraClad® Exterior

Detailed Product Description

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir].
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127mm) for a wall depth of 3-11/16" (94mm).
- Optional factory applied jamb extensions available between 3-13/16" (97mm) and 9-3/16" (233mm).
- Vinyl jamb liner with wood / clad inserts.
- Optional factory installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are [clear pine] [mahogany] [douglas fir]. Any curved member may have visible finger-jointed surfaces.
- Exterior surfaces are clad with extruded aluminum butt-jointed at all corners of the sash with through-stile construction and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is 1-7/8" (47mm).
- Double-Hung: Upper sash has surface-mounted wash locks for easy tilt-in cleaning] [Single-Hung: Fixed upper sash has surface-mounted wash locks] [Arch Head units have no wash locks].
- Lower sash has concealed wash locks in lower check rail allowing sash to tilt in for easy cleaning.
- Simulated-Hung units have non-operable upper and lower sashes.
- Sash exterior profile is [ogee] [putty glaze], interior profile is ogee.

Weatherstripping

- Water-stop santoprene-wrapped foam at head and sill.
- Thermoplastic elastomer bulb with slip-coating set into lower sash for tight contact at check rail.
- Vinyl-wrapped foam inserted into jamb liner to seal against sides of sash.

Glazing System

- Quality float glass complying with ASTM C 1036.
- Custom and high altitude glazing available.
- Silicone-glazed dual-pane 13/16" dual-seal insulating glass [[annealed] [tempered]], [[clear] [[Advanced Low-E] [SunDefense™ Low-E] [NaturalSun Low-E] [AdvancedComfort Low-E] with argon]] [[bronze] [gray] [green] Advanced Low-E [with Argon]] [obscure] [Reflective Bronze].
- or-
- Silicone-glazed dual-pane 13/16" dual-seal [[annealed] [tempered]] non-impact laminated glass [[clear] [[Advanced Low-E] [SunDefense Low-E] with Argon]] [[bronze] [gray] [green] Advanced Low-E [with argon]].

Exterior

- Aluminum-clad exteriors shall be finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
 - Color is [standard] [custom]₁.
- or –
- Aluminum-clad exteriors shall be finished with EnduraClad Plus protective finish with 70% fluoropolymer resin in a multi-step, baked-on finish.
 - ♣ Color is [standard] [custom]₁.

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [pine: factory prefinished [paint] [stain] ₁].

Hardware

- Galvanized block-and-tackle balances are connected to self-locking balance shoes which are connected to the sashes using zinc die cast terminals and concealed within the frame.
- Sash lock is [standard (cam-action)] [historic spoon-style] [air-conditioner lock] [simulated lock (Single-piece lock ties upper and lower sash together. When removed lower sash becomes operable)]. Two sash locks on units with frame width 37" and greater.
- Optional sash lift furnished for field installation. Two lifts on units with frame width 37" and greater.
- Hardware finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Bright Brass] [Satin Nickel] [Oil-rubbed Bronze] [Antique Brass] [Distressed Bronze] [Distressed Nickel].

Optional Products

Sash

- Exterior sash lugs
♣ Optional factory applied accessory. Exterior finish is [Standard₁] [Custom₁].

Grilles

- Integral Light Technology[®] grilles
 - ♣ Interior grilles are [5/8"] [7/8"] [1-1/4"] [2"] ogee profile that are solid [pine] [mahogany] [douglas fir]. Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] ₁].
 - ♣ Exterior grilles are [5/8" putty glaze profile] [7/8" [putty glaze] [ogee] profile] [1-1/4" [putty glaze] [ogee] profile] [2" ogee profile] that are extruded aluminum.
 - ♣ Patterns are [Traditional] [Prairie] [Top Row] [New England] [Victorian].
 - ♣ Insulating glass contains non-glare spacer between the panes of glass.
 - ♣ Grilles are adhered to both sides of the insulating glass with VHB acrylic adhesive tape and aligned with the non-glare spacer.

– or –
- Grilles-Between-the-Glass₂
 - ♣ Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - ♣ Patterns are [Traditional] [9-Lite Prairie] [Cross] [Top Row]
 - ♣ Interior color is [White] [Tan₃] [Brown₃] [Putty₃] [Black] [Morning Sky Gray] [Ivory] [Sand Dune] [Harvest] [Cordovan] [Brickstone].
 - ♣ Exterior color₄ is [standard₁].

– or –
- Roomside Removable grilles
 - ♣ [[3/4"] [1-1/4"] [2"] traditional] [[1-1/4"] [2"] colonial] profile, with [Traditional] [Prairie] patterns that are removable solid pine wood bars steel-pinned at joints and fitted to sash with steel clips and tacks.
 - ♣ Interior [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [paint] [stain] ₁].
 - ♣ Exterior [unfinished, ready for site finishing] [factory primed] [finish color matched to exterior cladding₄].

Screens

- Integrated Rolscreen[®] (for rectangular units only)₆
 - ♣ Retractable screen integrated into [lower sash] [both upper and lower sash]. Screen rollers are fixed and concealed within the frame, screen is held to the sash by magnets which release when the bottom sash is tilted for cleaning, and when the upper sash is opened past 18".
 - ♣ InView Screen cloth, black vinyl-coated 18/18 mesh fiberglass screen cloth complying with ASTM D 3656 and the performance requirements of SMA 1201.

– or –
- InView[™] screens
 - ♣ [Half-Size] [Full-Size₄] black vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in a [standard roll-form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - ♣ Full screen spreader bar placed on units > 37" width or > 65" height.
 - ♣ Screen frame finish is [standard screen: baked enamel] [premium extruded: [baked enamel] [anodized]], color to match window cladding.

– or –
- Vivid View[®] screens₇
 - ♣ [Half-Size] [Full-Size] PVDF 21 / 17 mesh, minimum 78 percent light transmissive screen, set in a [standard roll-form] [premium extruded] aluminum frame fitted to outside of window, supplied complete with all necessary hardware.
 - ♣ Full screen spreader bar placed on units > 37" width or > 65" height.
 - ♣ Screen frame finish is [standard screen: baked enamel] [premium extruded: [baked enamel] [anodized]], color to match window cladding.

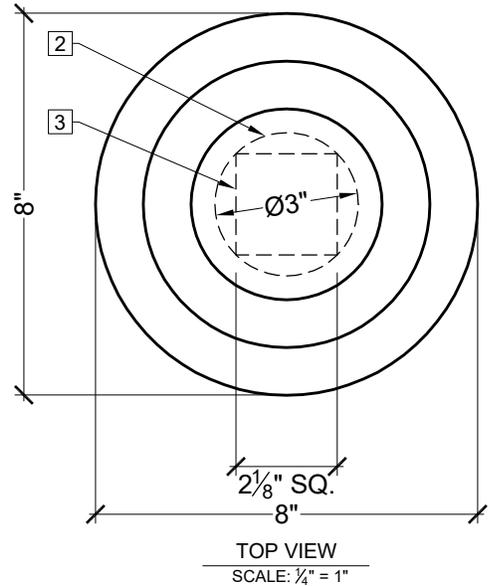
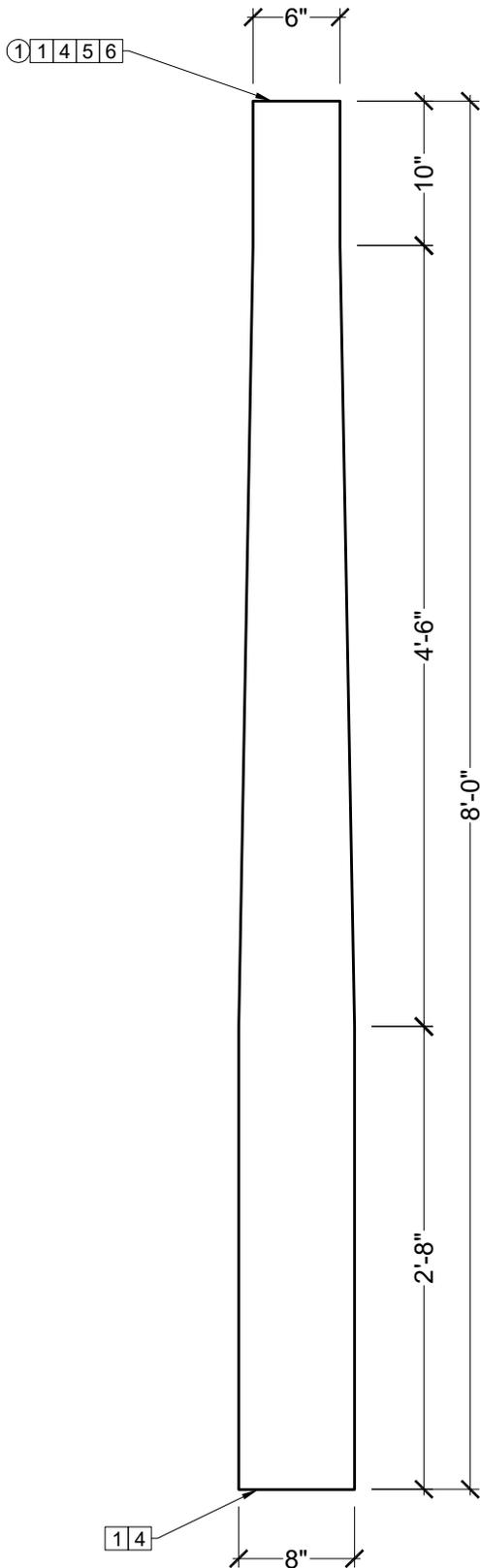
Hardware

- Optional factory applied limited opening device available for vent units in stainless steel; nominal 3-3/4" opening. Limiting device concealed from view.
- Optional factory applied window opening control device. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-10.

Sensors

- Optional factory installed integrated security sensors available in vent units.

- (1) Contact your local Pella sales representative for current designs and color options.
- (2) Available in clear or Low-E insulating glass only.
- (3) Tan, Brown and Putty Interior GBG colors are available in single-tone (Brown/Brown, Tan/Tan or Putty/Putty). Other interior colors are also available with Tan or Brown exterior.
- (4) Appearance of exterior grille color will vary depending on Low-E coating on glass.
- (5) Full screens are available on units ≤ 96 " height.
- (6) Integrated Rolscreen only available on sizes ≥ 34 " tall and 21" wide, and ≤ 84 " tall and 48" wide.
- (7) Vivid View screen is not available when frame height is > 84 " or when both frame width and frame height are > 48 ".



Confirm For Correctness
 & Fax Back Within 24 Hrs.
 To (204) 388-6710
 Your Signature: _____

BILL OF MATERIAL

- ① CLM100-8-8 - NON-STRUCTURAL COLUMN MADE OF POLYURETHANE AND/OR PVC AT SPECTIS' DISCRETION.

OPERATIONS

- ① UNFINISHED TOP AND BOTTOM.
- ② MAXIMUM ROUND INTERNAL MEMBER SIZE.
- ③ MAXIMUM SQUARE INTERNAL MEMBER SIZE.
- ④ INTERIOR HOLLOW WITH OPEN TOP/BOTTOM.
- ⑤ CAN BE SHIPPED SPLIT OR ASSEMBLED AT CUSTOMER'S REQUEST UPON ORDERING.
- ⑥ IF SPLIT, ASSEMBLED AND PATCHED ON SITE BY OTHERS.

GENERAL NOTES:

-ALL CUSTOM MANUFACTURED AND/OR MODIFIED STANDARD PRODUCTS ARE NON-RETURNABLE.

-SPECTIS ADHESIVE MUST BE USED ON ALL BEDDING/BUTT JOINTS.



SPECTIS™
MOULDERS INC.
 Custom Polyurethane Products

BOX 479
 PEMBINA,
 NORTH DAKOTA
 58271-0479

P.O. BOX 970
 100 CEDAR DRIVE
 NIVERVILLE, MANITOBA
 CANADA R0A 1E0

PHONE: 204-388-6700
 PHONE: 800-685-9981
 FAX: 204-388-6710

GENERAL NOTES:

- 1. ALL PRODUCTS ARE DRAWN FOR PRESENTATION PURPOSES ONLY. IMAGE MAY VARY SLIGHTLY FROM ACTUAL PART
- 2. DRAWING INTENT IS TO INDICATE GENERAL ARRANGEMENT. DESIGN AND INTENT OF WORK IS PARTLY DIAGRAMMATIC.
- 3. SPECTIS RESERVES THE RIGHT TO CHANGE ANY PRODUCT DESIGN WITHOUT NOTICE.

CUSTOMER NAME: STANDARD PRODUCT		PART: CLM100-8-8	
REFERENCE: COLUMN		SHEET: 01 OF 01	
DRAWN BY: JK	DATE: 01/30/18	SCALE: 5/64" = 1"	REV:



Premium Wood

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The information published in this document is believed to be accurate at the time of publication. However, because we are constantly working to improve our products, specifications are subject to change without notice. Consult your local Pella representative for up-to-date product information.



Premium Wood Entry Doors

Contemporary Collection

Contemporary panels feature bold-yet-simple styling and minimal ornamentation. Entry doors in this tailored category help to create a nostalgic yet modern twist for a home.

Mahogany*



1 Offset Light
36" x 80"



5 Square Offset Lights
36" x 80"



5 Circular Offset Lights
36" x 80"



3 Equal Lights
36" x 80"



3 Light Vertical Contemporary
36" x 80"
36" x 96"



Full Light
32" x 80"
36" x 80"
32" x 96"
36" x 96"



4 Light Contemporary
30" x 80"
32" x 80"
36" x 80"
42" x 80"



5 Light Contemporary
30" x 96"
32" x 96"
36" x 96"
42" x 96"



9 Light Contemporary
36" x 80"



11 Light Contemporary
36" x 96"

* Glass patterns may change based on size and options chosen. Not available with all glass collection patterns shown. Contact your Pella sales representative for more information. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Traditional Collection

With Pella's timeless Traditional Collection, you can find an entry door that's perfect for your project. From understated to elaborate, from regional to international, these doors provide the solution you've been looking for. Offering a warm welcome with sparkling glass and richly detailed wood, Pella's Traditional Collection is right at home in any home.

Styles and Sizing*



3 Panel
Mahogany
32" x 80"
36" x 80"



3 Panel Arch
Mahogany
36" x 80"



2 Panel Oval
Mahogany
36" x 96"



4 Panel Arch
Mahogany
36" x 96"



2 Panel Arch
Mahogany
36" x 80"
36" x 96"

Glass Collections*



Menger₁



Sarasota



Serenade



Bonnabel₁



Sonnet



Symphony



Arcadia₁



Queen Anne

* Glass patterns may change based on size and options chosen. Not available with all glass collection patterns shown. Contact your Pella sales representative for more information.
(1) Forged iron decorative glass.



Premium Wood Entry Doors

Craftsman Collection

Simple yet stunning. Doors from Pella's Craftsman Collection bring to life the beauty of nature and the countryside. Their steadfast appearance is softened by artistic embellishments – including grilles and a dentil shelf. The rustic, pastoral designs of Pella's Craftsman Collection create a cozy and warm atmosphere characteristic of great American homes.

Mahogany*



Craftsman Light
36" x 80"



Craftsman 4 Light Top Row
36" x 80"



2 Panel 3/4 Light
36" x 80"



Craftsman Light
36" x 80"
36" x 96"
42" x 96"



Craftsman 3 Panel Light
36" x 80"
36" x 96"



Craftsman Light
36" x 80"
36" x 84"
36" x 96"



Craftsman Light
36" x 80"
36" x 84"
36" x 96"



Craftsman Light
36" x 80"
36" x 84"
36" x 96"



Craftsman Light Shaker
36" x 80"
36" x 84"
36" x 96"

Rustic Walnut*



Craftsman Light
36" x 80"
36" x 96"



Craftsman Light
42" x 96"

* Glass patterns may change based on size and options chosen. Not available with all glass collection patterns shown. Contact your Pella sales representative for more information. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Classic Collection

Pella's Classic Collection adds historical charm and elegance to your projects. With true-divided-light grilles and beveled glass, these doors complement other classic features in customers' homes – such as windows with decorative glass and artistic woodwork. Pella's Classic Collection is the choice for builders who desire authenticity down to the finest detail.

Mahogany*



**2 Panel
3/4 Light**
30" x 96"
32" x 96"
36" x 96"



2 Panel 3/4 Light
36" x 80"
36" x 96"



2 Panel 3/4 Light
30" x 80"
32" x 80"
36" x 80"



2 Panel 3/4 Light
30" x 80"
32" x 80"
36" x 80"



2 Panel 3/4 Light
30" x 96"
32" x 96"
36" x 96"



**2 Panel
Continuous Arch 1**
60" x 96"
64" x 96"
72" x 96"



**2 Panel
Continuous Arch 1**
60" x 96"
64" x 96"
72" x 96"



**2 Panel
Continuous Arch 2**
60" x 96"
64" x 96"
72" x 96"

* Glass patterns may change based on size and options chosen. Refer to the full catalog for details on Pella's complete line of wood entry doors.
(1) Available as rectangular top frame.
(2) Available as an arch top frame.



Premium Wood Entry Doors

Classic Collection

Pella's Classic Collection adds historical charm and elegance to your projects. With true-divided-light grilles and beveled glass, these doors complement other classic features in customers' homes – such as windows with decorative glass and artistic woodwork. Pella's Classic Collection is the choice for builders who desire authenticity down to the finest detail.

Rustic Walnut*



2 Panel Arch₂
(with 2 Panel Arch Sidelights)
36" x 96"
42" x 96"



2 Panel Continuous Springline₂
72" x 96"



2 Panel Springline₂
36" x 80"



2 Panel Arch_{1, 2}
36" x 80"



2 Panel₂
36" x 80"



2 Panel Springline₂
36" x 96"
42" x 96"



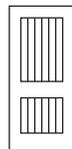
2 Panel Arch_{1, 2}
36" x 96"
42" x 96"



2 Panel₂
36" x 96"



(1) Arch head version available.



(2) Planked panel option available.

* Glass patterns may change based on size and options chosen. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Old World European Collection

Step through a door from Pella's old world European Collection. Go back in time to a place where opulence and luxury were esteemed, beauty and drama were expected, and protection and security were essential. Pella's Old World European Collection resurrects the legendary grandeur and performance of this majestic era.

Mahogany*



2 Panel Arch_{1, 2}
36" x 96"



2 Panel Arch_{1, 2}
36" x 80"

Rustic Walnut*



Vertical Planked₁
(also with 2 Panel Arch sidelights)
36" x 80"
42" x 80"
36" x 96"
42" x 96"



2 panel Springline₂
36" x 80"
36" x 96"
42" x 96"



2 Panel₂
36" x 80"
36" x 96"



2 Panel Arch_{1, 2}
36" x 80"



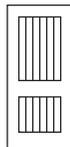
2 Panel Arch_{2, 3}
(also with 2 Panel Arch sidelights)
36" x 96"
42" x 96"



2 Panel Continuous Springline₂
72" x 96"



(1) Arch head version available.



(2) Planked panel option available.



(3) Rectangle top option available.

* Glass patterns may change based on size and options chosen. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Wrought Iron

Step through a door from Pella's Wrought Iron Collection. Go back in time to a place where opulence and luxury were esteemed, beauty and drama were expected, and protection and security were essential. Pella's Wrought Iron Collection resurrects the legendary grandeur and performance of this majestic era.

Mahogany*



3 Panel
with Carina Grille
36" x 80"



2 Panel₂
with Carina Grille
36" x 80"
36" x 96"



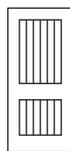
2 Panel 3/4 Light
with La Colina Grille
36" x 96"



2 Panel Continuous Arch₁
with Montelana Grille
72" x 96"



(1) Arch head version available.



(2) Planked panel option available.

* Glass patterns may change based on size and options chosen. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Diamond Bevel

Step through a door from Pella's Diamond Bevel Collection. Go back in time to a place where opulence and luxury were esteemed, beauty and drama were expected, and protection and security were essential. Pella's Diamond Bevel Collection resurrects the legendary grandeur and performance of this majestic era.

Rustic Walnut*



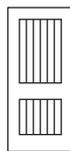
2 Panel Arch₂
36" x 80"
36" x 96"
42" x 96"



2 Panel Arch Sidelights₂
36" x 96"
42" x 96"



(1) Arch head version available.



(2) Planked panel option available.

* Glass patterns may change based on size and options chosen. Refer to the full catalog for details on Pella's complete line of wood entry doors.



Premium Wood Entry Doors

Features and Options

Pella® wood entry doors feature a floating panel that allows the door to contract and expand to outside weather extremes – helping protect it from splitting or cracking.



Multipoint Lock Multipoint Hardware Options

Pella’s entry door systems not only look beautiful; they perform beautifully too. With just one twist of the thumbturn, the optional multipoint lock system secures the door at the top, middle and bottom – for superior durability, performance and added security.



Exterior Handles



Eclipse



Grip Style Lever

Finishes



Antique Brass



Distressed Bronze



Distressed Nickel



Matte Black



Polished Brass



Polished Chrome



Polished Nickel



Satin Nickel

Finishes vary based on handle style.

Standard Hardware Options

Handle Sets

Standard:



Satin Nickel, Bright Brass, and Oil-Rubbed Bronze

Chesapeake / Del Mar:



Bright Brass, Antique Brass, Satin Nickel, Oil-Rubbed Bronze, Matte Black

Santa Cruz / Seattle:



Satin Nickel, Polished Nickel, Polished Chrome, Matte Black

Longview / Elkhorn:



Distressed Nickel and Distressed Bronze



Premium Wood Entry Doors

Features and Options



Rustic Walnut and Mahogany woods are available to perfectly complement the flooring, cabinetry and furniture of your customers' homes. Delicate graining, bold beauty marks and rich color variations highlight the unique qualities of each wood type.

Rustic Walnut Options

Decorative Accents

Cross Buck



*with and without clavos

Clavos



Square, Diamond or Round Clavos

Hingestraps



20" and 14" Straps
(20" hinge straps come on 42" or 84" doors only.)

Speakeasy Grille



Speakeasy Door



Square

Eye brow



Roundtop

Hinge options



Bright Brass



Satin Nickel

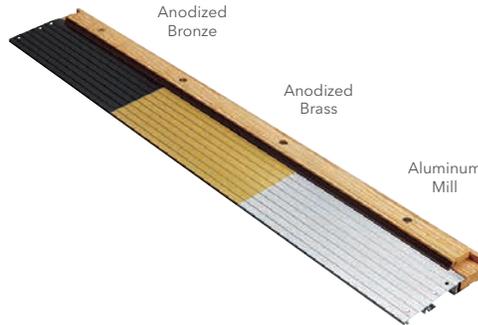


Black



Oil-Rubbed Bronze

Sill Options



Anodized Bronze

Anodized Brass

Aluminum Mill



Standard Sill In-Swing



ADA (Handicap) Sill



Standard Sill Out-Swing



Wood Sill - Mahogany or Oak

Stain Colors

	Chapparral	Saddle	Chappo	Rawhide	Rosewood	Bordeaux	Charcoal	Graphite	Natural
Rustic Walnut									
Mahogany									



Premium Wood Entry Doors

Size and Performance Data

	Mahogany	Rustic Walnut
Door Panel Sizes		
2' 0" x 6' 8"	•	–
2' 6" x 6' 8"	•	–
2' 8" x 6' 8"	•	–
3' 0" x 6' 8"	•	•
3' 6" x 6' 8"	–	•
2' 0" x 8' 0"	•	–
2' 6" x 8' 0"	•	–
2' 8" x 8' 0"	•	–
3' 0" x 8' 0"	•	•
3' 6" x 8' 0"	•	•
In-swing Doors	•	•
Out-swing Doors	•	•
In-Swing and Out-Swing Performance ^{1, 2, 3} (Wind Resistance Only - Design Pressure (psf))		
Single Doors - Square Top and Eyebrow		
Solid or single light glazed - 6' 8" panel height	35	35
Solid or single light glazed - 8' 0" panel height	35	35
True divided light - 6' 8" panel height	35	35
True divided light - 8' 0" panel height	35	35
Plank - 6' 8" panel height	–	–
Plank - 8' 0" panel height	–	–
Single Doors - Radius Top		
Solid or single light glazed - 6' 8" panel height	35	35
Solid or single light glazed - 8' 0" panel height	35	35
True divided light - 6' 8" panel height	35	35
True divided light - 8' 0" panel height	35	35
Plank - 6' 8" panel height	–	–
Plank - 8' 0" panel height	–	–
Single Door with 14" Sidelights		
Solid or single light glazed - 6' 8" panel height	35	35
Solid or single light glazed - 8' 0" panel height	35	35
True divided light - 6' 8" panel height	35	35
True divided light - 8' 0" panel height	35	35
Double Doors		
Square and arch top - 6' 8" panel height	35	35
Square and arch top - 8' 0" panel height	35	35
Radius top - solid or single light glazed - 8' 0" panel height	–	35
Radius top - true divided light - 8' 0" panel height	–	35

(–) = Not Applicable

(1) Published performance data is for unit configurations stated for panel widths ≤ 36" unless specifically stated.

(2) Doors have not been tested for Air or Water Infiltration.

(3) Higher performance rating available on select models.



Premium Wood Entry Doors

Features and Options

	Mahogany	Rustic Walnut
Glazing		
Clear insulating glass	•	•
Decorative insulating glass	•	•
Obscure insulating glass	•	•
Interior/Exterior Finish—Panel		
Unfinished	S	S
Factory stained finish ¹	O	O
Sill Options		
In-Swing		
Mill finish aluminum with adjustable oak threshold	S	S
Anodized Bronze aluminum with adjustable oak threshold	O	O
Anodized Brass aluminum with adjustable oak threshold	O	O
Mill finish low profile ADA compliant	O	O
Anodized Bronze low profile ADA compliant	O	O
Anodized Brass low profile ADA compliant	O	O
Mahogany and Oak Wood	O	O
Out-Swing		
Mill finish Aluminum Bumper Sill	S	S
Anodized Bronze Aluminum Bumper Sill	O	O
Anodized Brass Aluminum Bumper Sill	O	O
Mill finish low profile ADA Compliant	O	O
Anodized Bronze low profile ADA Compliant	O	O
Anodized Brass low profile ADA Compliant	O	O
Mahogany and Oak Wood	O	O
Wall Depths		
4-9/16"	S	S
4-3/4"	O	O
4-7/8"	O	O
5"	O	O
5-1/8"	O	O
5-1/4"	O	O
5-3/8"	O	O
5-1/2"	O	O
5-5/8"	O	O
5-3/4"	O	O
5-7/8"	O	O
6"	O	O
6-1/8"	O	O
6-1/4"	O	O
6-3/8"	O	O
6-1/2"	O	O
6-9/16"	O	O
Interior Casing		
356 Colonial ²	O	O
LC11 Colonial	O	-
C22	-	-
Hinges-Ball Bearing		
Black	O	O
Bright Brass	O	O
Oil-Rubbed Bronze	O	O
Satin Nickel	O	O

S = Standard; O = Optional; (-) = Not Available

(1) Contact your local Pella sales representative for current stain color options.

(2) Option for rectangle top units only.

Wood species will be the same for Frame Wood Type and Interior Casing



Premium Wood Entry Doors

Features and Options

	Mahogany	Rustic Walnut
Bore Options		
No bore	S	S
Latch bore with deadbolt	S	S
Latch bore	S	S
Multi-Point bore	O	O
Lock Options		
Multi-Point lock	O	O
6", 12" or 18" surface bolts	O	O
Backset Options (Multi-Point backset is 2-3/8")		
2-3/8"	O	O
2-3/4"	O	O
Grilles		
True divided lite	O	O
Accessories¹		
Dentil Shelf	O	O
Clavos	O	O
Cross Buck	-	O
Hinge Straps	O	O
Speakeasy Door	O	O
Speakeasy Grille	O	O
Exterior Wrought Iron Grille	O	O

S = Standard; O = Optional; (-) = Not Available

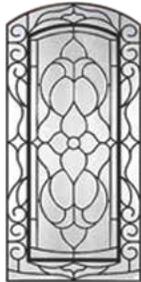
(1) See Size and Options tables for Accessory options for each door type.



Arcadia



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming

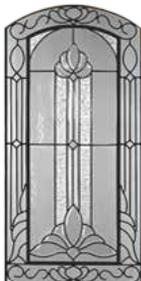


Forged Iron with Dark Patina

Bonnabel



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming



Forged Iron with Dark Patina

Diamond Bevel



2 Panel Arch



2 Panel Continuous Arch



1/2 Light Sidelight

Caming



Dark Patina



Menger



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming

Forged Iron with Dark Patina

Queen Anne



Full and 3/4 Light Oval



Center Arch



Full, 3/4, and 1/2 Light Sidelight



Fan Light



Rectangle Transom

Caming

Nickel

Sarasota



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming

Nickel



Serenade



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



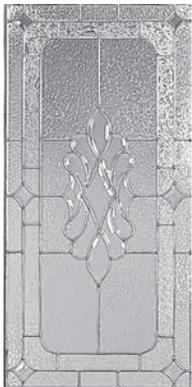
Rectangle Transom

Caming



Nickel

Sonnet



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming



Nickel

Symphony



Full and 3/4 Light



3 Panel Arch



Full and 3/4 Light Sidelight



Rectangle Transom

Caming



Nickel



Beveled IG



Full, 3/4 and 1/2 Light



3/4 and 1/2 Light

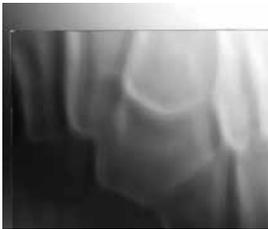


Full, 3/4, and 1/2 Light Sidelight



Rectangle Transom
Note: Prairie pattern shown. Traditional pattern also available.

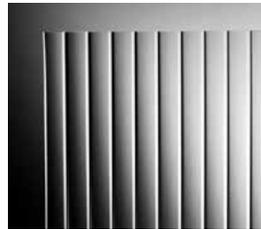
Obscure Glass



Flemish



Rain



Reeded



Satin



Premium Wood Entry Doors

Sizes and Options - Solid Single and Double Doors

		In-Swing and Out-Swing												
														
		1 Panel		2 Panel			2 Panel Arch			2 Panel Continuous Springline		2 Panel Springline		
		2' 8" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	2' 8" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"	6' 0" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"
Wood Type	Mahogany	•	•		•	•	•	•	•					
	Rustic Walnut			•		•		•	•	•	•	•	•	•
Panel Thickness	1-3/4"	•	•	•	•	•		•	•		•	•	•	
	2-1/4"						•			•				•
Moulding	None			•		•		•	•	•	•	•	•	•
	Raised	•	•	•	•	•	•							
Grooved Panel	Planked			•		•		•	•	•	•	•	•	•
Panel Top	Rectangle	•	•	•	•	•	•	•	•	•		•	•	•
	Arch							•	•	•		•	•	•
	Springline										•			
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•		•	•	•
	Double Door	•	•	•	•	•	•	•	•	•	•	•	•	•
Accessories	Clavos			•		•		•	•	•	•	•	•	•
	Hinge Straps			•		•		•	•	•	•	•	•	•
	Speakeasy**			•		•		•	•	•	•	•	•	•
	Crossbuck			•		•		•	•	•	•	•	•	•

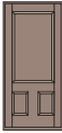
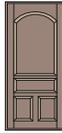
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Note: ** Available only on select panel styles and types.



Premium Wood Entry Doors

Sizes and Options - Solid Single and Double Doors

		In-Swing and Out-Swing						
								
		3 Panel	3 Panel Arch	3 Panel Over 3 Panel	4 Panel	4 Panel Arch	4 Panel Traditional	
		2' 8" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"
Wood Type	Mahogany	•	•	•	•	•	•	•
	Rustic Walnut							
Panel Thickness	1-3/4"	•	•	•	•	•	•	•
	2-1/4"					•	•	
Moulding	None							
	Raised	•	•	•	•	•	•	•
Grooved Panel	Planked							
Panel Top	Rectangle	•	•	•	•	•	•	•
	Arch			•			•	
	Springline							
Panel Configuration	Single Door	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•
Accessories	Clavos							
	Hinge Straps							
	Speakeasy**							
	Crossbuck							

Continued on next page

Note: ** Available only on select panel styles and types.



Premium Wood Entry Doors

Sizes and Options - Solid Single and Double Doors

		In-Swing and Out-Swing											
		5 Panel		6 Panel Traditional				Center Arch		Vertical Planked			
		3' 0" X 8' 0"	2' 8" X 6' 8"	3' 0" X 6' 8"	2' 8" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 0" X 6' 8"	3' 6" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"
Wood Type	Mahogany	•	•	•	•	•	•	•	•				
	Rustic Walnut									•	•	•	•
Panel Thickness	1-3/4"	•	•	•	•	•		•	•				
	2-1/4"						•			•	•	•	•
Moulding	None			•						•	•	•	•
	Raised	•	•	•	•	•	•	•	•				
Grooved Panel	Planked									•	•	•	•
Panel Top	Rectangle	•	•	•	•	•	•	•	•	•	•	•	•
	Arch									•	•	•	•
	Springline												
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•	•	•	•	•	•
Accessories	Clavos									•	•	•	•
	Hinge Straps									•	•	•	•
	Speakeasy**									•	•	•	•
	Crossbuck									•	•	•	•

Note: ** Available only on select panel styles and types.



Premium Wood Entry Doors

Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing										
												
		1 Offset Light	11 Light Contemporary	2 Panel		2 Panel 3/4 Light						
		3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 8' 0"	2' 6" X 6' 8"	2' 8" X 6' 8"	3' 0" X 6' 8"	2' 6" X 8' 0"	2' 8" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"
Wood Type	Mahogany	•	•			•	•	•	•	•	•	•
	Rustic Walnut			•	•							
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•	•	
	2-1/4"											•
Moulding	None	•	•	•	•			•				
	Raised					•	•	•	•	•	•	•
Grooved Panel	Planked			•	•							
	Rectangle							•				
Panel Top	Arch											
	Springline											
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•	•	•	•	
Accessories	Clavos			•	•							
	Hinge Straps			•	•							
	Speakeasy											
	Crossbuck			•	•							
	Dentil Shelf											
	Wrought Iron							•			•	
Clear Glass	No Bevel	•										
	Bevel			•	•	•	•	•	•	•	•	
Obscure Glass	Satin	•	•									
	Flemish				•			•			•	
	Rain											
	Reeded	•	•					•				
Decorative Glass	Arcadia							•			•	
	Bonnabel							•			•	
	Diamond Bevel											
	Menger							•			•	
	Queen Anne											
	Sarasota							•		•	•	•
	Serenade							•		•	•	•
	Sonnet							•		•	•	•
	Symphony							•		•	•	•
True Divided Light	Cottage											
	Prairie							•			•	
	Traditional			•	•	•	•	•	•	•	•	
	Top Row							•				

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Premium Wood Entry Doors

Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing							
		 2 Panel Arch			 2 Panel Continuous Arch			 2 Panel Continuous Springline	 2 Panel Oval
		3' 0" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"	5' 0" X 8' 0"	5' 4" X 8' 0"	6' 0" X 8' 0"	6' 0" X 8' 0"	3' 0" X 8' 0"
Wood Type	Mahogany		•		•	•	•		•
	Rustic Walnut	•	•	•				•	
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•
	2-1/4"			•					
Moulding	None	•	•	•			•	•	
	Raised		•		•	•	•		•
Grooved Panel	Planked	•	•	•				•	
	Rectangle								
Panel Top	Arch	•	•	•	•	•	•		
	Springline							•	
Panel Configuration	Single Door	•	•	•					•
	Double Door	•	•	•	•	•	•	•	•
Accessories	Clavos	•	•					•	
	Hinge Straps	•	•					•	
	Speakeasy								
	Crossbuck	•	•					•	
	Dentil Shelf								
Clear Glass	No Bevel								
	Bevel	•	•	•	•	•	•	•	
Obscure Glass	Satin								
	Flemish		•		•	•	•		
	Rain								
	Reeded								
Decorative Glass	Arcadia								
	Bonnabel								
	Diamond Bevel	•	•	•			•		
	Menger								
	Queen Anne								•
	Sarasota								
	Serenade								
	Sonnet								
Symphony									
True Divided Light	Cottage								
	Prairie								
	Traditional	•	•	•	•	•	•	•	
	Top Row								

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Premium Wood Entry Doors

Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing											
		 2 Panel Springline			 3 Equal Lights		 3 Light Vertical Contemporary		 3 Panel		 3 Panel Arch	 3 Panel Oval	 3 Panel Oval Deluxe
		3' 0" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 8' 0"	2' 8" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	2' 8" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"
Wood Type	Mahogany				•	•	•	•	•	•	•	•	•
	Rustic Walnut	•	•	•									
Panel Thickness	1-3/4"	•	•		•	•	•	•	•	•	•	•	•
	2-1/4"			•									
Moulding	None	•	•	•	•	•	•		•	•			
	Raised							•	•	•	•	•	•
Grooved Panel	Planked	•	•	•									
Panel Top	Rectangle												
	Arch									•			
	Springline												
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•	•	•	•	•	•
Accessories	Clavos	•	•	•									
	Hinge Straps	•	•	•									
	Speakeasy												
	Crossbuck	•	•	•									
	Dentil Shelf												
	Wrought Iron								•				
Clear Glass	No Bevel				•	•	•						
	Bevel	•	•	•									
Obscure Glass	Satin				•	•	•						
	Flemish								•				
	Rain												
	Reeded				•	•	•						
Decorative Glass	Arcadia								•	•			
	Bonnabel								•	•			
	Diamond Bevel												
	Menger								•	•			
	Queen Anne											•	•
	Sarasota							•	•	•			
	Serenade							•	•	•			
	Sonnet							•	•	•			
	Symphony							•	•	•			
True Divided Light	Cottage												
	Prairie												
	Traditional	•	•	•									
	Top Row												

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Premium Wood Entry Doors

Sizes and Options - Glazed Single and Double Doors

In-Swing and Out-Swing

		4 Light Contemporary				4 Panel		4 Panel Arch		5 Circular Offset Lights
		2' 6" X 6' 8"	2' 8" X 6' 8"	3' 0" X 6' 8"	3' 6" X 6' 8"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•
	Rustic Walnut									
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•
	2-1/4"					•			•	
Moulding	None	•	•	•	•					•
	Raised					•	•	•	•	
Grooved Panel	Planked									
Panel Top	Rectangle			•						
	Arch							•	•	
	Springline									
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•	•	•
Accessories	Clavos									
	Hinge Straps									
	Speakeasy									
	Crossbuck									
	Dentil Shelf									
	Wrought Iron					•				
Clear Glass	No Bevel	•	•	•	•					•
	Bevel									
Obscure Glass	Satin	•	•	•	•					•
	Flemish					•				
	Rain									
	Reeded	•	•	•	•					
Decorative Glass	Arcadia					•		•		
	Bonnabel					•		•		
	Diamond Bevel									
	Menger					•		•		
	Queen Anne									
	Sarasota					•	•	•	•	
	Serenade					•	•	•	•	
	Sonnet					•	•	•	•	
	Symphony					•	•	•	•	
True Divided Light	Cottage									
	Prairie									
	Traditional									
	Top Row									



Premium Wood Entry Doors

Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing											
		 5 Light Contemporary			 5 Square Offset Lights		 6 Panel Traditional		 9 Light Contemporary	 Center Arch		 Craftsman 3 Panel 3 Light	
		3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•	•	•	•
	Rustic Walnut												
Panel Thickness	1-3/4"	•	•	•	•	•	•		•	•	•	•	•
	2-1/4"							•					•
Moulding	None	•			•	•			•			•	•
	Raised		•	•			•	•		•	•		
Grooved Panel	Planked												
Panel Top	Rectangle			•									
	Arch												
	Springline												
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•			•	•	•	•	•
Accessories	Clavos												
	Hinge Straps												
	Speakeasy												
	Crossbuck												
	Dentil Shelf				•	•						•	•
Clear Glass	No Bevel												
	Bevel				•	•						•	•
Obscure Glass	Satin	•				•			•				
	Flemish												
	Rain												
	Reeded	•				•			•				
Decorative Glass	Arcadia												
	Bonnabel												
	Diamond Bevel												
	Menger												
	Queen Anne		•	•						•	•		
	Sarasota												
	Serenade												
	Sonnet												
	Symphony												
True Divided Light	Cottage												
	Prairie												
	Traditional				•	•						•	•
	Top Row												



Premium Wood Entry Doors

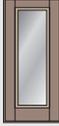
Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing								
										
		Craftsman 4 Light Top Row	Craftsman Arch Light	Craftsman Light			Craftsman Light Shaker			
		3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 6' 8"	3' 0" X 7' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 6' 8"	3' 0" X 7' 0"	3' 0" X 8' 0"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•
	Rustic Walnut			•		•	•			
Panel Thickness	1-3/4"	•	•	•	•	•		•	•	•
	2-1/4"						•			
Moulding	None	•	•	•	•	•	•	•	•	•
	Raised									
Grooved Panel	Planked		•							
	Rectangle									
Panel Top	Arch									
	Springline									
Panel Configuration	Single Door	•	•	•	•	•	•	•	•	•
	Double Door	•	•	•	•	•	•	•	•	•
Accessories	Clavos									
	Hinge Straps									
	Speakeasy									
	Crossbuck									
	Dentil Shelf	•	•	•	•	•	•	•	•	•
Wrought Iron										
Clear Glass	No Bevel			•	•	•				
	Bevel	•	•	•	•	•	•	•	•	•
Obscure Glass	Satin									
	Flemish			•	•	•				
	Rain			•	•	•				
	Reeded									
Decorative Glass	Arcadia									
	Bonnabel									
	Diamond Bevel									
	Menger									
	Queen Anne									
	Sarasota									
	Serenade									
	Sonnet									
	Symphony									
True Divided Light	Cottage			•		•	•			
	Prairie									
	Traditional	•	•	•	•	•	•	•	•	•
	Top Row									



Premium Wood Entry Doors

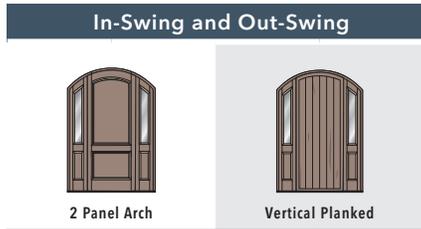
Sizes and Options - Glazed Single and Double Doors

		In-Swing and Out-Swing							
									
		Fan Light	Full Light				Full Oval	Planked Panel Square Light	
		3' 0" X 6' 8"	2' 8" X 6' 8"	2' 8" X 8' 0"	3' 0" X 6' 8"	3' 0" X 8' 0"	3' 0" X 6' 8"	3' 0" X 6' 8"	
Wood Type	Mahogany	•	•	•	•	•	•	•	
	Rustic Walnut				•	•			
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	
	2-1/4"								
Moulding	None		•	•	•	•	•	•	
	Raised	•	•	•	•	•	•	•	
Grooved Panel	Planked							•	
Panel Top	Rectangle			•					
	Arch								
	Springline								
Panel Configuration	Single Door	•	•	•	•	•	•	•	
	Double Door	•	•	•	•	•	•	•	
Accessories	Clavos							•	
	Hinge Straps								
	Speakeasy								
	Crossbuck								
	Dentil Shelf								
	Wrought Iron				•	•			
Clear Glass	No Bevel		•	•	•	•			
	Bevel		•	•	•	•			
Obscure Glass	Satin		•	•	•	•			
	Flemish				•	•			
	Rain								
	Reeded								
Decorative Glass	Arcadia				•				
	Bonnabel				•				
	Diamond Bevel							•	
	Menger				•				
	Queen Anne	•					•		
	Sarasota		•		•				
	Serenade		•		•				
	Sonnet		•		•				
	Symphony		•		•				
True Divided Light	Cottage								
	Prairie		•	•	•	•			
	Traditional		•	•	•	•			
	Top Row								



Premium Wood Entry Doors

Sizes and Options - Continuous and Surround Doors



		In-Swing and Out-Swing			
		2 Panel Arch		Vertical Planked	
		3' 0" X 8' 0"	3' 6" X 8' 0"	3' 0" X 8' 0"	3' 6" X 8' 0"
Wood Type	Mahogany				
	Rustic Walnut	•	•	•	•
Panel Thickness	1-3/4"	•			
	2-1/4"		•	•	•
Moulding	None	•	•	•	•
	Raised				
Grooved Panel	Planked	•	•	•	•
Panel Top	Rectangle				
	Arch	•	•	•	•
	Springline				
Panel Type	Glazed	•	•		
	Solid	•	•	•	•
Panel Configuration	Single Door w/ Two Continuous Sidelights	•	•	•	•
	Surround				
Accessories	Clavos	•	•	•	•
	Hinge Straps	•	•	•	•
	Speakeasy	•	•	•	•
	Crossbuck	•	•		
	Dentil Shelf				
	Wrought Iron				
Clear Glass	No Bevel				
	Bevel	•	•		
Obscure Glass	Satin				
	Flemish				
	Rain				
	Reeded				
Decorative Glass	Arcadia				
	Bonnabel				
	Diamond Bevel	•	•		
	Menger				
	Queen Anne				
	Sarasota				
	Serenade				
	Sonnet				
Symphony					
True Divided Light	Cottage				
	Prairie				
	Traditional	•	•		
	Top Row				



Premium Wood Entry Doors

Sizes and Options - Sidelights

		Sidelights											
													
		1/2 Light		1/2 Springline				11 Light Contemporary		2 Panel			
		1'-5/8" X 8'-0"	1'-2" X 8'-0"	1'-0" X 6'-8"	1'-2" X 6'-8"	1'-0" X 8'-0"	1'-2" X 8'-0"	1'-0" X 8'-0"	1'-2" X 8'-0"	1'-0" X 6'-8"	1'-2" X 6'-8"	1'-0" X 8'-0"	1'-2" X 8'-0"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•	•	•	•
	Rustic Walnut												
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•	•	•	•
	2-1/4"												
Moulding	None							•	•	•	•	•	•
	Raised	•	•	•	•	•	•			•	•		
Grooved Panel	Planked									•	•	•	•
Accessories	Clavos									•	•	•	•
	Dentil Shelf												
	Wrought Iron	•	•										
Clear Glass	No Bevel												
	Bevel									•	•	•	•
Obscure Glass	Satin							•	•				
	Flemish	•	•									•	•
	Rain												
	Reeded							•	•				
Decorative Glass	Arcadia	•	•										
	Bonnabel	•	•										
	Diamond Bevel									•	•	•	•
	Menger	•	•										
	Queen Anne			•	•	•	•			•	•		
	Sarasota	•	•										
	Serenade	•	•										
	Sonnet	•	•										
Symphony	•	•											
True Divided Light	Cottage												
	Prairie												
	Traditional									•	•	•	•
	Top Row												



Premium Wood Entry Doors

Sizes and Options - Sidelights

Sidelights



3/4 Light



4 Light Contemporary



5 Light Contemporary



9 Light Contemporary

		1' 0" X 6' 8"	1' 5/8" X 6' 8"	1' 2" X 6' 8"	1' 0" X 8' 0"	1' 5/8" X 8' 0"	1' 2" X 8' 0"	1' 0" X 6' 8"	1' 2" X 6' 8"	1' 0" X 8' 0"	1' 2" X 8' 0"	1' 0" X 6' 8"	1' 2" X 6' 8"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•	•	•	•
	Rustic Walnut												
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•	•	•	•
	2-1/4"												
Moulding	None	•		•				•	•	•	•	•	•
	Raised	•	•	•	•	•	•						
Grooved Panel	Planked												
Accessories	Clavos												
	Dentil Shelf												
	Wrought Iron		•	•		•	•						
Clear Glass	No Bevel							•	•	•	•		
	Bevel	•		•	•		•						
Obscure Glass	Satin							•	•	•	•	•	•
	Flemish	•	•	•	•	•	•						
	Rain												
	Reeded	•		•				•	•	•	•	•	•
Decorative Glass	Arcadia		•	•		•	•						
	Bonnabel		•	•		•	•						
	Diamond Bevel												
	Menger		•	•		•	•						
	Queen Anne					•	•						
	Sarasota		•	•		•	•						
	Serenade		•	•		•	•						
	Sonnet		•	•		•	•						
Symphony		•	•		•	•							
True Divided Light	Cottage												
	Prairie	•		•	•		•						
	Traditional	•		•	•		•						
	Top Row	•		•									



Premium Wood Entry Doors

Sizes and Options - Sidelights

		Sidelights													
		 Craftsman Light							 Craftsman Light Shaker						
		1' 0" X 6' 8"	1' 2" X 6' 8"	1' 0" X 7' 0"	1' 2" X 7' 0"	1' 0" X 8' 0"	1' 2" X 8' 0"	2' 0" X 8' 0"	1' 0" X 6' 8"	1' 2" X 6' 8"	1' 0" X 7' 0"	1' 2" X 7' 0"	1' 0" X 8' 0"	1' 2" X 8' 0"	
Wood Type	Mahogany	•	•	•	•	•	•		•	•	•	•	•	•	
	Rustic Walnut	•	•			•	•	•							
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•	•	•	•	•	
	2-1/4"														
Moulding	None	•	•	•	•	•	•	•	•	•	•	•	•	•	
	Raised														
Grooved Panel	Planked														
Accessories	Clavos														
	Dentil Shelf	•	•	•	•	•	•	•	•	•	•	•	•	•	
	Wrought Iron														
Clear Glass	No Bevel	•	•	•	•	•	•								
	Bevel	•	•	•	•	•	•	•	•	•	•	•	•	•	
Obscure Glass	Satin														
	Flemish	•	•	•	•	•	•								
	Rain	•	•	•	•	•	•								
	Reeded														
Decorative Glass	Arcadia														
	Bonnabel														
	Diamond Bevel														
	Menger														
	Queen Anne														
	Sarasota														
	Serenade														
	Sonnet														
Symphony															
True Divided Light	Cottage														
	Prairie														
	Traditional	•	•	•	•	•	•	•	•	•	•	•	•	•	
	Top Row														



Premium Wood Entry Doors

Sizes and Options - Sidelights

		Sidelights								
		 Full Light				 Full Light Contemporary				
		1' 0" X 6' 8"	1' 5/8" X 6' 8"	1' 2" X 6' 8"	1' 0" X 8' 0"	1' 2" X 8' 0"	1' 0" X 6' 8"	1' 2" X 6' 8"	1' 0" X 8' 0"	1' 2" X 8' 0"
Wood Type	Mahogany	•	•	•	•	•	•	•	•	•
	Rustic Walnut	•		•	•	•				
Panel Thickness	1-3/4"	•	•	•	•	•	•	•	•	•
	2-1/4"									
Moulding	None	•		•	•	•	•	•	•	•
	Raised	•	•	•	•	•				
Grooved Panel	Planked									
Accessories	Clavos									
	Dentil Shelf									
	Wrought Iron	•	•	•	•	•				
Clear Glass	No Bevel	•		•			•	•	•	•
	Bevel	•	•	•	•	•				
Obscure Glass	Satin	•		•			•	•	•	•
	Flemish	•	•	•	•	•				
	Rain									
	Reeded	•		•			•	•	•	•
Decorative Glass	Arcadia		•	•						
	Bonnabel		•	•						
	Diamond Bevel									
	Menger		•	•						
	Queen Anne	•		•						
	Sarasota		•	•						
	Serenade		•	•						
	Sonnet		•	•						
Symphony		•	•							
True Divided Light	Cottage									
	Prairie	•		•	•	•				
	Traditional	•	•	•	•	•				
	Top Row									



Premium Wood Entry Doors

Sizes and Options - Transoms

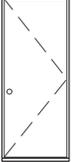
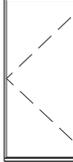
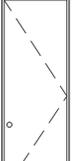
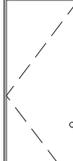
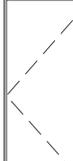
Rectangle



		36" Single Door	12"-36"-12" Door with Sidelights	12-5/8"-36"-12-5/8" Door with Sidelights	14"-36"-14" Door with Sidelights	36"-36" Double Door
		3' 1-11/16" X 1' 3-9/16"	5' 4-13/16" X 1' 3-9/16"	5' 6-1/16" X 1' 3-9/16"	5' 8-13/16" X 1' 3-9/16"	6' 2-3/8" X 1' 3-9/16"
Wood Type	Mahogany	•	•	•	•	•
	Rustic Walnut		•		•	•
Moulding	None	•	•	•	•	•
	Raised		•		•	•
Clear Glass	No Bevel	•		•	•	•
	Bevel	•	•	•	•	•
Obscure Glass	Satin				•	•
	Flemish			•	•	•
	Rain	•				
	Reeded				•	•
Decorative Glass	Arcadia			•	•	•
	Bonnabel			•	•	•
	Diamond Bevel					
	Menger			•	•	•
	Queen Anne		•		•	•
	Sarasota			•	•	•
	Serenade			•	•	•
	Sonnet			•	•	•
Symphony			•	•	•	
True Divided Light	Cottage					
	Prairie		•		•	•
	Traditional	•	•		•	•
	Top Row					



Single Doors and Double Doors

Masonry	3' 0 3/4" (933)	3' 4 3/4" (1 035)	3' 10 3/4" (1 187)	5' 9 1/2" (1 765)	6' 5 1/2" (1 969)	7' 5 1/2" (2 273)		
Opening	2' 10 1/2" (876)	3' 2 1/2" (978)	3' 8 1/2" (1 130)	5' 7 1/4" (1 708)	6' 3 1/4" (1 911)	7' 3 1/4" (2 216)		
Frame	2' 9 3/4" (857)	3' 1 3/4" (959)	3' 7 3/4" (1 111)	5' 6 1/2" (1 689)	6' 2 1/2" (1 892)	7' 2 1/2" (2 197)		
7' 0 1/4" (2 140)	6' 11 1/4" (2 115)	6' 10 3/4" (2 102)						
			2' 8" x 6' 8"	3' 0" x 6' 8"	3' 6" x 6' 8"	5' 4" x 6' 8"	6' 0" x 6' 8"	7' 0" x 6' 8"
8' 4 1/4" (2 546)	8' 3 1/4" (2 521)	8' 2 3/4" (2 508)						
			2' 8" x 8' 0"	3' 0" x 8' 0"	3' 6" x 8' 0"	5' 4" x 8' 0"	6' 0" x 8' 0"	7' 0" x 8' 0"

Sidelights

Masonry	1' 4 9/16" (421)	1' 5 3/4" (438)	1' 6 9/16" (471)		
Opening	1' 2 5/16" (364)	1' 3" (381)	1' 4 5/16" (414)		
Frame	1' 1 9/16" (344)	1' 2 1/4" (362)	1' 3 9/16" (395)		
7' 0 1/4" (2 140)	6' 11 1/4" (2 115)	6' 10 3/4" (2 102)			
			12" x 6' 8"	12 - 5/8" x 6' 8"	14" x 6' 8"
8' 4 1/4" (2 546)	8' 3 1/4" (2 521)	8' 2 3/4" (2 508)			
			12" x 8' 0"	12 - 5/8" x 8' 0"	14" x 8' 0"

Not to scale.

(1) Heights shown are for In-swing doors with standard sill. For Out-swing doors with standard sill, subtract 1-3/8" from the heights shown. For In-Swing and Out-Swing doors with ADA sill, subtract 1" from the heights shown.



Size Tables

Rectangular 14" Transom

1' 6 1/2" (470) 1' 4 1/4" (413) 1' 3 1/2" (394)	Masonry	5' 7 7/8" (1 724)	5' 9 1/4" (1 759)	5' 11 7/8" (1 826)	6' 1 7/8" (1 876)
	Opening	5' 5 5/8" (1 667)	5' 7" (1 702)	5' 9 5/8" (1 768)	5' 11 5/8" (1 819)
	Frame	5' 4 7/8" (1 648)	5' 6 1/4" (1 683)	5' 8 7/8" (1 749)	5' 10 7/8" (1 800)



1' 6 1/2" (470) 1' 4 1/4" (413) 1' 3 1/2" (394)	Masonry	6' 3 1/4" (1 911)	6' 5 1/2" (1 969)	6' 9 7/8" (2 080)
	Opening	6' 1" (1 854)	6' 3 1/4" (1 911)	6' 7 5/8" (2 022)
	Frame	6' 0 1/4" (1 835)	6' 2 1/2" (1 892)	6' 6 7/8" (2 003)

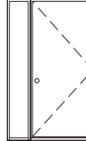
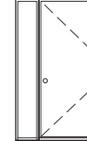
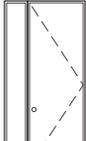
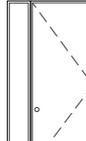
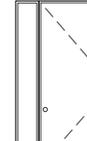




Size Tables 1

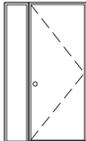
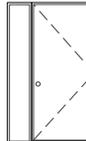
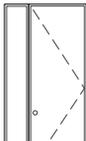
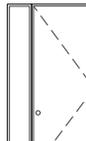
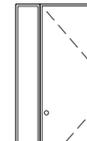
Single Doors with 12" Sidelights

Masonry	4' 2 5/16" (1 278)	4' 6 5/16" (1 380)	5' 0 5/16" (1 532)
Opening	4' 0 1/16" (1 221)	4' 4 1/16" (1 322)	4' 10 1/16" (1 475)
Frame	3' 11 5/16" (1 202)	4' 3 5/16" (1 303)	4' 9 5/16" (1 456)

7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)	 <p>2' 8" x 6' 8" 12" SIDELIGHT</p>	 <p>3' 0" x 6' 8" 12" SIDELIGHT</p>	 <p>3' 6" x 6' 8" 12" SIDELIGHT</p>
	 <p>2' 8" x 8' 0" 12" SIDELIGHT</p>	 <p>3' 0" x 8' 0" 12" SIDELIGHT</p>	 <p>3' 6" x 8' 0" 12" SIDELIGHT</p>
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)		

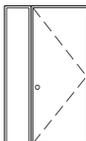
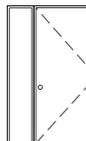
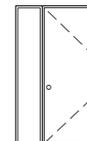
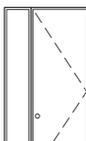
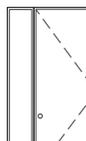
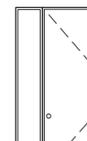
Single Doors with 12-5/8" Sidelights

Masonry	4' 3" (1 295)	4' 7" (1 397)	5' 1" (1 549)
Opening	4' 0 3/4" (1 238)	4' 4 3/4" (1 340)	4' 10 3/4" (1 492)
Frame	4' 0" (1 219)	4' 4" (1 321)	4' 10" (1 473)

7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)	 <p>2' 8" x 6' 8" 12-5/8" SIDELIGHT</p>	 <p>3' 0" x 6' 8" 12-5/8" SIDELIGHT</p>	
	 <p>2' 8" x 8' 0" 12-5/8" SIDELIGHT</p>	 <p>3' 0" x 8' 0" 12-5/8" SIDELIGHT</p>	 <p>3' 6" x 8' 0" 12-5/8" SIDELIGHT</p>
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)		

Single Doors with 14" Sidelights

Masonry	4' 4 5/16" (1 329)	4' 8 5/16" (1 430)	5' 2 5/16" (1 583)
Opening	4' 2 1/16" (1 272)	4' 6 1/16" (1 373)	5' 0 1/16" (1 526)
Frame	4' 1 5/16" (1 253)	4' 5 5/16" (1 354)	4' 11 5/16" (1 507)

7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)	 <p>2' 8" x 6' 8" 14" SIDELIGHT</p>	 <p>3' 0" x 6' 8" 14" SIDELIGHT</p>	 <p>3' 6" x 6' 8" 14" SIDELIGHT</p>
	 <p>2' 8" x 8' 0" 14" SIDELIGHT</p>	 <p>3' 0" x 8' 0" 14" SIDELIGHT</p>	 <p>3' 6" x 8' 0" 14" SIDELIGHT</p>
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)		

Not to scale
 (1) Heights shown are for In-swing doors with standard sill. For Out-swing doors with standard sill, subtract 1-3/8" from the heights shown. For In-Swing and Out-Swing doors with ADA sill, subtract 1" from the heights shown.



Size Tables 1

Single Doors with Two 12" Sidelights

Masonry	5' 3 7/8" (1 622)	5' 7 7/8" (1 724)	6' 1 7/8" (1 876)	
Opening	5' 1 5/8" (1 565)	5' 5 5/8" (1 667)	5' 11 5/8" (1 819)	
Frame	5' 0 7/8" (1 546)	5' 4 7/8" (1 648)	5' 10 7/8" (1 800)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	(2) 12" SIDELIGHTS	(2) 12" SIDELIGHTS	(2) 12" SIDELIGHTS	
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		(2) 12" SIDELIGHTS	(2) 12" SIDELIGHTS	(2) 12" SIDELIGHTS

Single Doors with Two 12-5/8" Sidelights

Masonry	5' 5 1/4" (1 657)	5' 9 1/4" (1 759)	6' 3 1/4" (1 911)	
Opening	5' 3" (1 600)	5' 7" (1 702)	6' 1" (1 854)	
Frame	5' 2 1/4" (1 581)	5' 6 1/4" (1 683)	6' 0 1/4" (1 835)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	(2) 12-5/8" SIDELIGHTS	(2) 12-5/8" SIDELIGHTS		
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		(2) 12-5/8" SIDELIGHTS	(2) 12-5/8" SIDELIGHTS	(2) 12-5/8" SIDELIGHTS

Single Doors with Two 14" Sidelights

Masonry	5' 7 7/8" (1 724)	5' 11 7/8" (1 826)	6' 5 7/8" (1 978)	
Opening	5' 5 5/8" (1 667)	5' 9 5/8" (1 768)	6' 3 5/8" (1 921)	
Frame	5' 4 7/8" (1 648)	5' 8 7/8" (1 749)	6' 2 7/8" (1 902)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	(2) 14" SIDELIGHTS	(2) 14" SIDELIGHTS	(2) 14" SIDELIGHTS	
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		(2) 14" SIDELIGHTS	(2) 14" SIDELIGHTS	(2) 14" SIDELIGHTS

Not to scale

(1) Heights shown are for In-swing doors with standard sill. For Out-swing doors with standard sill, subtract 1-3/8" from the heights shown. For In-Swing and Out-Swing doors with ADA sill, subtract 1" from the heights shown.



Size Tables 1

Single Doors with Two 12" Sidelights and 14" Transom

Masonry	5' 7 7/8" (1724)	6' 1 7/8" (1880)
Opening	5' 5 5/8" (1667)	5' 11 5/8" (1822)
Frame	5' 4 7/8" (1648)	5' 10 7/8" (1803)

8' 3 3/4" (2534)		
8' 2 3/4" (2508)		
8' 2 1/4" (2496)		
9' 7 3/4" (2953)		
9' 6 3/4" (2927)		
9' 6 1/4" (2902)		

Single Doors with Two 12-5/8" Sidelights and 14" Transom

Masonry	5' 9 1/4" (1759)	6' 3 1/4" (1911)
Opening	5' 7" (1702)	6' 1" (1854)
Frame	5' 6 1/4" (1683)	6' 0 1/4" (1835)

8' 3 3/4" (2534)		
8' 2 3/4" (2508)		
8' 2 1/4" (2496)		
9' 7 3/4" (2953)		
9' 6 3/4" (2927)		
9' 6 1/4" (2902)		

Single Doors with Two 14" Sidelights and 14" Transom

Masonry	5' 7 7/8" (1724)	5' 11 7/8" (1826)	6' 5 7/8" (1978)
Opening	5' 5 5/8" (1667)	5' 9 5/8" (1768)	6' 3 5/8" (1921)
Frame	5' 4 7/8" (1648)	5' 8 7/8" (1749)	6' 2 7/8" (1902)

8' 3 3/4" (2534)			
8' 2 3/4" (2508)			
8' 2 1/4" (2496)			
9' 7 3/4" (2953)			
9' 6 3/4" (2927)			
9' 6 1/4" (2902)			

Double Door with 14" Transom

Masonry	6' 5 1/2" (1969)
Opening	6' 3 1/4" (1911)
Frame	6' 2 1/2" (1892)

8' 3 3/4" (2534)	
8' 2 3/4" (2508)	
8' 2 1/4" (2496)	
9' 7 3/4" (2953)	
9' 6 3/4" (2927)	
9' 6 1/4" (2902)	

Not to scale

(1) Heights shown are for In-swing doors with standard sill. For Out-swing doors with standard sill, subtract 1-3/8" from the heights shown. For In-Swing and Out-Swing doors with ADA sill, subtract 1" from the heights shown.



Size Tables 1

Double Doors with Two 12" Sidelights

Masonry	8' 0 5/8" (2 454)	8' 8 5/8" (2 657)	9' 8 5/8" (2 962)	
Opening	7' 10 3/8" (2 397)	8' 6 3/8" (2 600)	9' 6 3/8" (2 905)	
Frame	7' 9 5/8" (2 378)	8' 5 5/8" (2 581)	9' 5 5/8" (2 886)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	5' 4" x 6' 8" (2) 12" SIDELIGHTS	6' 0" x 6' 8" (2) 12" SIDELIGHTS	7' 0" x 6' 8" (2) 12" SIDELIGHTS	
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		5' 4" x 8' 0" (2) 12" SIDELIGHTS	6' 0" x 8' 0" (2) 12" SIDELIGHTS	7' 0" x 8' 0" (2) 12" SIDELIGHTS

Double Doors with Two 12-5/8" Sidelights

Masonry	8' 2" (2 489)	8' 10" (2 692)	9' 10" (2 997)	
Opening	7' 11 3/4" (2 432)	8' 7 3/4" (2 635)	9' 7 3/4" (2 940)	
Frame	7' 11" (2 413)	8' 7" (2 616)	9' 7" (2 921)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	5' 4" x 6' 8" (2) 12-5/8" SIDELIGHTS	6' 0" x 6' 8" (2) 12-5/8" SIDELIGHTS		
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		5' 4" x 8' 0" (2) 12-5/8" SIDELIGHTS	6' 0" x 8' 0" (2) 12-5/8" SIDELIGHTS	7' 0" x 8' 0" (2) 12-5/8" SIDELIGHTS

Double Doors with Two 14" Sidelights

Masonry	8' 4 5/8" (2 556)	9' 0 5/8" (2 759)	10' 0 5/8" (3 064)	
Opening	8' 2 3/8" (2 499)	8' 10 3/8" (2 702)	9' 10 3/8" (3 007)	
Frame	8' 1 5/8" (2 480)	8' 9 5/8" (2 683)	9' 9 5/8" (2 988)	
7' 0 1/4" (2 140) 6' 11 1/4" (2 115) 6' 10 3/4" (2 102)				
	5' 4" x 6' 8" (2) 14" SIDELIGHTS	6' 0" x 6' 8" (2) 14" SIDELIGHTS	7' 0" x 6' 8" (2) 14" SIDELIGHTS	
	8' 4 1/4" (2 546) 8' 3 1/4" (2 521) 8' 2 3/4" (2 508)			
		5' 4" x 8' 0" (2) 14" SIDELIGHTS	6' 0" x 8' 0" (2) 14" SIDELIGHTS	7' 0" x 8' 0" (2) 14" SIDELIGHTS

Not to scale
 (1) Heights shown are for In-swing doors with standard sill. For Out-swing doors with standard sill, subtract 1-3/8" from the heights shown. For In-Swing and Out-Swing doors with ADA sill, subtract 1" from the heights shown.



Premium Wood Entry Doors

Size Tables

Mahogany Single and Double Curve Top Doors

	3' 4 3/4" (1 035)	3' 10 3/4" (1 187)	5' 5 1/2" (1 657)	5' 9 1/2" (1 765)	6' 5 1/2" (1 969)
Masonry					
Opening	3' 2 1/2" (978)	3' 8 1/2" (1 130)	5' 3 1/4" (1 600)	5' 7 1/4" (1 708)	6' 3 1/4" (1 911)
Frame	3' 1 3/4" (959)	3' 7 3/4" (1 111)	5' 2 1/2" (1 581)	5' 6 1/2" (1 689)	6' 2 1/2" (1 892)
	Radius 25 9/16" 32-5/16" 80-1/2" 80-1/2" 80-1/2"				
7' 0 1/4" (2 140)	<p>Eyebrow Top 3' 0" x 6' 8" SHORT SIDE 74-1/2"</p>				
6' 11 1/4" (2 115)					
6' 10 3/4" (2 102)					
8' 4 1/4" (2 515)	<p>Eyebrow Top 3' 0" x 8' 0" SHORT SIDE 90-1/2"</p>	<p>Eyebrow Top 3' 6" x 8' 0" SHORT SIDE 90 1/4"</p>	<p>Eyebrow Top 5' 0" x 8' 0" SHORT SIDE 92-5/8"</p>	<p>Eyebrow Top 5' 4" x 8' 0" SHORT SIDE 91-9/16"</p>	<p>Eyebrow Top 6' 0" x 8' 0" SHORT SIDE 89-5/8"</p>
8' 3 1/4" (2 488)					
8' 2 3/4" (2 477)					

Not to scale.



Size Tables

Rustic Walnut Single and Double Curve Top Doors

Masonry	6' 5 1/2" (1 969)	3' 4 3/4" (1 035)	3' 10 3/4" (1 187)
Opening	6' 3 1/4" (1 911)	3' 2 1/2" (978)	3' 8 1/2" (1 130)
Frame	6' 2 1/2" (1 892)	3' 1 3/4" (959)	3' 7 3/4" (1 111)
	Radius 37-1/4" 45-3/4" 50-15/16"		
7' 0 1/4" (2 140)			
6' 11 1/4" (2 115)		Eyebrow Top 3' 0" x 6' 8" SHORT SIDE 78-3/4"	Eyebrow Top 3' 6" x 6' 8" SHORT SIDE 77-3/4"
6' 10 3/4" (2 102)			
8' 4 1/4" (2 515)			
8' 3 1/4" (2 489)	Radius Top 6' 0" x 8' 0" RADIUS 37-1/4"	Eyebrow Top 3' 0" x 8' 0" SHORT SIDE 94-3/4"	Eyebrow Top 3' 6" x 8' 0" SHORT SIDE 93-3/4"
8' 2 3/4" (2 477)			

Rustic Walnut Single Curve Top Doors with Two 14" Sidelights

Masonry	5' 11 7/8" (1 826)	6' 5 7/8" (1 978)
Opening	5' 9 5/8" (1 768)	6' 3 5/8" (1 921)
Frame	5' 8 7/8" (1 749)	6' 2 7/8" (1 902)
	Radius 45-3/4" 50-15/16"	
8' 4 1/4" (2 515)		
8' 3 1/4" (2 489)		Eyebrow Top 3' 6" x 8' 0" SHORT SIDE 82-3/8"
8' 2 3/4" (2 477)		
	Eyebrow Top 3' 0" x 8' 0" SHORT SIDE 83-1/8"	

Not to scale.



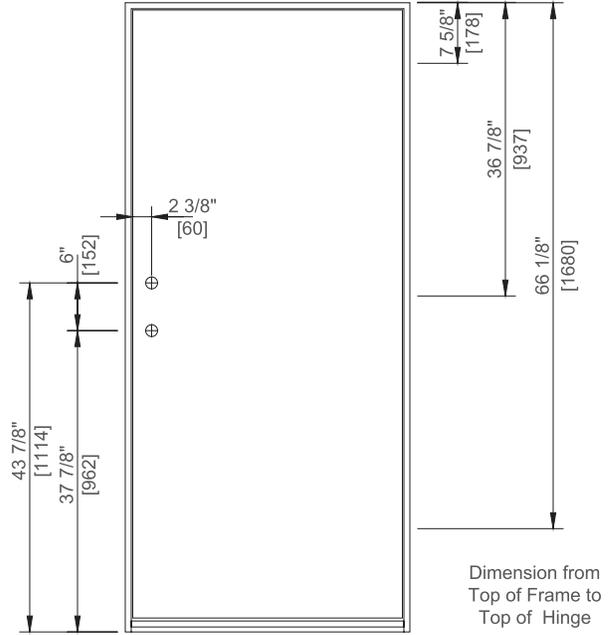
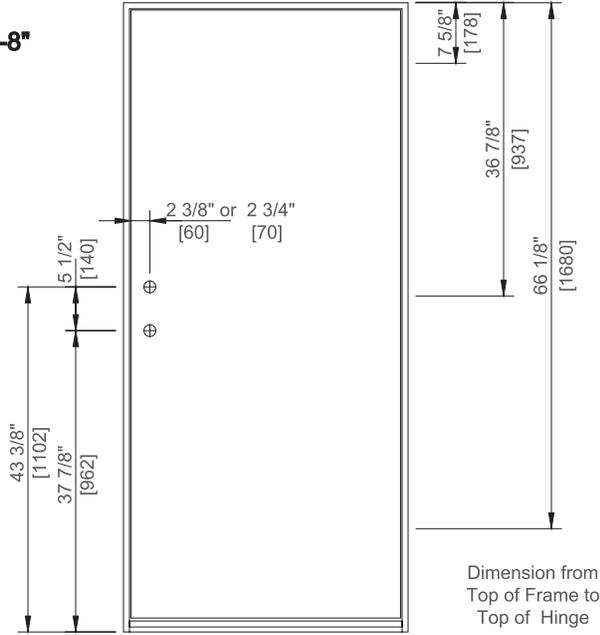
Premium Wood Entry Doors

Lock and Hinge Placement

Standard Hardware

Multipoint Hardware

6'-8"



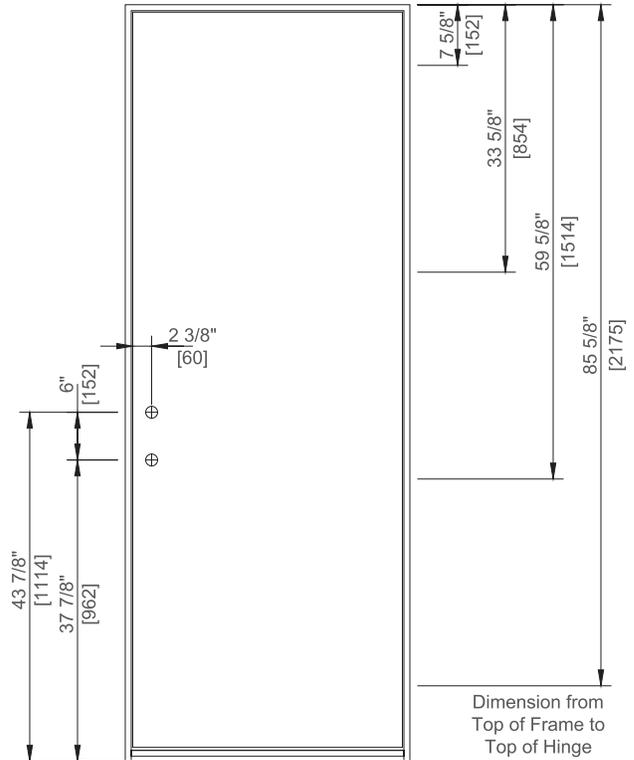
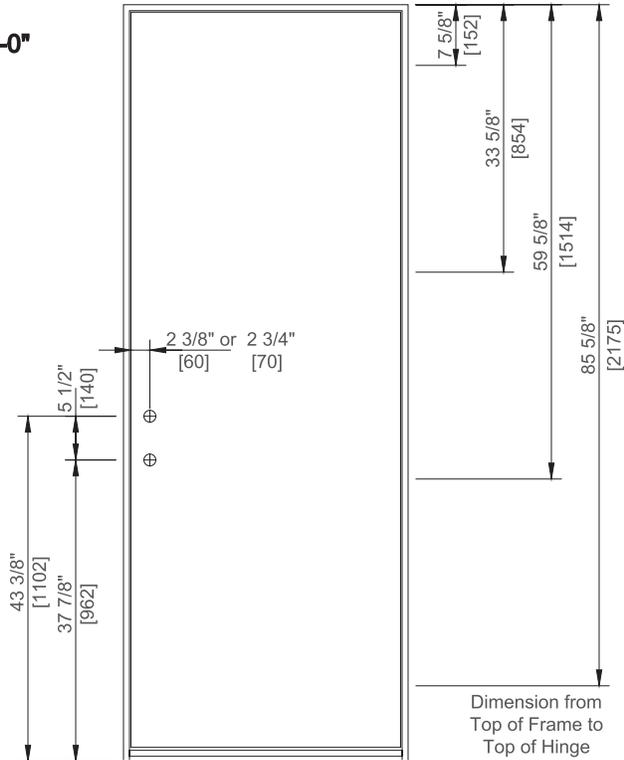
Lock Side

Hinge Side

Lock Side

Hinge Side

8'-0"



All dimensions are taken from the bottom of the door panel.



Detailed Product Description

Frame

- Select hardwoods.
 - [Mahogany] doors are hung in matching frames.
 - Rustic walnut doors are hung in mahogany frames.
- [Mahogany] frame is engineered wood. Interior exposed surfaces are veneered with clear match face material.
- Wood exterior [brickmould] [S45 flatscreen] [LC11 deco casing] trim is available.³
- Interior casing is available to match the frame material.³
- Sill is extruded exterior aluminum [standard in-swing with adjustable oak threshold] [stand out-swing bumper sill] [1/2" low profile] with [anodized brass] [anodized bronze] [mill] finish.
- Wall depth [4-9/16"] [4-3/4"] [4-7/8"] [5"] [5-1/8"] [5-1/4"] [5-3/8"] [5-1/2"] [5-5/8"] [5-3/4"] [5-7/8"] [6"] [6-1/8"] [6-1/4"] [6-3/8"] [6-1/2"] [6-9/16"].

Door Panel

- Select hardwood [mahogany] [walnut].
- Edge banding of square-top panels is [mahogany] [walnut].
- Panel thickness is [1-3/4" (45 mm)] [2-1/4" (57 mm)].

Weatherstripping

- Compression type foam filled weather strip at head and jambs.
- [In-swing] [In-swing with low profile sill] [Out-swing with low profile sill] Dual durometer extruded polymer with leaves at bottom edge of door panel will contact threshold and includes drip. [Out-swing: Extruded polymer bulb is attached to the bumper sill.]

Glazing System

- Quality float glass complying with ASTM C 1036.
- 5/8" (16 mm) tempered insulating glass [Decorative¹: _____ (specify glass type)] [Textured glass [Antique] [Flemish] [Reeded]] [true divided light with 1-1/4" (32 mm) edge bevel in each light].
- All glazing meets ANSI Z97.1 and U.S.C.P.S.C. Standard 16 CRF 1201.

Finish

- Exterior and Interior [unfinished - ready for site finishing] [factory applied stain finish].

Hardware and Hardware Prep

- Ball bearing hinges: [Bright Brass] [Satin Nickel] [Oil-Rubbed Bronze] [Black] for operable doors.
 - Square top and eye-brow top doors: Three (3) per door panel 6' 8" (2032 mm) panel height; four (4) per door panel on 8' 0" (2439 mm) panel heights.
 - Round top doors: Three (3) per door panel on all panel heights.
- Flush bolt for double doors will match hinge finish.
- Each door panel is [no bore] [factory-prepped for 2-1/8" (54 mm) latch bore] [factory-prepped for 2-1/8" (54 mm) latch bore and 2-1/8" deadbolt, 5-1/2" (140 mm) on center] [factory-prepped for 1-1/16" (27 mm) or 2-1/8" (54 mm) multipoint latch bore 6" (153 mm) on center].
- Backset is [2-3/8" (60 mm)] [2-3/4" (70 mm)]. Backset for multipoint prep is 2-3/8" only.
- Optional multi-point lock hardware is stainless steel.
- Optional multi-point lock handle set hardware², with Kwikset® SmartKey® cylinder.
- 8' 0" doors feature an extended top flush bolt, partially concealed behind the astragal which lowers the operator to approximately 12" from the top of the door panel.

Optional Products

Decorative Accents³

- Exterior Iron Grilles
 - Iron with black powder-coat finish.
- Dentil shelf (available on select Craftsman panels only)
 - Shelf is factory applied to exterior.
- Clavos (available on select rustic walnut and mahogany panels)
 - Metal [1-1/4" (32 mm) round] [1-1/8" (29 mm) square] with Black finish.
 - Factory applied to exterior.
- Decorative [14" (356 mm)] [20" (508 mm)] strap with black finish (available on select rustic walnut and mahogany panels). Applied to exterior.
- Surface Bolt [6" (153 mm)] [12" (305 mm)] [18" (458 mm)] available in [French Antique] [Oil-Rubbed Bronze] [Satin Nickel]. Field Applied to the interior.
- Cross bucks (available on select rustic walnut panels only).
- Speakeasy options (available on select rustic walnut and mahogany panels only)
 - Operable speakeasy door without glass.
 - Opening is weather stripped.
 - [Square top] [Full Radius] [Eyebrow Radius, mahogany panels only].
 - Butterfly hinged with latch hardware in Black finish.
- Operable speakeasy door with dual pane insulated glass.
 - [Square top] [Full Radius] [Eyebrow Radius, mahogany panels only].
 - Butterfly hinged with latch hardware in Black finish.
 - Speakeasy accents with IG - no door
 - 5/8" [Antique] [clear] [clear beveled] tempered insulated glass.
 - Speakeasy grille - factory applied to exterior - Black finish.

(1) Contact your local Pella retailer for current decorative glass options.

(2) Contact your local Pella retailer for current handle style and finish options.

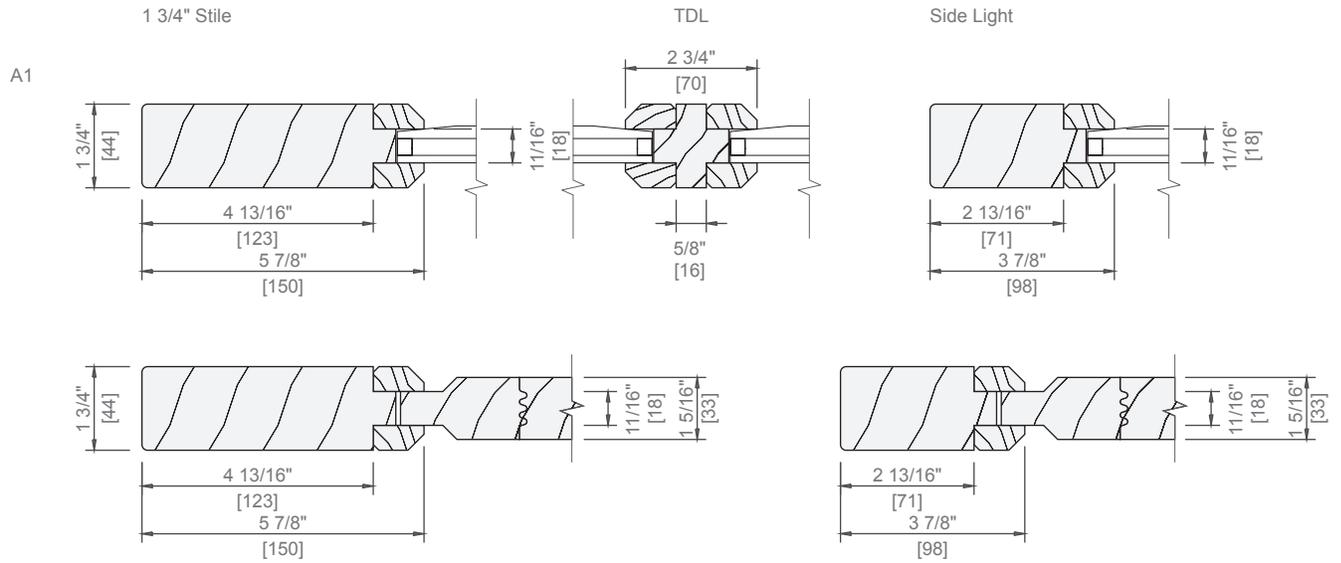
(3) Contact your local Pella retailer for current offerings.



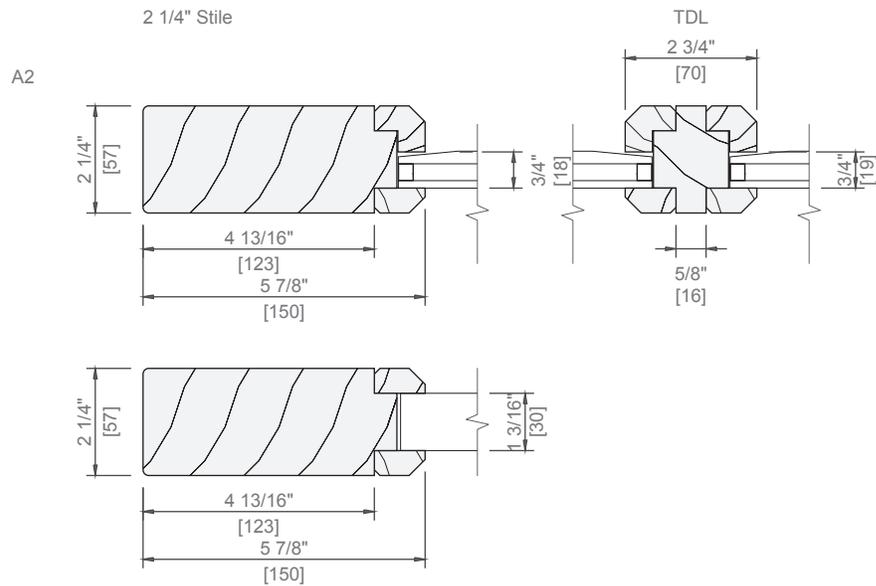
Premium Wood Entry Doors

Panel Cross Sections

A1:



A2:



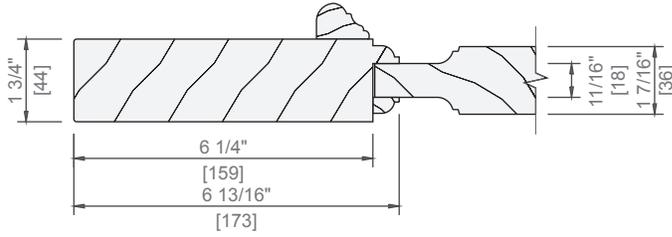
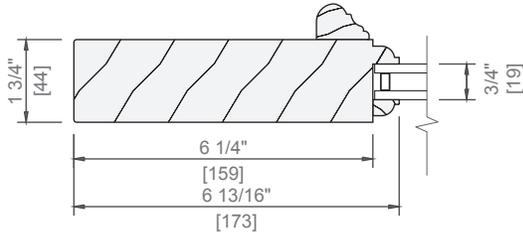
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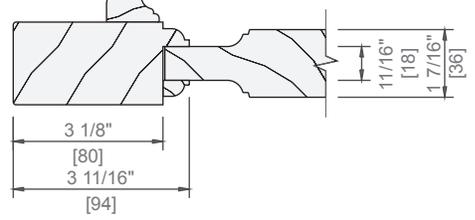
BEAL:

1 3/4" Stile

BEAL



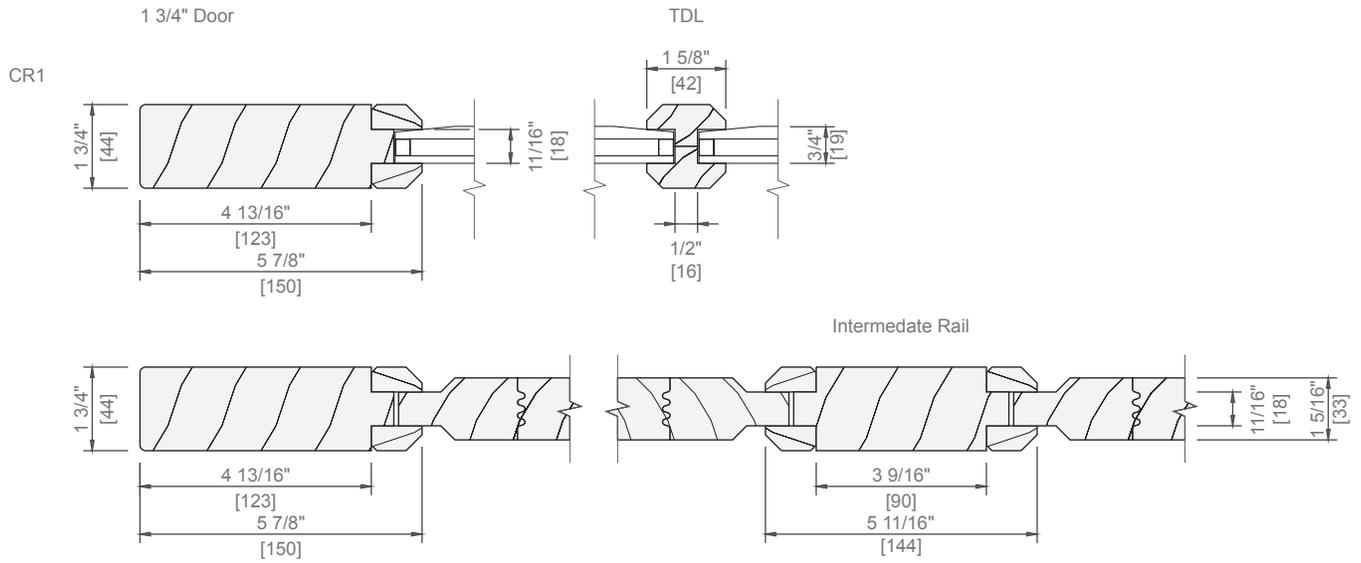
Side Light



Scale 3" = 1' 0"



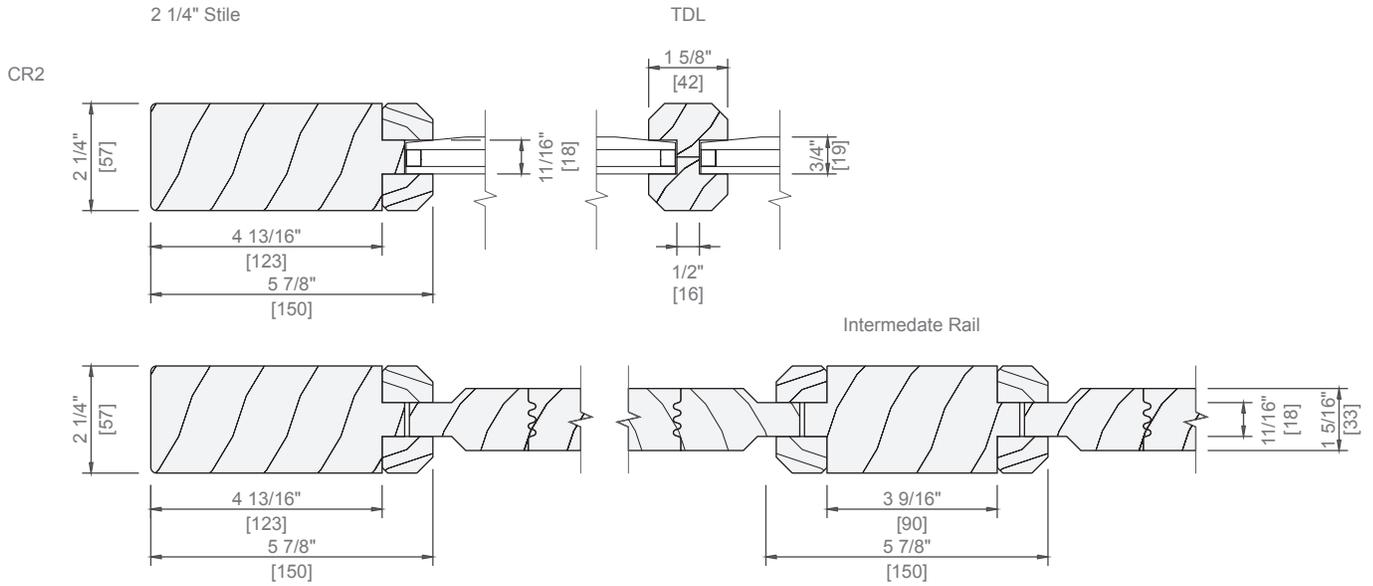
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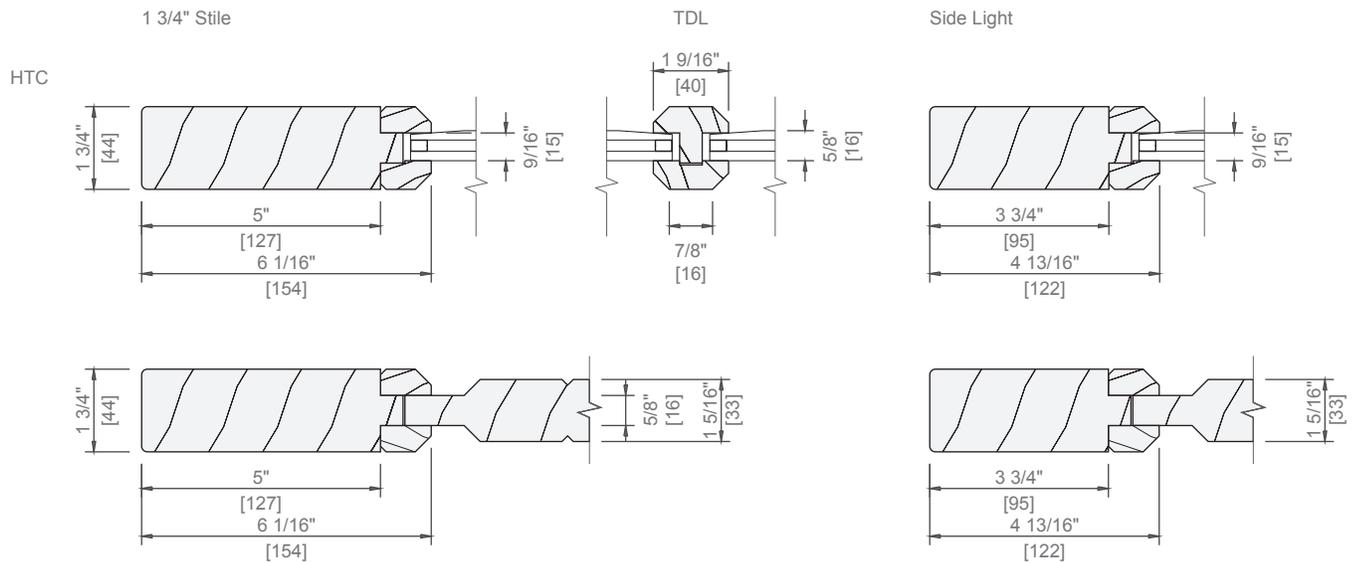
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CR2:



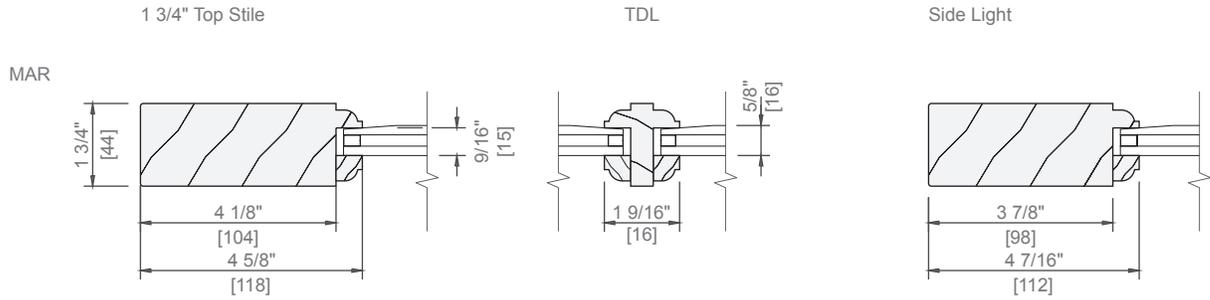
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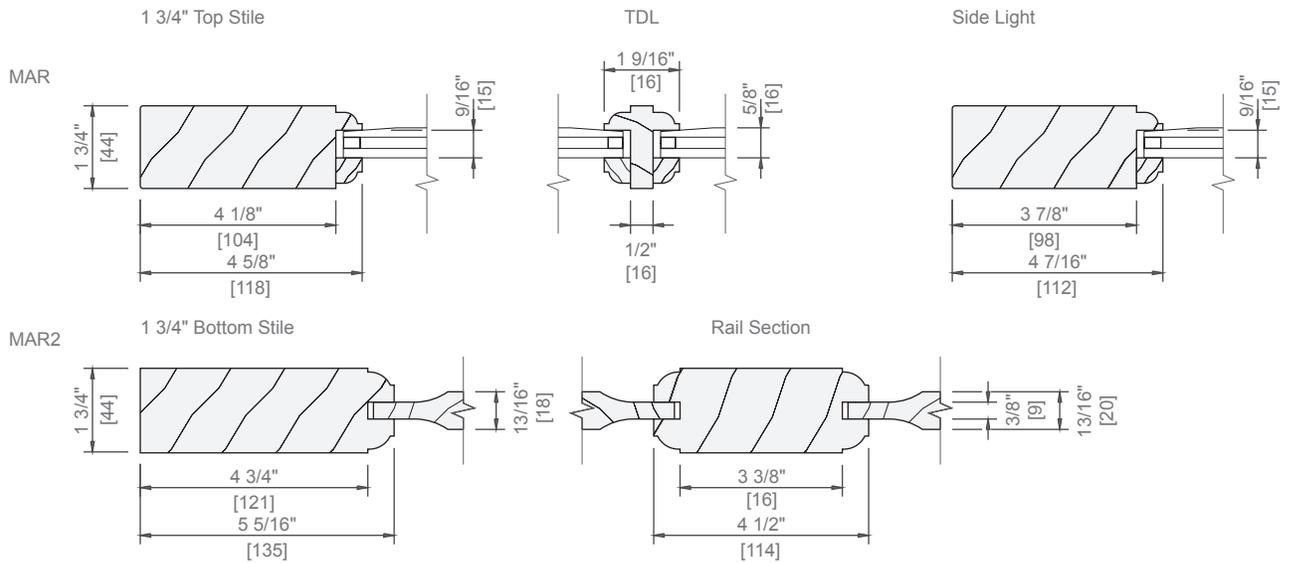
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MAR:



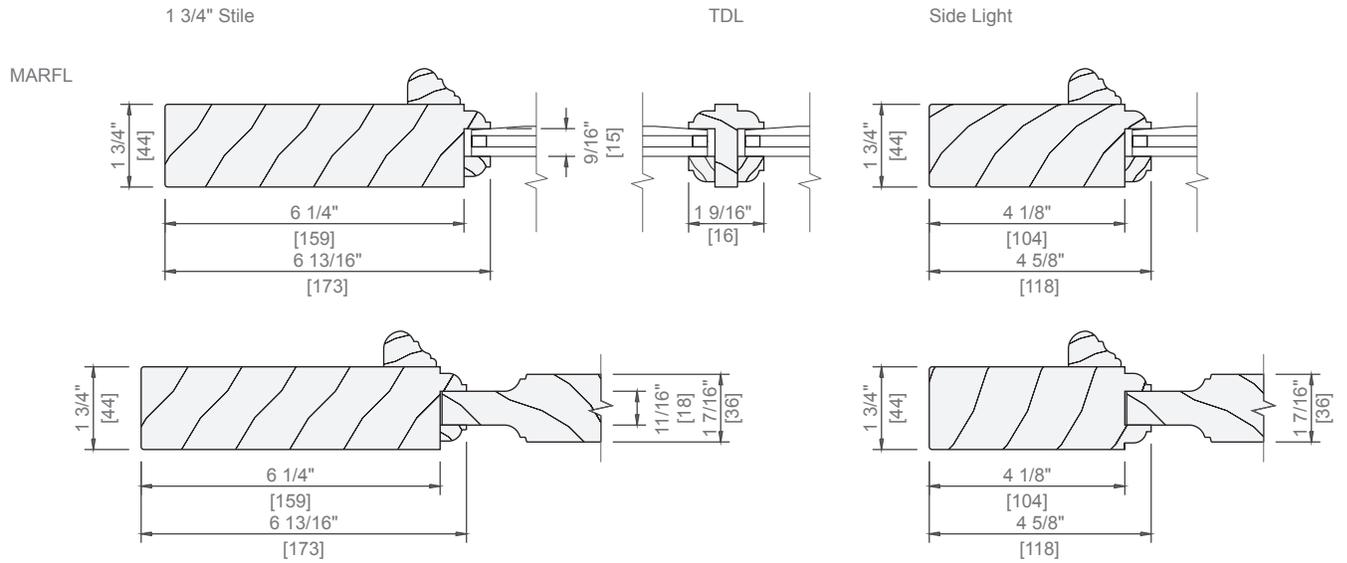
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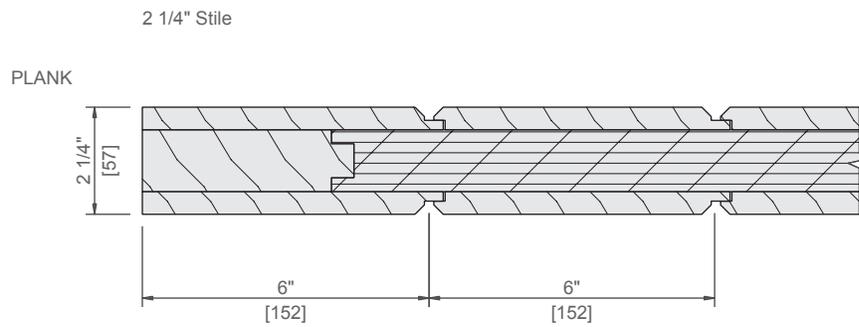
Scale 3" = 1' 0"



MARFL:



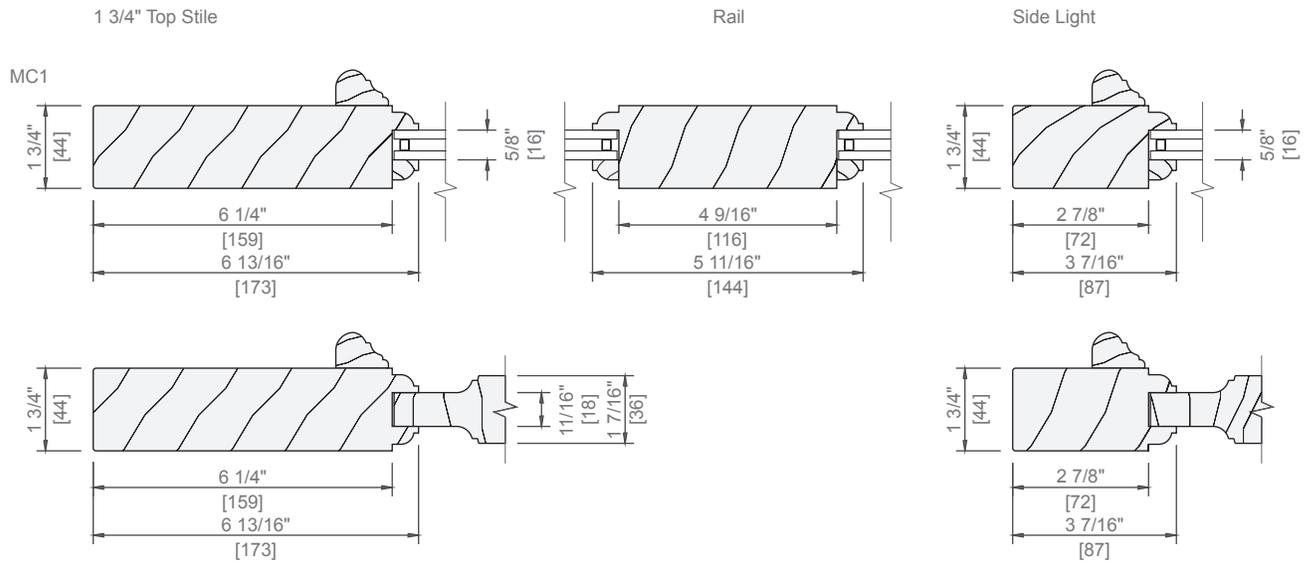
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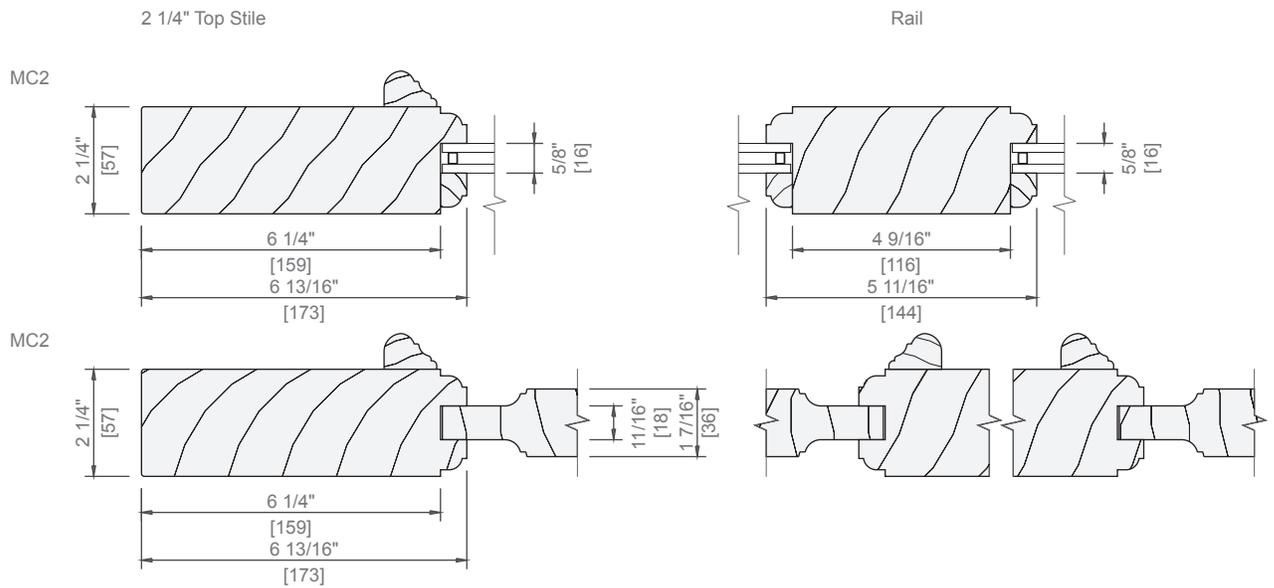
Scale 3" = 1' 0"



MC1:



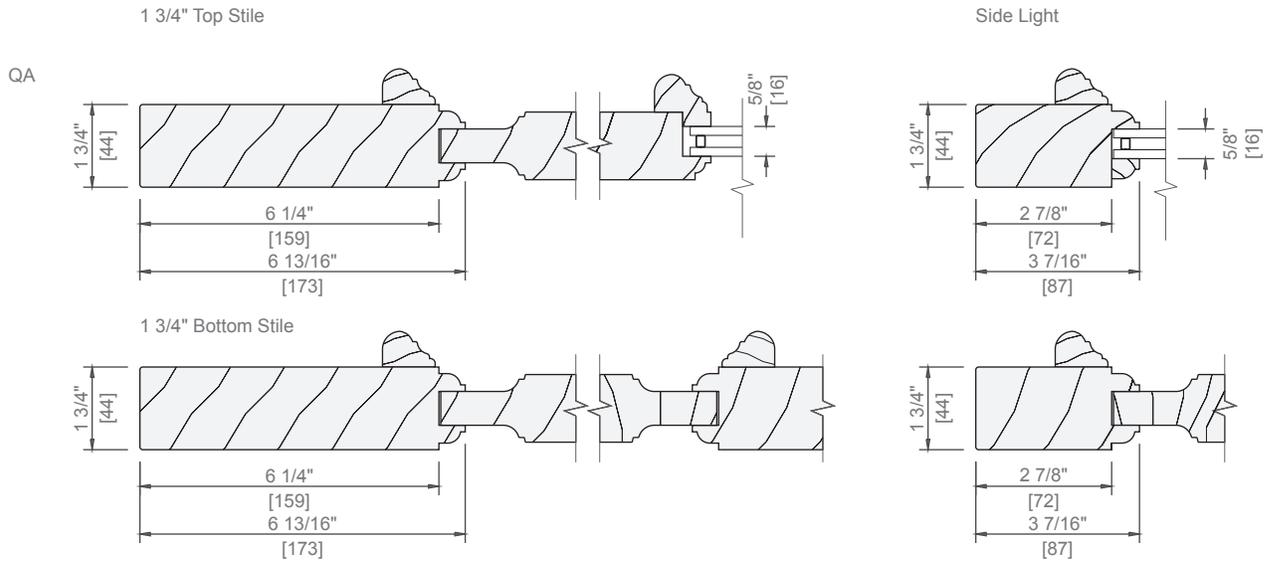
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Scale 3" = 1' 0"



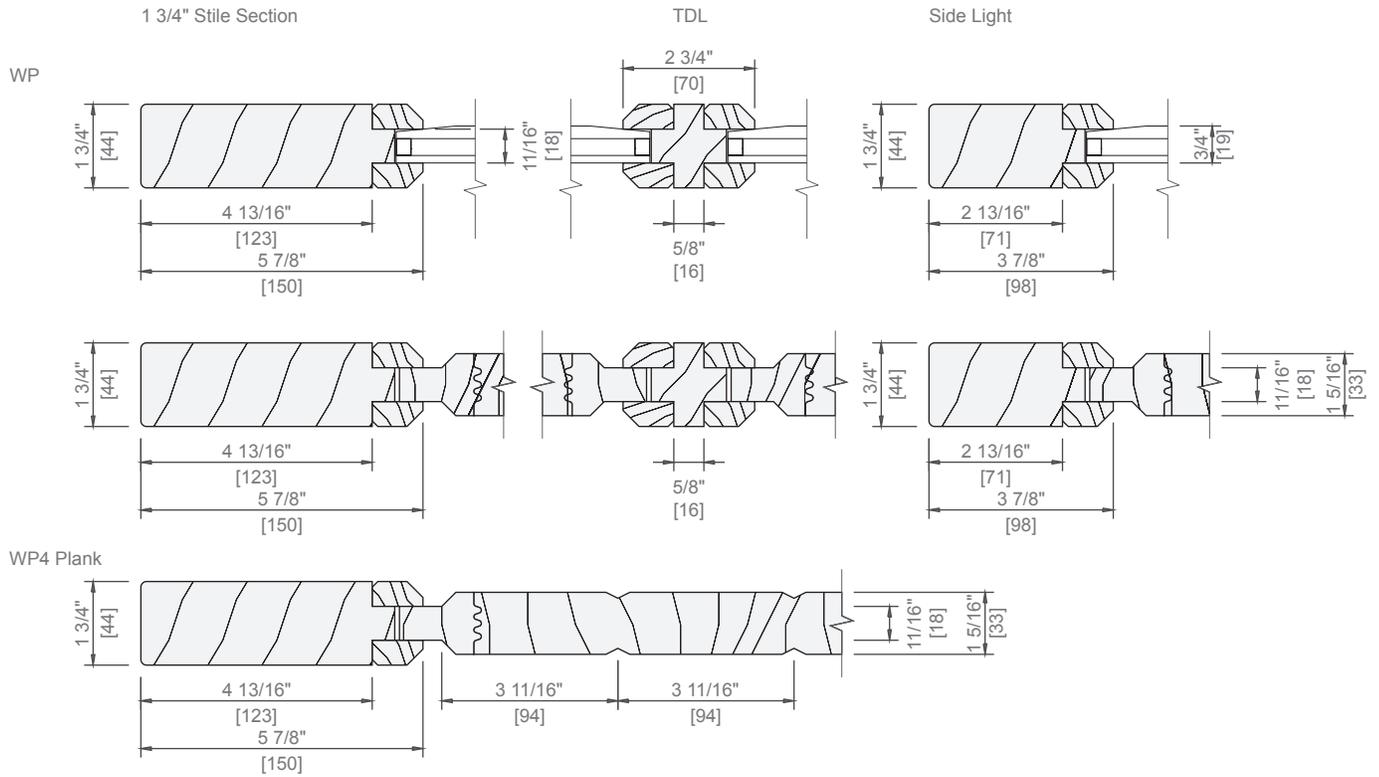
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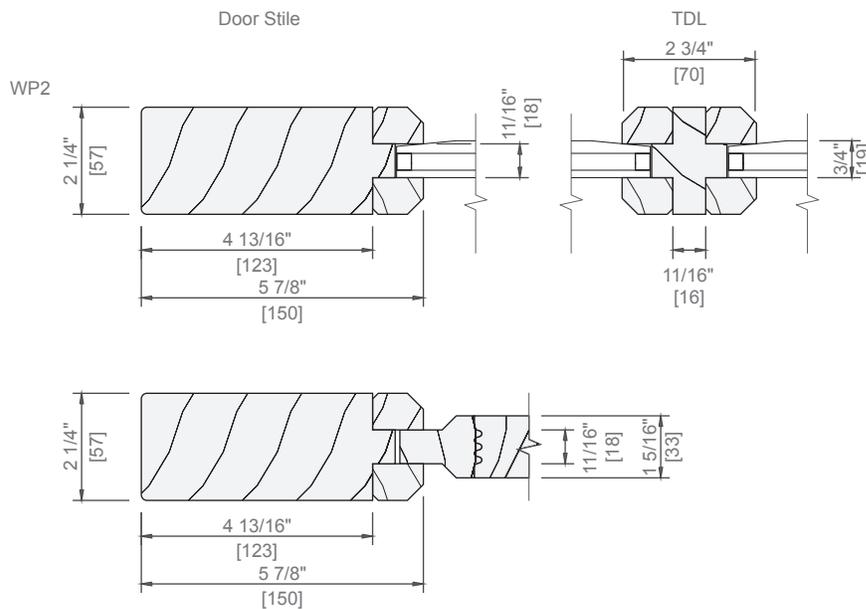
Scale 3" = 1' 0"



WP:



WP2:

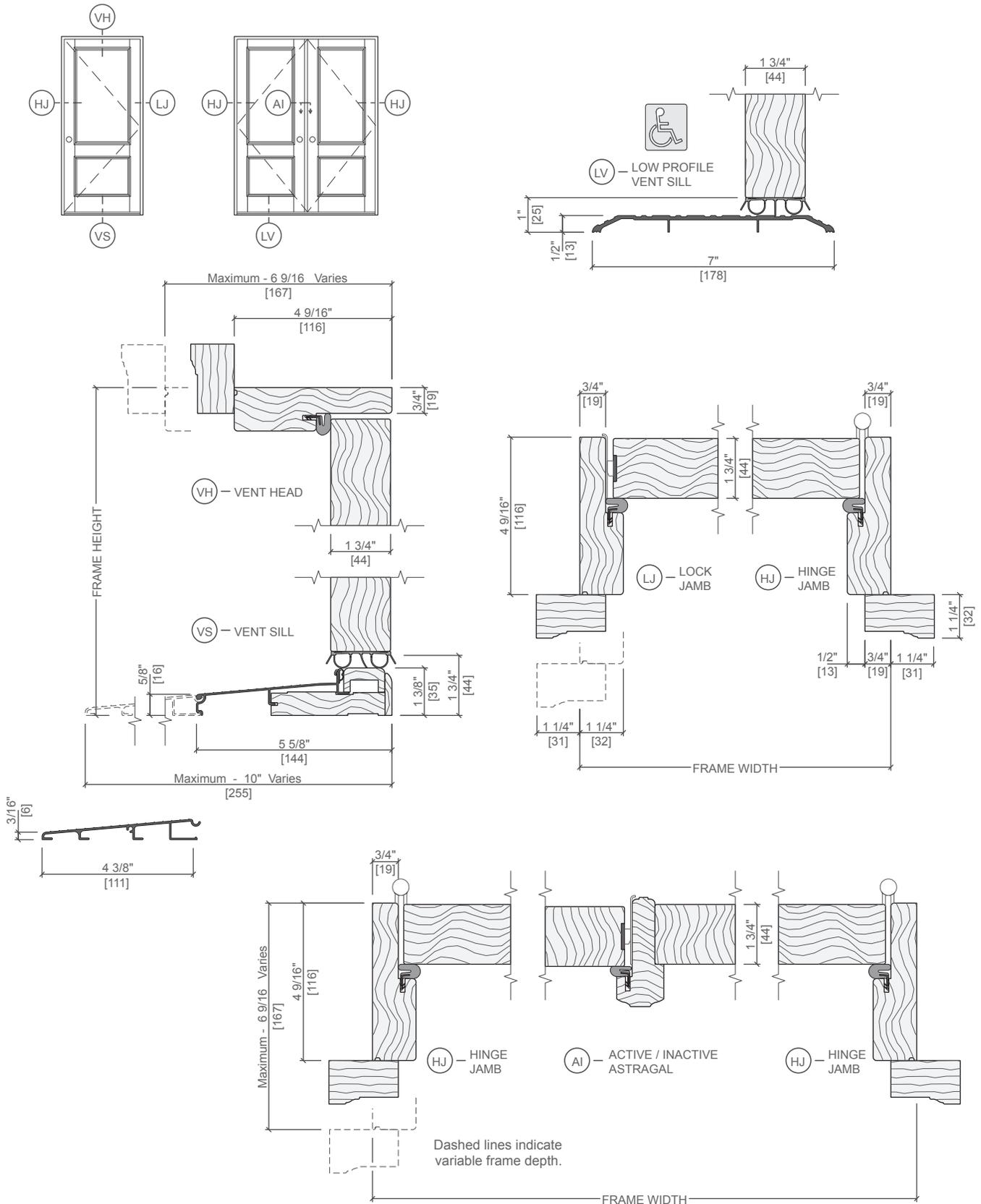


Scale 3" = 1' 0"



Premium Wood Entry Doors

Unit Sections - In-Swing 1-3/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

Optional brickmould shown.

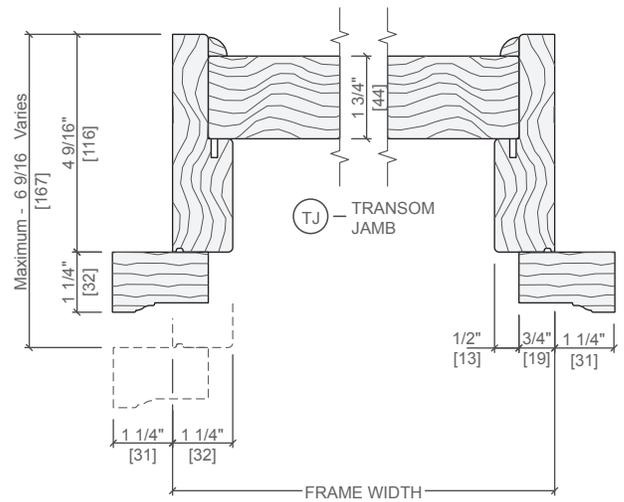
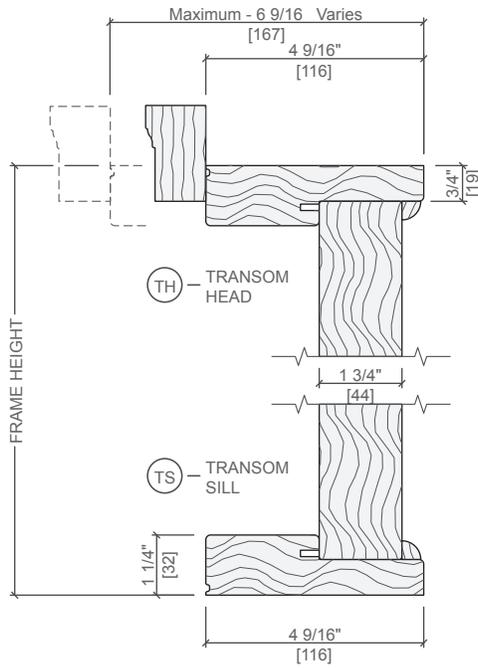
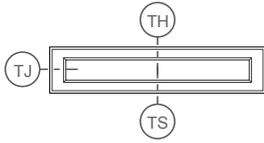
Cross section drawings do not reference composition of frame or panel as they will vary according to wood species and panel style selected.



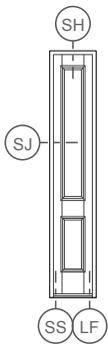
Premium Wood Entry Doors

Unit Sections - In-Swing 1-3/4" Panel Thickness

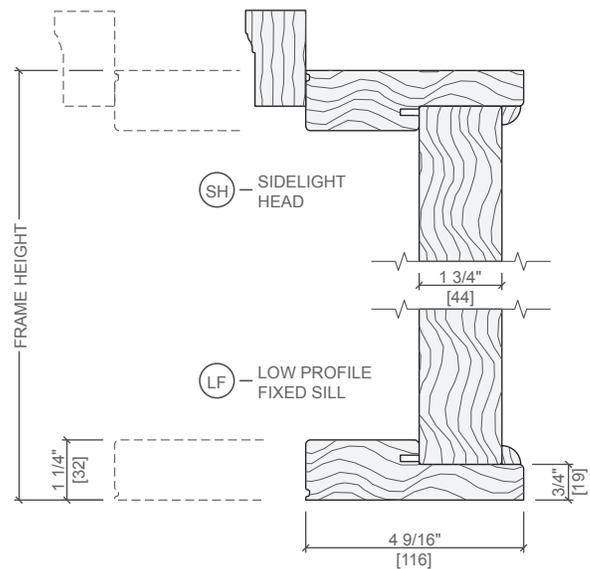
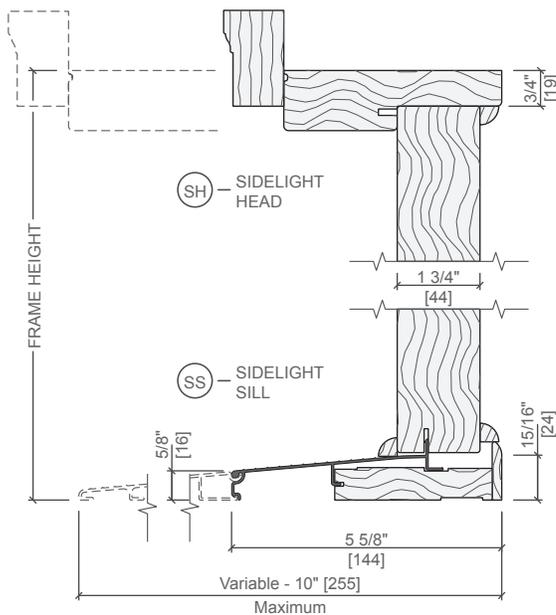
TRANSOM



SIDE LIGHT



Dashed lines indicate variable frame depth.



Scale 3" = 1' 0" All dimensions are approximate.

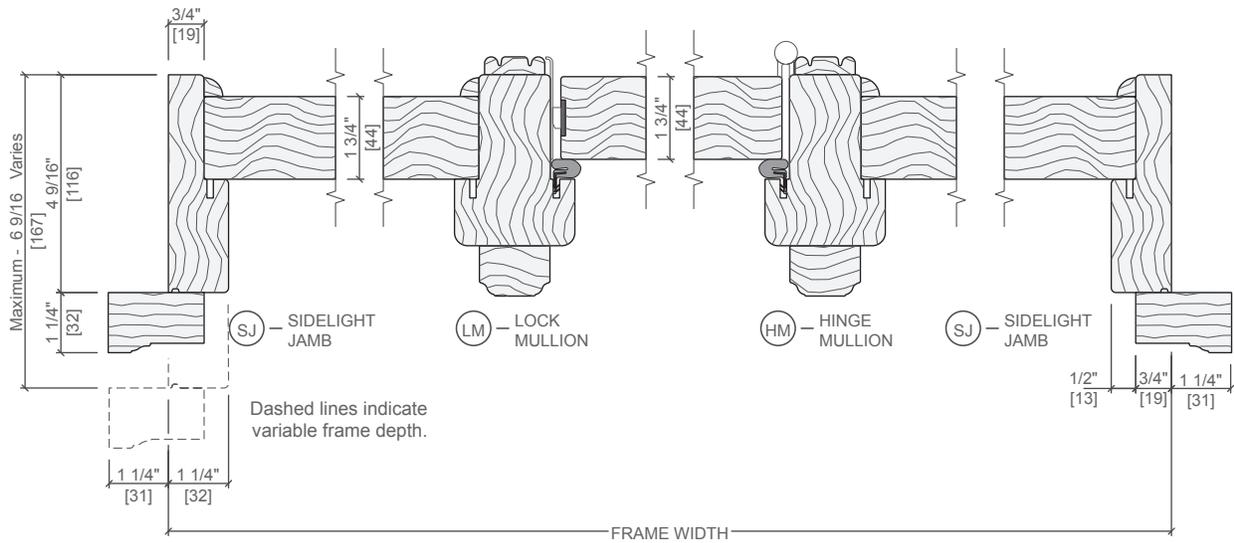
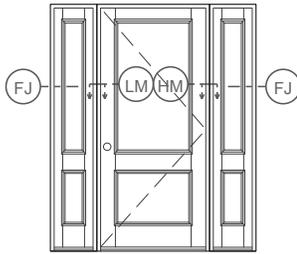
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Premium Wood Entry Doors

Unit Sections - In-Swing 1-3/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

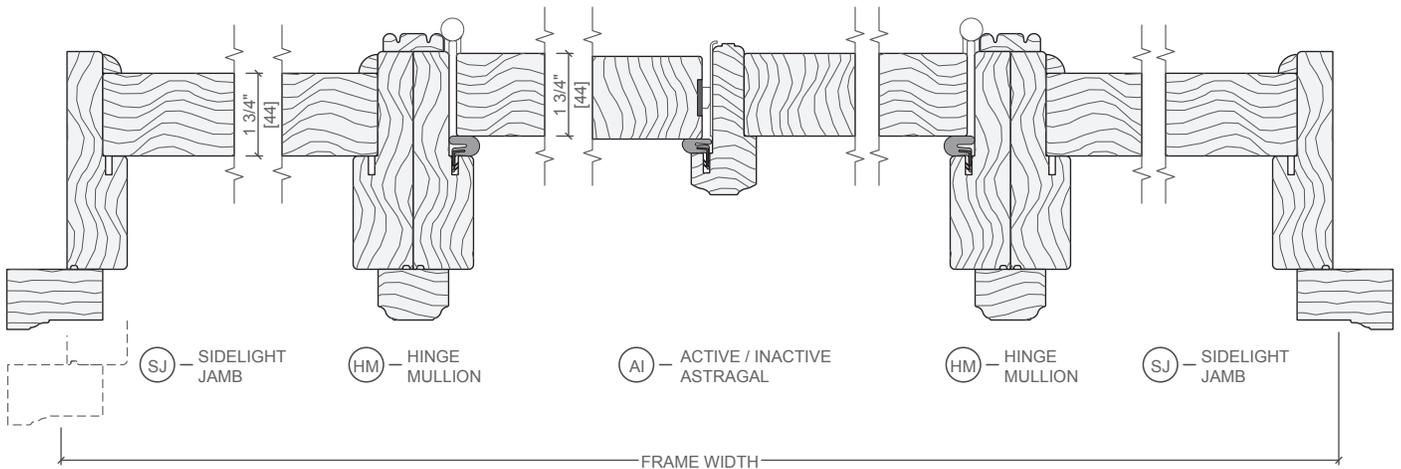
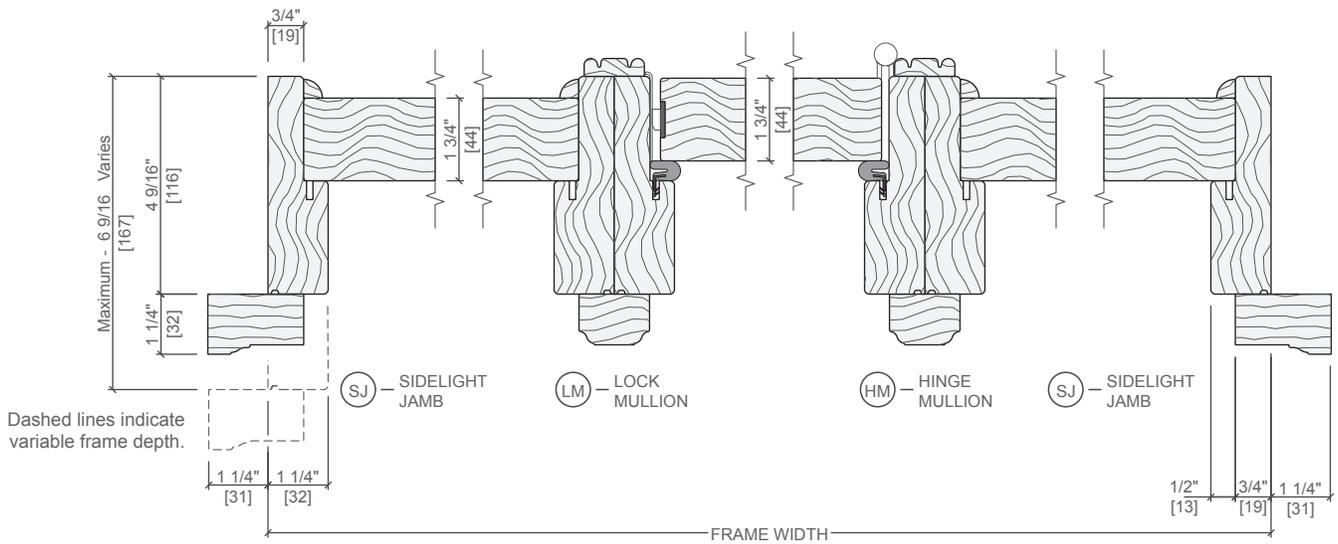
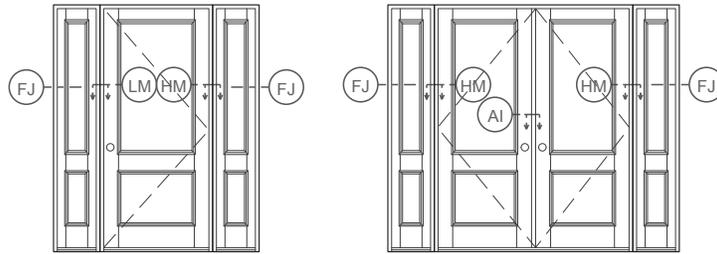
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - In-Swing 1-3/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

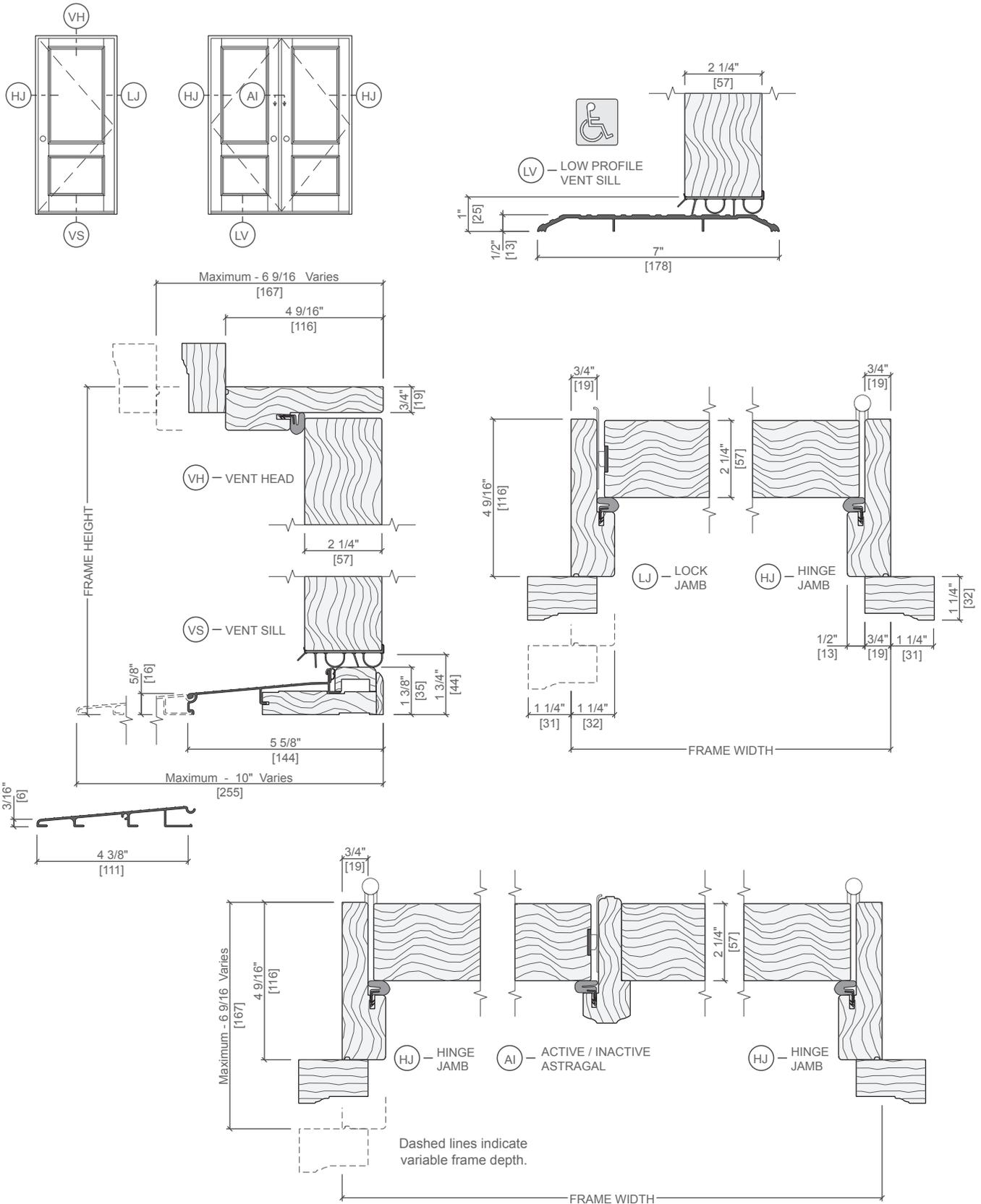
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - In-Swing 2-1/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

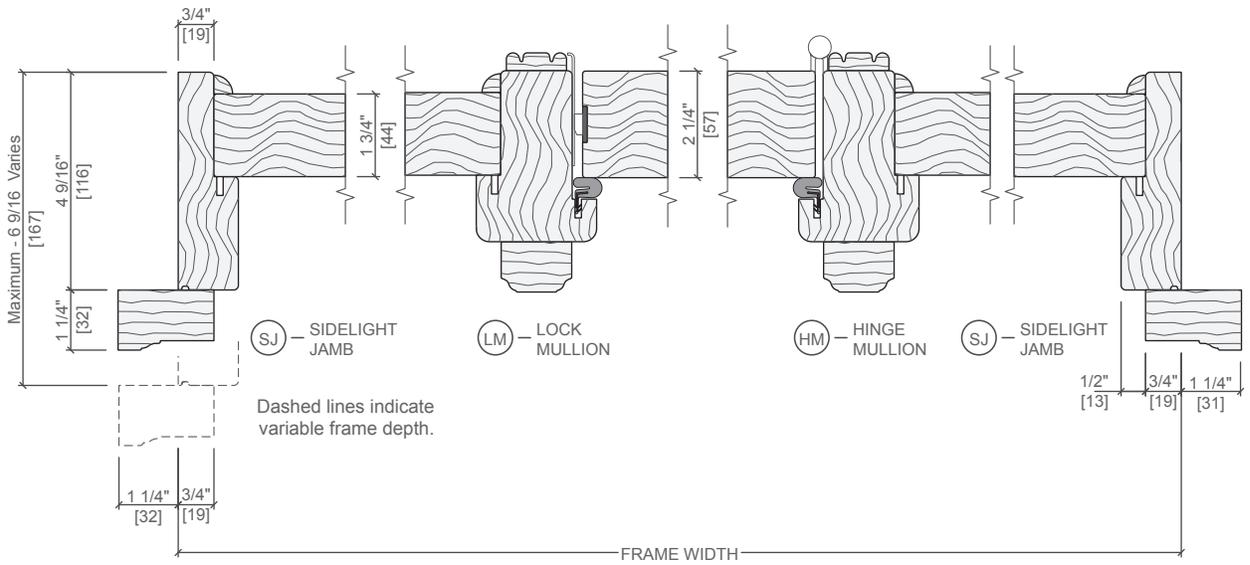
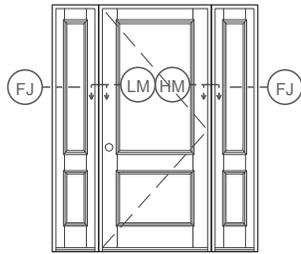
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - In-Swing 2-1/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

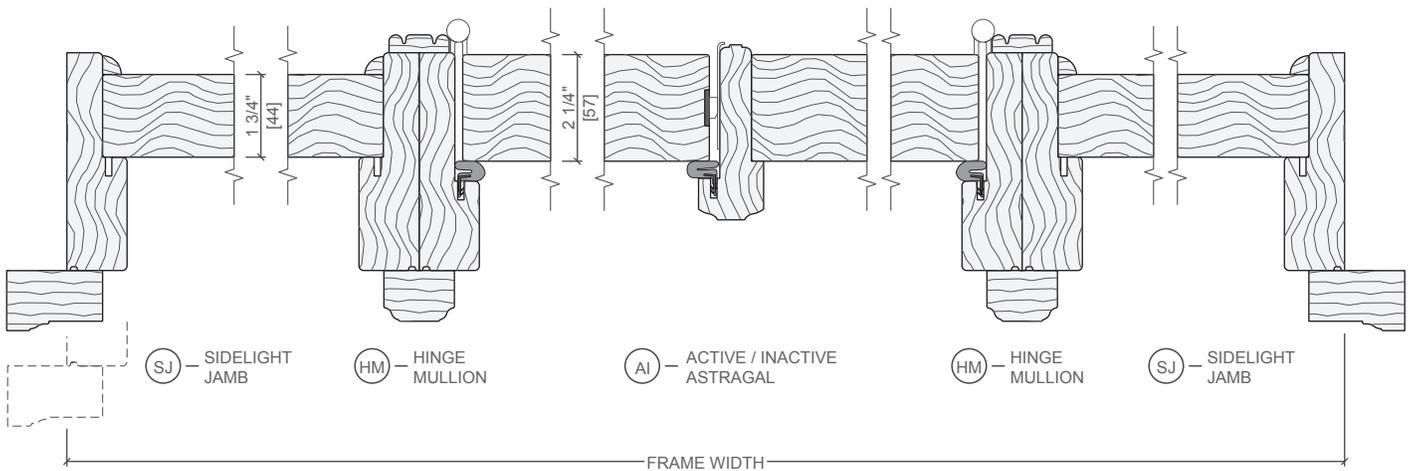
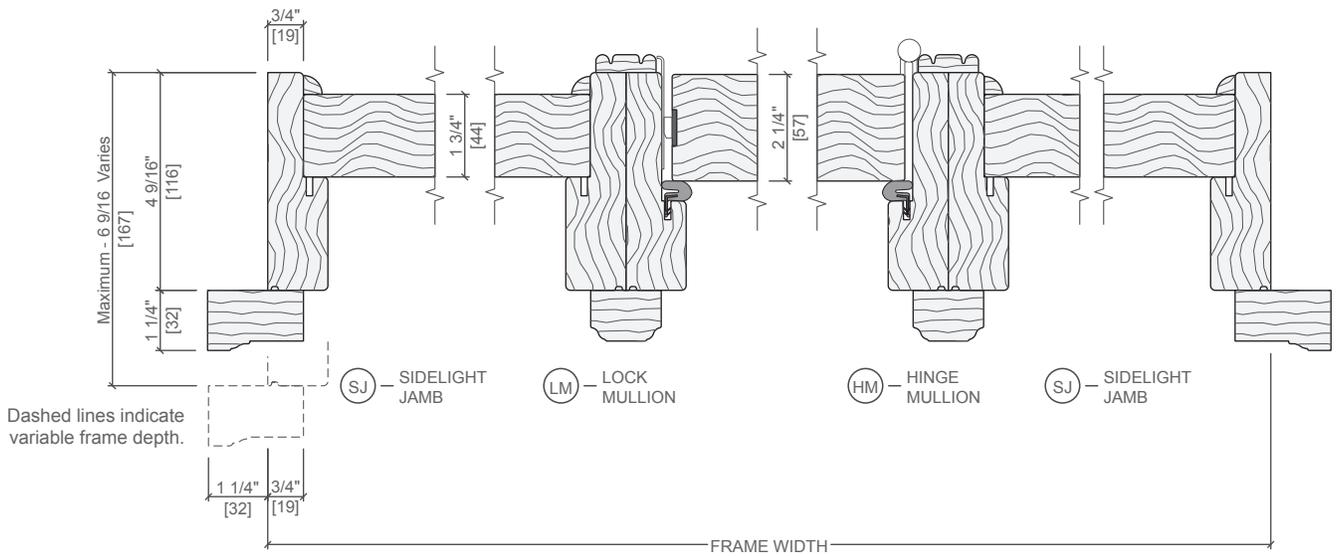
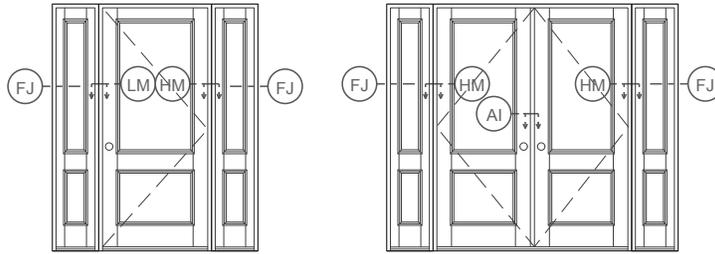
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - In-Swing 2-1/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

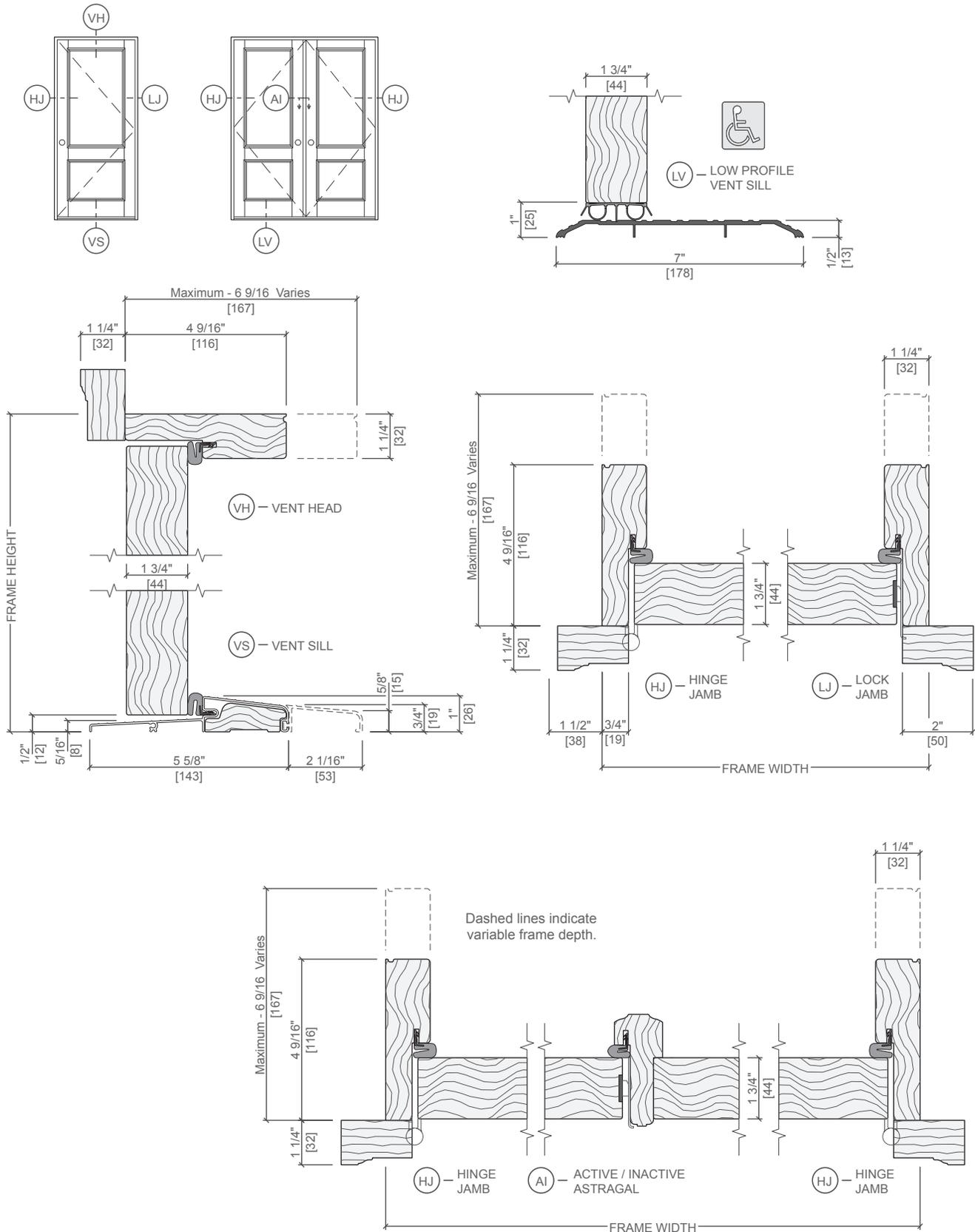
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - Out-Swing 1-3/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

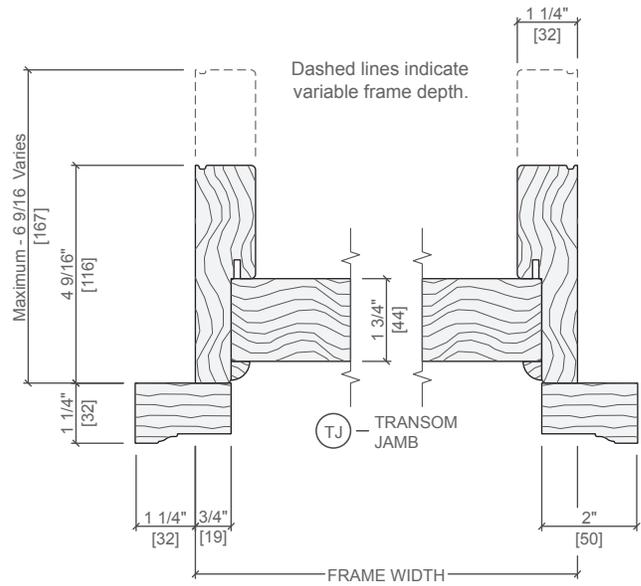
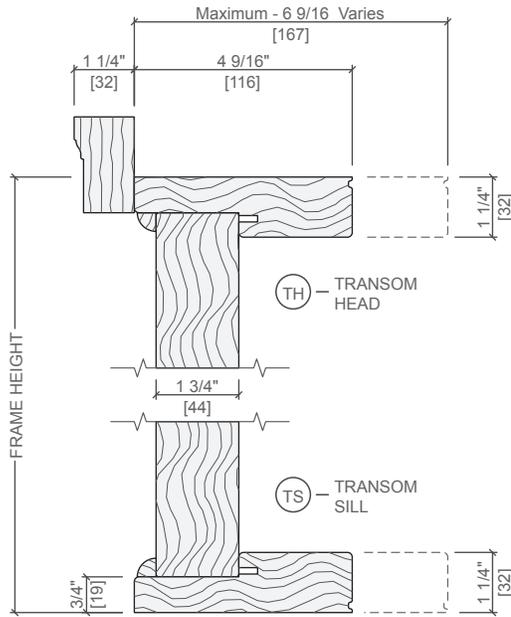
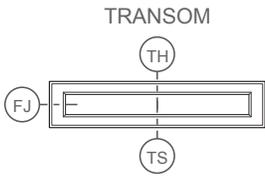
Optional brickmould shown.

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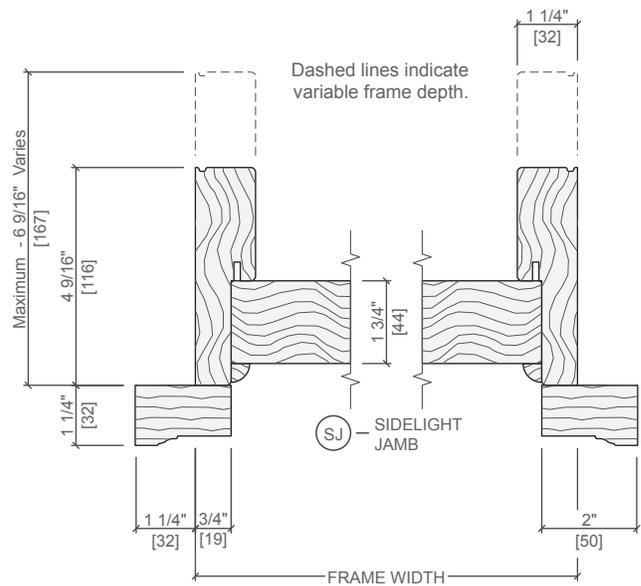
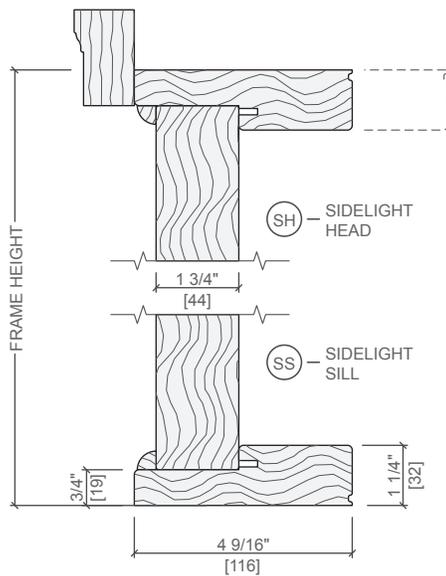
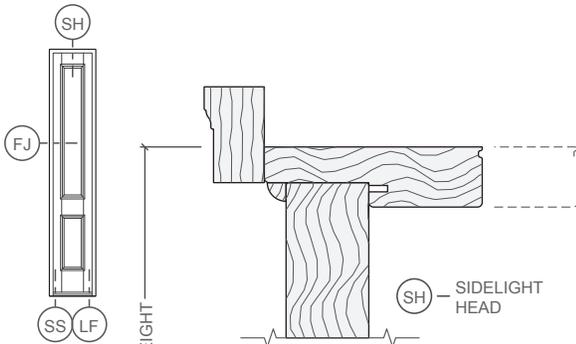


Premium Wood Entry Doors

Unit Sections - Out-Swing 1-3/4" Panel Thickness



SIDE LIGHT



Scale 3" = 1' 0" All dimensions are approximate.

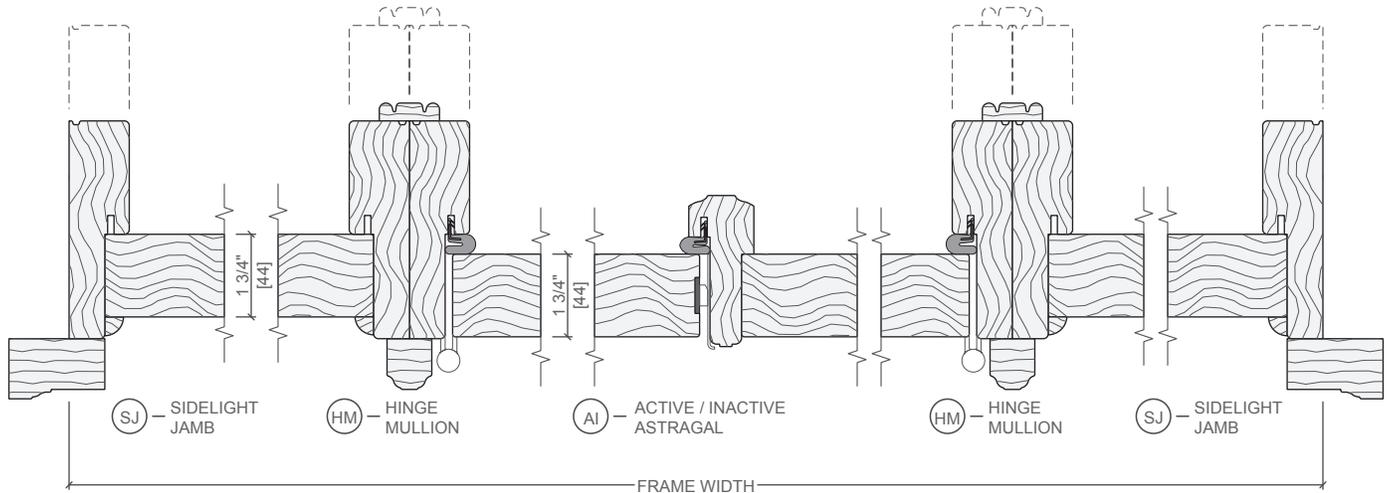
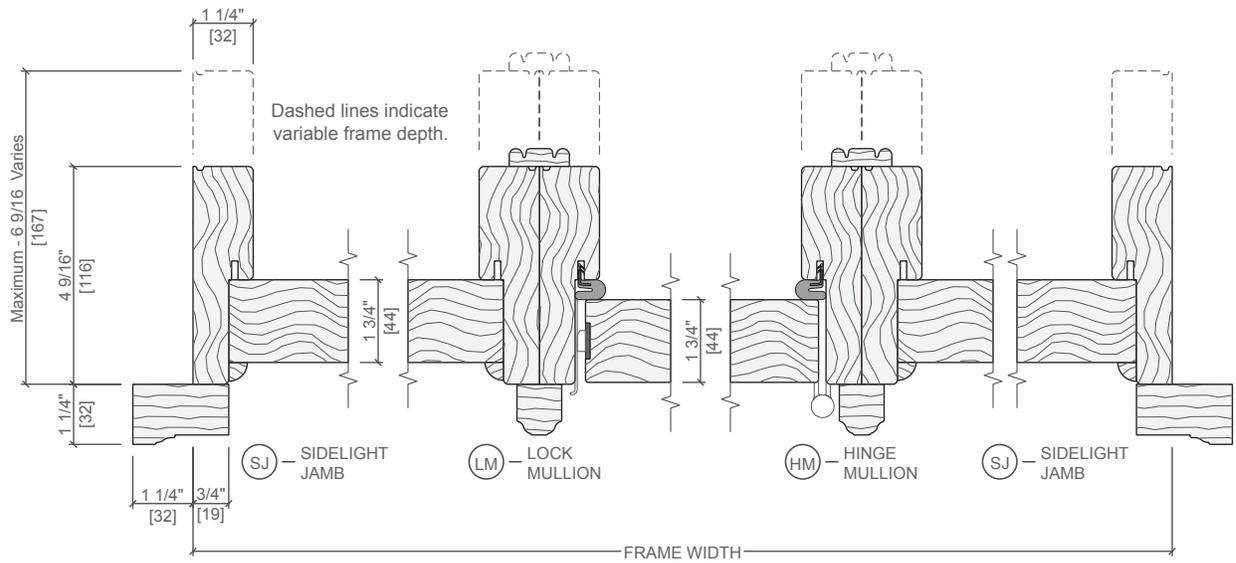
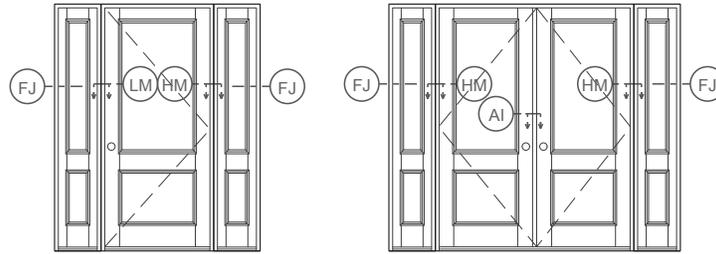
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - Out-Swing 1-3/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

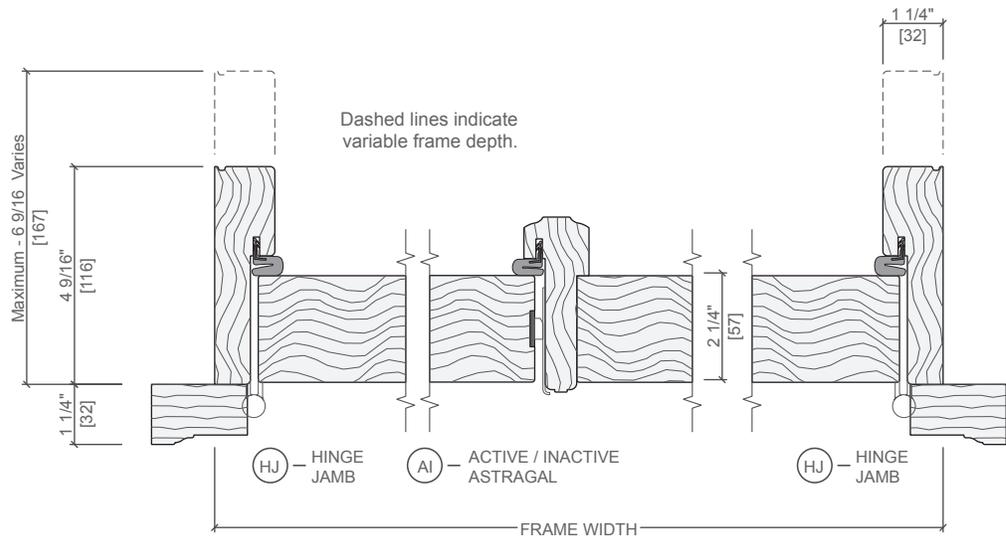
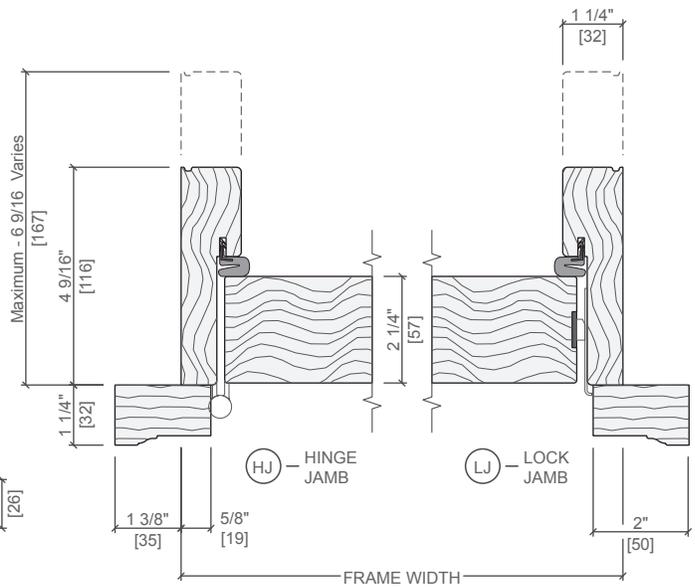
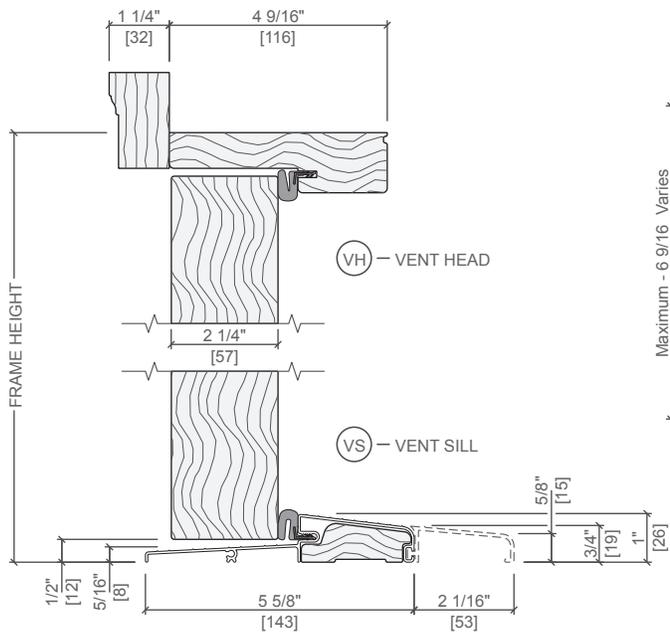
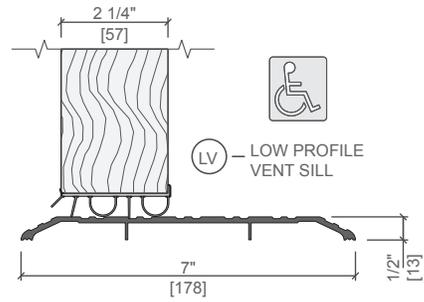
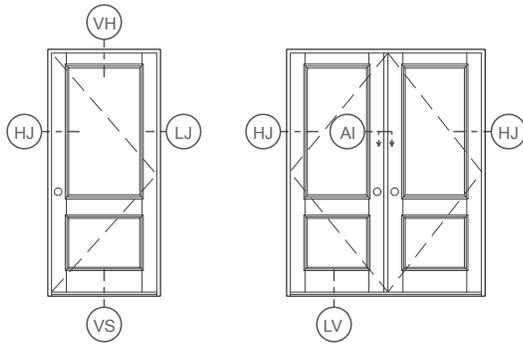
Optional brickmould shown.

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Premium Wood Entry Doors

Unit Sections - Out-Swing 2-1/4" Panel Thickness



Scale 3" = 1' 0" All dimensions are approximate.

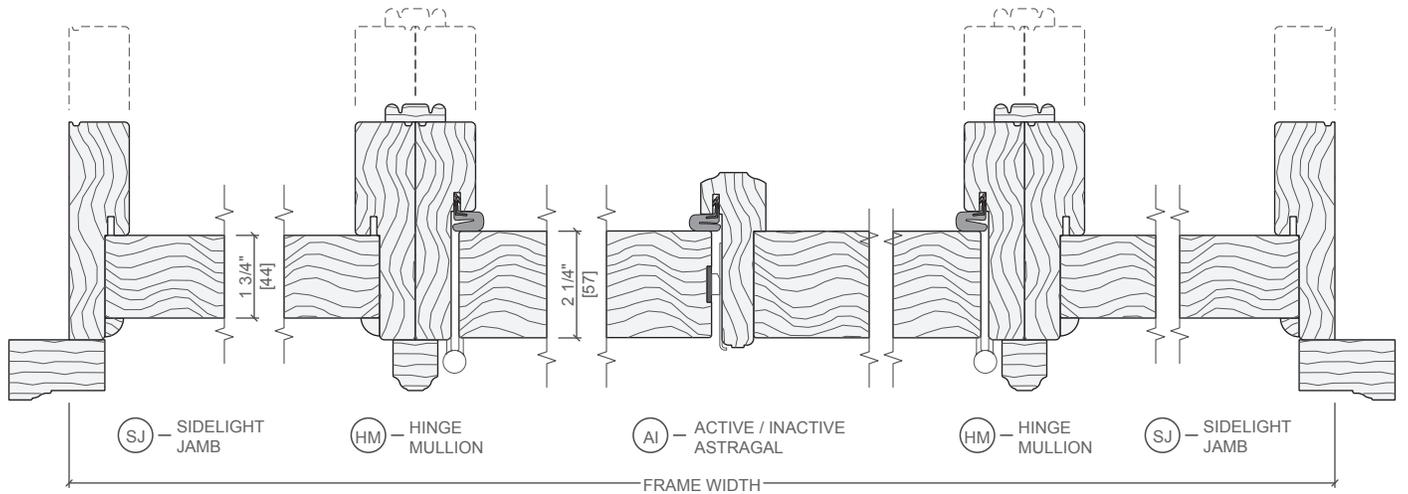
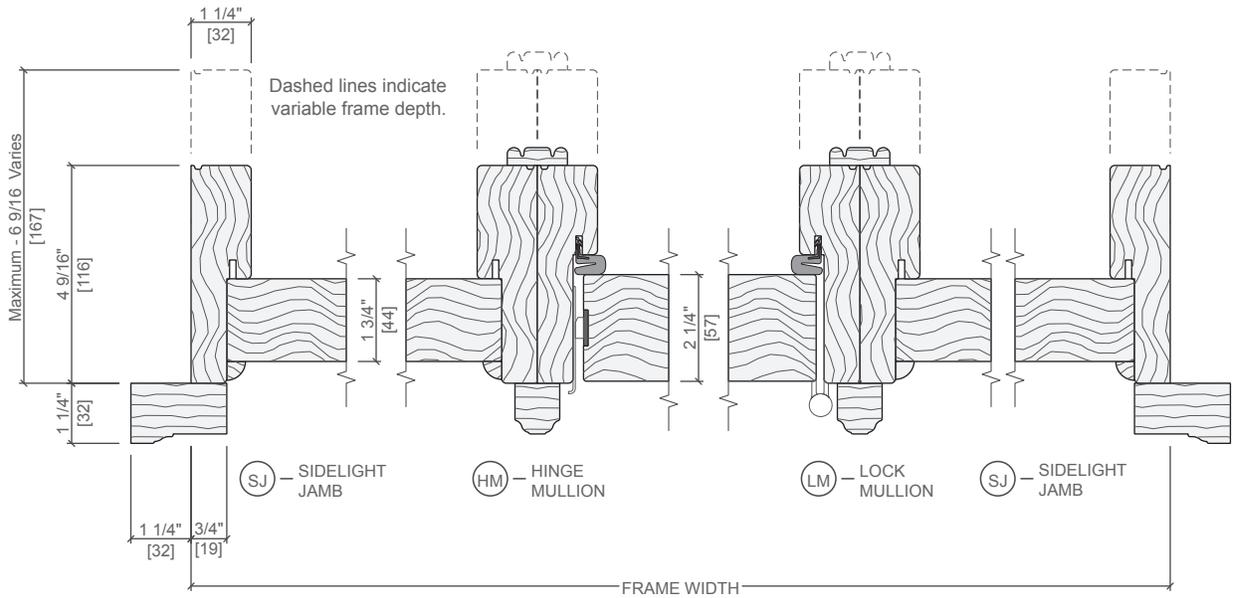
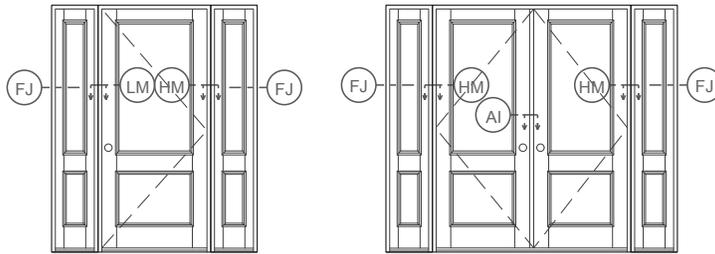
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Premium Wood Entry Doors

Unit Sections - Out-Swing 2-1/4" Panel Thickness



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Optional brickmould shown.

Cross section drawings do not reference composition of frame or panel as they will vary according to wood species and panel style selected.

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Date: 2/27/20

PROPERTY INFORMATION

ADDRESS: 2201 Wabash St AKA: _____

HISTORIC DISTRICT: Corktown

SCOPE OF WORK: (Check ALL that apply)

<input checked="" type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input checked="" type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input checked="" type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Other: <u>Rebuild West Elevation</u>	

APPLICANT IDENTIFICATION

Property Owner/
Homeowner Contractor Tenant or
Business Occupant Architect/Engineer/
Consultant

NAME: James Sillery COMPANY NAME: Homeowner

ADDRESS: 2201 Wabash St CITY: Detroit STATE: MI ZIP: 48216

PHONE: 502-644-2882 MOBILE: _____ EMAIL: james.sillery@gmail.com

PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB

- Completed Building Permit Application** (highlighted portions only)
- ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)
- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)
- Description of existing conditions** (including materials and design)
- Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

NOTE:

Based on the scope of work, additional documentation may be required.

See www.detroitmi.gov/hdc for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

SUBMIT COMPLETED REQUESTS TO HDC@DETROITMI.GOV

P2 - BUILDING PERMIT APPLICATION

Date: 2/27/20

PROPERTY INFORMATION

Address: 2201 Wabash St Floor: Suite#: Stories:
AKA: Lot(s): Subdivision:
Parcel ID#(s): Total Acres: Lot Width: Lot Depth:
Current Legal Use of Property: Proposed Use:
Are there any existing buildings or structures on this parcel? Yes No

PROJECT INFORMATION

Permit Type: New Alteration Addition Demolition Correct Violations
Foundation Only Change of Use Temporary Use Other: Rebuild West Elevation
Revision to Original Permit #: (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)
Complete rehab of existing property. Of note: demolition and rebuild of West Elevation with new openings, shortening of existing window on South Elevation
to accommodate kitchen counter, removal of window on North Elevation. All new mechanicals. All new interior framing. All new interior materials. Existing stairs to remain.

MBC use change No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

HVAC/Mechanical Electrical Plumbing Fire Sprinkler System Fire Alarm

Structure Type

New Building Existing Structure Tenant Space Garage/Accessory Building
Other: Size of Structure to be Demolished (LxWxH) cubic ft.
Construction involves changes to the floor plan? Yes No
(e.g. interior demolition or construction to new walls)

Use Group: Type of Construction (per current MI Bldg Code Table 601)

Estimated Cost of Construction \$ By Contractor \$ By Department

Structure Use

Residential-Number of Units: 1 Office-Gross Floor Area Industrial-Gross Floor Area
Commercial-Gross Floor Area Institutional-Gross Floor Area Other-Gross Floor Area
Proposed No. of Employees: List materials to be stored in the building:

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements
(must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings,
existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

For Building Department Use Only

Intake By: Date: Fees Due: DngBld? No

Permit Description:

Permit #:

Current Legal Land Use: Proposed Use:

Permit#: Date Permit Issued: Permit Cost: \$

Zoning District: Zoning Grant(s):

Lots Combined? Yes No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ New \$

Structural: Date: Notes:

Zoning: Date: Notes:

Other: Date: Notes:



IDENTIFICATION (All Fields Required)

Property Owner/Homeowner

Property Owner/Homeowner is Permit Applicant

Name: James Sillery Company Name: Homeowner

Address: 2207 Wabash ST City: Detroit State: MI Zip: 48216

Phone: 502-644-2882 Mobile: _____

Driver's License #: _____ Email: james.sillery@gmail.com

Contractor

Contractor is Permit Applicant

Representative Name: _____ Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

City of Detroit License #: _____

TENANT OR BUSINESS OCCUPANT

Tenant is Permit Applicant

Name: _____ Phone: _____ Email: _____

ARCHITECT/ENGINEER/CONSULTANT

Architect/Engineer/Consultant is Permit Applicant

Name: _____ State Registration#: _____ Expiration Date: _____

Address: _____ City: _____ State: _____ Zip: _____

Phone: _____ Mobile: _____ Email: _____

HOMEOWNER AFFIDAVIT (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: James Sillery Signature: [Signature] Date: 2/27/2020
(Homeowner)

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

PERMIT APPLICANT SIGNATURE

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: _____ Signature: _____ Date: _____
(Permit Applicant)

Driver's License #: _____ Expiration: _____

Subscribed and sworn to before me this _____ day of _____ 20 _____ A.D. _____ County, Michigan

Signature: _____ My Commission Expires: _____
(Notary Public)

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit detroitmi.gov/bseed/elaps for more information.

