

**STAFF REPORT:** 03-11-2020 MEETING

**PREPARED BY:** J. ROSS

**APPLICATION NUMBER:** 20-6641

**ADDRESS:** 715 VAN DYKE

**HISTORIC DISTRICT:** WEST VILLAGE

**APPLICANT:** MATT WILLIAMS/WILLIAMS HISTORIC RESTORATION INC  
(CONTRACTOR) & NICK ASSENMACHER (OWNER)

**DATE OF COMPLETE APPLICATION:** 02-24-2020

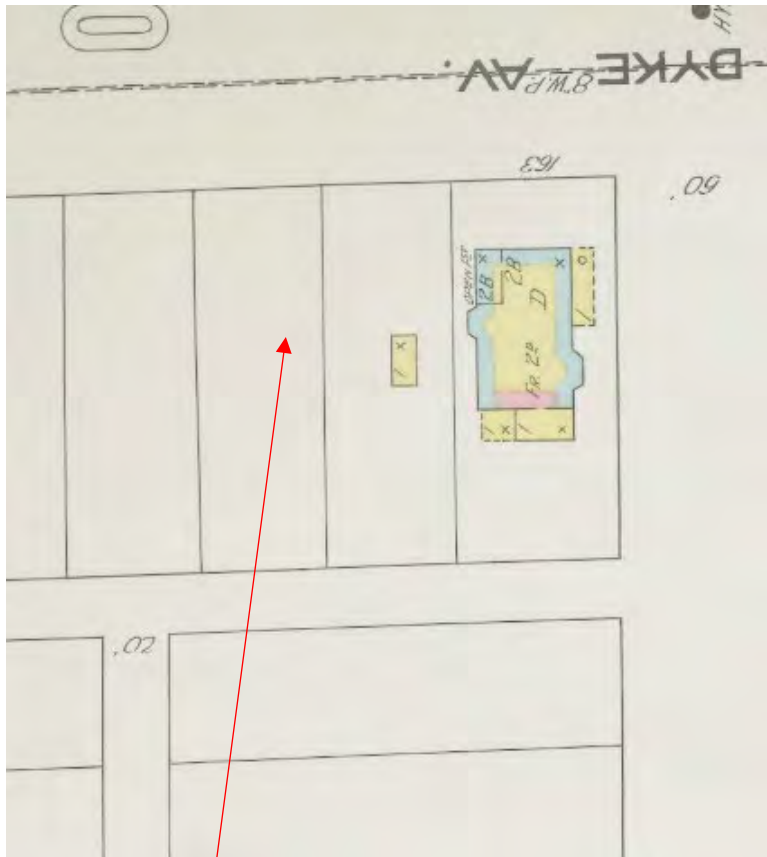
**STAFF SITE VISIT:** 02-24-2020

**SCOPE:** REPLACE EXISTING ASPHALT SIDING AT EXTERIOR WALLS WITH FIBER CEMENT/HARDIBOARD SIDING & TRIM; ALTERATIONS TO REAR ELEVATION

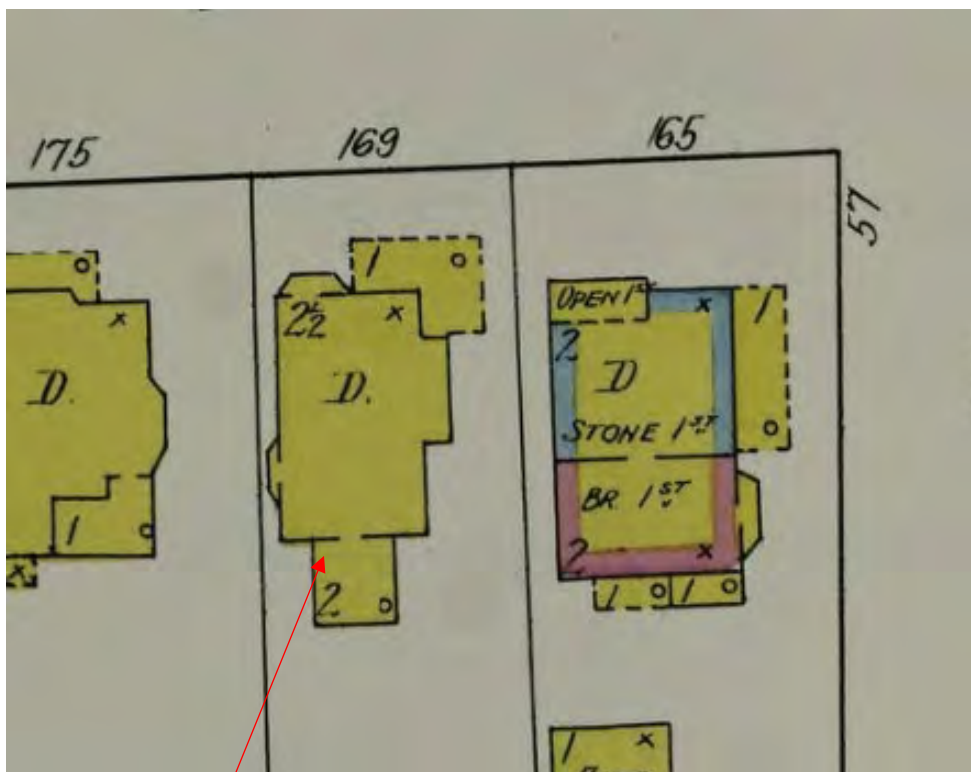
### **EXISTING CONDITIONS**

Erected ca. 1905, the building at 715 Van Dyke is a 2 ½-story, single-family dwelling. The building features a hipped-roof central mass with projecting gabled wings at the side elevations and a flat-roof mass at the rear. **As per the below Sanborn Map, which dates from 1910, the rear flat-roof, two-story wing dates from the building's original construction.** Gabled-roof dormers top the front and rear roof. Decorative brackets are located within the roof's soffit. Flat roof dormers at the front and north elevations display decorative dentils at their cornices. A one-story, flat-roof wood porch with box columns wraps around the building's southeast corner. Windows at the front and side elevations are historic wood-sash units, while the windows at the rear elevation appear to be new windows. Painted asphalt/insulbrick siding is located at the front and south elevations. The rear elevation has recently been re clad with fiber cement/hardiboard lapped siding with a faux wood-grain finish. Fiber cement/hardiboard lapped siding and Tyvek is located at the north elevation. Asphalt shingles are located at the side elevation gable ends.





715 Van Dyke, 1879



715 Van Dyke, 1910. Note the presence of a rear, two-story wing

## PROPOSAL

As per the attached scope, the applicant is seeking the Commission's approval for the following:

- At the rear and side elevations remove existing insulbrick/asphalt siding and wood siding underneath (where present) and install new fiber cement/hardiboard lapped siding with a 3.75-4" exposure, 3/8" to 1/2"-thick profile, and faux wood-grain finish. Corners will be finished with wide fiber cement/hardiboard trim boards and additional fiber cement/hardiboard trim will be installed around all windows (**work partially completed without HDC approval and/or permit**)
- At the front elevation, at wall surface over porch remove existing insulbrick/asphalt siding and wood siding underneath (where present) and install new fiber cement/hardiboard lapped siding with a 3.75-4" exposure, 3/8" to 1/2"-thick profile, and faux wood-grain finish. Corners will be finished with wide fiber cement/hardiboard trim boards and additional fiber cement/hardiboard trim will be installed around all windows
- Paint new siding (colors not yet selected)
- At the front elevation, at wall surface below porch roof, remove existing asphalt/insulbrick siding to reveal historic wood siding. Retain and repair (where necessary) wood siding at this location
- Remove an exterior wood staircase and porch at the rear elevation (**work completed without HDC approval and/or permit**)
- Replace two historic wood-sash windows and trim/brickmould at the rear elevation with new wood sash windows with fiber cement/hardiboard trim (**work completed without HDC approval and/or permit**)
- Add four new window openings and the installation of new wood sash windows with fiber cement/hardiboard trim at the rear elevation, first story (**work completed without HDC approval and/or permit**)
- Replace existing gutters with new half-round aluminum gutters and downspouts at the rear elevation (**work completed without HDC approval and/or permit**)
- The addition of a new red door (material not known) and fiber cement/hardiboard trim at the rear elevation, first story (**work completed without HDC approval and/or permit**)
- At rear first story, remove entry door to kitchen, enclose opening and clad exterior wall surface with fiber cement/hardiboard lapped siding with a 3.75-4" exposure, 3/8" to 1/2"-thick profile, and faux wood-grain finish (**work completed without HDC approval and/or permit**)
- At rear first story, add new door opening and new door (material/style not provided) to lead to mudroom (**work completed without HDC approval and/or permit**)
- At rear second story, remove one historic wood window, lengthen opening, and install a new wood-sash window with fiber cement/hardiboard trim (**work completed without HDC approval and/or permit**)

## STAFF OBSERVATIONS AND RESEARCH

- The designation slide for this property indicates that the home was clad with insulbrick/asphalt siding at the time of designation. Research indicates that insulbrick is a synthetic siding which was meant to approximate the look of brick and was available between 1930 and 1960.
- The submission includes **photographic documentation** to indicate that the home was originally clad with lapped wood siding. The application notes that only small areas of the original wood siding are still extant underneath the insulbrick/asphalt siding. He further stated that

only the remaining original wood siding at the porch is in good condition. See the applicant's attached graphic, which indicates that the original wood siding that remains has a 3.5-3.75" exposure and a 1/2"-thick profile. Finally, the staff field visit revealed that **scalloped wood shingles remain** underneath the insulbrick/asphalt siding at the gable ends

- The applicant submitted an **initial/incomplete** application to staff on 1/26/2020. Upon receipt and review of the application materials, staff noted that the contractor had already begun the siding installation at the side elevation. At that point, it appeared that only the siding at the north elevation and a small section at the front elevation, second story had been removed and new Tyvek and fiber cement siding had been installed at these locations. However, staff subsequently discovered that new fiber cement siding had been installed at the rear elevation as well. The unapproved fiber cement installation at the rear elevation included the addition of lapped siding (with a faux wood grain finish), trim boards and the corners, and trim around the windows/original wood brickmould.
- **Additional violations/exterior work completed without approval** were noted during the 2/24/2020 staff field visit to include the following:
  - Removal of an exterior wood staircase and porch at the rear elevation
  - The replacement of two historic wood-sash windows and trim/brickmould at the rear elevation with new wood sash windows with fiber cement/hardiboard trim
  - The addition of two new window openings and the installation of new wood sash windows with fiber cement/hardiboard trim at the rear elevation, first story
  - The addition of new gutters and downspouts at the rear elevation
  - The addition of a new red steel door and fiber cement/hardiboard trim at the rear elevation, first story
  - At rear first story, the addition of a new door opening and new door (material/style not provided) to lead to mudroom (**work completed without HDC approval and/or permit**)
  - At rear second story, the removal of one historic wood window, lengthen opening, and install a new wood-sash window with fiber cement/hardiboard trim
- Please see the two attached documents from the **project contractor** and **owner**, which outline the reasons why they completed the above-listed work items without HDC approval and/or permit
- With the current submission, the applicants are seeking a Certificate of Appropriateness of the exterior work which was completed without approval
- As the Commission must review and approve any new exterior work, to include tertiary/rear elevations, prior to its initiation, the work undertaken at 715 Van Dyke represents a **current/active violation** of the Detroit City Code.

## ISSUES

- The current application did not provide documentation which thoroughly outlined the deterioration of the original wood siding (which remained beneath the insulbrick/asphalt siding) that was removed without approval. Therefore, it is not clear to staff that the original wood siding (which remained beneath the insulbrick/asphalt siding) merited wholesale removal
- In many cases, original wood siding under later synthetic siding has survived intact and in salvageable condition due to it being protected from the elements for decades

- Even if some areas of siding required replacement, in staff's opinion that the appropriate approach in historic districts is to replace only those boards requirement replacement in-kind vs replacing entire walls.
- The wood grain of painted historic wood siding typically is not visible (as any wood grain is typically obscured by paint). Therefore, it staff's opinion that the faux wood grain finish of the fiber cement siding which has been installed at 715 Van Dyke appears too regular and highlights the synthetic nature of the product which detracts from the historic character of the home. If fiber cement siding is deemed to be to be an appropriate replacement for historic wood siding, staff recommends that such siding display a **smooth finish**
- It is staff's opinion that the fiber cement trim pieces which have been added around the window and door openings detract from the home's historic character. Also, the fiber cement trim boards which have been added at the building corners appear wider than is typical in historic wood installations.
- The applicant notes in his graphic that "hardi ranges from 3/8" to 1/2" thick in profile when installed." However, the product is uniform in profile dimension and, **as noted in the submitted brochure**, actually measures **5/16"** in profile dimension. It is staff's opinion that the proposed Hardi Panel product is too thin to adequately replicate an historic lapped wood siding. A review of the photos of the recently installed siding at 715 Van Dyke, as well as the recently-approved fiber cement siding installations, reinforced staff's opinion that the proposed Hardi Panel product is generally not historically appropriate.
- It is staff's opinion that any original wood siding that remains in good condition underneath the insulbrick/asphalt siding should be retained and restored. Where the insulbrick/asphalt siding must be removed and the original wood siding is no longer extant or in poor condition, new wood siding of a dimension and profile that replicates the original wood siding should be installed. The corner trim details/dimensions should be based upon the original trim, if extant. If it is not extant, the applicant should base new the corner trim details/dimensions on nearby homes of a similar age
- It is not possible for staff to fully ascertain the condition of the two wood windows that were removed from the rear addition without approval. However, a review of the submitted photos of the rear elevation indicate to staff that they were in worse condition than the remaining historic wood windows/that they merited replacement

## RECOMMENDATION

As noted above, it is staff's opinion that the proposed fiber cement/Hardi Panel siding installation/elements, to include the siding and trim, is not appropriate to the home's historic character. Also, it is not clear to staff that the two historic wood windows that were replaced without approval were deteriorated to an extent which merited their replacement and the materiality of the two new rear doors is unknown. HDC staff therefore recommends that the Commission deny the issuance of a Certificate of Appropriateness for the proposed fiber cement/Hardi Panel siding installation/elements, to include the siding and **ALL** trim,; the proposed two new doors which were installed at the rear; and the replacement of two historic wood windows at the rear elevation because the work as proposed because it does not meet the Secretary of the Interior Standards for Rehabilitation. In particular, standard:

*(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible,*

*materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

It is staff's opinion that the following work items *do not* destroy historic materials that characterize the property. HDC staff therefore recommends that the Commission issue a Certificate of Appropriateness for the following work items because they the Secretary of the Interior Standards for Rehabilitation. In particular, standards:

*(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

*(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

- At the front elevation, at wall surface below porch roof, remove existing asphalt/insulbrick siding to reveal historic wood siding. Retain and repair (where necessary) wood siding at this location
- Remove an exterior wood staircase and porch at the rear elevation (**work completed without HDC approval and/or permit**)
- Add four new window openings and the installation of new wood sash windows with fiber cement/hardiboard trim at the rear elevation, first story (**work completed without HDC approval and/or permit**)
- Replace existing gutters with new half-round aluminum gutters and downspouts at the rear elevation (**work completed without HDC approval and/or permit**)
- At rear first story, remove entry door to kitchen, enclose opening and clad exterior wall surface with fiber cement/hardiboard lapped siding with a 3.75-4" exposure, 3/8" to 1/2"-thick profile, and faux wood-grain finish (**work completed without HDC approval and/or permit**)
- At rear second story, remove one historic wood window, lengthen opening, and install a new wood-sash window with fiber cement/hardiboard trim (**work completed without HDC approval and/or permit**)

However, staff does recommend that the COA for the above-listed items be issued *with the following conditions*:

- The trim for all new windows and doors approved as a result of this project be wood and that the dimensions replicate those of the historic window and door trim/brickmould at the home
- Any door opening that is approved for enclosure shall be covered (at the exterior wall surface) with a new siding which appropriately replicates the building's original wood siding (in texture, dimension, and profile)

DESIGNATION  
SLIDE



CURRENT CONDITIONS





**NOTE, SCALLOPED WOOD  
SIDING BENEATH  
ASPHALT SIDING AT  
GABLE END**





**NORTH ELEVATION. NOTE  
UNAPPROVED SIDING,  
CORNER TRIM, AND  
TYVAK. ALSO, NOTE  
VISIBLE JOINTS**



**REAR WING.  
NOTE NEW  
SIDING AND  
TRIM ADDED  
AROUND  
WINDOWS**



**DOOR REMOVED AND NEW WINDOW ADDED**

**NEW DOOR OPENING ADDED  
HERE**

**REAR WING.  
NOTE NEW  
SIDING AND TRIM  
ADDED AROUND  
WINDOWS**



**NEW WINDOW  
OPENINGS  
AND  
WINDOWS  
ADDED HERE**

**ORIGINAL WOOD WINDOWS  
REPLACED HERE**

REAR WING  
PRIOR TO  
NEW  
SIDING ,  
NEW  
WINDOWS  
AND  
REMOVAL  
OF STEPS



**EXAMPLE OF REMAINING  
ORIGINAL WOOD  
UNDERNEATH  
INSULBRICK SIDING**







# 715 Van Dyke

Purchased the house 2013

**Goal:** To restore this duplex back to a single family

**Why we didn't pull permit with the HCD:** Honestly, we didn't think we needed too. We did the work three years ago, and because it was in the rear of the house, we didn't think the HDC really didn't care. We used wood windows, James Hardie wood grain siding. We want to restore this house correctly and bring it back to its original glory.

# Back of the house when original purchased



Door not original added in 1990's

Rotten siding

Kitchen door removed

# Continued Back of the house when purchased



Siding damaged during fire

Original 6" half round gutter

Windows rotten & damaged by fire

Rotten staircase removed for safety

# Back of the house after we fixed it.



Removed door replaced with wood windows

Replicated gutter 6" ½ round gutters

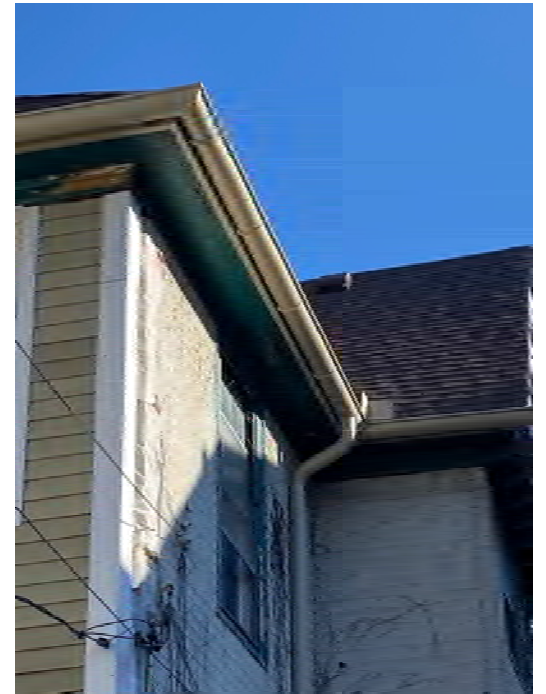
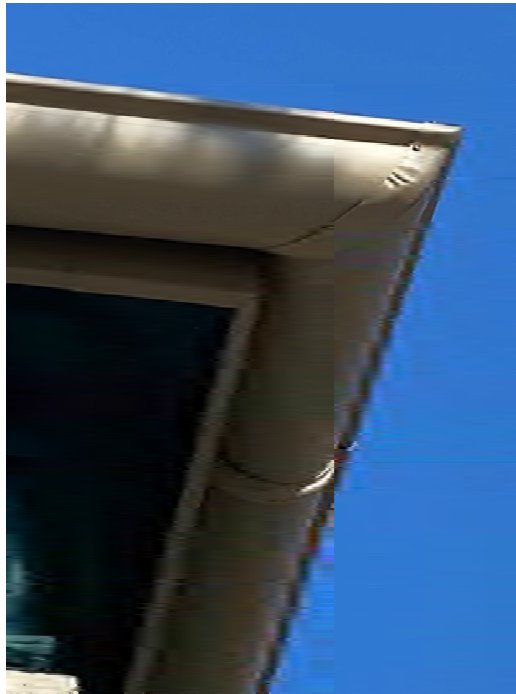
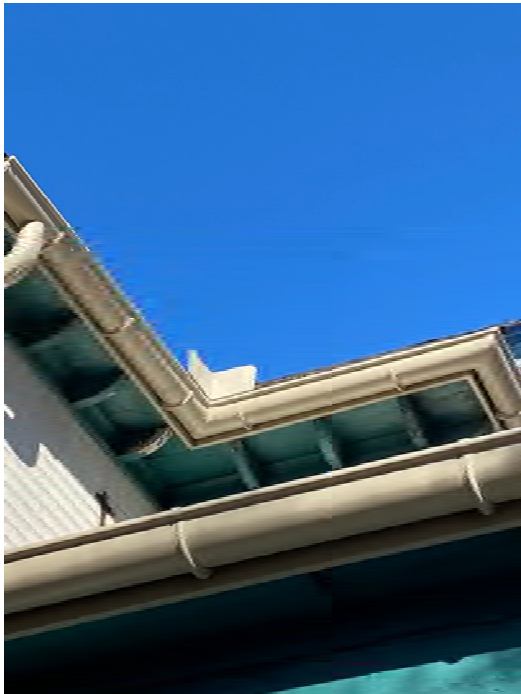
Replaced windows with wood windows.

Moved rear door to mud room

Could not put the old door due to previous owner ran gas lines & electrical lines through that area.

# Gutters

When purchased the gutters were either missing or rotten. We replace the gutters to match what was originally on the house. Our gutters are ½ round 6" gutters.



# Siding

When originally purchased the rear of the house suffer fire damage. This exposed the original wood siding which was also damaged and rotten. We chose James Hardie because it has been approved by historical commission in the past, it durable, and looks original. The Hardie board had the wood grain and we matched the size of the lap with what was original there.

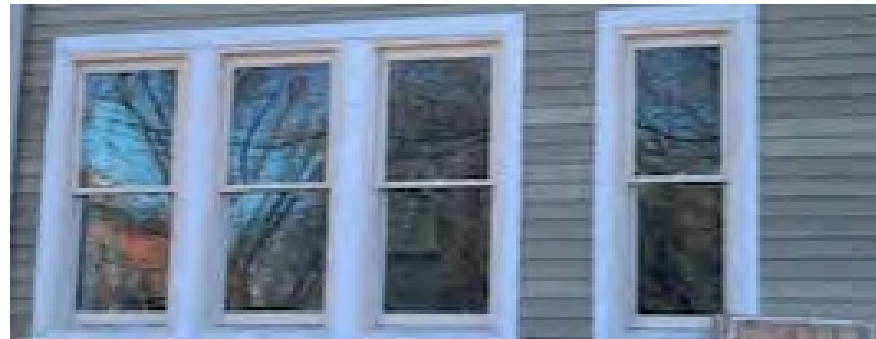


# Windows

When originally purchased the house was a duplex. We have a building permit with the city (02167) where we are turning our house from a duplex back into single family. For the exterior work that meant removing the 2<sup>nd</sup> floor exterior door and replacing it with a window.



The biggest alteration we made to the exterior of the house was adding in more windows to the rear. We believe this was a porch at one time and was framed in 1950's. Adding in these windows made this very dark and pointless room off the kitchen into a nice sunroom.



# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT  
PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: 1/28/2020

## PROPERTY INFORMATION

ADDRESS: 715 Van Dyke AKA: \_\_\_\_\_

HISTORIC DISTRICT: West Village

SCOPE OF WORK: (Check ALL that apply)

<input type="checkbox"/> Windows/ Doors	<input type="checkbox"/> Roof/Gutters/ Chimney	<input type="checkbox"/> Porch/ Deck	<input type="checkbox"/> Landscape/Fence/ Tree/Park	<input type="checkbox"/> General Rehab
<input type="checkbox"/> New Construction	<input type="checkbox"/> Demolition	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Other: <u>Ext. Siding Replacement &amp; Repair</u>	

## APPLICANT IDENTIFICATION

☐ Property Owner/  
Homeowner ☒ Contractor ☐ Tenant or  
Business Occupant ☐ Architect/Engineer/  
Consultant

NAME: Matt Williams COMPANY NAME: Williams Historic Restoration inc

ADDRESS: 67533 Hidden Oak Lane CITY: Washington STATE: MI ZIP: 48095

PHONE: 586 260 5710 MOBILE: Same EMAIL: Matt@williamshistoric.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

☒ **Photographs** of ALL sides of existing building or site  
Attached to email.

☒ **Detailed photographs** of location of proposed work  
(photographs to show existing condition(s), design, color, & material)  
Attached

☒ **Description of existing conditions**  
(including materials and design)

☒ **Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

☒ **Detailed scope of work** (formatted as bulleted list)

☒ **Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

## P2 - BUILDING PERMIT APPLICATION

Date: 1/29/2020

### PROPERTY INFORMATION

Address: 715 Van Dyke Floor: \_\_\_\_\_ Suite#: \_\_\_\_\_ Stories: \_\_\_\_\_  
 AKA: \_\_\_\_\_ Lot(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Parcel ID#(s): \_\_\_\_\_ Total Acres: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Lot Depth: \_\_\_\_\_  
 Current Legal Use of Property: Residential Proposed Use: Same  
 Are there any existing buildings or structures on this parcel? ☒ Yes ☐ No

### PROJECT INFORMATION

Permit Type: ☐ New ☒ Alteration ☐ Addition ☐ Demolition ☐ Correct Violations  
☐ Foundation Only ☐ Change of Use ☐ Temporary Use ☒ Other: Ext. Siding  
☐ Revision to Original Permit #: \_\_\_\_\_ (Original permit has been issued and is active)

Description of Work (Describe in detail proposed work and use of property, attach work list)

Remove existing asphalt Shingle Siding Material, install Tyvek, New Same Hardie lap Siding to Match original exposures and look of original. wood siding.

☐ MBC use change ☐ No MBC use change

Included Improvements (Check all applicable; these trade areas require separate permit applications)

☐ HVAC/Mechanical ☐ Electrical ☐ Plumbing ☐ Fire Sprinkler System ☐ Fire Alarm

#### Structure Type

☐ New Building ☒ Existing Structure ☐ Tenant Space ☐ Garage/Accessory Building  
☐ Other: \_\_\_\_\_ Size of Structure to be Demolished (LxWxH) \_\_\_\_\_ cubic ft.

Construction involves changes to the floor plan? ☐ Yes ☒ No

(e.g. interior demolition or construction to new walls)

Use Group: \_\_\_\_\_ Type of Construction (per current MI Bldg Code Table 601) \_\_\_\_\_

Estimated Cost of Construction \$ \_\_\_\_\_ \$ \_\_\_\_\_  
 By Contractor By Department

#### Structure Use

☐ Residential-Number of Units: \_\_\_\_\_ ☐ Office-Gross Floor Area \_\_\_\_\_ ☐ Industrial-Gross Floor Area \_\_\_\_\_  
☐ Commercial-Gross Floor Area: \_\_\_\_\_ ☐ Institutional-Gross Floor Area \_\_\_\_\_ ☐ Other-Gross Floor Area \_\_\_\_\_

Proposed No. of Employees: \_\_\_\_\_ List materials to be stored in the building: \_\_\_\_\_

PLOT PLAN SHALL BE submitted on separate sheets and shall show all easements and measurements (must be correct and in detail). SHOW ALL streets abutting lot, indicate front of lot, show all buildings, existing and proposed distances to lot lines. (Building Permit Application Continues on Next Page)

### For Building Department Use Only

Intake By: \_\_\_\_\_ Date: \_\_\_\_\_ Fees Due: \_\_\_\_\_ DngBld? ☐ No

Permit Description: \_\_\_\_\_

Permit #:

Current Legal Land Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Permit#: \_\_\_\_\_ Date Permit Issued: \_\_\_\_\_ Permit Cost: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Zoning Grant(s): \_\_\_\_\_

Lots Combined? ☐ Yes ☐ No (attach zoning clearance)

Revised Cost (revised permit applications only) Old \$ \_\_\_\_\_ New \$ \_\_\_\_\_

Structural: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Zoning: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_

Other: \_\_\_\_\_ Date: \_\_\_\_\_ Notes: \_\_\_\_\_



**IDENTIFICATION (All Fields Required)****Property Owner/Homeowner**☐ Property Owner/Homeowner is Permit ApplicantName: Elen Barrett

Company Name: \_\_\_\_\_

Address: 715 Van DykeCity: Detroit

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: 810 223 1871

Mobile: \_\_\_\_\_

Driver's License #: \_\_\_\_\_

Email: \_\_\_\_\_

**Contractor**☒ Contractor is Permit ApplicantRepresentative Name: Matt WilliamsCompany Name: Williams Historic RestorationAddress: 67533 Hidden Oak LnCity: WashingtonState: MIZip: 48095Phone: 586 260 5710

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

City of Detroit License #: LIC 2019 01185**TENANT OR BUSINESS OCCUPANT**☐ Tenant is Permit Applicant

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**ARCHITECT/ENGINEER/CONSULTANT**☐ Architect/Engineer/Consultant is Permit Applicant

Name: \_\_\_\_\_

State Registration#: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_

State: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

Mobile: \_\_\_\_\_

Email: \_\_\_\_\_

**HOMEOWNER AFFIDAVIT** (Only required for residential permits obtained by homeowner.)

I hereby certify that I am the legal owner and occupant of the subject property and the work described on this permit application shall be completed by me. I am familiar with the applicable codes and requirements of the City of Detroit and take full responsibility for all code compliance, fees and inspections related to the installation/work herein described. I shall neither hire nor sub-contract to any other person, firm or corporation any portion of the work covered by this building permit.

Print Name: \_\_\_\_\_

(Homeowner)

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_

(Notary Public)

My Commission Expires: \_\_\_\_\_

**PERMIT APPLICANT SIGNATURE**

I hereby certify that the information on this application is true and correct. I have reviewed all deed restrictions that may apply to this construction and am aware of my responsibility thereunder. I certify that the proposed work is authorized by the owner of the record and I have been authorized to make this application as the property owner(s) authorized agent. Further I agree to conform to all applicable laws and ordinances of jurisdiction. I am aware that a permit will expire when no inspections are requested and conducted within 180 days of the date of issuance or the date of the previous inspection and that expired permits cannot be

Print Name: Matt Williams

(Permit Applicant)

Signature: Matt WilliamsDate: 1/29/2020Driver's License #: W452589429714Expiration: 9-14-2021

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_ A.D. \_\_\_\_\_ County, Michigan

Signature: \_\_\_\_\_

(Notary Public)

My Commission Expires: \_\_\_\_\_

Section 23a of the state construction code act of 1972, 1972PA230, MCL 125.1523A, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who are to perform work on a residential building or a residential structure. Visitors of Section 23a are subject to civil fines.

This application can also be completed online. Visit [detroitmi.gov/build/efile](http://detroitmi.gov/build/efile) for more information.



715 Van Dyke.

Statement on work started: Work had been started at request of homeowner to stop water from leaking in thru wall thru the deteriorated asphalt siding product, Asphalt product was removed, Tyveck and insulation was placed to stop a leak. No wood siding was present behind asphalt product, water was entering thru the deteriorated asphalt product and going thru the original wall sheathing. Once it was clear that a permit and HDC commission approval would be needed it was applied for immediately. I should point out that This project was not formally stopped by the city of Detroit bldg. dept but by the contractor and customer seeing the need for approval/permitting before moving forward on significant construction changes and further installation of Hardie product.

Note: At the request of the homeowners Mrs. Barret (Home owner) would like to point out that the neighbor's home at 1449 Van Dyke was permitted recently and Siding Re-done by the Village's CDC in the Hardie material just like They are asking permission to do. Maybe that's helpful information if the Hardie has already been approved it could save some time of the Board spent on the issue.

#### Original wood siding findings.

Rear facing elevations- Rear of home appears to have an (approximated 30-40Y/O) addition porch on the back with no original wood siding ever installed, no evidence of original wood siding is visible on the back of home.

Front of house- Underneath porch appears to still have original wood siding behind asphalt product on exterior walls, the condition is unknown the asphalt has not been removed. Above porch no evidence of wood siding exists, appears that it may have been removed when asphalt faux brick product was installed.

North side- This is the side that asphalt was removed due to leak. No original siding was present, our guess is it was removed before installation of asphalt product on the walls.

South side- Original wood siding is present behind asphalt siding. Pictures have been submitted showing condition, and profile. Original wood siding appears to be split/rotted where visible. Our intent is to remove the wood and continue the James Hardie installation on all sides.

## 715 Van Dyke. Siding Profile Comparisons..

Existing / original wood lap siding Profile:



Existing exposures range from 3.5 - 3.75 inches.

Existing Profile is  $\frac{1}{2}$  inch

James Hardie fiber cement lap Siding Profile (Replacement)



We install exposure at 3.75 inches. To Match original

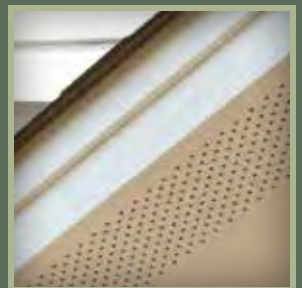
Hardie Profile ranges from  $\frac{3}{8}$  -  $\frac{1}{2}$  inch once installed.

Both materials have a woodgrain finish. Both original siding and Hardie will have a painted finished coating.



**JamesHardie™**

Siding | Trim



Achieve authentic character and  
**UNCOMPROMISING PERFORMANCE.**

**VIRGINIA  
D.C. / BALTIMORE**  
Product Catalog



It's time to  
**BUILD SOMETHING TIMELESS.**



Installed on over 8 million homes\* from coast to coast, James Hardie® fiber cement siding products are designed to resist the most extreme conditions while delivering long term beauty and lower maintenance. Enjoy the warm, natural character of wood with unprecedented peace of mind. It's easy to see what makes James Hardie the market leader.

#### UNIQUE FORMULATION

We use the highest quality raw materials and proprietary additives for enhanced strength and moisture protection.

#### FINISHING TECHNOLOGY

Baked-on color delivers a beautiful finish that resists fading and makes a lasting impression.

#### COMPLETE EXTERIOR

Offers homeowners an unrivaled collection of design options with exceptional warranties through a single, trusted manufacturer.

\*Estimate based on total James Hardie siding sales through 2016 and average housing unit size.

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# HardieZone® System


Only James Hardie® fiber cement products are Engineered for Climate®. In the northern U.S. and Canada, HZ5® products resist shrinking, swelling and cracking even after years of wet or freezing conditions. HZ10® products help protect homes from hot, humid conditions, blistering sun and more.

With James Hardie® siding and trim, homeowners have an exterior that's tougher than the elements and easy on the eyes.

## NO MATTER WHAT NATURE BRINGS



HardieShingle®  
Straight Edge  
Timber Bark



HardieTrim®  
boards  
Timber Bark

HardiePlank®  
lap siding  
Khaki Brown

Resist the elements  
**WITH IRRESISTIBLE CHARM.**

## TOUGHER THAN THE ELEMENTS



Stands up to storms  
and harsh weather



Water resistant  
to protect against  
swelling, warping  
and cracking



Won't be eaten by  
animals or insects



Fire resistant



Helps reduce time  
and money spent on  
maintenance

# Unique Formulation

## HZ5® Substrate

Not all fiber cement is the same. The James Hardie HZ5 product formulation contains the highest quality raw materials. Proprietary additives, combined with an innovative manufacturing process and product design, create a substrate specifically engineered to reduce moisture and resist damage from wet or freezing conditions.

### PROPRIETARY ENHANCEMENTS CREATE DURABLE JAMES HARDIE® SIDING



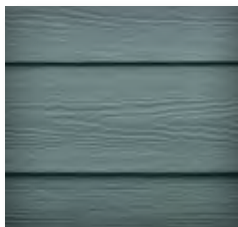
#### Perfect balance of strength and workability

Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.



#### Enhanced moisture resistance for unmatched durability

Patented and proprietary additives are chemically bonded within the HZ5® substrate matrix to provide durable moisture resistance.



#### Increased dimensional stability

Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.



MADE IN THE  
**USA** ★



Integrity is ingrained  
**IN EVERYTHING WE DO.**



HardieTrim®  
boards  
Arctic White

HardiePlank®  
lap siding  
Arctic White



**The advanced design of HZ5® lap siding improves drainage from top to bottom.**

In addition to the enhanced moisture resistance of our product formulation, HardiePlank® HZ5® lap siding features a modified profile with a sloped top and bullnose drip edge for improved drainage over the entire outer face of the board.



#### **Sloped Top**

Positive slope at top drains moisture to outer face of lap



#### **Profiled Drip Edge**

Bottom bullnose drip edge allows moisture to drain away from lap

# Finishing Technology

## Primer

A quality primer is the first step to ensuring that the paint color you select beautifully expresses a home's true character now – and for years to come. Our distinctive primer is climate-tested and engineered to enhance the performance of paint on James Hardie® fiber cement siding products. It helps to provide consistent, long-lasting paint adhesion, even in the most demanding conditions.

## ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance. Our products aren't simply painted at the factory. Our proprietary coatings are baked onto the board, creating a vibrant, consistent finish that performs better, lasts longer and looks brighter on your homes.



### Exceptional finish adhesion

Our proprietary coating is engineered for exceptional adhesion to our substrate and applied to the surface, edges and features for durable performance.



### Superior color retention

Finish is cured onto boards for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



### Superior UV resistance

ColorPlus finishes retain vibrancy longer when compared to vinyl siding and typical field paints on other siding products.



**ColorPlus®**  
Technology



HardieShingle®  
Straight Edge  
Cobble Stone

HardieTrim®  
boards  
Arctic White

HardiePlank®  
lap siding  
Cobble Stone

## For timeless beauty **BEGIN WITH THE FINISH.**

**Our finishes help eliminate stress and reduce costly weather delays** when it's too cold or damp to paint for extended periods. Now there's no reason to question whether or not sub-optimal painting conditions will negatively affect your paint job. In fact, there's no longer any need to paint on-site during installation.

ColorPlus® Technology finishes are fully cured in a controlled environment and arrive on your job site ready for year-round installation.





**ColorPlus®  
Technology**  
Pearl Gray

**ColorPlus®  
Technology**  
Iron Gray

**HardieShingle®**  
Siding\*

**HardiePanel®**  
Vertical Siding &  
**HardieTrim®**  
Batten Boards

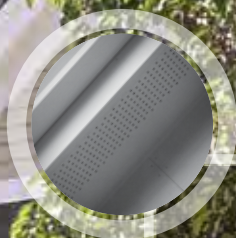
**HardiePlank®**  
Lap Siding

For complete confidence wrap your  
**ENTIRE EXTERIOR WITH JAMES HARDIE.**

## James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



**HardieSoffit®**  
Panels\*



**HardieTrim®**  
Boards

**HardiePlank®**

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®  
boards  
Arctic White

HardiePlank®  
lap siding  
Select Cedarmill®  
Khaki Brown

A classic look for  
**THE HOME OF THEIR DREAMS.**

# HardiePlank®

Thickness 5/16 in

Length 12 ft planks

## SELECT CEDARMILL® & SMOOTH

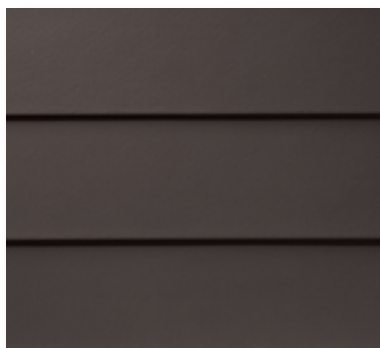
Width	5.25 in*	6.25 in	7.25 in	8.25 in
Exposure	4 in	5 in	6 in	7 in
Prime Pcs/Pallet	360	308	252	230
ColorPlus Pcs/Pallet	324	280	252	210
Pcs/Sq	25.0	20.0	16.7	14.3

## SELECT CEDARMILL®



Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™				✓
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

## SMOOTH



Width	5.25 in*	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™				✓
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

## BEADED CEDARMILL®

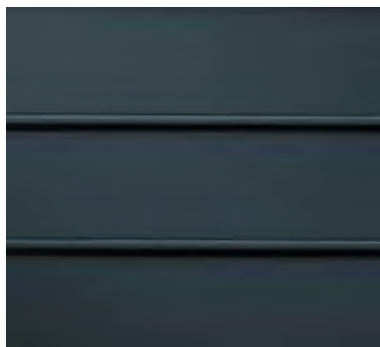


## BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	
DREAM COLLECTION™	✓
PRIME	

## BEADED SMOOTH



\*5.25 in widths not available in Virginia District for HZ5® product zones.

# HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.

HardiePanel®  
vertical siding  
Evening Blue

HardieTrim®  
Batten Boards  
Evening Blue

True to the tradition of  
**PERFORMANCE AND BEAUTY.**

# HardiePanel®

Thickness 5/16 in

## SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50	50
ColorPlus Pcs/Pallet	50	—	50
Pcs/Sq	3.2	2.8	2.5

### SELECT CEDARMILL®



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### SMOOTH



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### STUCCO



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### SIERRA 8



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™			
PRIME	✓	✓	✓

# HardieShingle®

Restore the look of a grand Cape Cod or add distinction to a handsome bungalow. HardieShingle® siding embodies the enchanting look of cedar shingles with lower maintenance.

Better than the real thing, HardieShingle siding resists rotting, curling, warping and splitting.

HardieTrim®  
board  
Arctic White

HardieShingle®  
Straight  
Edge Panel  
Pearl Gray

Achieve the handcrafted  
**LOOK OF CEDAR.**

# HardieShingle®

Thickness 1/4 in



### STAGGERED EDGE PANEL

Length	48 in
Height	15.25 in
Exposure	6 in
Prime Pcs/Pallet	100
ColorPlus Pcs/Pallet	100
Sq/Pallet	2
Pcs/Sq	50.0

STATEMENT COLLECTION™ ☒

DREAM COLLECTION™ ☒

PRIME ☒



### STRAIGHT EDGE PANEL

Length	48 in
Height	15.25 in
Exposure	7 in
Prime Pcs/Pallet	86
ColorPlus Pcs/Pallet	86
Sq/Pallet	2
Pcs/Sq	43.0

STATEMENT COLLECTION™ ☒

DREAM COLLECTION™ ☒

PRIME ☒



### INDIVIDUAL SHINGLES

Length	4.2in 5.5in 6.75in 7.25in 10 in
Height	15.25 in
Exposure	7 in
Prime Pcs/Pallet	630
Sq/Pallet	2
Pcs/Sq	315.0

STATEMENT COLLECTION™ ☐

DREAM COLLECTION™ ☐

PRIME ☒



### HALF ROUNDS

Length	48 in
Height	15.25 in
Exposure	7 in
Prime Pcs/Pallet	86
Sq/Pallet	2
Pcs/Sq	43.0

STATEMENT COLLECTION™ ☐

DREAM COLLECTION™ ☐

PRIME ☒

## HardieTrim®

Form meets function at every angle with HardieTrim® boards. With an authentic look, HardieTrim boards provide design flexibility for columns, friezes, doors, windows and other accent areas.

Better than wood, it will complement your long-lasting, lower maintenance James Hardie® siding – adding punctuation to your design statement.

HardieTrim®  
boards  
Khaki Brown

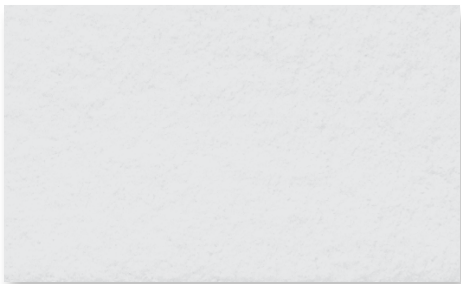
HardiePlank®  
lap siding  
Navajo Beige

The performance you require  
**THE DISTINCTIVENESS YOU DESIRE.**

# HardieTrim®

Length 12 ft boards

## NT3® BOARDS SMOOTH



### 4/4 SMOOTH

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	312	208	156	104	104
STATEMENT COLLECTION™	✓	✓	✓	AW	✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME					

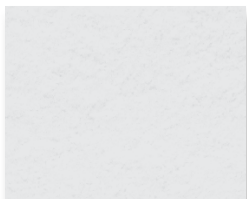
### 5/4 SMOOTH

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	240	200	160	120	80	80
STATEMENT COLLECTION™	✓	✓	✓	✓	AW	✓
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME						

**AW** - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

## BATTEN BOARDS

### SMOOTH



### RUSTIC GRAIN®



### SMOOTH & RUSTIC GRAIN®

Thickness	.75 in	STATEMENT COLLECTION™	✓
Width	2.5 in	DREAM COLLECTION™	✓
Prime Pcs/Pallet	190	PRIME	✓
ColorPlus Pcs/Pallet	437		

A home is only as strong as its weakest point. HardieSoffit® panels reinforce your work by protecting the vulnerable gap between eaves and exterior walls.

Available in vented, non-vented and a range of pre-cut sizes, these panels complete your design and help protect it from moisture and pests.

## VENTILATION BENEFITS

Using vented soffit improves ventilation in the attic space and reduces the chance of water vapor condensation that can lead to issues such as mold and mildew growth, stained ceilings and damage to the framing of the house.

In warm climates, HardieSoffit panels allow hot, humid air to escape, which not only helps prevent condensation in the attic, but can also help reduce air conditioning costs.

In cool climates, HardieSoffit panels help prevent condensation from forming on the interior side of the roof sheathing and reduce the chances of roof-damaging ice dams.

HardieSoffit®  
panels

For complete confidence  
**EVERY DETAIL MATTERS.**

# HardieSoffit®

Thickness 1/4 in

## VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft
Width	12 in	16 in	24 in
Prime Pcs/Pallet	200	150	100
ColorPlus Pcs/Pallet	216	156	50

### VENTED SMOOTH



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
------	---------------	---------------	--------------

STATEMENT  
COLLECTION™



DREAM  
COLLECTION™



PRIME



### VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in
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STATEMENT  
COLLECTION™

DREAM  
COLLECTION™

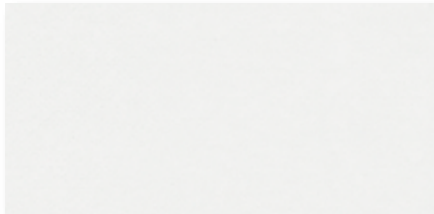
PRIME



## NON-VENTED SMOOTH & SELECT CEDARMILL®

Length	12 ft	12 ft	8 ft	8 ft
Width	12 in	16 in	24 in	48 in
Prime Pcs/Pallet	200	150	100	50
ColorPlus Pcs/Pallet	216	156	50	—

### NON-VENTED SMOOTH



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

STATEMENT  
COLLECTION™



AW

AW

DREAM  
COLLECTION™



PRIME



### NON-VENTED SELECT CEDARMILL®



Size	12 ft x 12 in	12 ft x 16 in	8 ft x 24 in	8 ft x 48 in
------	---------------	---------------	--------------	--------------

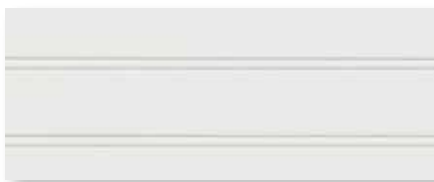
STATEMENT  
COLLECTION™

DREAM  
COLLECTION™

PRIME



### BEADED PORCH PANEL



### BEADED PORCH PANEL

Thickness	1/4 in	STATEMENT COLLECTION™	_____
Length	8 ft	DREAM COLLECTION™	✓
Width	48 in	PRIME	✓
Prime Pcs/Pallet	50		
ColorPlus Pcs/Pallet	50		

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

## STATEMENT COLLECTION™

Make your next home stand out with our *Statement Collection™* products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

## ColorPlus® Technology

### Plank, Panel, Shingle and Batten Color Offering

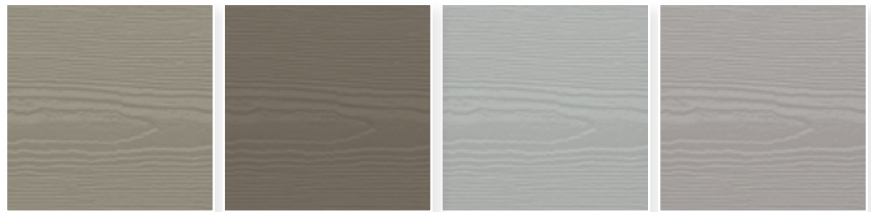


ARCTIC WHITE

COBBLE STONE

NAVAJO BEIGE

KHAKI BROWN

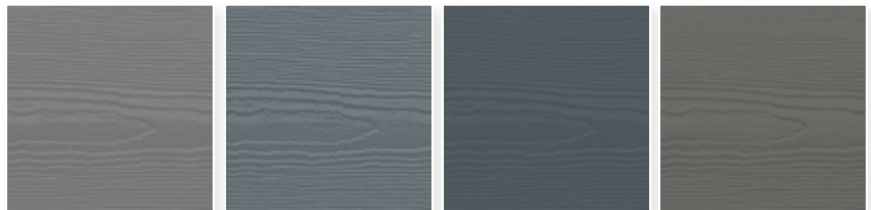


MONTEREY TAUPE

TIMBER BARK

LIGHT MIST

PEARL GRAY



GRAY SLATE

BOOTHBAY BLUE

EVENING BLUE

AGED PEWTER



NIGHT GRAY

IRON GRAY

DEEP OCEAN

### Trim Color Offering



ARCTIC  
WHITE

COBBLE  
STONE

KHAKI  
BROWN

MONTEREY  
TAUPE

TIMBER  
BARK

IRON  
GRAY

### Soffit Color Offering



ARCTIC  
WHITE

COBBLE  
STONE

TIMBER  
BARK



Selecting a color? Request a product sample at [jameshardiepros.com/samples](https://jameshardiepros.com/samples)

Colors shown are as accurate as printing methods will permit. Please see actual product sample for true color.

# HardiePlank®



## SELECT CEDARMILL®

Width 8.25 in  
Exposure 7 in



## SMOOTH

Width 8.25 in  
Exposure 7 in

# HardiePanel®



## SELECT CEDARMILL®

Size 4 ft x 10 ft



## SMOOTH

Size 4 ft x 10 ft

# HardieShingle®



## STRAIGHT EDGE PANEL

Height 15.25 in  
Exposure 7 in



## STAGGERED EDGE PANEL

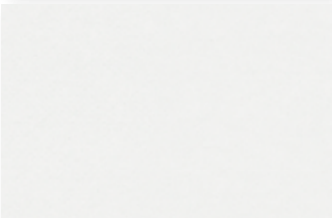
Height 15.25 in  
Exposure 6 in

# HardieSoffit®



## VENTED SMOOTH

Sizes 12 ft x 12 in  
12 ft x 16 in (Arctic White only)  
8 ft x 24 in (Arctic White only)



## NON-VENTED SMOOTH

Sizes 12 ft x 12 in  
12 ft x 16 in (Arctic White only)  
8 ft x 24 in (Arctic White only)

# HardieTrim®

## 4/4 SMOOTH



Thickness .75 in  
Length 12 ft boards  
Width 3.5 in 5.5 in 7.25 in 11.25 in

Widths in Arctic White only  
9.25 in

## 5/4 SMOOTH



Thickness 1 in  
Length 12 ft boards  
Width 3.5 in 4.5 in 5.5 in 7.25 in 11.25 in

Widths in Arctic White only  
9.25 in

# BATTEN BOARDS

## 4/4 SMOOTH



Thickness .75 in  
Length 12 ft boards  
Width 2.5 in

# Get Inspired

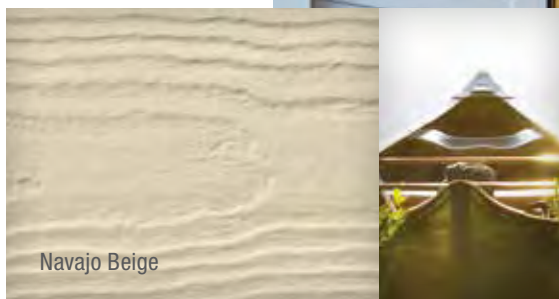
## SIMPLE LIVING

### LIGHT COLORS

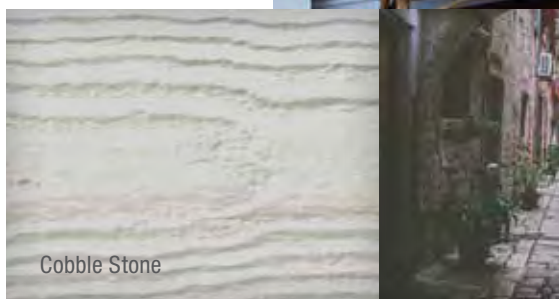
Whites and soft pastels are pure, clean, new and bright. Combine with other hues to add interest, personality and contrast. Works well on houses with Colonial Inspiration. A pastel A-frame cottage can look sweet and charming.



Arctic White



Navajo Beige



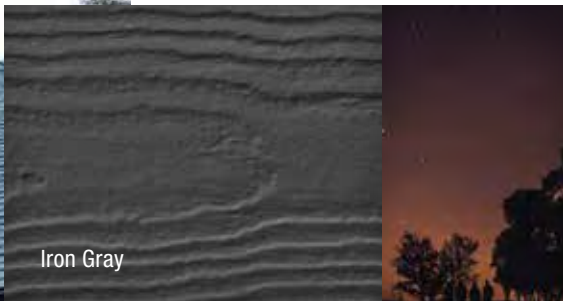
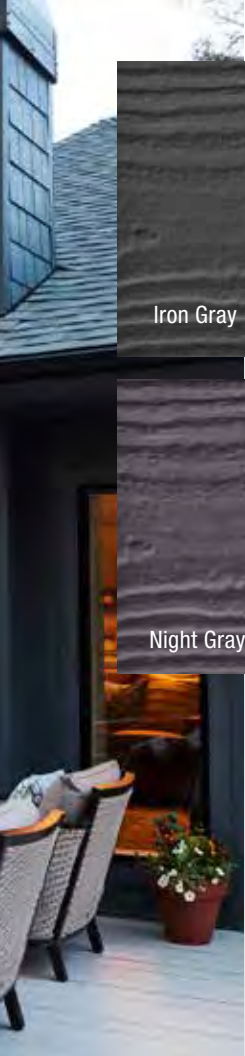
Cobble Stone



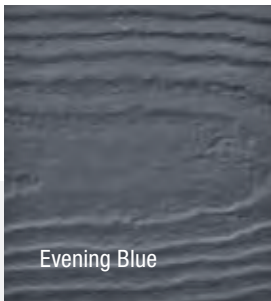
## LIVE WITH SOPHISTICATION

### NEUTRAL COLORS

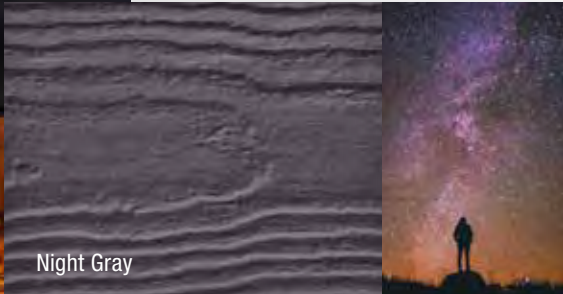
Neutral rules the suburbs. These shades are safe, but also sophisticated. When accessorized with black or a darker color, a neutral can look fashionably stylish. Play with textures and use different tones for trim.



Iron Gray



Evening Blue



Night Gray



## LIVE YOUR TRUE COLORS

### DARK COLORS

Dark grays, blues and greens can feel both intellectual and modern. When used with white trim, they create drama. Works well in old neighborhoods, or urban environments, where there is a mix of old and new.

## DREAM COLLECTION™

Looking to further express your sense of style? Look to our *Dream Collection™* products.

- Featuring a color palette of over 700 ColorPlus® Technology finishes
- Made to order in a wide array of James Hardie® siding and trim styles
- Matches elevated design flexibility with the uncompromising performance of our fiber cement products

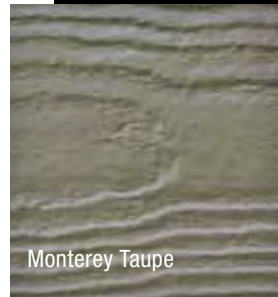
See what's possible at [jameshardiepros.com/dream](https://jameshardiepros.com/dream)



Khaki Brown



Timber Bark



Monterey Taupe



# HardieWrap®

No exterior cladding can prevent 100% of water intrusion. Your homes should have an additional line of defense. HardieWrap® weather barrier provides a superior balance of water resistance and breathability, keeping the area within the wall drier. This helps prevent moisture accumulation that may lead to mold and mildew growth.

## INSTALLATION ADVANTAGES

- Thicker, more durable material for easier, quicker installation
- Superior tear resistance helps prevent water infiltration
- Can be installed with staples in place of cap nails for cost savings
- Provides a higher level of performance, no matter what type of cladding you specify



We've got performance covered  
**FROM THE INSIDE OUT.**



### WEATHER BARRIER

Thickness	11 mil			
Length	100 ft	100 ft	150 ft	150 ft
Width	3 ft	9 ft	9 ft	10 ft

### PRO-FLASHING

Thickness	20 mil		
Length	75 ft	75 ft	75 ft
Width	4 in	6 in	9 in

### FLEX FLASHING

Thickness	60 mil	
Length	75 ft	75 ft
Width	6 in	9 in

### SEAM TAPE

Thickness	3.2 mil
Length	164 ft
Width	1-7/8 in



To learn more about our weather barrier's advantages, visit [jameshardiepros.com](http://jameshardiepros.com)

# Install Done Right

## Installation Accessories

### HARDIEBLADE® SAW BLADES

Manufactured by Diablo, the HardieBlade® saw blade is designed specifically to cut fiber cement products, and is the only saw blade James Hardie recommends. The blade creates clean, precise cuts while helping to reduce the amount of airborne dust produced. Specially designed to outlast other fiber cement saw blades by 3X, outlasting carbide blades by 60X.



### PACTOOL® GECKO GAUGE

The PacTool® Gecko Gauge is designed to improve the installation experience, allowing one person to hang HardiePlank® lap siding during installation. Studies suggest the Gecko Gauge can improve the speed of solo installation by 30%.



## Finishing Touches

### ColorPlus® Technology Accessories

#### TOUCH-UP KITS

Specially formulated to match ColorPlus Technology finishes, our touch-up kits offer resistance to aging, color change and chalking. Estimated one kit per 4000 sq ft of siding or 1600 sq ft of trim.



#### COLOR MATCHED CAULK

OSI® QUAD® MAX sealant offers a high performance sealant solution to color match Statement Collection™ products.\* About 18-20 linear feet per tube. Refer to packaging for manufacturer's recommendations.

*\*For matching Dream Collection products, contact your local James Hardie representative.*

## Trim Accessories

#### FLAT TABS

Eliminate face nails and improve the aesthetic of trim applications around windows, doors and band boards.

#### CORNER TABS

Use corner tabs to eliminate face nail holes that would detract from the finished look of corner trim installations.



Find useful job-site tips in our industry-leading Best Practices Guide. For the latest installation instructions, visit [jameshardiepros.com](https://www.jameshardiepros.com)



HardieTrim®  
boards  
Arctic White

HardiePlank®  
Select Cedarmill®  
Timber Bark

As unforgettable  
**AS IT IS UNCOMPROMISING.**



## See the James Hardie Difference



James Hardie invented fiber cement. Over 8 million homes\* later, we continue to set the standard in premium, high-performance exterior cladding. Our products deliver uncompromising durability and finish quality for a beautiful, lower maintenance exterior.

Our unrivaled investment in R&D and constant innovations in product design, manufacturing and distribution allow us to remain steps ahead of the competition. With the support of our employees, partners and exceptional warranties, we're committed to protecting your customers' homes while helping your business grow.

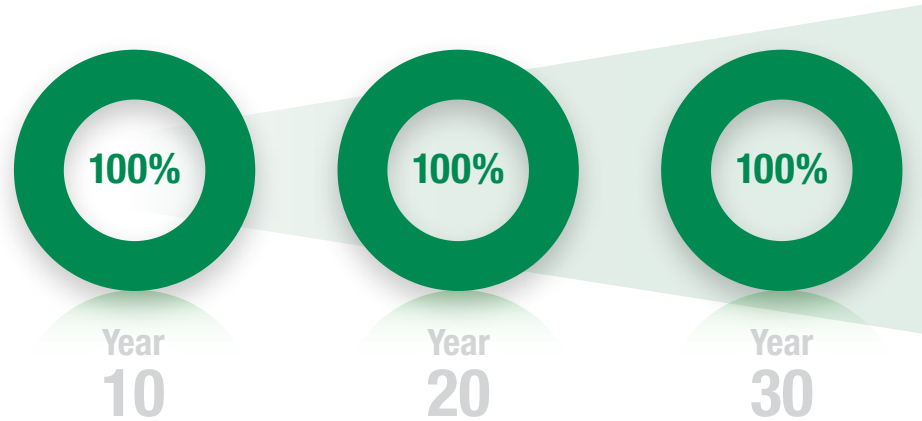
\*Estimate based on total James Hardie siding sales through 2016 and average housing unit size.

# Warranty

Protect your homes with North America's #1 brand of siding backed by exceptional warranties. Unlike other brands, James Hardie doesn't prorate our siding and trim warranty coverage. We stand behind our siding 100% for 30 years and trim for 15 years.

ColorPlus® Technology finishes come with a 15-year limited warranty.

## James Hardie Non-Prorated Siding Substrate Warranty Coverage



# Endorsements – a reputation built on trust

For decades, our fiber cement products have been used to create better places to live. Each new home stands as a testament to our uncompromising quality. That proven track record has earned the loyalty of millions of homeowners and the endorsements of trusted authorities across the building industry.



Listed as top building materials and products by **Professional Builder 2018**



Chosen by builders as a **Brand Leader** in **Builder** magazine for over 20 years



**HardiePlank® lap siding** is backed by the **Good Housekeeping Seal**



HardieTrim®  
boards  
Arctic White

HardieShingle®  
Straight Edge  
Pearl Gray

Make every home  
**AN EXPRESSION OF YOUR CHARACTER.**



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 **JamesHardie™**  
Siding | Trim

EXAMPLE #1.  
APPROVED BY  
HDC IN 2018.  
WOODBIDGE  
FARMS HD



NOTE, THIN  
PROFILE OF  
SIDING  
AND  
VISIBLE  
JOINTS

