STAFF REPORT 01-22-2020 REGULAR MEETING

**APPLICATION NUMBER: 20-6605** 

**ASSOCIATED VIOLATION NUMBER: 19-303** 

ADDRESS: 4642 SECOND AVENUE (JAMES MCELDOWNEY HOUSE)

**HISTORIC DISTRICT:** WARREN-PRENTIS

**APPLICANT: SCOTT KOSIEK** 

**PROPERTY OWNER: SCOTT KOSIEK** 

**DATE OF COMPLETE APPLICATION:** 01-02-2020

**STAFF SITE VISIT:** 01-07-2020

SCOPE: GENERAL REHABILITATION OF BUILDING (WORK DONE IN VIOLATION)

# **EXISTING CONDITIONS**

The building located at 4642 Second Avenue is a 1½-story commercial building constructed in 1893. The building was originally constructed as a 2½-story single family dwelling. According to building permit records, the second story was removed in 1939 and the building was converted from a dwelling to a clinic. The building mass features multiple forms with asymmetrical facades. The structure is clad in painted brick with little architectural detail remaining. While the building originally had small porches on the north and west elevations, the porches were removed prior to designation.

**PREPARED BY:** A. PHILLIPS



### **PROPOSAL**

With the current proposal, the applicant is seeking the Commission's approval to retain the work completed (in violation) and to finish the remaining work associated with the general rehabilitation of the building per the attached drawings and application. Included in the proposal are the following scope items:

#### • General Building

- o General cleaning and repointing of brick as needed.
- o Replace all existing windows with new anodized aluminum insulated glass double-hung windows (color: black).
- o Install (10) decorative light fixtures around front perimeter of building

# • North (front) Elevation

- o Demolish small existing porch and stairs
- o Repaint brick at eastern side of north elevation (color: black).
- o Install new powered glass-paneled rolling gate and associated sill at center of façade on north elevation.

- o Replace existing exterior door at north elevation with new wood door (color not specified).
- o New prefab fiberglass cornice (profile detail not provided) and aluminum flashing cap at parapet.

#### • West (front) Elevation

- o Demolish small existing porch and stairs
- o Create new masonry opening at west elevation for new door.

# • South (rear) Elevation

- o Replace existing door at south (rear) façade with new steel door (color not specified).
- o New flashing cap on existing parapet elevation.
- o New roof ladder at south façade.
- o Install (1) decorative light fixture above door at east end of elevation

# • East (alley) Elevation

- o New prefab fiberglass cornice (profile detail not provided) and aluminum flashing cap at parapet
- o Infill (3) existing openings at the south end of elevation
- o Repaint brick (color: black)

### Roof

- o Replace existing roof surface with new EPDM membrane roof surface
- o Install (1) new HVAC unit, (1) new makeup air unit, and (1) new hood unit at roof

# • Site Modifications

- O Construct new 1,550 SF deck (3'-6" above grade) at perimeter of building extending to property line, including ADA ramp.
  - Deck, ramp, and 3' high railing to be constructed of treated wood with a series of metal rods spanning between posts
  - Ramp to be located in approximately the same location as the small existing porch and stairs at the north elevation
- o Add trash and loading area at southeast (rear/alley) corner of building
- o Landscape improvements including deciduous trees and shrubs (see drawings for locations)
- o Pour new concrete driveway and pad along the east side of the building

#### STAFF OBSERVATIONS & RESEARCH

- The National Register of Historic Places Nomination lists this property as non-contributing to the district and the Historic Designation Advisory Board's final designation report for the Warren-Prentis historic district does not reference the building in the report. It is HDC staff's opinion that the historic integrity of the building has been lost over time and therefore is not considered contributing to the district.
- The Buildings, Safety Engineering & Environmental Department (BSEED) issued the applicant a building permit (BLD2018-01866) for the general rehabilitation of the building on January 11, 2019. The building permit was issued without HDC review or approval.
- The violation was reported to HDC staff on February 25, 2019 and the Buildings, Safety Engineering & Environmental Department (BSEED) issued a Violation Notice in early March 2019 with compliance required by March 30, 2019.
- The applicant submitted the required documentation to resolve the violation in December 2019.
- The brick building was painted in the designation slide.
- The color chart associated with the property is Color System B.

#### **ISSUES**

- It is unclear what specific work items remain outstanding.
- Only a portion of the building has been painted black. The application did not include a proposal for the finish of the remainder of the building. The color black (B:19) complies with the color chart, however, when the body of the property is brick, black (B:19) is only to be used for trim, sash, or iron cresting.

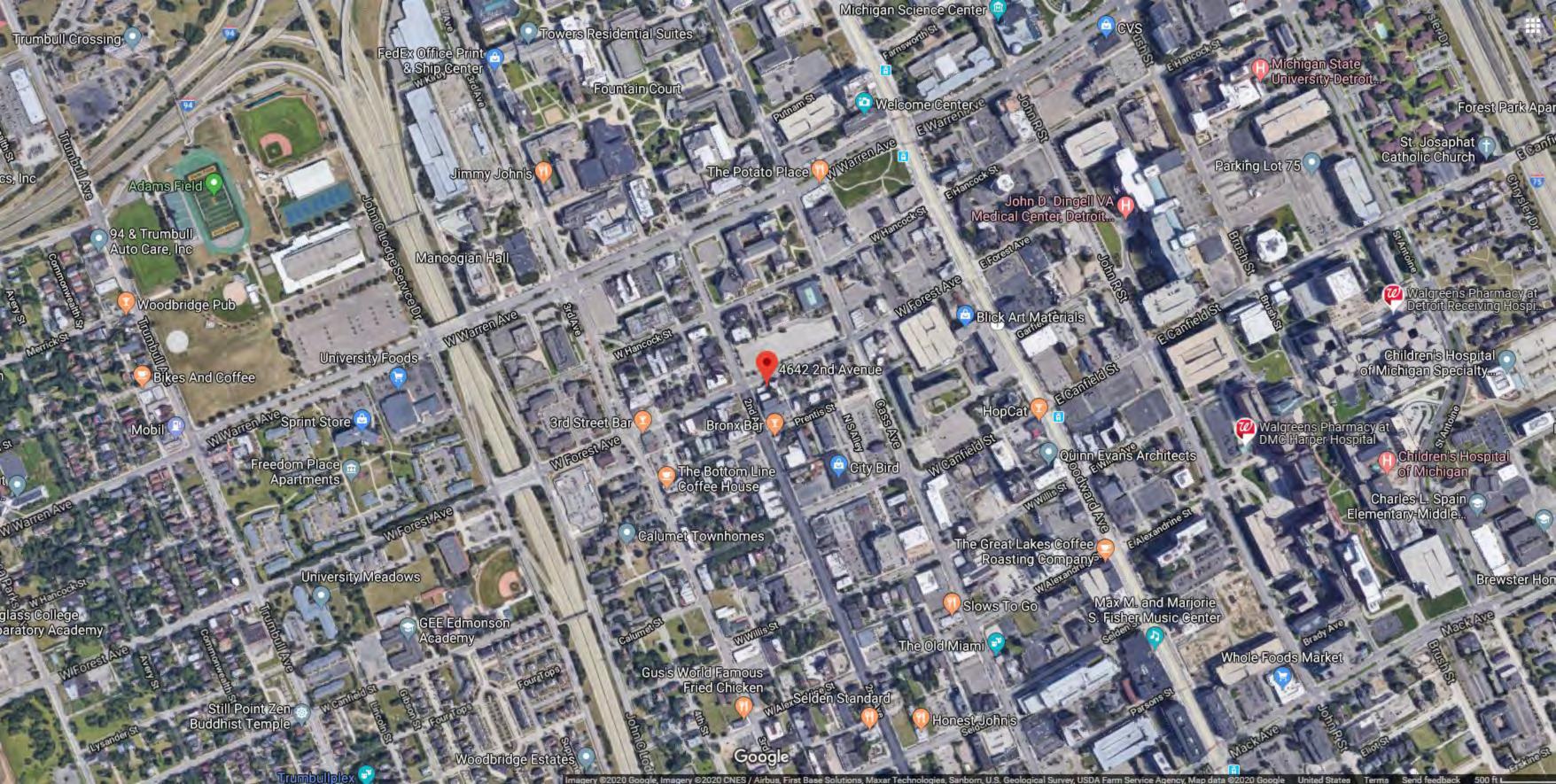
- The deck construction was halted with the issuance of the violation, therefore, staff referred to the rendering provided by the applicant to understand the aesthetic intent of the finished deck. The recommendation is based on the rendering.
- Signage is shown in the rendering but not included within the drawing package.

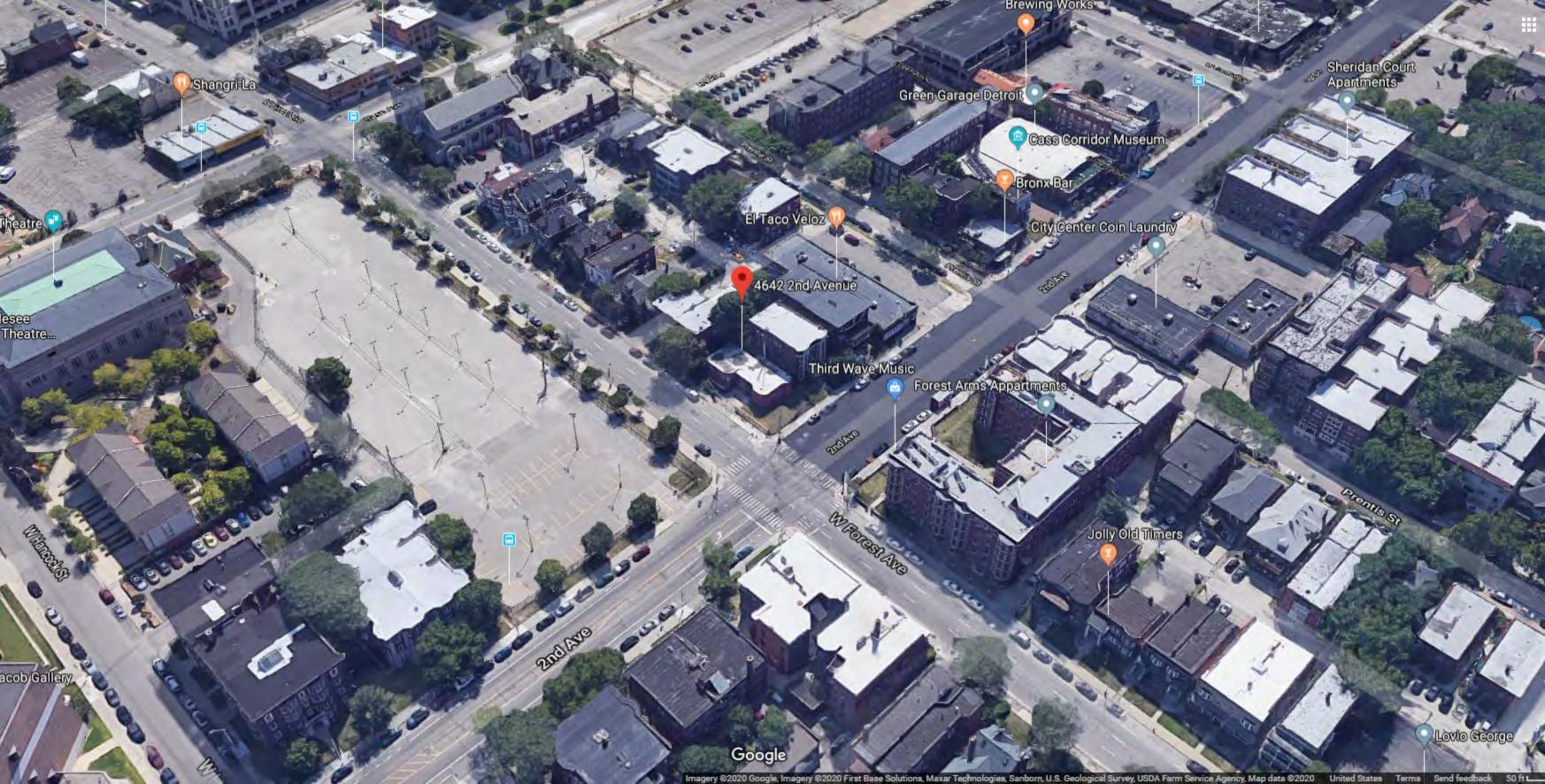
#### RECOMMENDATION

It is staff's opinion that the work, as proposed, retains and preserves the historic character of the building, its site, and setting. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior's Standards for Rehabilitation, especially:

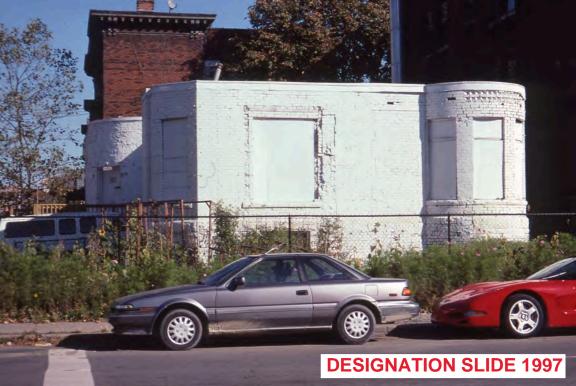
#9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

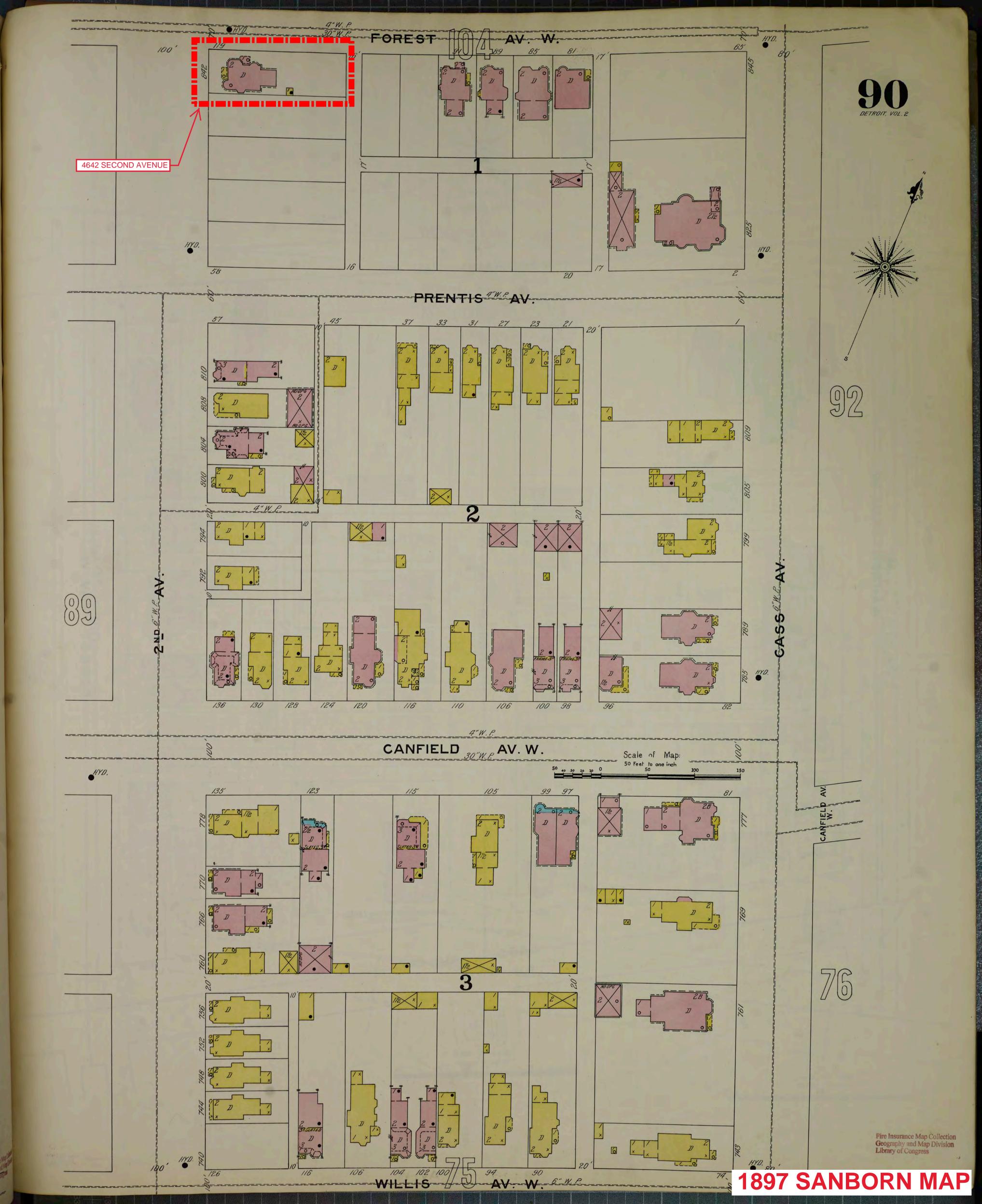
#10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

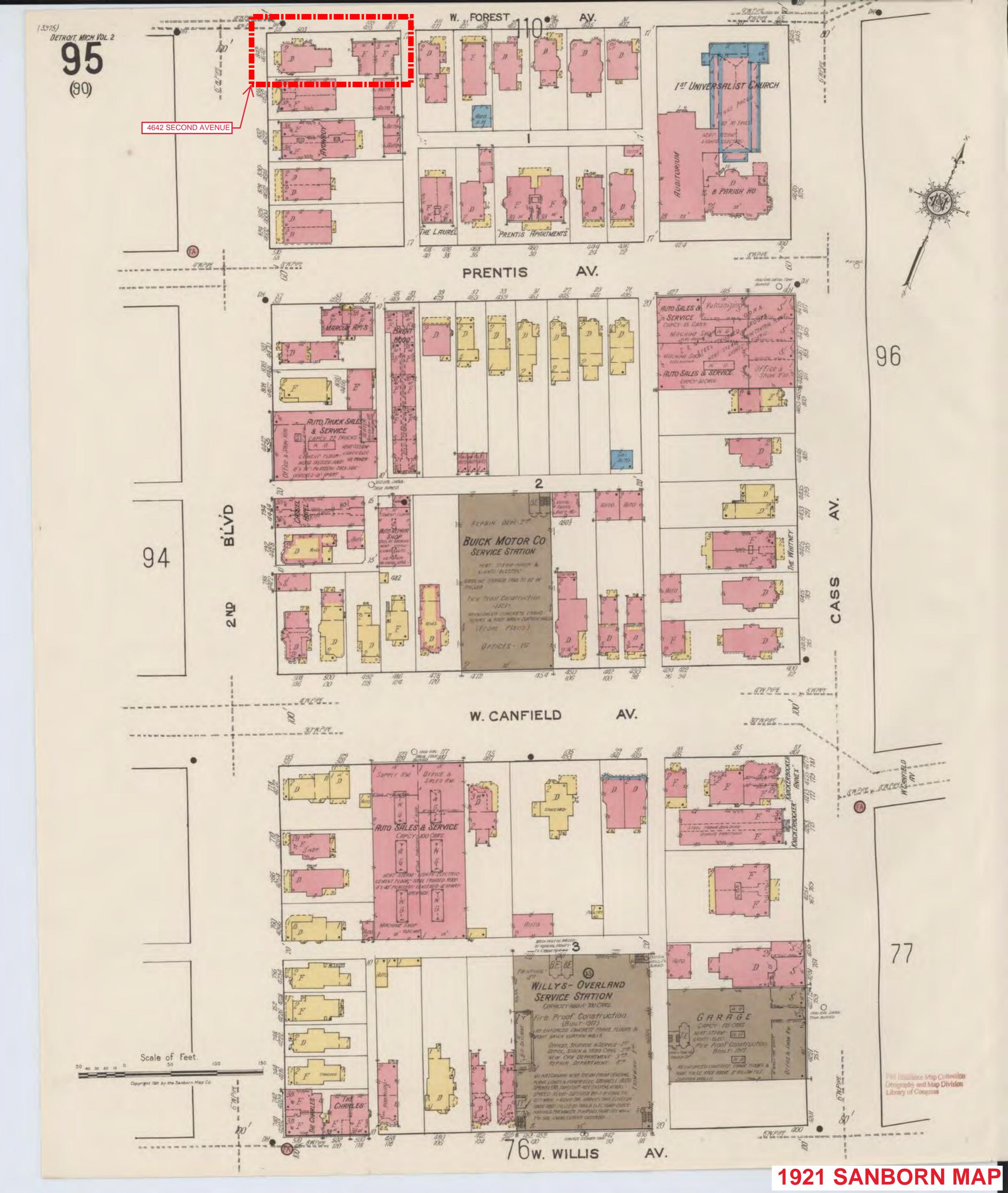




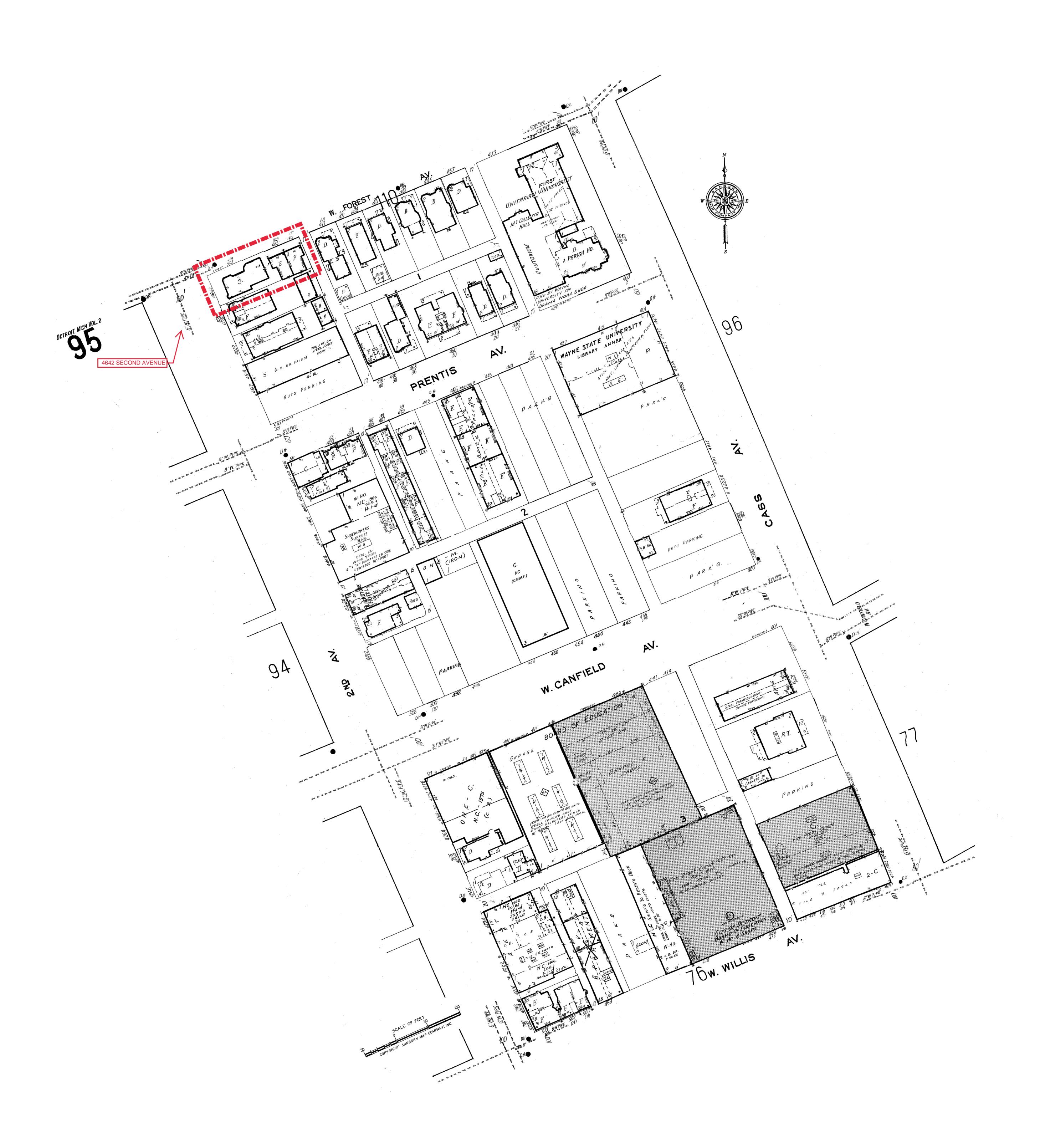


































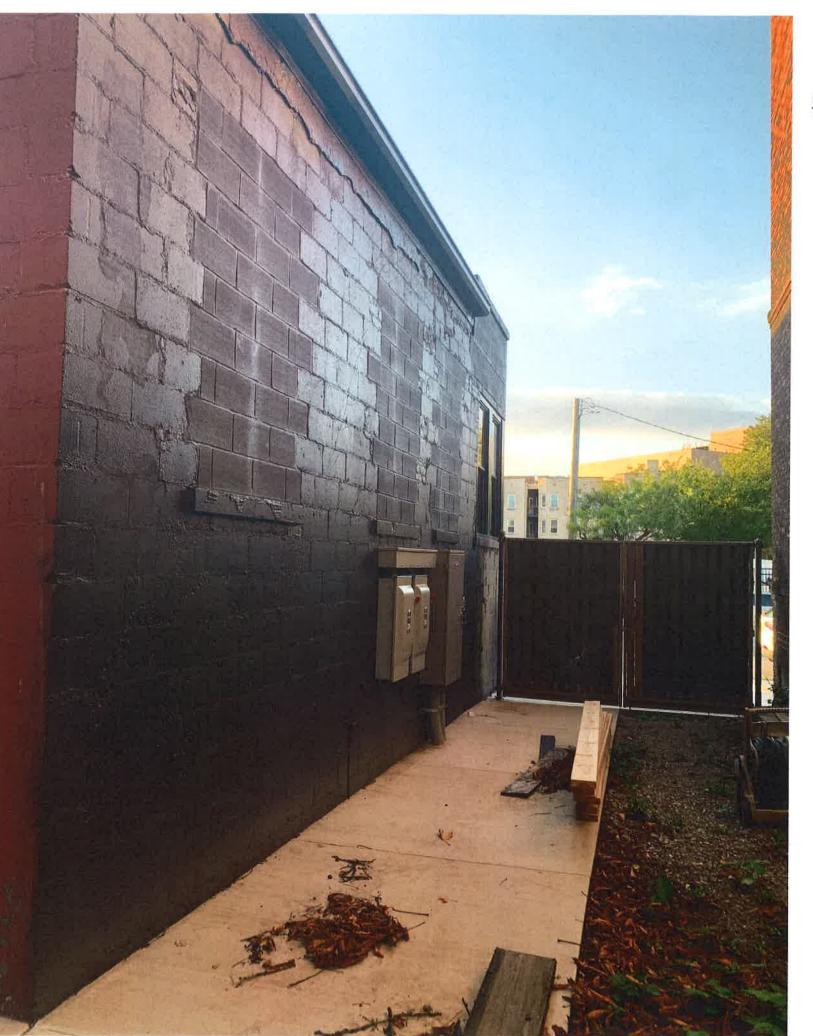






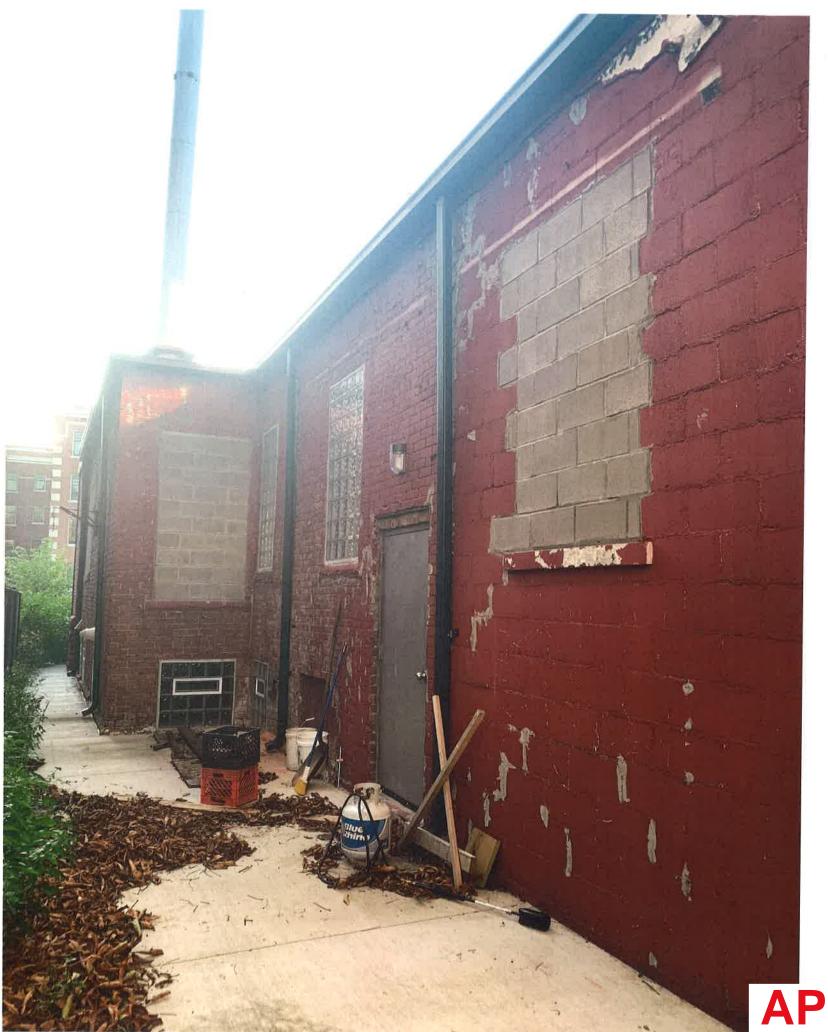






EAST ELEVIATION

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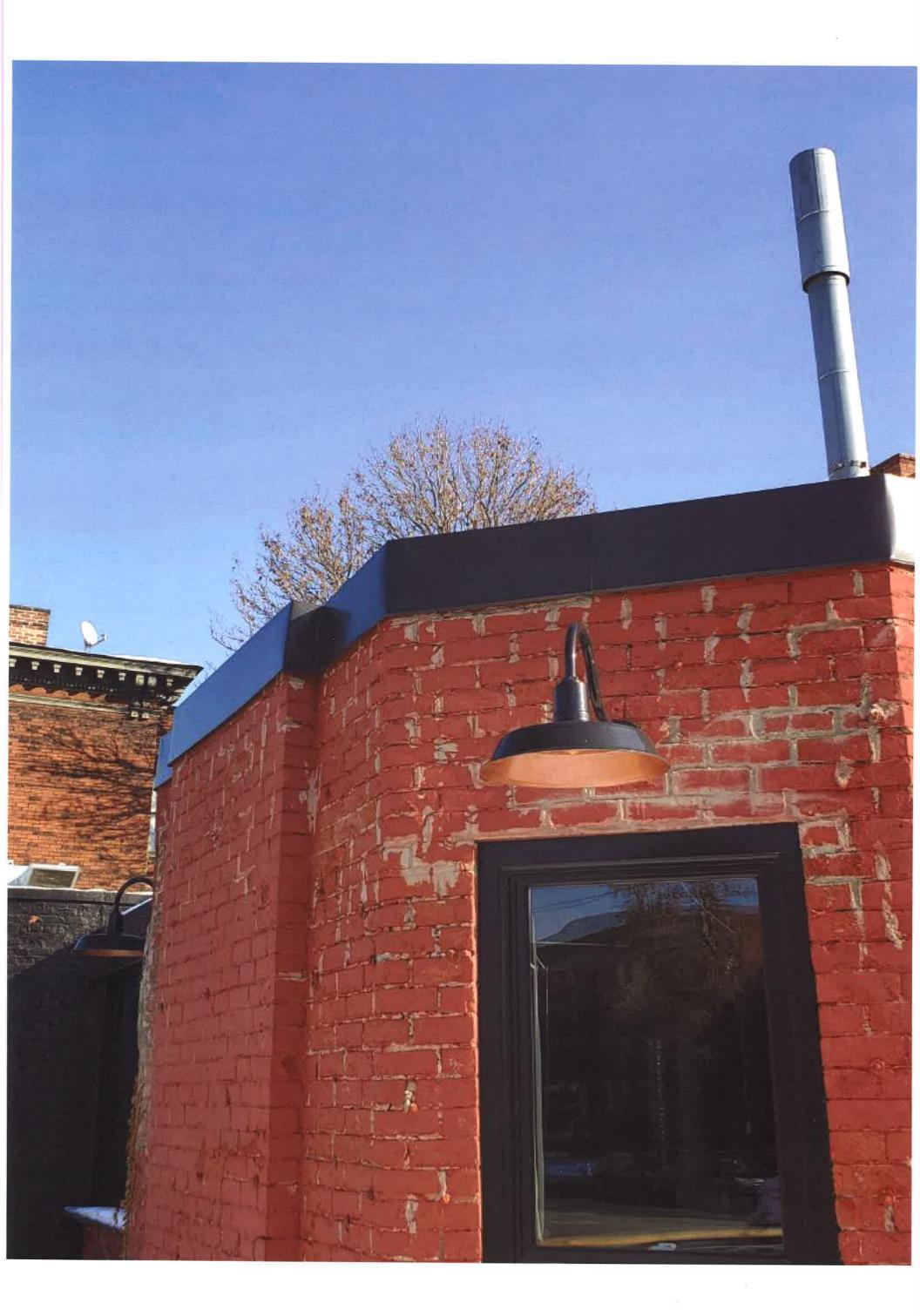
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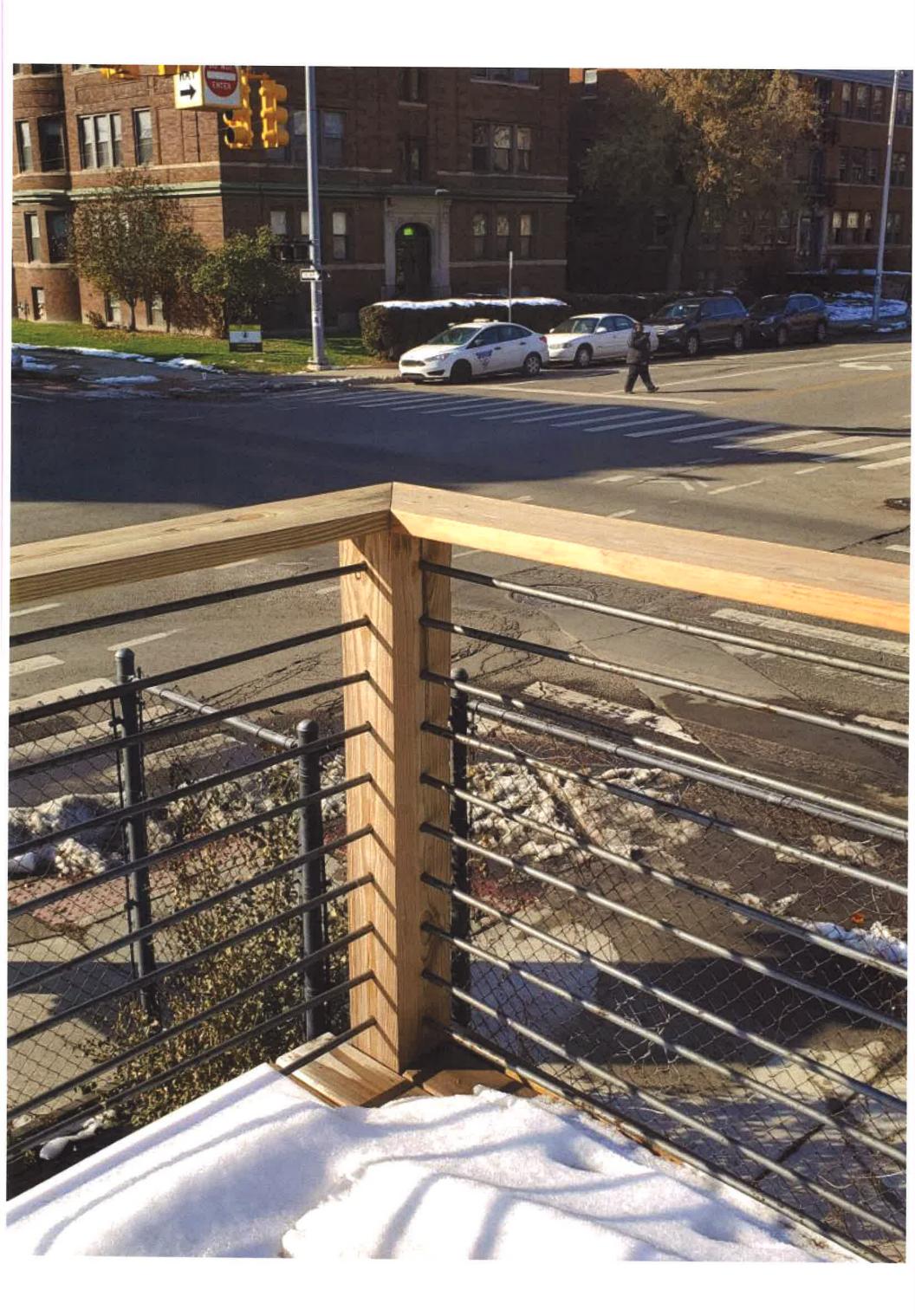
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# **APPLICANT PHOTO**





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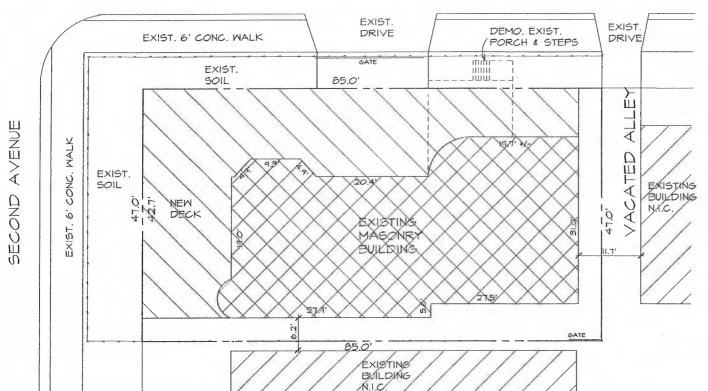
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# RENOVATION TO RESTAURANT

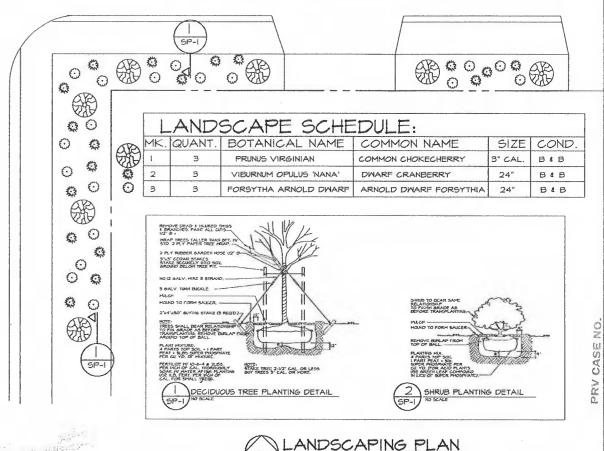
**4642 SECOND AVENUE, DETROIT, MI 48201** 

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# FOREST STREET







# LEGAL DESCRIPTION:

THE WEST 88.5' OF LOT 5: CANFIELD'S S SUBDIVISION, OF O.L. IOI OF THE SUB'N. OF CASS FARM, CITY OF DETROIT, WAYNE CO., MI, AS RECORDED IN L. 13, P. 27 OF PLATS WAYNE CO. RECORDS.

# GENERAL NOTES

- 1. Contractor shall field verify sizes, locations, elevations, and details of all existing conditions that may affect the work.
  All work shall be in accordance with all Federal, State and
- City, Codes, Ordinances and requirements. 4. Contractor and Subcontractors shall be licensed as required
- by law in the performance of their work. 5. Should existing conditions other than those indicated on the drawings be encountered, the Architect shall be notified
- immediately in writing.

  6. The Architect will not have control, or charge of, and will not be responsible for construction means, methods, techniques, sequences, or procedures, or for the safety precautions and programs in connection with the work.

## USE GROUP

GROUP A-2 ASSEMBLY REASTAURANT

# CONSTRUCTION TYPE

TYPE III-B

#### SQUARE FOOTAGE

1816.78 SQ. FT.

# OCCUPANCY LOAD

DINING 900 5Q. FT. @ 1/15 SQ. FT.= 60.0 PERSONS KITCHEN 916.78 @ 1/200 SQ. FT. = 4.6 PERSONS 64.6 PERSONS TOTAL=

#### PARKING PROVIDED

NEIGHBORHOOD PUBLIC PARKING LOTS AND STREET PARKING

### LIST OF DRAWINGS:

SITE PLAN & LANDSCAPING FLOOR PLANS

ELEVATIONS & SECTIONS A-2 KITCHEN EQUIPMENT PLAN DECPPLANS & DETAILS

PLUMBING PLAN H.V.A.C. PLANS ELECTRICAL POWER PLANS ELECTRICAL LIGHTING PLANS

### CODES USED

2015 MICHIGAN BUILDING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN PLUMBING CODE 2014 NATIONAL ELECTRICAL CODE W/ STATE AMANDMENTS MICHIGAN BARRIER FREE DESIGN LAW P.A. 1996 AS AMMENDED AND THE 2009 ICC/ANSI AIIT.I STANDARD PER CHAPTER 35 OF THE MBC

# ALL PLAN REVIEW APPROVALS ARE SUBJECT TO FIELD APPROVAL

# BUILDINGS A SAFETY ENGINEERING DEPARTMENT DEWILL MOTHER TION THE DRU WAR CUTS / 1/14/19 SEE!

## FIRE MARSHAL

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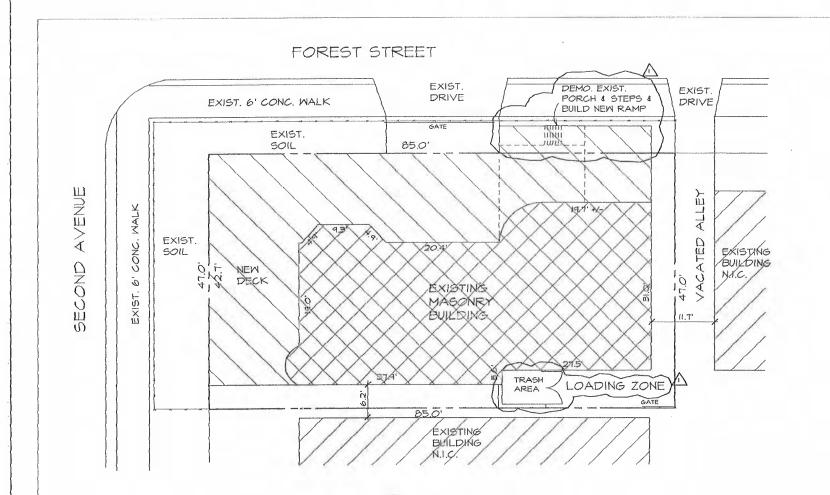
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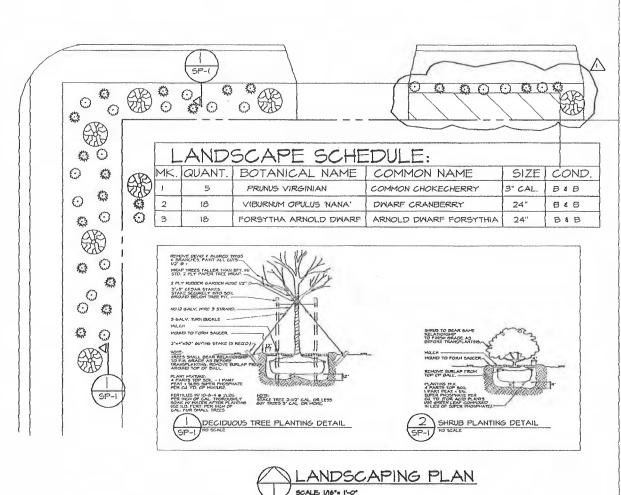
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SITE PLAN & LANDSCAPING SP-1

# RENOVATION TO RESTAURANT

4642 SECOND AVENUE, DETROIT, MI 48201





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SITE PLAN

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#### OCCUPANCY DECK

DECK & RAMP 1550 SQ. FT. DINING AREA 1100 SQ. FT. @ 1/15= 73.3 PERSONS

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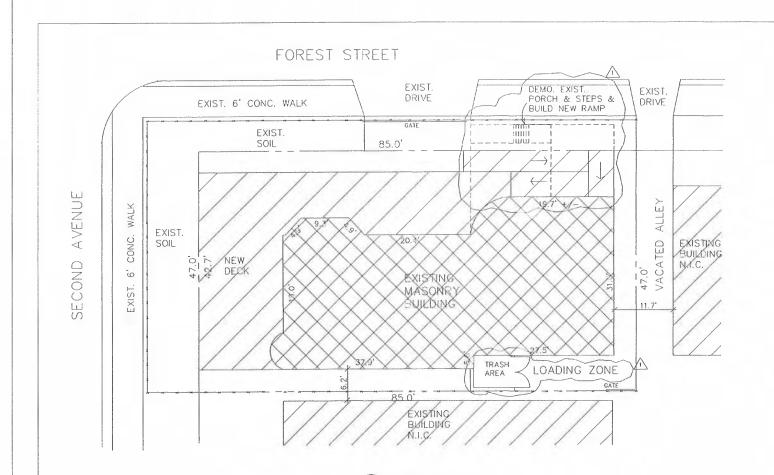
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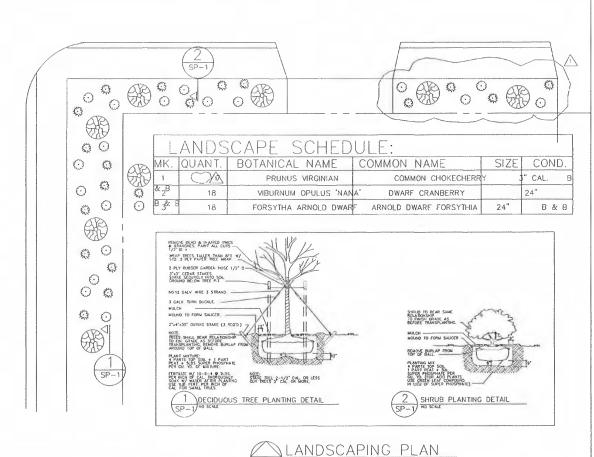
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SITE PLAN & LANDSCAPING SP-1

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PER CHAPTER 35 OF THE MBC

#### OCCUPANCY DECK

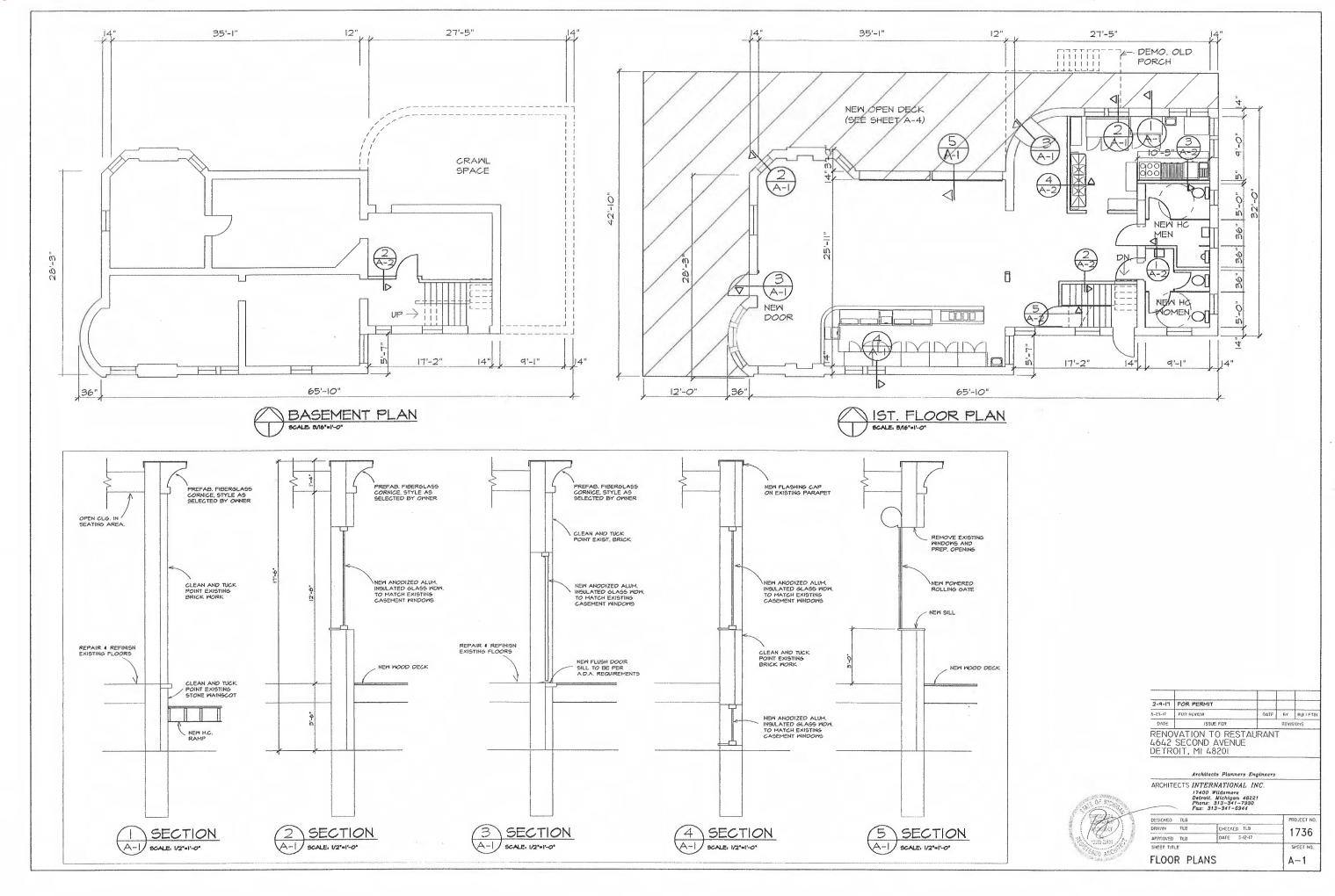
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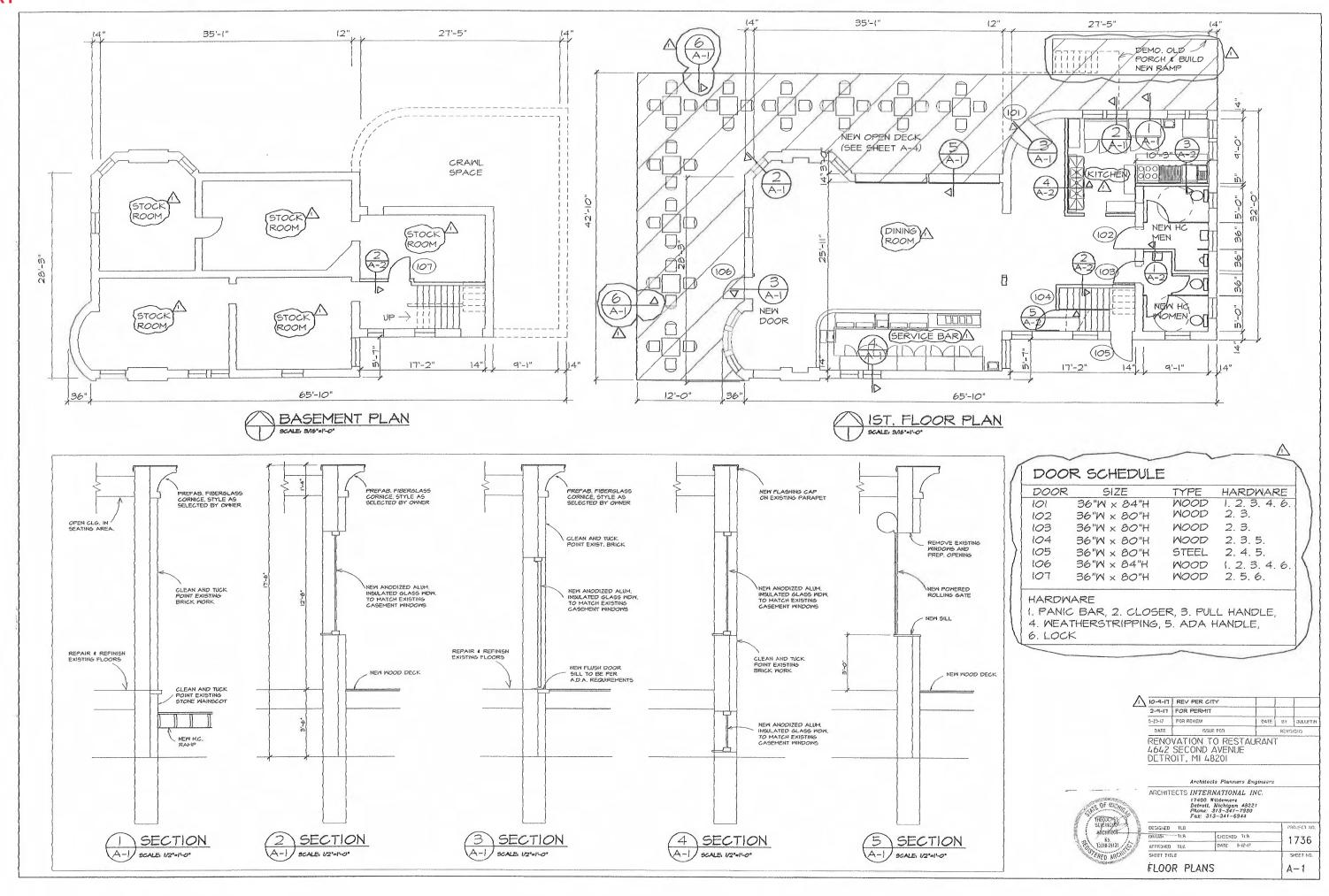
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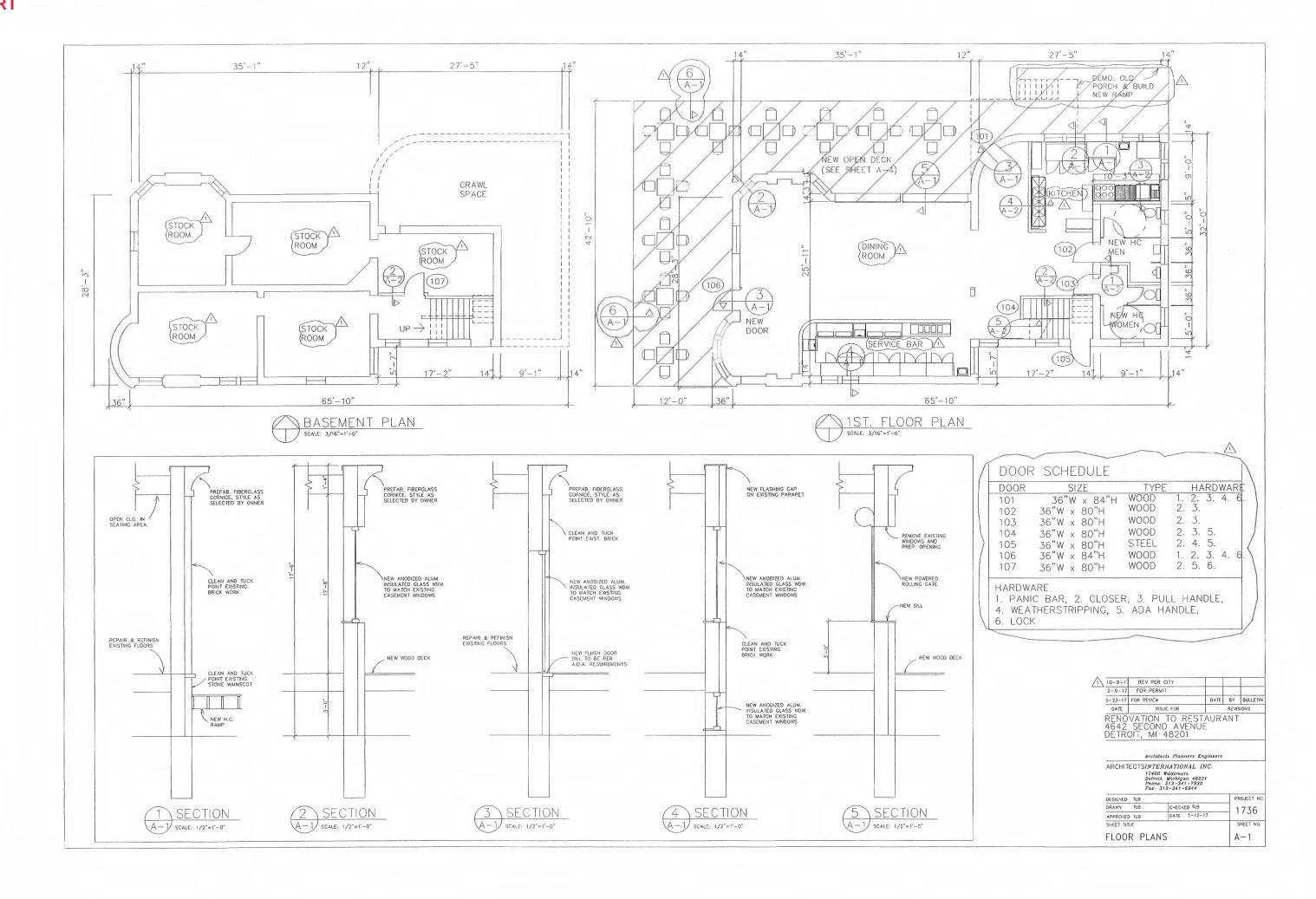
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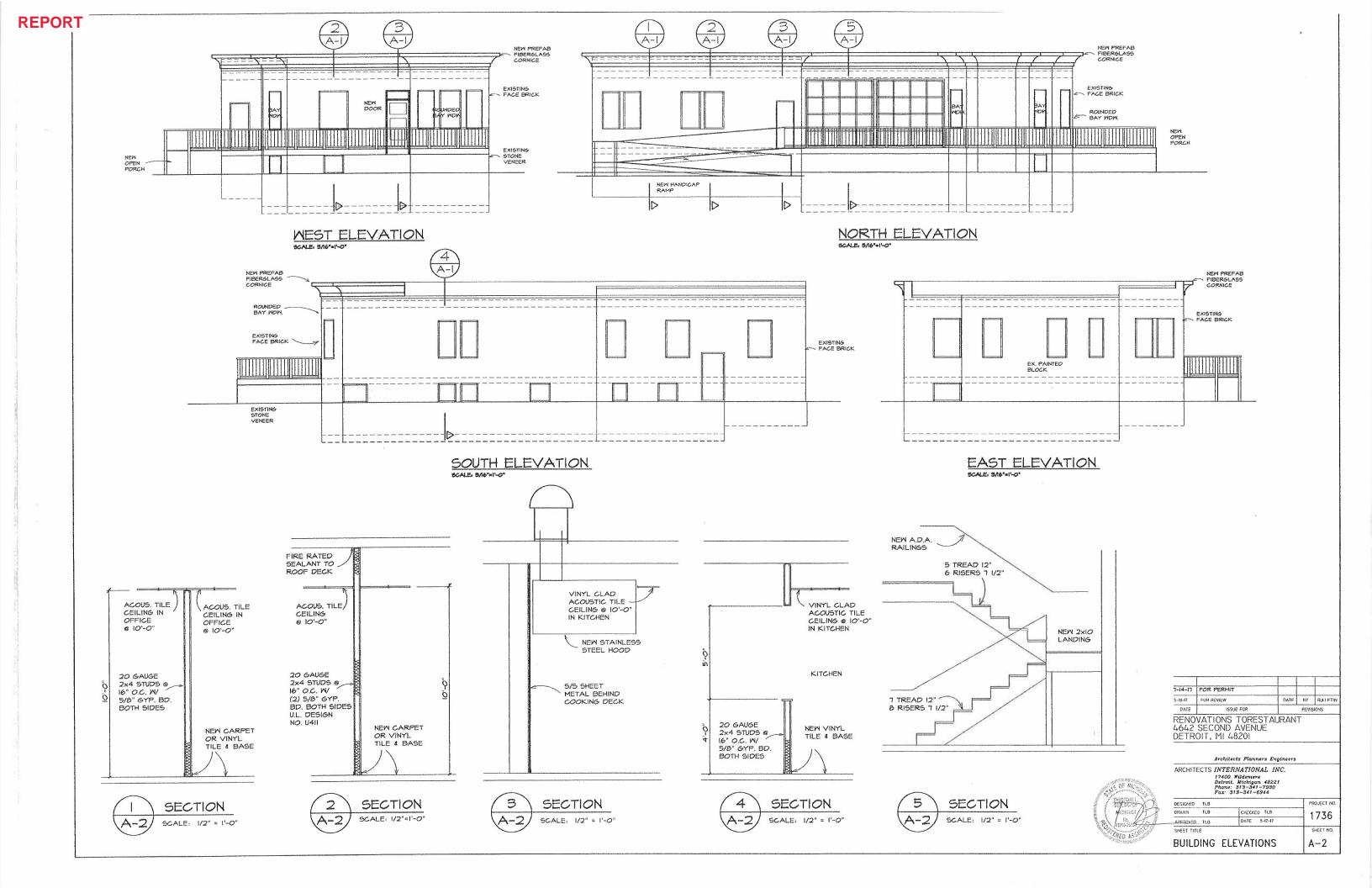
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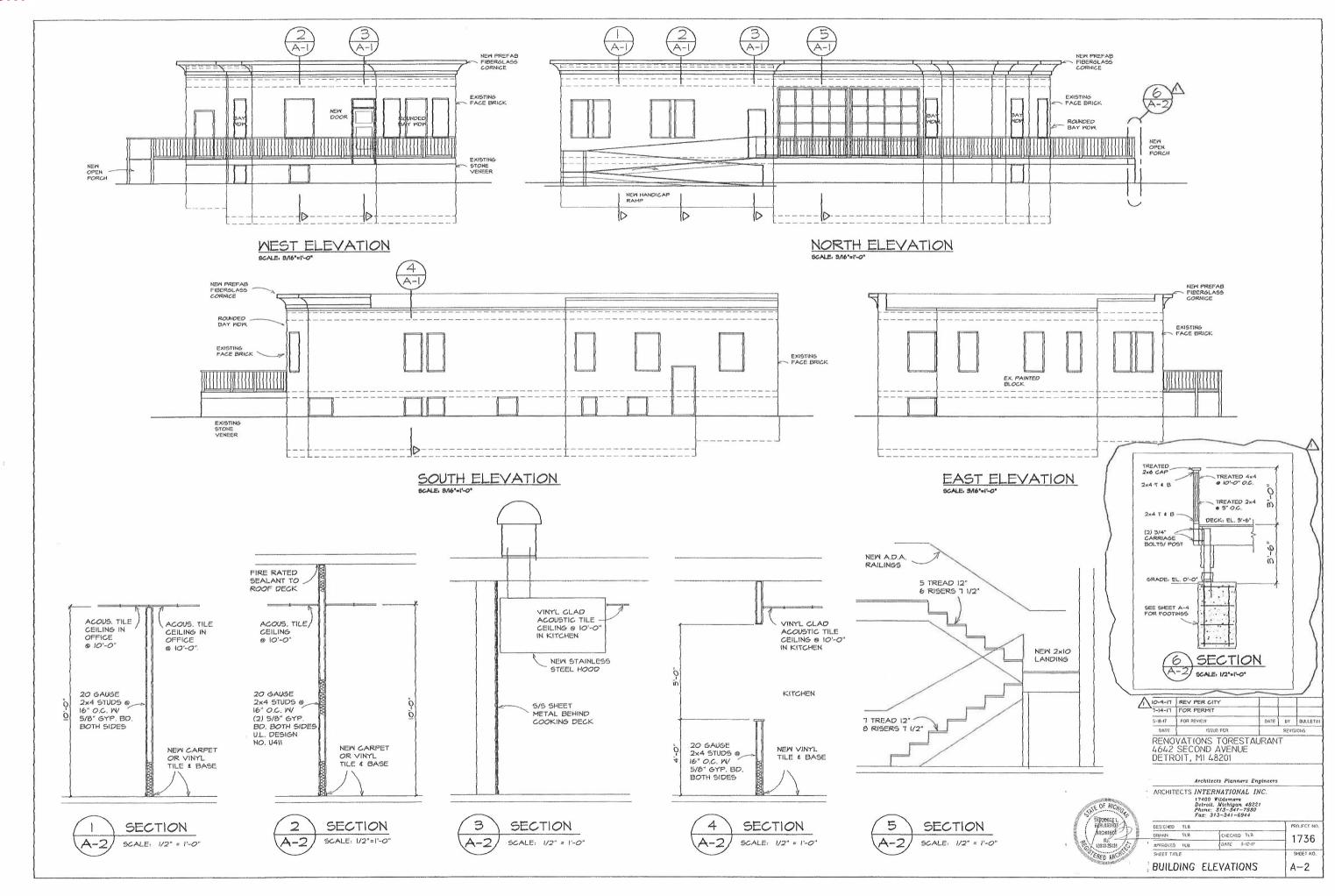
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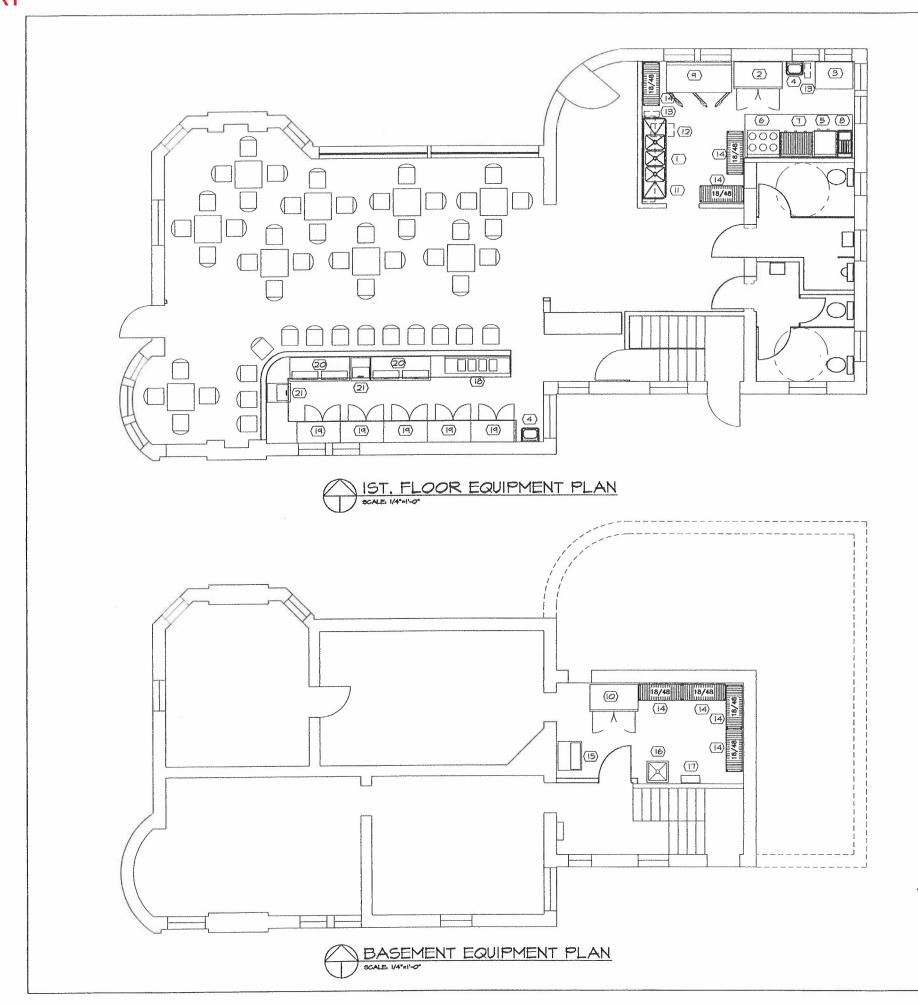












#### KITCHEN EQUIPMENT SCHEDULE

- (I) 3 COMP. SINK, SAUBER 84"x 25.5"
- 2 DOOR REFRIGERATOR, ARGUS, EDRR(F)-49-A 54"x 32"
- (3) S.S. TABLE, SAUBER, 4830
- (4) HAND SINK, SAUBER 17"M x 15"d
- (5) NEW GRITTLE, STAR-MAX 62MF, 24"w x 29"d W/ STAND
- 6 NEW (6) BURNER STOVE
- (7) NEW GRILL, STAR-MAX, 6136RCBF, 36"w x 29"d
- (B) NEW FRYER, PATRIOT, FM-120, 15 1/"w x 30 5/8"d
- (9) NEW PREP TABLE, BERG, EDWR(F)48-B, 48"w x 30"d
- (ii) NEW (2) DOOR FREEZER, ARGUS EDRF-49-A, 54"w x 32"d
- (II) WALL HUNG S. S. SHELVING OVER SINK, 8'-0"x 12"
- (2) 35 GAL. GREASE TRAP, ZURN GT2700-35
- (B) COVERED TRASH CONTAINERS
- (4) NEW S.S. SHELVING, WINCO #VCS-1848, 18"x 48"
- (IS) NEW ICE MAKER, BERG BC-600, 30"W x 24"d
- (6) NEW MOP SINK, ZURN, ZI966-24, 24" x 24"
- 17) NEW TANKLESS H.W. HEATER, RHEEM, RTGH-DVL
- (B) NEW S.S. BAR SINK, SAUBER, KX-1864, 72"W x 18 3/4"d
- (I) GLASS DOOR BACK BAR, BEVERAGE-AIR, BB48G, 48"w x 23 1/2"d
- BOTTLE COOLERS, BERG EBC65-B, 65"w x 26 1/4"D
- (21) S.S. ICE CHEST, 21" x 22"

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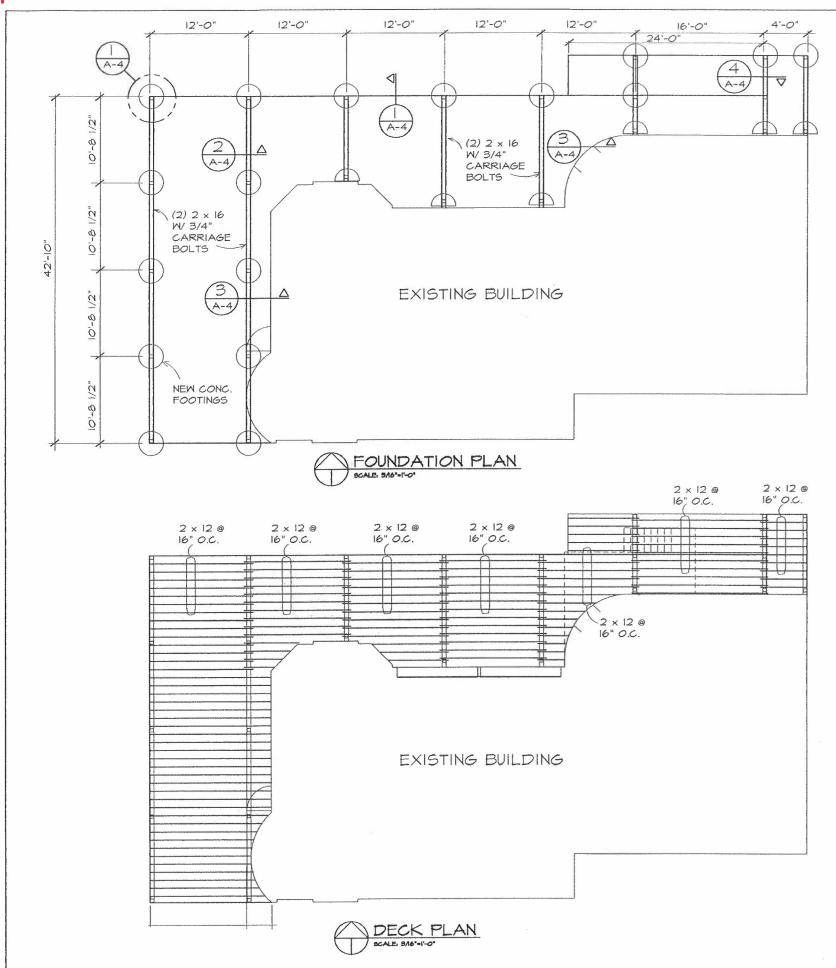
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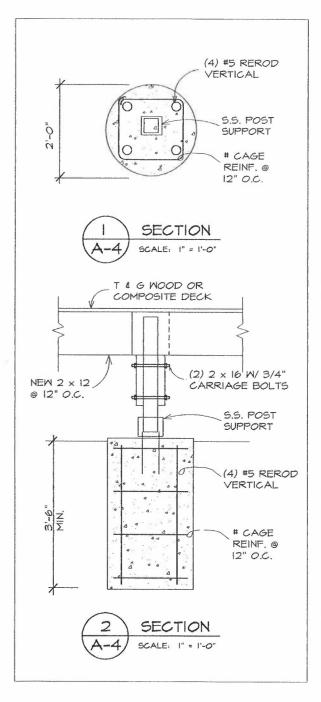
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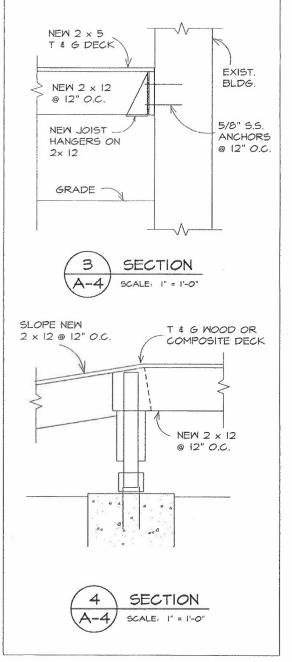
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KITCHEN EQUIPMENT

A-3







#### STRUCTURAL NOTES:

- I. USE CONCRETE WITH 3000 PSI COMPRESSIVE STRENGTH AFRIET 28 DAYS.
  2. STRUCTURAL AND MISC. STEEL, USE ASTM A-36. USE ASIC & 9JI SPECS.
  3. FIELD CONNECTIONS, USE ASTM A-325 N BOLTS.

- MASONRY WALL REINFORCEMENT, USE ASTM A82-66.
   STEEL REINCORCEMENT BARS, USE ASTM A-615-6r60.
   STEEL PLATES TO BE BENT OR COLD FORMED ASTM A283 CONCRETE.
- INSERTS.
- 7. PROVIDE BOLTS, WASHERS AND SHIMS AS REQUIRED, HOT-DIP GALVANIZED PER ASTM A 153.

  6. ALL EXCAVATION WORK IS TO BE INSPECTED AND APPROVED BY LOCAL.
- BUILDING DEPARTMENT.

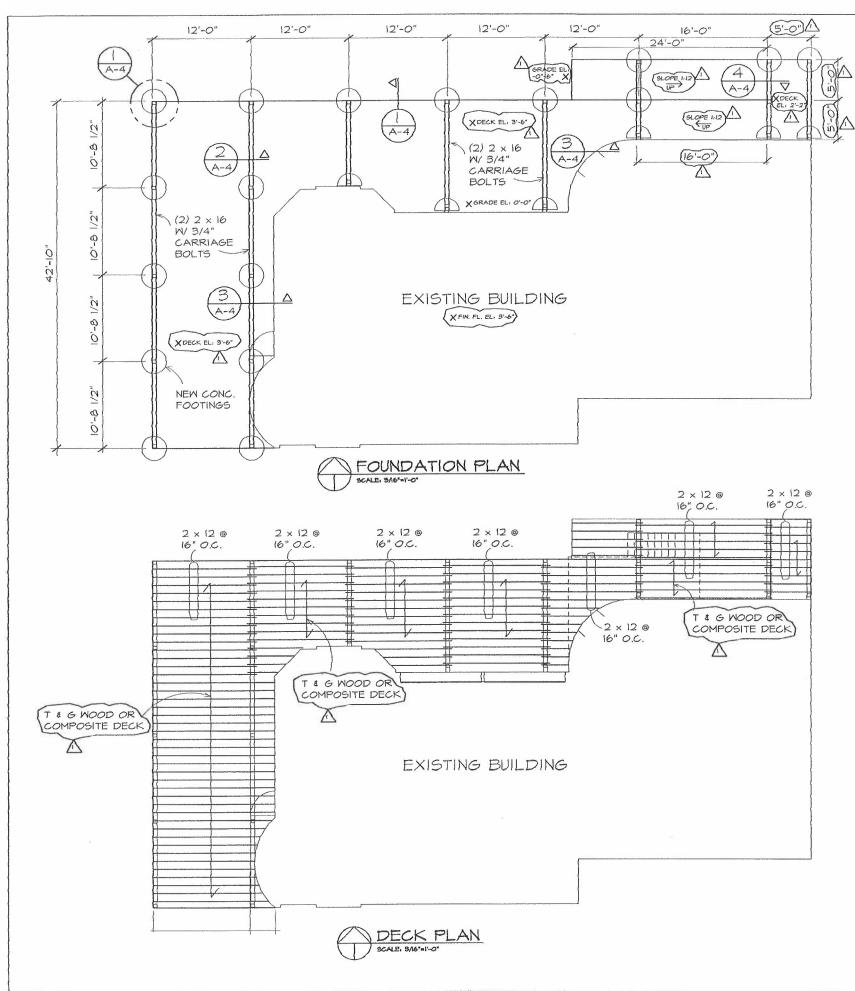
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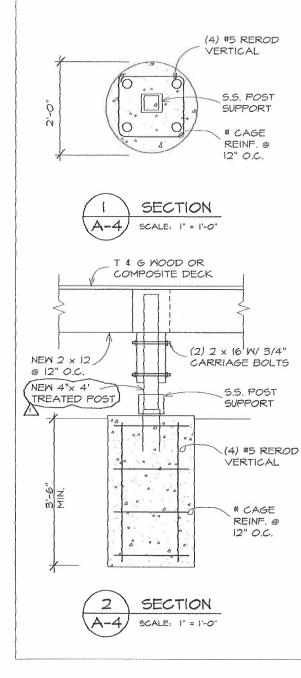
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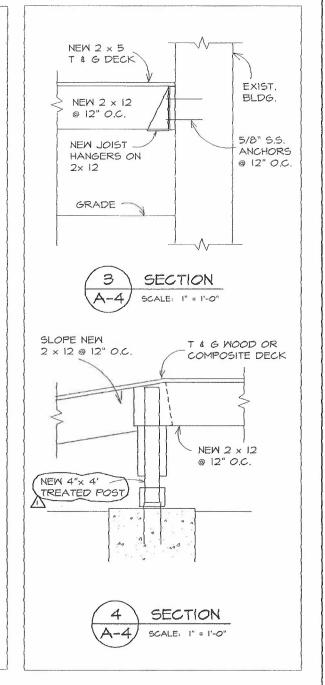
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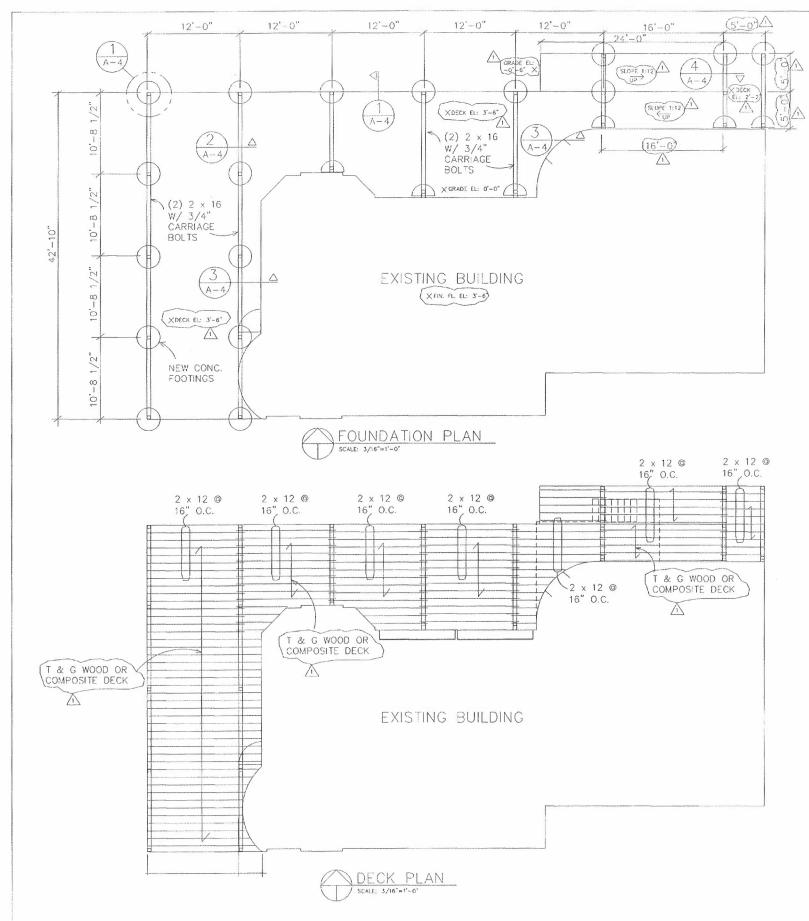
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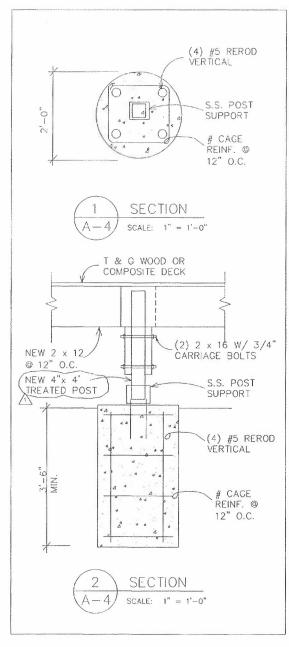
RENOVATION TO RESTAURANT 4642 SECOND AVENUE DETROIT, MI 48201

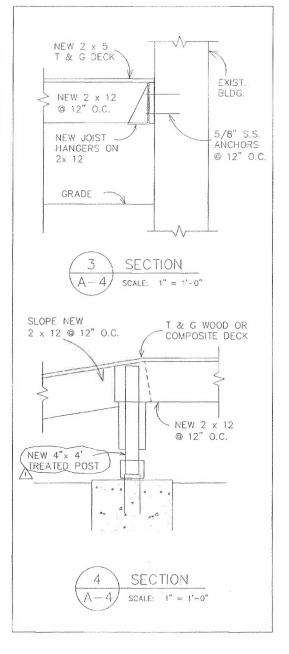
Architects Planners Engineers ARCHITECTS INTERNATIONAL INC.

17400 Wildemere Detroit, Michigan 48221 Phone: 313-341-7990 Fax: 313-341-6944 DESIGNED 1LB CRAWN TLB

1736 SHEET NO. DECK PLANS & DETAILS A-4







#### STRUCTURAL NOTES:

- 1. USE CONCRETE WITH 3000 PSI COMPRESSIVE STRENGTH AFRIET 28 DAYS.
  2. STRUCTURAL AND MISC. STEEL, USE ASTM A-36. USE ASIC & SJI SPECS.
  3. FIELD CONNECTIONS, USE ASTM A-325 N BOLTS.
  4. MASONRY WALL REINFORCEMENT, USE ASTM A82-66.
  5. STEEL REINCORCEMENT BARS, USE ASTM A-615-Gr60.
  6. SIEEL PLATES TO BE BENT OR COLD FORMED ASTM A283 CONCRETE INSERTS.

- INSERTS.

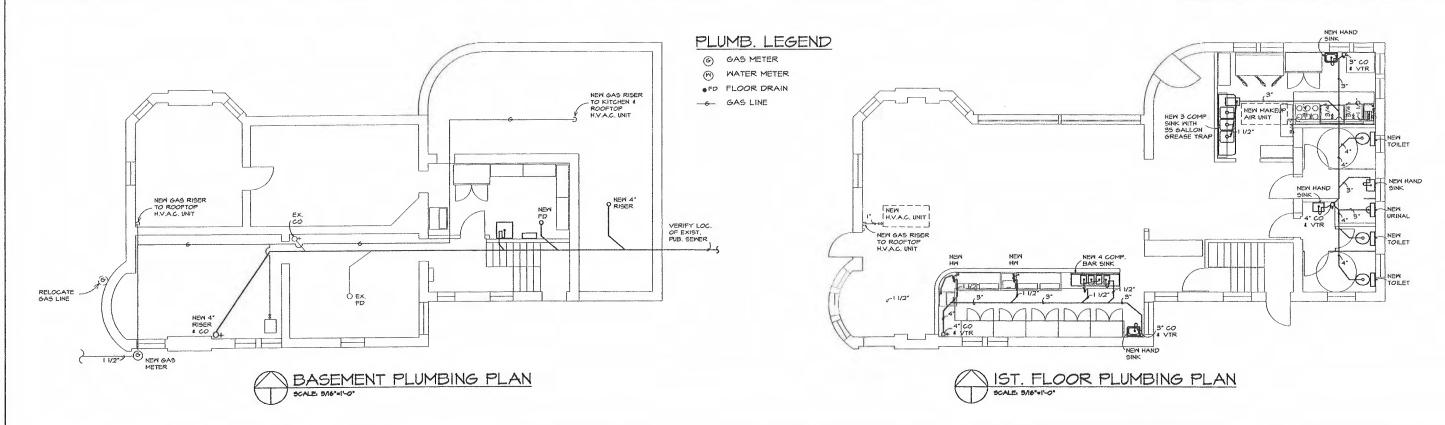
  7. PROVIDE BOLTS, WASHERS AND SHIMS AS REQUIRED, HOT-DIP GALVANIZED
- PER ASIM A 153.
  ALL EXCAVATION WORK IS TO BE INSPECTED AND APPROVED BY LOCAL

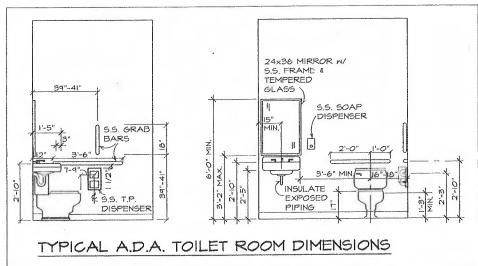
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	BUILDING	DEPAR	TMENT.							

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Architects Planners Engineers ARCHITECTSINTERNATIONAL INC. 17400 Wildemere Netroit Michigan 48221 Phone: 313-341-7930 Faz: 313-341-6944

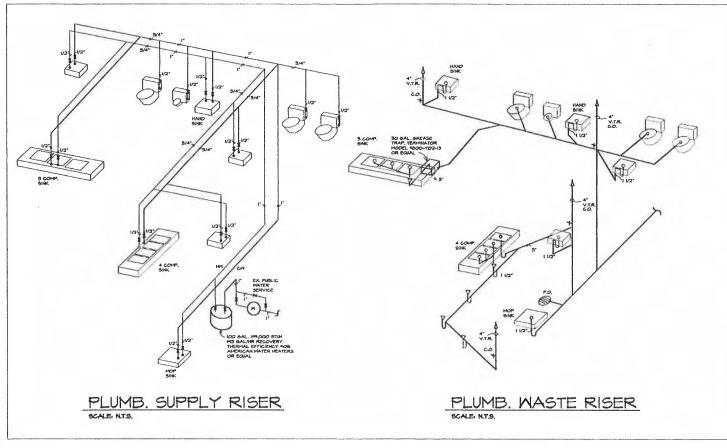
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#### PLUMBING NOTES:

- All work shall conform to National Plumbing Code and all local Codes and Ordinances, and be done by a Licensed Plumbing Contractor who will be responsible for all Permits and Fees related to the Plumbing Work.
- 2. Water supply piping to be mounted above slab. Use "Pex Tubing" and fittings in accordance with manufacturer's latest data.
  Water Stub Ups to be installed according to manufacturer's latest data.
- 3. Insulation to be installed on all exposed piping.
- 4. Provide fixtures and facilities for the Handicapped, set hot water heater equal to 120 degrees F. Provide mixing valves at all toilet room sinks.
- 5. Provide and install ASSE-1016 approved tempering valve on hot water branch line to each restroom lavatory, and to all other handicap accessible fixtures.



#### LEGEND

----- SHUT OFF VALVE

-G- GAS LINE

SANITARY WASTE

INDIRECT (HUB WASTE)

OV.T.R. VENT THROUGH ROOF

O+ C.O. CLEAN OUT

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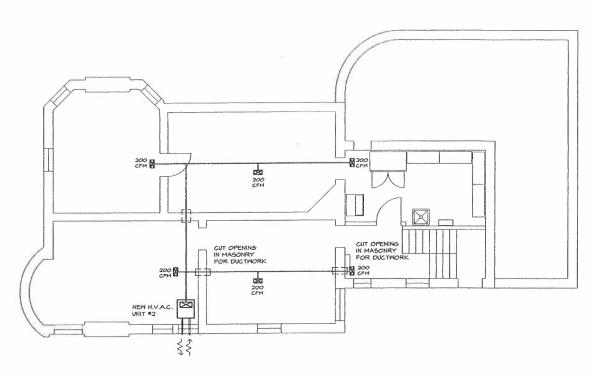
RENOVATION TO RESTAURA 4642 SECOND AVENUE DETROIT, MI 48201

Architects Planners Engineers

ARCHITECTS INTERNATIONAL INC.
17400 Wildemere
Deirroit, Michigan 48221
Phone: 313-341-7930
Fax: 313-341-6944

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<b>PLUMBING</b>	PLANS	P-1			







#### H.V.A.C. NOTES

- 1. Rooftop H.V.A.C. Unit, registers grills, and supply \$ return air ductwork is to remain, if possible. The relocation and replacement of some registers and ductwork will be necessary.
- 2. All work shall be in accordance with City of Detroit Standards and regulations.
- 3. Contractor is to clean all fixtures that are to remain and remove dirt from all ductwork.
- 4. Contractor is to assure that the H.V.A.C. System will be renovated to a fully operational condition. All controls are to be functional and the system will be complete.
- 5. Contractor is to balance the H.V.A.C. System in all work areas to assure uniform, and acceptable, levels of supply and return air.
- 6. All work is to done by a Licensed Mechanical Contractor who will be responsible for all permits and inspections related to the mechanical work.



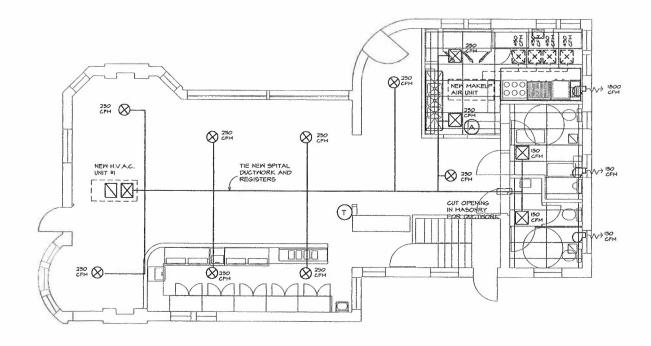
NEW 2'x2' ADJUSTABLE 4 WAY SUPPLY AIR REG.

NEW 2'x2' RETURN AIR

DUCT SMOKE DETECTOR VISIBLE & AUDIBLE SIGNAL (3)

THERMOSTAT W/ SECURED BOX COVER

ANESL EMERGENCY PULL STATION





#### EQUIPMENT NOTES

NEW H.V.A.C. UNIT I

New Rooftop gas fired H.V.A.C. Unit with 5 Ton Cooling and 150,000 btu heating, w/ 2800 cfm mounted on rooftop equipment on prefabricated, structural curbs, set for 20% outside air.

NEW H.V.A.C. UNIT #2

New floor mounted gas fired H.V.A.C. Unit with 2 tons cooling and 75,000 btu heating and W 1200 cfm W outdoor condensing unit, monted on prefabricated concrete pad set for 20% outside air.

Greenheck Model, Ceiling Mounted, Model SP-BIIO, 13-7/8"  $\times$  11.5" curb cut, 150 CFM for 150 CFM for each tollet rm., 1/6 HP, 375 Static Pressure, 115 V. I Phase, 1.14 A.

Hood #1, Loren Cook, Roof Mounted, Model No. 135V5B, 15.5"  $\times$  15.5" curb cut, 1800 CFM, 1/2 HP, 3/4 Static Pressure, 115 V, 1 Phase, 9 A.

MUA I - MAKE-UP AIR

Absolut-Air, Roof Mounted, Model VI, w/ curb cut, 1800 CFM, 75,000 BTU, I HP, 208V, 3 Phase, 1/2" Gas inlet.

Automatic Interlocking

The exhaust and makeup air systems shall be electrically interlocked to insure that makeup air is provided whenever exhaust system is in operation.

The interlocking components/system shall be UL or ETL listed.

The automatic activation of exhaust fan/makeup air is performed by means of heat sensors, when cooking appliances are in operation. The sensors are placed in hood duct collar and supplied as part of the MUA/Hood system, by a listed and approved manufacturer: Captive Air or Vent Master. Any one appliance shall shall automatically activate makeup air and exhaust fan

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RENOVATION TO RESTAURANT 4642 SECOND AVENUE DETROIT, MI 48201

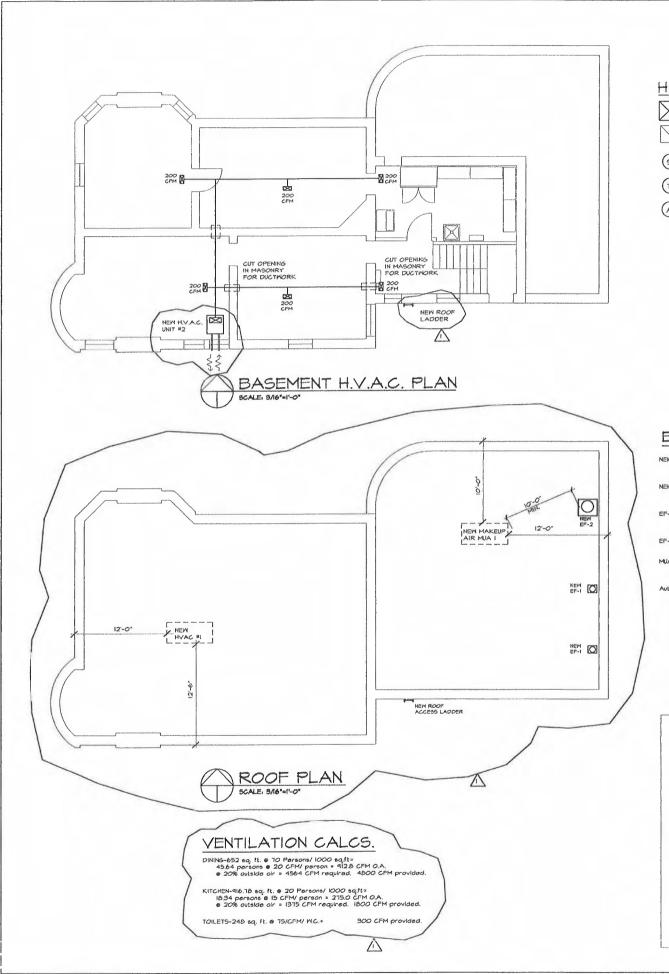
Architects Planners Engineers ARCHITECTS INTERNATIONAL INC. 17400 Wildemere
Detroit, Michigan 48221
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H.V.A.C. PLANS

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#### H.V.A.C. LEGEND

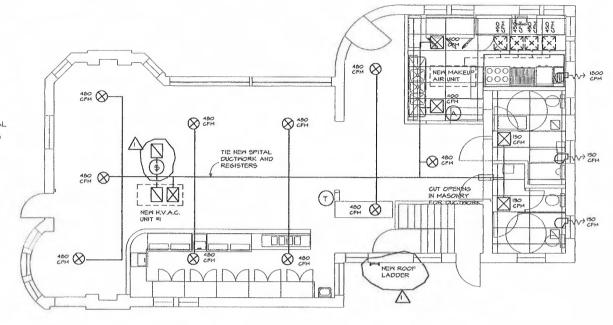
NEW 2'x2' ADJUSTABLE 4 WAY SUPPLY AIR REG.

NEW 2'x2' RETURN AIR GRILL

DUCT SMOKE DETECTOR VISIBLE & AUDIBLE SIGNAL

THERMOSTAT W SECURED BOX COVER

ANESL EMERGENCY PULL STATION



## IST. FLOOR H.V.A.C. PLAN

#### EQUIPMENT NOTES

NEW H.V.A.G. UNIT 1 New Rooftop gas fired H.V.A.G. Unit with 10 Ton Cooling and 150,000 btu healting, w/ 5900 cfm mounted on rooftop equipment on prefobricated, structural curbs, set for 20% outside air. NEW H.V.A.G. UNIT #2

N.V.A.C., DNI = 2 New Noor mounted gos thed N.V.A.C. Unit with 2 tons cooling and 15,000 btw healing and W 1200 ctm W outdoor condensing unit, monted on prefabricated concrete pad set for 20% outside all.

-I Greenheck Model, Ceiling Mounted, Model SP-BIIO, 19-7/ 8" x 11.5" curb cut, 150 CFM for each tollet rm, 1/6 HP, 375 Static Pressure, 115 V, I Phose, 1.14 A.

EF-2
Hood #1, Loren Cook, Roof Mountad, Model No. 185V5B, 15.5" x 15.5" curb cut, 1800 CFM, 1/2 HP, 3/4 Static Pressure, 115 V, 1 Phose, 9 A.
MUA 1 - MAKE-UP AIR
Absolut-Air, Roof Mountad, Model VI, w/ curb cut, 1800 CFM, 15,000 BTU, 1 HP, 208V, 9 Phose, 1/2" Gas inlet.

Automatic Interlocking
The exhaust and makeup air systems shall be electrically interlocked to insure that makeup air is provided whenever exhaust system is in aperation. The interlocking components/system shall be UL or ETL listed.
The automatic activation of exhaust far/makeup oir is performed by means of heat sensors, when cooking appliances are in aperation. The sensors are placed in hood duct collar and supplied as part of the MUA/Mood system, by a listed and approved manufacturer. Coptive Air or Vent Moster. Any one appliance shall shall outomatically activate makeup air and exhaust fon system.

#### ROOF TOP EQUIPMENT NOTES

- I. USE APPROVED SHOP DRAWINGS FOR ROUGH IN OF ELECTRIC WORK FOR FOOD SERVICE VENTILATION EQUIPMENT MOUNTED ON ROOF.
  PROVIDE FUSIBLE DISCONDECT SHITCHES, USE NEMA SR SWITCHES FOR UNITS MOUNTED ON ROOF.
  MOUNT SERVICE EQUIPMENT ON 5/4" PLYWOOD PANEL, PRIME AND PAINT.
  ELECTRICAL CONTRACTOR SHALL INSTALL WIRING HARNESS BETWEEN HOOD CONTROL PANEL AND EXHAUST FAN.
  PROVIDE WEATHERPROOF GIT TYPE RECEPTACLE ON ROOF ADJACENT TO ROOF TOP UNIT. PROVIDE U. APPROVED US APROVED FOR WIST HER PROVIDE U. APROVED COVER.

#### FIRE PROTECTION NOTES

- Provide a VL-300 approved Kitchen Fire Supression System to protect all coaking appliances beneath both hoods. A permit shall be obtained through the Bullding Department, with all work accomplished by a licensed Fire Supression Technician.

  Provide shop drawings for the kitchen hood fire supression system.

  NPPA 17A, IL 300, and IFC 904.ILS.

  Provide and mount fire extinguishers per NPPA-10. A class K Extinguisher will be required near the cooking area.

  Persetrations through fire roted walls and roof shall be sealed with a material capable afpreventing the passage of flomes and hot gasses when subjected to the requirements of the Test Standards specific for Fire Stops UL 1479 (ASTM E 8)14.

#### H.V.A.C. NOTES

- 1. Rooftop H.V.A.C. Unit, registers grills, and supply & return air ductwork is to remain, if possible. The relocation and replacement of some registers and ductwork will be necessary.
- 2. All work shall be in accordance with City of Detroit Standards and regulations.
- 3. Contractor is to clean all fixtures that are to remain and remove dirt from all ductwork.
- 4. Contractor is to assure that the H.V.A.C. System will be renovated to a fully operational condition. All controls are to be functional and the system will be complete.
- 5. Contractor is to balance the H.V.A.C. System in all work areas to assure uniform, and acceptable, levels of supply and
- 6. All work is to done by a Licensed Mechanical Contractor who will be responsible for all permits and inspections related to the mechanical work.

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RENOVATION TO RESTAURANT 4642 SECOND AVENUE DETROIT, MI 4820I

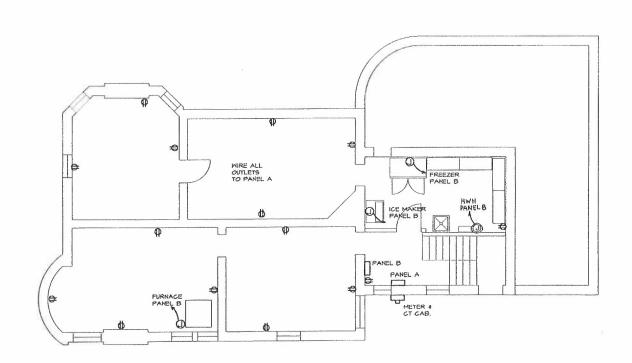
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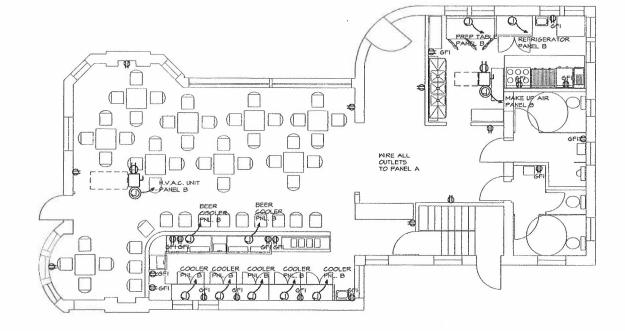
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H.V.A.C. PLANS

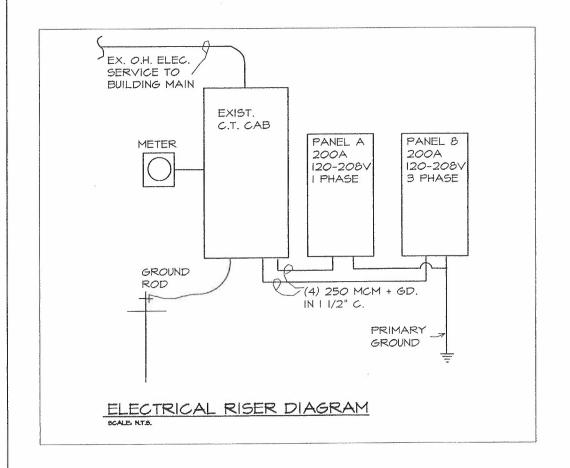
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## LEGEND

- SINGLE POLE SWITCH, 48" AFF
- THREE WAY SWITCH, 48" AFF
- DUPLEX RECEPTACLE 18" AFF
- EXIT LIGHT W/ BATTERY BACK-UP WIRED TO LOCAL CIRCUIT  $\otimes$
- 1 EMERGENCY LIGHTING FIXTURE
- GROUND FAULT INTERRUPTER GFI
- EXTERIOR GRADE RECEPTACLE MP
- DUPLEX RECEPTACLE 48" AFF
- CEILING MOUNTED RECEPTACLE 0
- FUSED DISCONNECT
- (1) 120V JUNCTION BOX
- 208V, 3 PHASE JUNCTION BOX.

#### ELECTRICAL NOTES:

- 1. All work shall be in accordance with the National Electric Code (N.E.C.), latest edition, and all Local and State Codes and Regulations.
- 2. All Wiring above 18' above finished floor is to be in metallic raceways with Type M1, TC SNM or MC Cable.
- 3. All other new wiring shall be cooper types THW, THWN, or XHHW. Minimum size shall be #12.
- 4. Provided grounding for new all receptacles. Provide Ground Fault Interrupter Circuits with reset, in all wet areas.

  5. All electrical work shall be performed by a Licensed.
- Electrical Contractor who will be responsible for all permits and inspections related to the electrical work.
- 6. Provide a complete, typed, panel schedule in each electric panel, relating to the area of work, designating the location of each circuit.

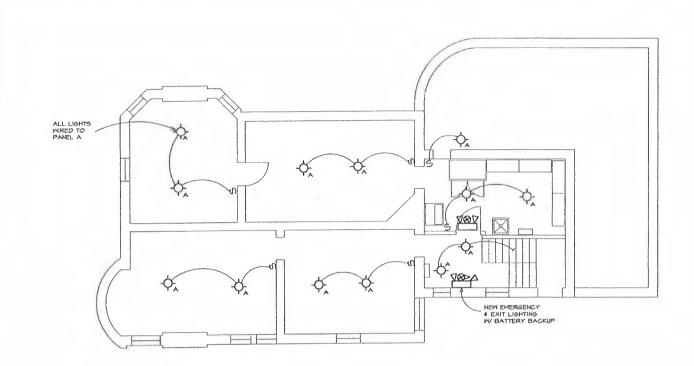
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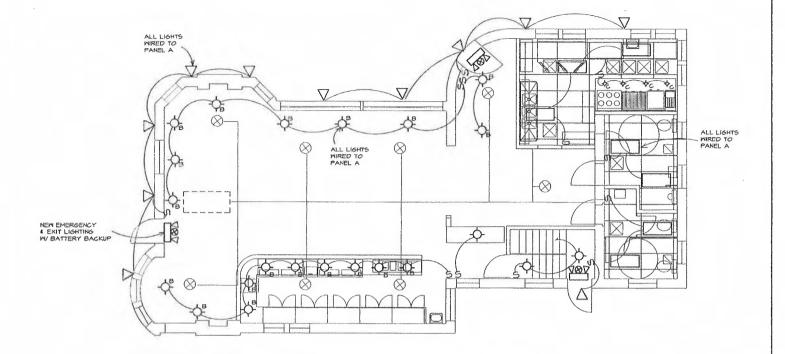
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ELECTRICAL POWER PLANS E-1





ELEC	TRIC FIXTURE SCHED	OLE:
TYPE	MANUFACTURER	COMMENTS
	LITHONIA LAY-IN FLEURESCENT CEILING FIXTURE #SP8-2x4, 2 TUBE. 96W OR EQUAL.	RECESSED
φ^	STANDAŘO, SURFACE MOUNTED LED CEILING FIZTURE. 35M	RECESSED
밥	LITHONIA EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP MODEL ILHOM, 2 LED LAMPS. 12M OR EQUAL	CLG.MALL MOUNTED
LITHONIA LIGHTED EXIT FIXTURE MODEL  NLHOM, SIGN ONLY. 5.3M  OR EQUAL		SINGLE FACE WITH CAPACITY FOR PENDANT MTD.
ф <sup>в</sup>	DECORATIVE 6" DIA. PENDALT LIGHT, AS SELECTED BY OWNER, SOM	PENDANT MOUNTED
<b>♦</b> c	N.S.F. HOOD LIGHTS PROVIDED BY HOOD MANIFACTURER. VAPOR PROOF, KASON #IBOIGOOOOASSEM, BOW, OR EQUAL.	SHIELDED, PROTECTED LENS COVER
$\triangleright$	DECORATIVE SURFACE MOUNTED SCONCE AS SELECTED BY OWNER, SOM	SURFACE MOUNTED
<b>Ø</b> ]~	LITHONIA EMERGENCY LIGHTING FIXTURE WITH BATTERY BACKUP MODEL "LHOM WITH SEALED BEAM REMOTE "ELA NX HOGOS	WITH SURPACE MOUNTED EXTERIOR REMOTE FIXTURE



IST. FLOOR LIGHTING PLAN

5CALE: 9/16"=1"-0"

#### ELECTRICAL NOTES:

- The illumination level shall not be less than I foot-candle.
   Unit has two exits per Sec. 1023.1.
   The emergency power system shall provide power for a duration of not less than 90 minutes and shall consist of storage batteries. Sec. 2702.
   Emergency lighting to provide at least I foot-candle along the path of egress.
   Protruding objects shall comply with 1003.3.1 through 1003.3.4.

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Architect Series® Reserve™

Precision Fit Double-Hung



© Elite Contracting Solutions

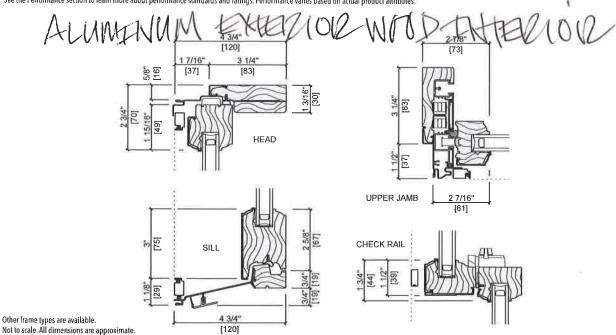
Air, Water, & Structural	Performance Class & Grade Rating	Water Penetration Resistance	ce Air Intiltration Design Pressure		Air Infiltration Design Pressure 40 - 50 psf		gn Pressure	Forced Entry		
Performance	H-CW40 - CW50	6.0 - 6.9 psf		<sub>2</sub> 11			- 50 psf			
Thermal Performance	Type of Glazing (Argon fill)	U-Factor		SHGC	VLT %		CR		Energy Star® Capable	
Vent Units	Advanced Low-E IG	0.29 - 0.30		0.25 - 0.28	0.47	- 0.53	59		NC, SC, S	
11/16" glass thickness	SunDefense™ Low-E IG	0.29		0.19 - 0.21	0.44	- 0.49	60		NC, SC, S	
• •	AdvancedComfort Low-E IG	0.25 - 0.26	-	0.25 - 0.28	0.46	- 0.52	48		N, NC, SC,S	
	NaturalSun Low-F IG	0:30 - 0.31	Ι,	0.47 - 0.53	0.54	. 0 60	59		l N	

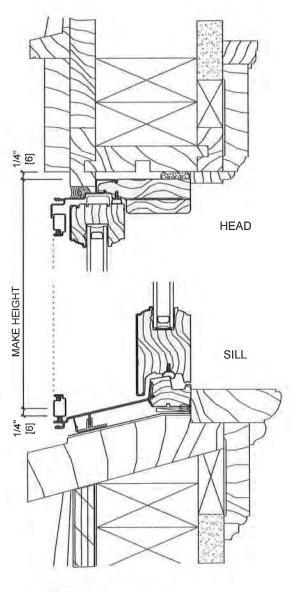
Sound Performance

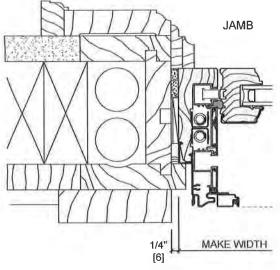
Frame Size Tested	Time	of Glazing	Integra	l Grilles	Removable or No Grilles		
Frame Size rested	туре	oi Giazing	STC	OITC	STC	OITC	
\\anti\AE" \\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	11/16" Overall	2.5mm / 2.5mm glass	27	25	26	22	
Vent; 45" x 65"	glazing thickness	3mm / 3mm glass	30	26	28	24	

Code Approvals: Hallmark Certified; FPAS#: Vent=FL14343; Fixed= FL14129 TDI#: Vent=WIN-1089; Fixed= WIN-1392

See the Performance section to learn more about performance standards and ratings, Performance varies based on actual product attributes.

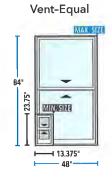






#### **Make Sizes**

Sizes are available in 1/4" increments.



Cottage and custom sash splits also available.

Companion fixed windows available. See Precision Fit Casement window offering for matching glass sight-lines, or see the Fixed Frame Direct Set offering

 $Consult\ with\ your\ local\ Pella\ Sales\ Representative\ or\ see\ the\ on\ -line\ ADM\ for\ egress\ information$ 

Check all applicable local codes for emergency egress requirements

Make Width = Opening width - 1/2" (rounded to the nearest 1/4" Make Height = Opening width - 1/2" (rounded to the nearest 1/4"

#### NOTE:

WALL CONSTRUCTION AND OLD DOUBLE-HUNG FRAME SHOWN ARE EXISTING; OLD DOUBLE-HUNG SASH HAS BEEN REMOVED.

REFER TO THE APPROPRIATE PELLA INSTALLATION INSTRUCTION FOR COMPLETE STEP BY STEP INSTRUCTIONS.

SHIM AND PLUMB UNITS AS REQUIRED

SEAL UNIT TO EXTERIOR / BLIND STOP.

SEAL THE UNIT TO EXISTING STOOL AND WINDOW SILL. LEVEL UNITS AS REQUIRED.

INSULATE ALL VOIDS AT WINDOW PERIMETER (BY OTHERS). SEAL UNIT TO EXTERIOR / BLIND STOP.





Architect Series® Reserve™

Commercial Out-Swing Door



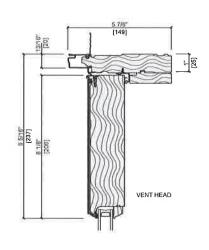
Photograph(s)
© Coseta Photography, Inc.

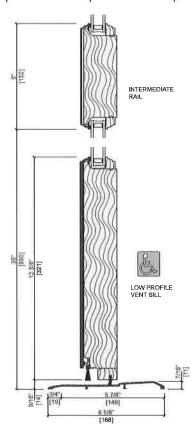
Air, Water, & Structural	Door Height	Performance Class & Grade Rating	Water Penetration Resistance	Air Infiltration	Design Pressure	Forced Entry	
Performance	≤ 8*	LC20 - LC75	0 psf*	0.15	20 - 75 psf	129	
	≥ 8'	LC20 - LC75	0 psf*	0.15	20 - 75 psf	180	

Thermal Type of Glazing Performance (Argon fill)		U-Factor	SHGC	VLT %	CR	Energy Star® Capable
13/16" glass thickness;	Advanced Low-E IG	0.30 - 0.31	0.15 - 0.18	0.26 - 0.31	61	N, NC, SC, S
Triple-Pane Insulating	SunDefense™ Low-E IG	0.30 - 0.31	0.12 - 0.13	0.24 - 0.29	61	N, NC, SC, S
glass is also available	AdvancedComfort Low-E IG	0.28	0.15 - 0.17	0.26 - 0.31	49	N, NC, SC ,S
	NaturalSun Low-E IG	0.31 - 0.32	0.27 - 0.32	0.30 - 0.36	61	

See the Performance section earlier in this manual to learn more about performance standards and ratings.

Performance varies based on actual product attributes, validation is required, contact you local Pella sales representative or Architectural Services for details...

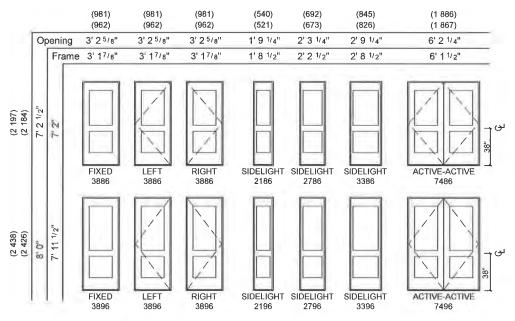




Other frame types are available. (\*) Low Profile sill is standard. Water resistance is 0 psf for low profile sill. Not to scale. All dimensions are approximate...

#### Standard Sizes

7' 2" and 8' 0" Vent and Fixed Units - Clad (Shown with Optional Intermediate Rail)



Not to scale.

CL = Distance from bottom of door to center line of intermediate rail is 38"

Masonry dimensions are with Pella's 1-7/8" brickmould

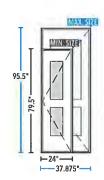
To determine masonry openings when using Pella's 3-1/2" brickmould, add an additional 3-1/4" to width and 1-5/8" to height.

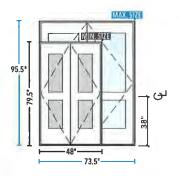
All doors are glazed with 3mm tempered glass standard.

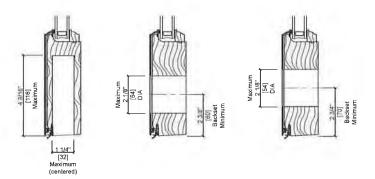
#### **Special Sizes**

Special sizes are available in 1/8" increments

Sizes larger or smaller than shown here require validation.







Pella Architect Series Commercial Out-Swing Doors are not supplied with locking hardware, closers, panic hardware, push plates or kick plates. Use the following guidelines when selecting these hardware items from your hardware supplier.

**Mortise Locks:** Maximum mortise rout dimensions are shown above for commercial doors with standard stile dimensions. Maximum height of the mortise rout is 10 inches. Routs should be sealed before the locks are installed for added moisture protection.

**Cylinder Locks:** Maximum diameter of cylinder lock bore is 2-1/8". Minimum backset is 2-3/8"; maximum backset is 2-3/4".

**Door Closers:** Pella recommends surface mounted door closers anchored into a structural header or minimum 1.5" Pella wood spread mullion. Concealed closers that are routed into the top of the door panel are not recommended.

**Exit Devices:** Concealed vertical rod hardware is not recommended. Use surface mounted vertical rod hardware.

**Kick plates and push plates:** In commercial applications, Pella recommends the use of kick plates and push plates to protect the wood veneer.

**Hinges:** Durable ball bearing hinges standard, optional adjustable hinges for ease of installation.



# COLOR SYSTEM B

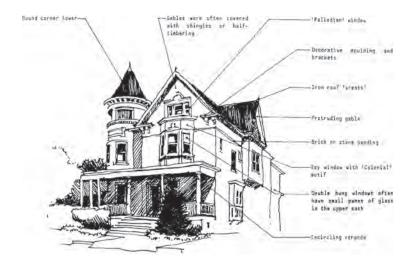
**ASSOCIATED ARCHITECTURAL STYLES:** (2) ITALIANATE, (3) SECOND EMPIRE, (4) GOTHIC REVIVAL, (5) STICK, (6) SHINGLE, (7) EASTLAKE, (8) QUEEN ANNE, (9) ROMANESQUE REVIVAL, (10) QUEEN ANNE/ROMANESQUE, (11) FRENCH RENAISSANCE, (12) COMPOSITE VICTORIAN

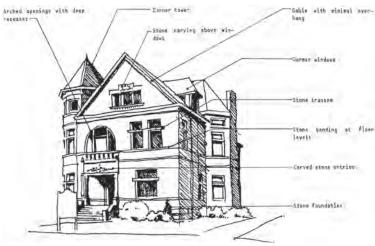
The explosion of styles in the High and Late Victorian periods required a deeper palette of colors to unify the diverse elements of these designs and to highlight the variety of materials and textures used by Detroit's architects and builders. At the same time, paint manufacturers such as the Acme White Lead Works in Detroit and other national firms with a strong market in the region, such as the Sherwin Williams Company, developed ready-mixed paints in resealable cans in every-richer and darker colors. Deep olives, browns, and greens in a wide variety of shades became readily available for the first time. While the light colors of the mid-century were manufactured throughout the High and Late Victorian periods (and consequently could, historically, be used on the later styles), the lighter colors were generally used on simple frame buildings. The more imposing High and Late Victorian structures, especially when erected of brick or stone, require the darker colors to bring out their best features, particularly the window frames and sash which almost universally were painted darker than the main body color to make the windows appear to recede into the facade.

The trim color for masonry buildings of this period should always be selected with the color of the brick or stone in mind. Because the natural materials have already determined the overall body color of the house-red, brown, or yellow brick, green or gray stone, for example - the trim color should tend towards the earth tones: browns, yellows, greens, olives, and grays. Modern pastels, especially pale yellows, blues, and pinks, simply are historically incorrect. Occasionally black was suggested as a sash color to provide contrast to one of the browns or greens used for the window frames. This was a logical consequence of trimming a brick or stone building in a color darker than the masonry and then seeking an even darker color for the sash.

If the structure has stone detailing (above windows and doors, for example) it would be appropriate to paint the cornice or porch a color that matches the stone, selecting a darker color for the window frames and sash. If the structure has iron crestings, railings, or brackets they should be painted black, dark brown, or green. Often such details were painted to look like weathered bronze.

Shingle Style houses or those with shingles in the gables pose a special problem. Normally it was recommended that these surfaces be stained, although most surviving examples have long since been painted. The colors of this stain (or, if repainting, the paint) should follow the colors given, with the darker greens, olives, browns and yellows (in that order) being the most popular.





# COLOR SYSTEM B

### ACCEPTABLE COLOR COMBINATIONS \*MS = MUNSELL STANDARD

BODY	TRIM	SASH	CORNICE/ PORCH	IRON CRESTING
Any System B Color <b>EXCEPT</b> A:7, A:8, A:9, B:19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Shingles: Stained or painted any System B Color <b>ESPECIALLY</b> Dark Greens, Olives, Browns and Yellows <b>EXCEPT</b> A.7. A.8. B.19	Any System B Color	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19
Existing brick or stone	Any System B Color darker than the brick or stone body, <b>ESPECIALLY</b> B:6, B:8, B:11, B:18	Match trim color or A:9, B:12, B:18, B:19	Match trim color or stone detailing	A:8, B:8, B:11 or B:19



**A:7 Bluish Gray MS:** 10B 5/1



A:8 Blackish Green MS: 2.5BG 2/2



A:9 Moderate Reddish Brown MS: 7.5R 3/6



B:1 Light Yellowish Brown MS: 10YR 6/4



**B:2 Dark Yellow MS:** 5Y 6/6



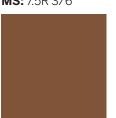
B:3 Light Yellow MS: 2.5Y 8/6



**B:4 Moderate Yellow MS:** 2.5Y 7/6



**B:5 Light Brown MS:** 7.5YR 5/4



**B:6 Moderate Brown MS:** 7.5YR 4/4



**B:7 Moderate Yellowish Brown MS:** 10YR 5/4



**B:8 Grayish Brown MS:** 5YR 3/2



B:9 Moderate Yellow Green MS: 2.5GY 6/4



**B:10** Grayish Green **MS:** 10G 5/2



B:11 Grayish Olive Green MS: 5GY 4/2



**B:12** Grayish Green **MS:** 10G 4/2



**B:13 Moderate Olive Brown MS:** 2.5Y 4/4



**B:14 Dark Grayish Olive MS:** 10Y 2/2



**B:15 Dark Grayish Yellow MS:** 5Y 6/4



B:16 Light Grayish Olive MS: 7.5Y 6/2



**B:17 Light Olive MS:** 10Y 5/4



B:18 Dark Reddish Brown MS: 2.5YRG 2/4



**B:19 Black MS:** N 0.5/

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Sec. 21-2-173. - Warren-Prentis Historic District.

- (a) An historic district to be known as the Warren-Prentis Historic District is hereby established in accordance with the provisions of this article.
- (b) This historic district designation is hereby certified as being consistent with the Detroit Master Plan of Policies.
- (c) The boundaries of the Warren-Prentis Historic District, as shown on the map on file in the Office of the City Clerk, are as follows:

Beginning at a point, that point being the intersection of the center line of vacated Fourth Avenue with the center line of West Warren Avenue; thence east along the center line of West Warren Avenue to its intersection with the center line of Woodward Avenue: thence south along the center line of Woodward Avenue to its intersection with the center line of West Forest Avenue; thence west along the center line of West Forest Avenue to its intersection with the center line of the north-south alley parallel to and between Cass Avenue and Woodward Avenue and located at the rear of the east property lines, extended northward, of Lots 15-20 of Stimson's Sub of Park Lots 55-58 (Liber 1, Page 246); thence south along the center line of said alley to its intersection with the southern property line of Lot 15 of Stimson's Sub of Park Lots 55-58 (Liber 1, Page 246), extended east and west; thence west along said property line to its intersection with the center line of Cass Avenue; thence south along the center line of Cass Avenue to its intersection with the center line of Prentis Avenue; thence west along the center line of Prentis Avenue to its intersection with the center line of the north-south alley parallel to and between Cass Avenue and Second Avenue and located at the rear of the properties on the west side of Cass Avenue; thence south along the center line of said alley to its intersection with the northern boundary, extended east and west, of Lot 3 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence east along said property line as extended to its intersection with the center line of Cass Avenue; thence south along the center line of Cass Avenue to its intersection with the southern boundary, extended east and west, of Lot 3 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence west along said property line as extended to its intersection with the center line of the north-south alley parallel to and between Cass Avenue and Second Avenue and located at the rear of the properties on the west side of Cass Avenue; thence south along the center line of said alley to its intersection with the center line of West Canfield Avenue; thence west along the center line of West Canfield Avenue to its intersection with the western boundary, extended north and south, of Lot 21 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence north along said property line to its intersection with the center line of the east-west alley between West Canfield and Prentis Avenue; thence west along the center line of said alley to its intersection with a line, extended north and lying 13 feet east of and parallel to Lot 18 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence south along said line to its intersection with the center line of the east-west alley running 70 feet south of the north property lines of Lots 17 and 18 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence west along the center line of said alley, extended westward, to its intersection with the center line of Second Avenue; thence north along the center line of Second Avenue to the center line, extended east and west, of the east-west alley between West Canfield

Avenue, and Prentis Avenue; thence west along the center line of said alley to its intersection with the center line of Third Avenue; thence north along the center line of Third Avenue to its intersection with the southerly property line of Lots 5 and 12, extended east and west, of Crane Farm Sub Rear Concession of Private Claim 247 (Liber 60, Page 58); thence west along said extended property line to its intersection with the center line of Fourth Avenue; thence north along the center line of Fourth Avenue to its intersection with the center line of West Forest Avenue; thence east along the center line of West Forest Avenue to its intersection with the center line of Third Avenue; thence north along the center line of Third Avenue to its intersection with the center line of West Hancock Avenue, now vacated; thence west along the center line of vacated West Hancock Avenue to its intersection with the center line of vacated Fourth Avenue; thence north along the center line of vacated Fourth Avenue to the point of beginning. The legal description is as follows: Lots 15-20, 27-52, and 65-94, Stimson's Subdivision of Park Lots 55-58 (Liber 1, Page 246); Lots A-H, William McGrath's Section of Stimson's Subdivision of Park Lots 55-58 (Liber 1, Page 315); Lots 1-24 of Block 2, and Lots 1-13 of Block 1, Cass Farm Co. Ltd. Subdivision of Blocks 103, 105, 107, & 109 (Liber 18, Page 81); Lots 3, 9-16, north 70 feet of Lots 17 and 18 and north 70 feet of the west 13 feet of Lot 19, and Lots 21-24, Cass Farm Subdivision of Block 99 (Liber 1, Page 272); Lots 14-19, Cass Farm Sub of Block 100 (Liber 1, Page 300); Lots 1-4, James A. Jones Subdivision of Lots 20-22 of Block 100, Cass Farm (Liber 7, Page 16); Lots 1-35, Canfield's Subdivision of Out Lot 101 of Subdivision of Cass Farm (Liber 13, Page 27); Lots 1-20, 27-90, William A. Butler's Subdivision of Out Lots 102, 104, and 106 and that part of Out Lot 108 lying south of the south line of Putnam Avenue of the Subdivision of the Cass Farm (Liber 11, Page 89); Lots 1-4, Dunlap's Subdivision of Lots 21-26, inclusive, of William A. Butler's Subdivision (Liber 36, Page 83); Lots 3-5, 12-14, Block 16 of Subdivision of the Crane Farm, being the rear concession to Private Claim 247, between Hancock and Brainard Streets (Deeds) (Liber 60, Page 58); Lots A-F, John G. Berry's Resubdivision of Lots 12, 13 and west 20 feet of 14, Block 100, Cass Farm (Liber 4, Page 90); Lots 2-5, T. J. Cox's Subdivision of the east ½ of Lot 23 of the Crane Farm, excepting the southerly 40 feet (Liber 60, Page 53); all that part of Block 22 lying northerly of Hancock Avenue of Crane Farm Subdivision rear concession of Private Claim 247 (Liber 1, Page 117); and all that part of Block 23 lying south of West Warren Avenue of Crane Farm Subdivision Rear Concession of Private Claim 247 (Liber 1, Page 117).

- (d) The elements of design, as defined in <u>Section 21-2-2</u> of this Code, shall be as follows:
  - (1) Height. The single- and multiple-family residential structures in the Warren-Prentis Historic District, excluding any structures altered in height, range from two to four stories tall, often on high basements. Residential buildings constructed as single-family detached houses are two to 2½ stories tall. Additions to existing buildings shall be related to the existing structure. Other building types in the Warren-Prentis Historic District are between one and four stories in height. Parapet walls of one story contributing commercial buildings increase wall height where they exist. A full-story

- rooftop addition sits atop the former industrial building at 460 West Canfield. The former Detroit Central High School has a high basement and its tower rises to a height of 147 feet.
- (2) Proportion of buildings' front façades. The typical front façade of a single- or two- to four-unit residential building in the Warren-Prentis Historic District is approximately as tall to its eaves as it is wide. The Terrace Building on West Hancock Avenue and Third Avenue is significantly wider than tall. Multi-story apartment buildings that contribute to the Warren-Prentis Historic District are generally taller than wide, with the exception of larger apartment blocks that appear as tall as wide. Those apartment buildings that are U-shaped in plan, which may result in configurations that are wider than tall, have the component end façades of the "U" facing the street that are taller than wide. Prominent side elevations of apartment buildings on corner lots are often wider than tall. Commercial buildings on Woodward Avenue, Cass Avenue, West Warren Avenue, and Third Avenue contribute to a continuous horizontal streetscape where they abut. Other commercial buildings dispersed throughout the district range in proportion, from smallscale buildings that are as tall as wide to larger buildings that are wider than tall. The former Detroit Police Precinct Station at 4747 Woodward Avenue is wider than tall. Other buildings constructed for institutional use, including those for religious, philanthropic and educational organizations, vary in their proportions, depending on function, age and style.
- (3) Proportion of openings within the façades. In residential buildings, openings amount to between 20 percent and 35 percent of the front façade, with the majority ranging from 25 percent to 30 percent. Most window openings are rectangular and filled with double-hung sash windows, although it is not uncommon for a grouping of windows that are individually taller than wide to fill a single opening which is wider than tall. Some buildings display arched openings, depending on style. Commercial buildings generally have a higher percentage of openings, often displaying large storefront windows. Some industrial-type windows still remain in the district, but many were replaced when the functions of those buildings changed, such as the former industrial buildings at 460 West Canfield Avenue and the former Goodrich Building at 4809 Woodward Avenue.
- (4) Rhythm of solids to voids in front façades. While the Warren-Prentis Historic District is composed of several building types with many sizes and types of windows, the overall impression is one of regular, repetitive openings arranged horizontally within the façades. A repetitive flow of storefront openings, where they exist, create a rhythm along the commercial frontage. Early Modern-style buildings, such as 60 West Hancock Avenue and the former Detroit Police Precinct Station at 4747 Woodward Avenue, exhibit irregular window arrangements but these are nonetheless arranged horizontally

- in rows. Many Late-Victorian buildings in the district display arrangements of openings that offer more variety in type and placement, which are typical for the age and style of the buildings.
- (5) Rhythm of spacing of buildings on streets. In the Warren-Prentis Historic District, the spacing of buildings on streets is generally determined by function. On east-west streets that are primarily residential, lot sizes and setbacks from side lot lines determine the spacing of buildings. There is a general regularity in the widths of subdivision lots from one block to another. Detached single dwellings, two to four unit flats, and small apartment buildings on east-west streets, whether they are centered on their 40-foot to 50-foot lots or placed slightly closer to one side, create a regular rhythm along the street. Along Second Avenue, the spacing of larger apartment buildings with limited space between them, and the few remaining intermingled Victorian houses, create a rhythm along the streetscape. The Terrace Building at the corner of West Hancock Avenue and Third Avenue creates a flowing rhythm around that corner, as do the commercial buildings on corner lots. Where later buildings, including full-lot apartment buildings and larger commercial or industrial buildings, replaced earlier buildings, they are frequently built up to the front lot lines, creating an inconsistent rhythm. Where building demolition has occurred, such as on the north side of West Forest Avenue between Woodward Avenue and Second Avenue, the original rhythmic progression of buildings has been disrupted.
- (6) Rhythm of entrance and/or porch projections. Porch and entrance types relate to the type and style of the building. On residential streetscapes, projecting porches are major elements; when in a row, they create a rhythmic progression along the street. Entrances on multi-story apartment buildings generally do not project; they frequently recede into the façade and have no consistent placement from one building to the next.

  Consequently, a strong rhythm is not created. Where commercial buildings line the streets in numbers, an irregular rhythm is created by multiple entrances.
- (7) Relationship of materials. The majority of residential buildings are faced with brick, often combined with masonry and/or wooden trim, and architectural elements and details. The house at 110 West Forest Avenue is the only wood frame building in the district. Many storefronts of brick commercial buildings have large plate glass windows. The majority of roofs visible from the street are covered in asphalt, but slate roofs also exist; although one metal roof and several bronze balconies exist in the district, they are atypical. Wrought iron balconets and railings ornament several apartment buildings. Tile is used on the façade of the former Goodrich Building at 4809 Woodward Avenue.
- (8) Relationship of textures. The major textural relationship is that of brick laid in mortar, often juxtaposed with wood and/or smooth, carved or molded cast stone elements and trim. Textured brick and brick laid in patterns creates considerable interest where it

- exists. Where they exist, slate roofs have particular textural value, as does the one metal roof. Asphalt shingles generally have little textural interest, even where they purport to imitate some other variety of roofing.
- (9) Relationship of colors. Natural brick colors, such as red, yellow, brown and buff, predominate in wall surfaces. Natural stone colors also exist, including gray, beige, brown and red. Roofs, the majority of which are asphalt shingle, are in natural colors, such as tile and slate colors, and natural and stained wood colors. Paint colors often relate to style. The buildings derived from classical precedents, particularly those of Colonial Revival, Neo-Colonial and Renaissance Revival styles, generally have woodwork painted white, cream, or in the range of those colors. Colors known to have been in use on similar buildings of this style in the 18th Century or early 20th Century may be considered for appropriateness. Buildings of Vernacular English Revival styles generally have painted woodwork and window frames of a dark brown or cream color. Victorian buildings display a broad color palette. Where they exist as decoration visible on the front façade, tile and stained glass contribute to the artistic interest of the building. The original colors of any building, as determined by professional analysis, are always acceptable for that building, and may provide guidance for similar buildings.
- Relationship of architectural details. The architectural elements and details of each (10)structure generally relate to its style. Some individual buildings within the Warren-Prentis Historic District represent the pinnacle of period styles. These buildings include the Richardsonian Romanesque former Detroit Central High School; the Neo-Classical former First Church of Christ, Scientist; the Neo-Gothic First Unitarian-Universalist Church; the Italianate/Second Empire former Thompson Home for Old Ladies; the Colonial Revival former Butler House; and the Early Modern/arts and Crafts former Children's Aid Society. Characteristic of Late Victorian period houses are multiple-roof shapes and wall planes, a variety of textural and coloristic effects, and decorative wooden elements. Apartment buildings are generally rich in cast stone or wood stylistic detail; porches, window frames, cornices, and dormer windows are commonly, although not always, treated. Characteristic elements and details displayed on Vernacular English Revival-influenced buildings include arched windows and door openings, steeplypitched gables, and towers. Artistic touches, including stained glass and tile, provide artistic decoration. Prairie-style and Arts-and-Crafts-style buildings feature wide porches and overhangs. Commercial buildings along Woodward Avenue, Cass Avenue, Third Avenue, and Warren Avenue range in style from Neo-Georgian to Art Deco and Art Moderne. Buildings constructed for religious purposes include the late Gothic Revival First Unitarian-Universalist Church; the Neo-Classical Revival former First Church of

- Christ, Scientist; and the English Revival style former Berea Tabernacle. In general, the district is rich in Late Victorian architectural styles, and in late 19th Century and early 20th Century Revival stylistic expressions of the Modern movement.
- (11) Relationship of roof shapes. The Warren-Prentis Historic District is primarily composed of residential buildings displaying a variety of roof shapes relating to style. Common are the use of multiple roof shapes over Victorian buildings. Commercial buildings throughout the district, as well as many two- to four-unit dwellings and apartment buildings, have flat roofs that are not visible from the street. However, several apartment buildings bear parapet walls with stylistic elements, such as gables and decorative pediments, creating interesting silhouettes.
- (12) Walls of continuity. The façades of buildings with common setbacks on residential streets, as well as the continuous façades of commercial buildings, where they exist in rows, create the primary walls of continuity in the district. Mature trees, where they are planted in rows either on the berm lying between the public sidewalks and curbs or in rows on the front lawns of a number of adjacent properties, create a strong secondary wall of continuity. Public street lighting, sign posts, and parking meters generally do not contribute to a wall of continuity because of their different styles, heights, and irregular placement throughout the district.
- Relationship of significant landscape features and surface treatments. The overall (13)impression is that residential streetscapes running east-west between Cass and Third Avenues are abundantly planted whereas the north-south streetscapes are not. Typical treatment of individual residential properties is a shallow, flat, front lawn area in grass turf, subdivided by a straight walk leading to the front entrance. Garages, where they exist, are located at the rear of the lot off the alley. While a pattern of continuous front lawns exists on West Forest Avenue and Prentis Avenue between Second and Third Avenues, low front yard fences and hedges along side lot lines exist on Prentis Avenue between Cass and Second Avenues. Hedges along front lot lines are common on West Hancock Avenue between Second and Third Avenues. Hedges along the front lot lines on Second Avenue commonly screen apartment buildings from the public right-of-way. The front yard of the building located on the southwest corner of Second Avenue and West Forest Avenue, known as the Forest Apartments, is fenced with wrought-iron pickets between brick wall piers. In general, there is a wide range in the type of fencing, with black wrought iron and chain-link common. Driveways are rare, although a few exist where apartment buildings and commercial buildings have off-street parking in the rear. Smaller apartment buildings, such as those on Hancock Avenue between Second and Third Avenues, generally have shallow front lawns. The full-lot buildings are sometimes built up to the front lot line, abutting the public sidewalk. A few moderate to large apartment buildings have front courtyards that are attractively landscaped with

- grass turf and plantings. The one large-scale Victorian school building in the district has a graded, broad grass turf front lawn in keeping with its scale and importance, and a large paved parking lot in the rear. Other buildings constructed for institutional use have shallow lawns. Commercial and industrial buildings are generally placed on the front lot line abutting a wide sidewalk. The placement of trees on the tree lawn, or in planters between the public sidewalk and curb, varies from block to block and street to street, and is not consistent. There is a lack of street trees in some blocks. Replacement trees should be characteristic of the area and period. If American elms are planted, they should be disease resistant. Granite curbs should be retained where they still exist.
- (14) Relationship of open space to structures. The Warren-Prentis Historic District has as its main open space vacant lots resulting from building demolition, sometimes in use as parking lots. Large open spaces are associated, with the one large-scale Late Victorian school building in the district, in the form of a large front lawn of graded grass turf and a rear parking lot. Front lawns are shallow, where they exist. One- to four-unit dwellings usually have rear yards.
- (15) Scale of façades and façade elements. The Warren-Prentis Historic District is part of a neighborhood of small to moderately scaled single-family houses and two- to four-unit dwellings, small to moderately scaled apartment buildings with a few U-shaped apartment buildings of large scale, and low to moderately scaled commercial, institutional, and industrial buildings. There is one large-scale Late Victorian school building in the district. In general, the individual buildings in the Warren-Prentis Historic District were designed with elements and details that are appropriately scaled, dependent on the style and function of the building.
- (16) Directional expression of front elevations. Directional expression of front elevations is a result of the style of architecture of individual buildings or the juxtaposition of several buildings. Most single-family houses and two- to four-unit residential buildings in the Warren-Prentis Historic District give the impression of neutrality in directional expression, although elements above the roofline in Victorian buildings may add a sense of verticality. Multi-story apartment buildings are usually vertical in directional expression; they tend to have side elevations that are horizontal in directional expression. Where they exist in rows, commercial buildings are horizontal in directional expression, but individually, may be neutral. The Terrace Building at the southeast corner of West Hancock Avenue and Third Avenue is horizontal in directional expression.
- (17) Rhythm of building setbacks. One- to four-unit residential buildings on east-west streets are uniformly set back from the front property line, resulting in a consistent rhythm. Small-scale apartment buildings generally follow a uniform setback consistent with the one- to four-unit buildings on the east-west streets. Larger or full-lot apartment

- buildings generally have less setback or no setback from the front property line and, where located on east-west residential streets, break the uniformity of the former setback patterns. Apartment buildings on Second Avenue have shallow setbacks; those on Third Avenue extend from the front lot line. Commercial buildings frequently have no setbacks from the front lot line, but result in a uniform flow where they abut other commercial buildings of similar setback.
- (18) Relationship of lot coverages. The relationship of lot coverage for those buildings contributing to the Warren-Prentis Historic District is generally a result of building type and lot size. The single- and two- to four-unit residential structures primarily located on West Forest Avenue and Prentis Avenue range in lot coverage from approximately 15 percent to approximately 45 percent, most falling into the 25 percent to 35 percent range. Apartment buildings throughout the district range from approximately 50 percent to 90 percent lot coverage, and the larger buildings generally extend to the rear lot lines with either light courts or central courtyard spaces. Commercial buildings contributing to the Warren-Prentis Historic District have ranges of lot coverages from approximately 50 percent to 100 percent. They are typically placed at the front lot line, but may not entirely fill the lot at the rear. Lot coverage for those buildings constructed for institutional use in the district varies considerably.
- (19) Degree of complexity within the façades. The façades within the Warren-Prentis Historic District range from very simple to quite complex, depending on style, but are generally straightforward in their arrangements of elements and details. Overall, there is a low degree of complexity.
- (20) Orientation, vistas, overviews. Buildings generally face the streets with some exceptions. The east-west streets are more heavily residential while the north-south streets contain a greater number of uses. High-density residential uses dominate Second Avenue as well. The Landmark Tower of the former Detroit Central High School can be seen from beyond the borders of the district. The former Berea Tabernacle Church and 818 West Hancock Avenue are physically separated from the rest of the district by the widening of Third Avenue at its northern end.
- (21) Symmetric or asymmetric appearance. Front façades of buildings range from completely symmetrical to asymmetrical, depending on architectural style. A great variety of architectural styles and building types exist within the district, although most are Classically inspired and, thus, tend to be symmetrical.
- (22) General environmental character. The Warren-Prentis Historic District is a dense, urban, mixed-use district primarily composed of residential structures but also containing commercial, institutional, and religious buildings as well as vacant land; its buildings reflect the area's development as one of rapid growth, intensification of land use, sudden decline, and recent revitalization. The vitality of the district is a result of the

mixture of uses and the correspondingly diverse physical appearance of its architectural resources. The district's proximity to Wayne State University, the Cultural Center, and the Detroit Medical Center result in its being a locus for human activity.

(Code 1984, § 25-2-136; Ord. No. 31-00, § 1(25-2-136), eff. 1-17-2001)

## City of Petroit

## CITY COUNCIL HISTORIC DESIGNATION ADVISORY BOARD

204 Coleman A. Young Municipal Center, Detroit, Michigan 48226
Phone: (313) 224-3487 Fax: (313) 224-4336
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#### **Proposed Warren-Prentis Historic District**

#### Final Report

By a resolution dated June 28, 2000, the Detroit City Council charged the Historic Designation Advisory Board, a study committee, with the official study of the proposed Warren-Prentis Historic District in accordance with Chapter 25 of the 1984 Detroit City Code and the Michigan Local Historic Districts Act.

The proposed Warren-Prentis Historic District consists of 120 primary buildings covering an area containing approximately 320 acres in the North Cass Corridor, approximately two to three miles from downtown Detroit, and generally located west of Woodward Avenue, south of West-Warren, north of Prentis and east of Third Avenue. It is urban and mixed-use in character, with institutional buildings, single and multi-family residential buildings, and commercial buildings within its borders. The Warren-Prentis Historic District was listed on the National Register of Historic Places in 1997 as part of a multiple property resource listing of the Cass Farm Survey Area.

**Boundaries:** The boundaries of the proposed historic district are as shown on the attached map, and are as follows:

Beginning at a point, that point being the intersection of the centerline of vacated Fourth Avenue with the centerline of West Warren Avenue; thence east along the centerline of West Warren Avenue to its intersection with the centerline of Woodward Avenue; thence south along the centerline of Woodward Avenue to its intersection with the centerline of West Forest Avenue; thence west along the centerline of West Forest Avenue to its intersection with the centerline of the north-south alley parallel to and between Cass Avenue and Woodward Avenue and located at the rear of the east property lines of Lots 15-20 of Stimson's Sub of Park Lots 55-58 (Liber 1, Page 246); extended northward; thence south along the centerline of said alley to its intersection with the southern property line of Lot 15 of Stimson's Sub of Park Lots 55-58 (Liber 1, Page 246), extended east and west; thence west along said property line to its intersection with the centerline of Cass Avenue; thence south along the centerline of Cass Avenue to its intersection with the centerline of Prentis Avenue; thence west along the centerline of Prentis Avenue to its intersection with the centerline of the north-south alley parallel to and between Cass Avenue and Second Avenue and located at the rear of the properties on the west side of Cass Avenue; thence south along the centerline of said alley to its intersection with the northern boundary, extended

east and west, of Lot 3 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence east along said property line as extended to its intersection with the centerline of Cass Avenue; thence south along the centerline of Cass Avenue to its intersection with the southern boundary, extended east and west, of Lot 3 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence west along said property line as extended to its intersection with the centerline of the north-south alley parallel to and between Cass Avenue and Second Avenue and located at the rear of the properties on the west side of Cass Avenue; thence south along the centerline of said alley to its intersection with the centerline of West Canfield Avenue; thence west along the centerline of West Canfield Avenue to its intersection with the western boundary, extended north and south, of Lot 21 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence north along said property line to its intersection with the centerline of the east-west alley between West Canfield and Prentis Avenue; thence west along the centerline of said alley to its intersection with the north-south alley between and parallel to second boulevard and Cass Avenue and located adjacent to the properties on the east side of Second Avenue; thence south along the centerline of said alley to its intersection with the centerline of the east-west alley running seventy feet (70') south of the north property lines of Lots 17 and 18 of the Cass Farm Sub of Block 99 (Liber 1, Page 272); thence west along the centerline of said alley, extended westward, to its intersection with the centerline of Second Avenue; thence north along the centerline of Second Avenue to the centerline, extended east and west, of the east-west alley between west Canfield Avenue and Prentis Avenue; thence west along the centerline of said alley to its intersection with the centerline of Third Avenue; thence north along the centerline of Third Avenue to its intersection with the southerly property line of Lots 5 and 12, extended east and west, of Crane Farm Sub rear concession of P.C. 247 (Liber 60, Page 58); thence west along said extended property line to its intersection with the centerline of Fourth Avenue; thence north along the centerline of Fourth Avenue to its intersection with the centerline of West Forest Avenue; thence east along the centerline of West Forest Avenue to its intersection with the centerline of Third Avenue; thence north along the centerline of Third Avenue to its intersection with the centerline of West Hancock Avenue, now vacated; thence west along the centerline of vacated West Hancock Avenue to its intersection with the centerline of vacated Fourth Avenue; thence north along the centerline of vacated Fourth Avenue to the point of beginning.

#### **HISTORY:**

The Warren-Prentis Historic District represents one of the last, largely intact neighborhoods of upper and upper-iniddle class, late nineteenth and early twentieth century housing in Detroit. The historic district was home to a number of leading Detroit industrialists and businessmen, as the Warren-Prentis Historic District was the place to which the first wave of upper and upper-middle class professionals moved from the city in the late 1800s. They commissioned many of the leading architects of the time to design their residences and the following wealth of early twentieth century apartment housing and apartment buildings. The Warren-Prentis Historic District, which also includes commercial, institutional, religious and other types of buildings as well as vacant land, reflects the area's developmental history of rapid growth, intensification of land use and sudden decline following the Great Depression.

Land included in the Warren-Prentis Historic District was originally known as the Park Lots, the Cass Farm, and the Jones/Crane Farm, all of which were subdivided in a consistent manner into generous size lots. The initial division of property into long, narrow ribbons, fronting on the Detroit River and extending back several miles, followed the land ownership patterns established by the French settlers in the 18th century. The Park Lots are located between Woodward and Cass avenues and were sold at auction to the highest bidders in 1807. The Cass Farm, located between Cass and Third, was initially subdivided by Lewis Cass during the 1860s and later by his family in the 1870s. The Jones/Crane Farm, located between Third and the alley west of Fourth, was initially owned by DeGarmo Jones, a former Mayor of Detroit, and later came into the possession of Flavius J.B. Crane. The farm was platted in the 1850s. The area west of Third was subdivided into much smaller lots, with a corresponding change in demographics.

Due to technological advances and the growth of Detroit during the 1860s, the Warren-Prentis area became an accessible and popular area for development. The origination of the streetcar lines along Woodward Avenue (which extended to present day Alexandrine by October, 1863) and Third Avenue (which extended to present day Hancock by October, 1873) facilitated faster and more accessible transportation to Warren-Prentis Historic District, located in Detroit's first streetcar suburb. It was also during this time that the City of Detroit was rapidly growing with the new industrial opportunities created by technology. In turn, this new growth and technological advancements brought with them an expanded wealthy professional class. It was this class who chose to escape the pollution, noise, crime, and overcrowding in the cities by moving to the "suburbs."

This move to the "suburbs" created the first wave of development in the Warren-Prentis Historic District. New development consisted primarily of single family dwellings built by the upper and upper-middle class professionals between 1880 and 1895. Many of Detroit's leading businessmen and their families commissioned the well-known Detroit architects to design impressive houses, which in turn showcased their new wealth. Some of these Detroit professionals included: William A. Butler, Jr., a prominent Detroit banker; John F. Dodge, an auto magnate and cofounder of Dodge Brothers automobile company; David MacKenzie, the principal of Central High School; William C. Boydell, the vice president and treasurer of the Boydell Brothers White Lead and Color Company - a major national producer of paints, oils, etc.; George Loomer, lumber dealer; Charles Day, a partner in the chair manufacturing firm of Smith, Day and Company; Frederick A. Smith, broker with Steel, Smith & Company; and Perry McAdow, a society man who made his wealth mining Montana gold.

Among notable architects of single family residences in the Warren-Prentis Historic District were Almon Clother Varney and Donaldson and Meier. All houses designed by the architects in the district were in the Late Victorian styles, as it was the popular aesthetic of the day. Varney designed six houses, two each in the Romanesque, Queen Anne, and Victorian Eclectic styles and Donaldson and Meier designed two houses in the Queen Anne style.

As apartment style living became popular in the late 1880s, the construction of duplexes and

small scale apartments soared while single family construction nearly ceased. Again, the wealthy invested in this area and built numerous luxury, small scale apartment buildings, commissioning the best architects in Detroit. The most notable architect of this type of building was Baxter and O'Dell. That firm designed six apartment buildings in revival styles, including Beaux Arts, Jacobethan, Elizabethan, and Neo-Georgian. The architectural partnership of Pollmar and Ropes designed two small scale apartment buildings, in the English Domestic Revival and Classical Revival styles.

At the turn of the century, the composition of the Warren-Prentis Historic District began to shift as commercial and industrial development, mainly auto related, increased throughout Detroit and within the district, intensifying the use of land. The Warren-Prentis Historic District became a prime area in which to house the rapidly expanding working class population in the early 1900s its proximity to automobile production, inner-city transportation routes, and the ample size and depth of the lots required by larger, high-density apartment development. In addition to the larger scale apartment buildings constructed to meet the needs of this burgeoning population, single family dwellings were converted into duplexes and flats while the small-scale apartment buildings were further subdivided.

Commercial development also expanded in the Warren-Prentis Historic District due to the automotive industry and increasing population of the Cass Farm area. Five of the fourteen contributing commercial and industrial buildings were specifically developed in response to the automotive industry, including auto repair and service shops, parts suppliers, and garages. Commercial buildings were located initially on the north-south streets and later began to fill in on the east-west side streets as zoning did not preclude businesses from doing so. Commercial and industrial construction, at it's peak from 1915 to 1930, all but ended as the Great Depression wrecked economic havoc on Detroit and the Warren-Prentis Historic District. The district experienced a period of steady decline from 1930 until 1945.

The Warren-Prentis Historic District was home to several charitable and educational institutions as well. The Neo-Romanesque office building at 51 W. Warren (1926/27), originally housed the Detroit Community Fund, its neighbor, at 71 West Warren, opened as a clinic and headquarters building of the Children's Aid Society in 1931, the Thompson Home at 119 West Hancock also played an important role in the charitable life of Detroit, and the Detroit Federation of Women's Clubs, a civic, cultural and philanthropic organization founded in 1895, moved to the Butler House at 4811 Second Avenue in 1916.

The building most identified with Wayne State University, "Old Main," was originally Detroit Central High School. At the time of its completion in 1896, it was hailed as "one of the finest academic high school buildings in the country and was widely quoted by other cities as the final word in high school architecture." Richardsonian Romanesque in style, it was designed by the consulting architects to the Detroit Public Schools, Malcomson and Higginbotham. It became known as the College of the City of Detroit in 1923 and in 1934 it became Wayne State University.

Located in the central section of the city west of the Cultural Center, Wayne State University has adapted several existing structures in the district to academic and office uses over the years. These buildings included homes, offices, warehouses, churches, and apartment buildings, amongst them the Mackenzie House, a Queen Anne style residence located at 4735 Cass, now housing offices, the Spanish-Colonial style building at 818 Hancock, a former printing plant currently used by the Biomechanical Engineering Department, and the Neo-Classical Revival style First Church of Christ Science (1917), converted for use as a theater.

#### ARCHITECTURAL DESCRIPTION:

The Warren-Prentis Historic District contains one of the largest, mostly intact concentrations of upper-and upper-middle class, late nineteenth and early twentieth-century housing extant in Detroit. The district primarily contains single family residences and small to moderately scaled brick apartment buildings. Other uses, including commercial, religious, health care related, philanthropic and educational, were contemporary with this residential growth. The district's overall character has been maintained due to its density of buildings, many of which have been minimally altered over time.

A grid street pattern was applied to the subdivision and development of the Cass Farm Survey Area. Main thoroughfares run north-south and the side streets run east west. The north-south streets leading to and from downtown are broad, ranging in width from four to nine lanes, with a predominance of commercial and institutional uses and a few larger, single family residences and apartment buildings. Conversely, the east-west streets are narrow, ranging in width from two to four lanes. The uniform setback of primarily small and medium scale residential buildings, the greater presence of trees, and the fairly uniform scale of the buildings along the side streets contribute to their more intimate character. The southwest portion of the district, including Prentis, the 600 block of West Forest and portions of Second Avenue, consists mainly of small to medium scale residential buildings, creating a density of buildings. The remainder of the district contains larger scale, institutional and commercial buildings and a higher number of vacant lots.

Of the 120 buildings within the Warren-Prentis Historic District, 106 buildings - constructed between c. 1877 and 1946 - are contributing to the district. The district includes fifty-five multiple dwellings, twenty-seven single family residences, twenty-two commercial buildings, four churches (one with an attached church hall), three health care-related buildings, three educational buildings, two each of humanitarian and industrial buildings, and one governmental building. The primary architectural styles represented within the historic district include: Colonial Revival, Vernacular, Arts and Crafts, Queen Anne, Romanesque, Classical Revival, Tudor Revival, and Craftsman. Other styles include Renaissance Revival, Beaux Arts, Prairie School, Commercial, International, Second Empire, and Late Gothic. In varying stages of upkeep, the buildings display a variety of architectural styles, materials, stylistic decoration, and craftsmanship.

Of the fifty-five apartment buildings built between the 1890s and the 1950s, forty-eight were constructed between 1910 and 1930. Subtypes of apartment buildings include duplexes, flats, terraces and small scale to large scale apartment buildings. Construction of twenty-seven single family residences located within the Warren-Prentis Historic District spans the period between the 1870s and the 1910s, with seventy-five percent constructed prior to 1900. The residences range in size from modest, one and one-half story residences to impressive, three and one-half story mansions. The south side of the 400 block of West Forest contains the finest concentration of single family dwellings designed in Late Victorian architectural styles.

Twenty-two commercial buildings were constructed within the Warren-Prentis Historic District between the 1910s and the 1950s, forty-five percent during the 1920s. The commercial buildings are dispersed throughout the district and are located mainly on the 100 block of West Hancock, the 4400 block of Second, on the east side of Third at the intersection of West Forest, and along Woodward. The scale of commercial buildings within the district range from small, one and two story buildings designed for compatibility with the residential buildings to imposing, multi-story commercial buildings. Fine examples of commercial architecture include: the Second Renaissance Revival Blessed & Son Grocery store at 4711 Woodward; the Classical Revival American Boast Magneto Corporation building at 95 West Hancock; and the Art Deco H.A. Rhein Drugstore (1928) at 4646 Cass.

Four architecturally unique churches are located within the Warren-Prentis Historic District, nearly all with prominent corner locations. The Neo-Gothic First Unitarian-Universalist Church, rising on the corner of Cass and West Forest, is the most majestic church. A Tudor Revival hall is attached to the church at the southwest corner. The Neo-Classical First Church of Christ, Scientist, located at Cass and West Hancock, is the largest and most architecturally intricate of the churches. A second, more modest First Church of Christ, Scientist, is located on Cass Avenue. The Arts and Crafts Berea Tabernacle Church is located at the corner of Fourth Avenue and West Forest.

The following describes a sampling of architecture within the Warren-Prentis Historic District:

# 1. 4646 Cass, Harold A. Rhein Drugstore (1928). Art Deco; C.S. Vaugn Company, general contractors.

This two story, light brick corner store measures 43' wide (along Cass Ave.) by 65' deep initially housed an office and stores. Built for Wilfred S. Thompson at an estimated construction cost of \$15,000, the Harold A. Rhein Drugstore was the first business to occupy the building and remained there into the 1940's. In 1986 the building was converted to a church with apartments above for the Islamic Center of Detroit.

The street front facades are treated similarly: a curved corner containing a recessed entrance is located on the first floor and a window on the second. The second floor contains windows placed at regular intervals. A masonry belt course divides the first and second stories and serves as a continuous sill. A second arched entrance is located on the south corner.

### 2. 110 W. Forest, McGrath House (c. 1877).

The McGrath House was built by William McGrath, who, with his partner David Short, platted the surrounding land as McGrath's Subdivision in 1872. This two and one-half story, wood frame Stick/Eastlake style Victorian building is rectangular in shape, with a facade vertically divided into two bays. The narrow, projecting bay is topped by a front-facing gable roof with unadorned verge board and supported by corbeled brackets. A recessed entrance and second story, gabled window are located to the east. The house has a cross gable towards the rear of the building. Wood siding is placed both horizontally and vertically. It is a rare example of a frame house that has survived in the North Cass Corridor.

### 3. 445 W. Forest, Williamson House, (1892).

Permit #833 was issued to one of Detroit's most prolific residential architects, Almon Clother Varney, on June 1, 1892 for the construction of this three story brick dwelling at an estimated cost of construction of \$8,000. John Williamson, proprietor of Williamson Manufacturing Company, Perfumers, was its first occupant; another occupant was Daniel J. Guerin, a "capitalist." In 1925, the basement was remodeled into a store. It was later converted to a rooming house. In October, 1944, interior alterations were made to change the occupancy from four apartments and eighteen sleeping rooms.

This impressive three-story brick residence is eclectic in style but is predominantly Romanesque, with the stone foundation rising to the first floor at window sill height. The intricate facade is essentially three bays wide and consists of a broad, flat wall of brick with a low pitched gable. The east bay contains a three-story tower with conical roof. The central entrance bay is flanked by a broad, two story bay topped with a brick parapet railing. The side elevations lack architectural ornamentation due to the closeness of adjacent buildings.

- 4. 632-34 W. Forest, Netherlands Apartments (1912).; Pollmar & Ropes, architect. Built for Philip T. Van Zile, a judge in the Wayne County Circuit Court, at an estimated construction cost of \$16,000, the Netherlands was home to Donald Van Zile, an attorney, Frank R. Hamburger, proprietor of a wholesale clothier, and Robert L. Young, a salesman, among others in its early years. It is a small scale, symmetrical, three story brick veneer, English Domestic Revival apartment building with narrow street frontage. The facade is divided into three vertical sections with a brick front porch spanning the width of the building. The two outer bays with three story, three-sided bay windows flank the central entrance bay. The flat roof building has been altered with the removal of the original frieze beneath the cornice and the third story porch.
- 5. 650 W. Forest, Philip T. Van Zile House (1891). Queen Anne; A.C. Varney, architect. This substantial brick residence rises two and one-half stories above a raised basement. Measuring 36' wide, the asymmetrical facade is divided into two vertical sections. The two story, three sided bay on the right is topped by a front facing gable. The double door entrance on the left is sheltered by a projecting porch roof. Above, the left corner of the building is curved with a

third story tower topped with a conical roof. The whole is covered by a steep hip roof with intersecting elements.

Designed for A.C. Varney for Circuit Court Judge Philip T. Van Tile, the house was converted to a rooming house when the Van Zile family moved in the mid-1920's. The Netherlands at 632-34 W. Forest and the Little Holland Apartments at 665-667 W. Forest, two small-scale apartment buildings, were also built for Van Zile.

### 6. 60 W. Hancock, Detroit Industrial Clinic (1937). Charles N. Agree.

Built at a cost of \$25,000 in 1937, the Detroit Industrial Clinic was designed by Charles N. Agree, architect of the Art Deco Vanity Ballroom located on East Jefferson Avenue at Newport. The rounded corners of this medium size, two story brick and macotta building reflect the Art Moderne style. The facade is asymmetrically arranged and unornamental, including an entrance and windows of various widths. The flat roof is also characteristic of the style.

### 7. 601 W. Hancock, Sherbrooke Apartments (1913).

Samuel Ginsburg, manufacturers agent, Mrs. Hannah Golbe, Walter F. Haass, attorney, and David W. Davis, insurance agent, were among the first residents of the Sherbrooke in 1914. In 1950, the Sherbrooke was converted from seven units to twenty-five.

This three story, buff brick Domestic English Revival apartment building is laid out in two identical halves on the corner of W. Hancock and Second Avenue. The wider street front facade, along W. Hancock, is divided into seven, narrow bays. The narrow entrance bay consists of a classical archway at entrance level and a stylized stone crest at the third story level. This bay is flanked by bays with rows of four double hung sash windows per floor culminating in a shingled frontal gable with wooden verge board and a rectangular leaded glass window. To its side is another tall, narrow recessed bay with ornamental iron balconies covered with a bracketed shed roof. At the outer corners of the front facade is another narrow, tall bay with a molded, steeply gabled parapet wall with decorative brickwork. This corner treatment is also present at the rear of the building, connected to the front by a wide bay with a series of five windows per floor, topped by a shed roof.

# 8. 818 W. Hancock, Evans, Winter and Hebb Advertising and Printing (1924). Frederick J. Winter, architect.

This Spanish Colonial Revival style industrial building was constructed for the printing and advertising firm of Evans, Winter & Hebb, Inc. The company, originally known as the Peninsular Engraving company, was founded in Detroit before the turn of the century. This large rectangular, two story building is located on the corner of W. Warren and Anthony Wayne Drive. The building is finished in stucco and topped by both a tripped tile roof and a flat roof. A curvilinear, gabled bay centered on the southern facade contains the enriched classical door surround. Corner pavilions project slightly from the building and each contain a double-arched opening balconet with a patera above at the second story level. The Anthony Wayne Drive elevation mirrors the West Hancock facade, but with more restrained detail. The building now

houses the Wayne State University Bioengineering Department.

9. 460 Prentis, Prentis Apartments (1904). E.W. Gregory, architect.
E.W. Gregory was the architect of this three story symmetrical brick multi-unit building constructed in 1904 at a cost of \$13,000. It originally contained six apartments but was expanded into thirteen in late 1941. Among early tenants were Oliver G. Frederick, supervisor of grades, public schools; Butler Ives, president and treasurer of Continental Varnish & Paint Company. The Prentis Apartments is significant as a small scale apartment building attractive to a professional class of tenants in the early years of the twentieth century. In late 1941, the building was converted from seven to thirteen apartments.

10. 663 Prentis, Villa Lante (1916). Italian Renaissance Revival; Richard H. Marr, architect. The Villa Lante was designed by the architect Richard H. Marr, noted Detroit architect of many single family and multiple dwellings in Detroit, including the William Fisher House in Palmer Woods and the Franzen Apartments at 683 Prentis. It was built for C.C. Smith in 1916 at an estimated cost of \$33,000.

Constructed on a high stone-faced basement with semi-round arched door openings and squared windows, this three story light brick, symmetrically arranged building measures 38' wide by 118' deep. The facade is divided into five bays. The central bay contains a semi-round, classically framed stone entrance with a cast iron railing above at second story level and a cast stone cartouche at third story level. Groupings of three windows per floor flank the entrance bay and single windows per floor are located in the outer bays. A bracketed cornice crowns the facade with a bracketed cornice supporting a shallow tiled roof slope.

11. 4625 Second, Forest Apartments (1905). Baxter & O'Dell, architect. This richly detailed, large scale, symmetrically arranged four story Jacobethan Revival red and yellow apartment building, built on a raised basement, is configured with a central block that is set back and two (north and south) wings. The building measures 160' along Second Avenue and 115' along West Forest. The central arched entrance within the central block exhibits decorative column capitals, figural reliefs in the spandrels, cartouches, and a shell-like niche above its cornice. Red and yellow brick alternate at the corners of bays, creating a quoin or stripe effect. The perimeter of the flat roof is lined by crenelation, curvilinear pediments, and small domes with projections in the central recessed section.

Original residents were mostly professionals, among them William A. Nelson, a draftsman at Great Lakes Engine Works, Arthur Crane, a civil engineer, Henry C. Leonard, a physician with offices in his apartment, and John Weber, a travel agent. The building almost doubled its occupancy and a temporary penthouse was added in 1945 to accommodate an influx of population due to warting production.

12. 4762-64 Second, Renaud Apartments (1903). Beaux Arts; Baxter & O'Dell, architect. Dr. George L. Renaud commissioned Detroit architectural firm of Baxter and O'Dell to design

this apartment building, originally containing sixteen units, in 1903 at a cost of \$29,000. Renaud was a throat specialist who cautioned against the removal of tonsils as early as 1925, a full ten years before the notion that tonsils might have some function became acceptable. Around its corner at 491 W. Hancock is the Renaud Annex, a similar apartment building constructed in 1905 and also designed by Baxter & O'Dell.

The Renaud Apartments is a four story, medium size brick building on "rusticated" raised basement measuring 60' along Second Ave. and 70' along W. Hancock. The symmetrically arranged, street front elevations are divided into vertical bays; both containing multiple four story, three sided bays. The Second Avenue facade contains a central entrance with stone surround lavished with Classical detailing reminiscent of a triumphal arch flanked by three-sided bays topped by semi-round brick pediments. The flat roof on the street-front elevations is lined by a balustrade and cornice, under which is a frieze with the name RENAUD flanked by cartouches on the main facade.

13. 4811 Second Avenue, William A. Butler House (1894). Chapman & Frazer, architects (Boston), Baxter & O'Dell, architects (1915 addition).

William A. Butler, Jr., original owner of this house, was a prominent Detroit banker. His father, also a banker, left four blocks bounded by Second, Third, Prentis and Putnam and commonly known as the Butler Subdivision, to his wife and sons, and William A. Butler, Jr. proceeded to built his home on the corner of Second and Hancock. Built in the Colonial Revival style, the house was praised as a harmonious reproduction of an old New England home. After Butler's death in 1914, the family sold the house to John F. Dodge, automobile magnate and cofounder of Dodge brothers Automobile Company, who presented it to the Detroit Federation of Women's Clubs in recognition of its charitable work. The house is now owned by Central Alliance Church.

The Butler house is a rectangular two and one-half story red brick structure with a cylindrical corner tower capped with a conical roof. Its decorative brick walls sit on a high foundation of brown sandstone. Colonial details include a Palladian window, wooden modillioned comice, triangular pedimental dormers, a semicircular dormer with a shell motif, a Georgian style balustrade, and a Georgian Revival doorway. The interior of the house is notable for the fine quality of its Colonial decorations. Much natural wood, including oak, sherry, mahogany and sycamore, was used. The three story brick addition at the rear of the house made the removal of the original kitchen necessary but is compatible with Chapman & Frazer's design.

14. 4742-54 Third, 693-709 W. Hancock Apartment Building (1913). Colonial Revival/Craftsman; A.C. Wood Realty Company.

This two story brick terrace building, containing nine units, is located on the corner of Third Ave. and W. Hancock. Although large in overall mass, the building is relatively small in scale. In plan, the building is L-shaped. The two-color brick is laid to create a diagonal striped pattern. Each unit has a two-story rounded bay of windows. The corner unit has its own Colonial Revival porch with ionic column capitals and a pedimental gable supported on brick porch walls; the

other eight units are paired to share similar porches. Above the molded cornice is a parapet wall with cast stone cresting and open hole designs above the rounded bays. Among early residents of the terraces were a baker, a manager of a mineral springs bath house, a furrier, two autoworkers and two widow.

15. 71 W. Warren, Children's Aid Society (1931). Arts & Crafts; Albert Kahn, architect. 71 West Warren, which opened as a clinic and headquarters building of the Children's Aid Society in 1931, presently serves as the offices of Wayne State University's Psychology Department. In style, the building reflects the modern aesthetics of the Arts and Crafts movement as executed by Eliel Saarinen in the late 1920's and early 1930's. It was constructed at an estimated cost \$127,800 as a large two story, brick building measuring 136' wide by 142' deep. In plan, the building is a three-sided square with a courtyard in the middle. The street-front facade is a horizontally emphasized U-shape composed of a recessed central entrance bay flanked by outer bays containing horizontal rows of industrial style windows in groups of five. Raised brick rows flanking the windows and flat brick above and below the second story windows creates textural and coloristic interest. The building is topped by a hip roof with original gray slate.

16. 665 W. Warren, Hadley Hall Apartments (1922). I.M. Lewis, architect.
A permit was issued to Cadillac Construction Company on May 26, 1922 for the construction of this multiple dwelling originally containing forty-nine units, at an estimated cost of \$100,000. Early residents (1924) included Eleanor M. Thompson, a music teacher (1924), Teresa R. Murphy, a nurse, Zigmund Lewandowski, an attorney, and Carl. F. Mann, a voice teacher at Detroit conservatory of Music.

This large, English Revival, three story, brick apartment building sits atop a raised basement and measures 110' wide by 149' deep. In plan, the building is U-shaped with a recessed central courtyard. The central entrance bay is flanked by buttressed, three story porch bays with slate covered gables of parapet walls rising above the roof line. The roof is a combination of front and side gables. Cast stone trim is limited to cresting outlining the silhouette of the building, buttress ends, and the shields at the first story of the gabled porch bays.

17. 4747 Woodward Avenue, Detroit Police Department (1946). Banbrook, Gwon & Company, contractors.

Precinct Station #13 was built to upgrade existing police facilities as the population of Detroit expanded after World War II. Constructed of brick and concrete block, this medium-size, two story building with attached garage measures 174' wide along Woodward Avenue and 127' wide along W. Hancock. The asymmetrical elevations contain elements indicative of the International Style including flat roof tops, large expanses of windows, cantilevered horizontal surfaces, and absence of omamental detail.

18. 4809 Woodward, Goodrich Building (1913). Chicago style; Albert Kahn & Associates, architect.

The Goodrich Building was originally constructed in 1913/14 to house a growing location of the

B.F. Goodrich Rubber Company, merchants of automobile tires. One of the "big four" of the rubber companies, the B.F. Goodrich Company was the first to developed a pneumatic tire for the automobile. Wayne State University rehabilitated the building in 1994 and renamed it the Leonard N. Simons Building.

This medium size, three story, reinforced concrete building clad with brick is rectangular in plan with narrower street frontage. The first floor of the building was recently covered with a concrete skin with architectural detailing on the first floor piers. The building is vertically divided into five bays across the Woodward Avenue facade and eight bays along Hancock Avenue. Dark spandrels at the second story level along with the light tile and ornamentation on the legs of the arch make the arched openings above the third story more prominent. The second and third stories contain one grouping of windows per bay.

Criteria: The proposed historic district meets three of the criteria contained in Chapter 25: Section 25-1-1: Sites, building, structures or archeological sites where cultural, social, spiritual, economic, political or architectural history of the community, city, state or nation is particularly reflected or exemplified. Section 25-2-2: Sites, buildings, structures, or archeological sites which are identified with historic personages or with important events in community, city, state or national history. Section 25-2-3: Buildings or structures which embody the distinguishing characteristics of an architectural specimen, inherently valuable as a representation of a period, style or method of construction.

Recommendation: The Historic Designation Advisory Board recommend that City Council adopt an ordinance of designation for the proposed historic district with the design treatment level of "rehabilitation." A draft ordinance is attached for City Council's consideration.

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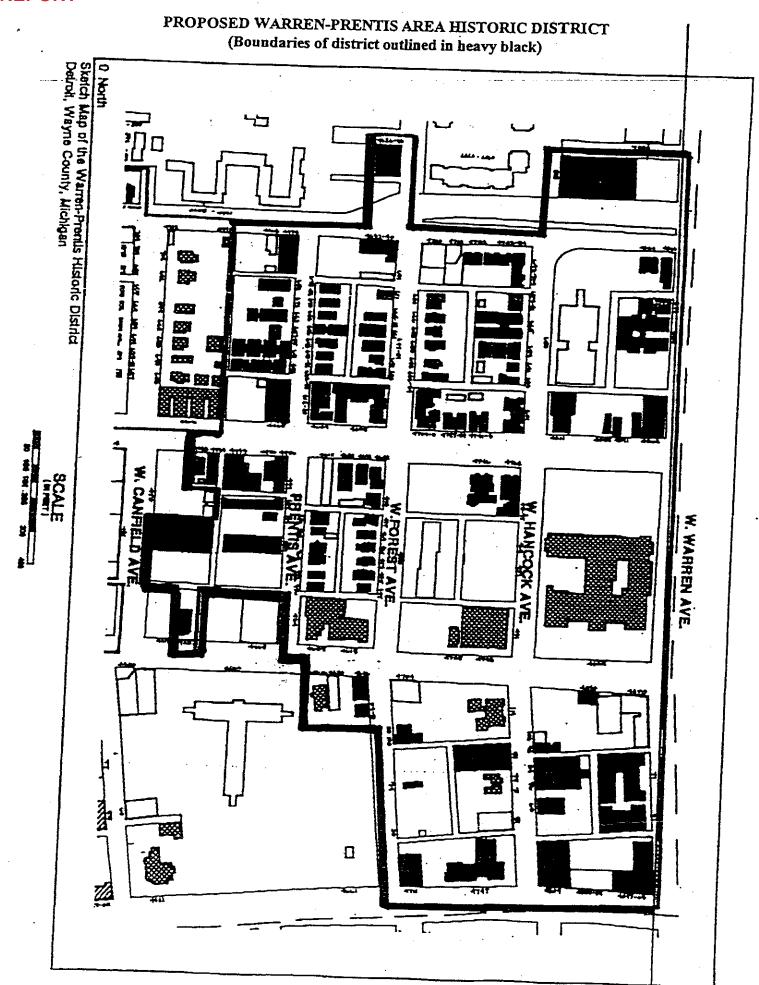
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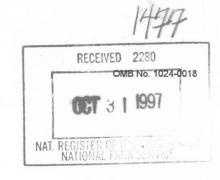


### **REPORT**

NPS Form 10-900-b (March 1992)

United States Department of the Interior National Park Service

# National Register of Historic Places Registration Form



This form is for use in nominating or requesting determinations for individual properties or districts. See instructions in *Guidelines for Completing National Register Forms* (National Register Bulletin 16). Complete each item by marking "x" in the appropriate space or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1.	Name of Propert	ty			
histor	ric name	Warren-P	rentis Historic Distric	t	
other	name / site number	N/A			
2.	Location				
stree	t & number Bou	inded by Woodw	ard, Warren, Third, a	and alley south o	f Prentis
city o	or town Det	roit			
state	Michigan	code MI	county Wayne	code 163	zip code 48201
3.	State/Federal Ag	ency Certificatio	n		
Signat Michi State	ture of certifying official / Tigan State Historic Proor Federal agency and bur	eservation Officer	x locally. ( See continuation	16-23-5 Date	
Signat	ture of commenting or other	er official		Date	
State of	or Federal agency and but	reau ervice Certification	in Day		
	eby, certify that this p entered in the Nation See continuation determined eligible f Register See determined not eligil Register.	roperty is: nal Register. on sheet. for the National continuation sheet.	Signature of the	Keeper	Date of Action

### **REPORT**

5. Classification				
Ownership of Property (Check as many boxes as apply)	Category of Property (Check only one box)	Number of Re (Check only one b	esources within Propox)	operty
x       private       building(s)         x       public - local       x       district         public - State       site         public - Federal       structutre         object		Contributing 109 0 0 0 109	Noncontributing 14 0 0 0 14	buildings sites structures objects Total
Name of related multiple po (Enter "N/A" if property is not part o			ntributing resource ted in the National	
Cass Farm Survey Area		10		
6. Function or Use				
Historic Functions (enter cate	gories from instructions)	<b>Current Functions</b> (enter categories from instructions)		
DOMESTIC / multiple dwellin DOMESTIC / single dwelling COMMERCE/TRADE / speci (see continuation sheet)		DOMESTIC / s	specialty store	
7. Description				
Architectural Classification (Enter categories from instructions)		Materials (Enter categories	from instructions)	
LATE 19th AND EARLY 20th Colonial Revival Classical Revival Tudor Revival	CENTURY REVIVALS	foundation: BRICK; CONCRETE / reinforced STONE / brown sandstone; OTHER / cement block walls: BRICK; STONE / limestone; CONCRETE / block,reinforced; WOOD; STUCCO; TILE / macotta;		
LATE VICTORIAN  Queen Anne (con	ntinued)	vinyl; O roof: STONE (con't)	; METAL.; SYNTHE THER / cinder block E / slate; CONCRET ceramic; STONE / sl	E; TAR;

(Describe present and historic physical appearance of the property on one or more continuation sheets.)

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United States Department of the Interior National Park Service

# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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#### HISTORIC FUNCTION

COMMERCE/TRADE / business
COMMERCE/TRADE / financial institution
SOCIAL / civic
GOVERNMENT / police station
EDUCATION / school
EDUCATION / education-related, housing
EDUCATION / college
RELIGION / religious facility
INDUSTRY / communications facility
HEALTH CARE / clinic
HEALTH CARE / rest home
TRANSPORTATION / road-related

### **CURRENT FUNCTION**

COMMERCE / TRADE / business
COMMERCE/TRADE / restaurant
COMMERCE/TRADE / warehouse
SOCIAL / civic
GOVERNMENT / police station
EDUCATION / education-related
EDUCATION / college
RELIGION / religious facility
INDUSTRY
HEALTH CARE / clinic
UNKNOWN
VACANT

OMB No. 1024-0018

United States Department of the Interior National Park Service

# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section \_7 Page 1

### ARCHITECTURAL CLASSIFICATION (continued)

### LATE VICTORIAN

Victorian Stick/Eastlake Romanesque Renaissance

### LATE 19TH AND EARLY 20TH CENTURY REVIVALS

Beaux Arts Late Gothic Revival Italian Renaissance

### LATE 19TH AND EARLY 20TH CENTURY AMERICAN MOVEMENTS

Prairie School Commercial Style Bungalow/Craftsman

#### MODERN MOVEMENT

Moderne International Style Art Deco

**OTHER** 

### MATERIALS (continued)

roof: COMPOSITION; SHINGLES / wood, asphalt, asbestos; METAL; TILE / ceramic;

other: TERRA COTTA; STUCCO

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# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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#### NARRATIVE DESCRIPTION

The Warren-Prentis Historic District maintains one of the largest, mostly intact concentrations of upper- and upper-middle class, late nineteenth and early twentieth-century housing extant in Detroit. The district primarily contains single family residences and small to large scale, brick apartment buildings, as this area was where many of the early, wealthy Detroiters moved out from downtown and was a prime location in which to house the expanding working class population in Detroit. Other uses, including commercial, religious, health-care, and educational, moved into the district following this residential growth. The district's overall character has been maintained due to the high concentration of buildings, many of which have been minimally altered over time.

Comprised of 123 buildings, the Warren-Prentis Historic District covers approximately 320 acres. The district is primarily bounded by the south side of Warren on the north, the west side of Woodward on the east, the alley south of Prentis on the south, and Third Avenue on the west. The boundary along the southeastern portion of the district is irregular. This district, located two miles north of the Detroit River, covers land originally known as the Park Lots and the Cass Farm, with two buildings located in the Jones/Crane farm. A grid system was utilized in the subdivision and development of the Cass Farm Survey Area; therefore main thoroughfares run north-south and the side streets run east west.

The north-south streets leading to and from downtown are broad, ranging in width from four to nine lanes, with a predominance of commercial and institutional uses and a few larger, single family residences and apartment buildings. Conversely, the east-west streets are narrow, ranging in width from two to four lanes. The uniform setback of primarily small and medium scale, residential buildings, the greater presence of trees, and the fairly uniform scale of the buildings along the side streets all contribute to their more intimate character. The southwest portion of the district, including Prentis, the 600 block of West Forest and portions of Second Avenue, consists mainly of small to medium scale, residential buildings and maintains the highest density of buildings. The remainder of the district contains larger scale, institutional and commercial buildings and a higher number of vacant lots.

Of the 123 buildings within the Warren-Prentis Historic District, 109 buildings - constructed between c. 1877 and 1946 - are contributing to the district. The district includes fifty-eight multiple dwellings, twenty-seven single family residences, twenty-two commercial buildings, four churches (one with an attached church hall), three health care-related buildings, three educational buildings, two each of humanitarian and industrial buildings, and one governmental building. The primary architectural styles represented within the historic district include: Colonial Revival, Vernacular, Arts and Crafts, Queen Anne, Romanesque, Classical Revival, Tudor Revival, and Craftsman. Other styles include Renaissance Revival, Beaux Arts, Prairie School, Commercial, International, Second Empire, and Late Gothic. In varying stages of upkeep, the buildings display a variety of architectural styles, materials, stylistic decoration, and craftsmanship.

Of the fifty-eight apartment buildings built between the 1890s and the 1950s, fifty were constructed between 1910 and 1930. Subtypes of apartment buildings include duplexes, flats, terraces and small scale to large scale apartment buildings. The south side of the 600 block of West Hancock, the 600 block of West Forest, the 400 block of Prentis, and Second Avenue, between Prentis and West Hancock, contain the largest concentrations of well-maintained, primarily brick apartment buildings. Ranging in height from two to four stories, the late 19th and early 20th century buildings on these blocks are interspersed with single family residences. Three adjacent apartment buildings along Second Avenue, including the Classical Revival Biltmore Apartments (4609), the Jacobethan Forest Apartments (4625), and the Classical Revival Hollenden Apartments (4711), are among the most architecturally prominent, multiple dwellings in the district. The Late Gothic Revival Hadley Hall Apartments at 665 West Warren also stands out on the northern boundary of the district.

Construction of twenty-seven single family residences located within the Warren-Prentis Historic District spans the period between the 1870s and the 1910s, with seventy-five percent constructed prior to 1900. The

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# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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residences range in size from modest, one and one-half story residences to impressive, three and one-half story mansions. The south side of the 400 block of West Forest contains the finest concentration of single family dwellings designed in Late Victorian architectural styles. The remaining east-west streets and the 4800 block of Second contain a scattering of residences typically interspersed among apartment buildings. Some of the finest examples of residential architecture include: the adjacent Victorian residences at 4835 and 4841 Second and 71 and 76 West Hancock; the Queen Anne house at 4735 Cass; the Romanesque residence at 71 West Hancock; the Colonial Revival house at 4811 Second: and the Renaissance Revival house at 4605 Cass.

Twenty-two commercial buildings were constructed within the Warren-Prentis Historic District between the 1910s and the 1950s, forty-five percent during the 1920s. The commercial buildings are dispersed throughout the district and are located mainly on the 100 block of West Hancock, the 4400 block of Second, on the east side of Third at the intersection of West Forest, and along Woodward. The scale of commercial buildings within the district range from small, one and two story buildings designed for compatibility with the residential buildings to imposing, multi-story commercial buildings. Fine examples of commercial architecture include: the Second Renaissance Revival Blessed & Son Grocery store at 4711 Woodward; the Classical Revival American Boast Magneto Corporation building at 95 West Hancock; and the Art Deco H.A. Rhein Drugstore (1928) at 4646 Cass.

Four, architecturally unique churches are located within the Warren-Prentis Historic District, nearly all with prominent corner locations. The Neo-Gothic First Unitarian-Universalist Church, rising on the corner of Cass and West Forest, is the most majestic church. A Tudor Revival hall is attached to the church at the southwest corner. The Neo-Classical First Church of Christ, Scientist, located at Cass and West Hancock, is the largest and most architecturally intricate of the churches. A second, more modest First Church of Christ, Scientist, is located on Cass Avenue. The Arts and Crafts Berea Tabernacle Church is located at the corner of Fourth Avenue and West Forest.

Other architecturally significant and prominent buildings within the Warren-Prentis Historic District, not included in the above building types, include the Italianate Thompson Home located on the southeast corner of West Hancock and Cass; the Richardsonian Romanesque Central High School / Old Main at 4835 Cass; the Chicago School Goodrich Building at 4809 Woodward; the Spanish Colonial Revival Evans, Winter, Hebb printing facility at 818 West Hancock; and the International Style Detroit Police Department - Thirteenth Precinct at 4747 Woodward Avenue.

The Warren-Prentis Historic District is distinctly different in character, composition, and scale than most of the surrounding area, with the exception of the area south of the district which includes the West Canfield Historic District, the Fourth-Willis Historic District, and the Willis-Selden Historic District. The campus of Wayne State University and the Detroit Public Library lie north of the district across West Warren. To the east, across Woodward Avenue, lies the Veteran's Hospital and the northern section of the Detroit Medical Center campus. The University Club apartment complex, constructed in 1993, and the Calumet Apartments complex, built in the late 1970s, are west of the historic district.

#### INVENTORY

The following inventory of resources within the Warren-Prentis Historic District are listed alphabetically and numerically by street. C = contributing to the district, NC = non-contributing to the district, and NR = the resource is listed on the National Register.

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### Canfield, West

Buick Motor Company (1921). Lane, Davenport & Peterson, engineers and architects. This large, rectangular reinforced concrete and brick garage / service station building measures 100' wide by 190' deep. The concrete frame of this two story, flat roof building, with wide street frontage, is hidden under brick. The facade contains bands of industrial style, subdivided metal windows between two story pilasters. Cast stone outlines the window openings and bears modest geometric ornamentation, particularly at the cornice level. A parapet rises slightly over the two narrow entrance bays at each end of the facade. The first story is largely boarded. The side and rear elevations are brick, devoid of ornamentation. C

#### Cass Avenue

- The Whitney Apartments (1908-9). Neo-Classical; A.C. Varney & Company. The Whitney Apartments is a medium size, three story, brick building constructed on a slightly raised basement. The symmetrically arranged building with flat roof is rectangular in shape, measuring 41' wide by 63' long. A two story, monumental portico consisting of round columns as the middle pair and squared and tapered columns as the outer two which resemble the engaged pilasters flanking the double doored entrance. Raised brick quoins at the corners of the front facade and flat masonry arches with pronounced keystones over 8-over-1 double hung sash windows are other features of the facade which culminates in a molded cornice beneath the parapet wall. Cast stone belt courses distinguish the stories of regularly spaced openings. Side and rear elevations are common brick. C
- Perry McAdow House (1891). Renaissance Revival; John Scott, architect, and Martin Scholls & Son, builder. This two and one-half story, red brick and brownstone residence, essentially square in shape, is an impressive presence on the corner of Cass and Prentis. The street-front facades are articulated by bay windows with large brick dormers above in the steep slate, hip roof. Corinthian-columned porches and loggias, stone belt courses, parapet balustrades, a modillion cornice, and arched and square head windows with quoin-like surrounds are apparent on the primary facades. A brick and red sandstone porte-cochere is a major feature of the north elevation. NR C
- 4614-16 Boydell Double House (1895). Beaux Arts; A.C. Varney, architect. The Boydell House is a large, three story, ochre brick and limestone duplex constructed on a raised basement. Rectangular in shape, the flat roof building has wider street frontage than depth. The classically influenced double house was designed to resemble a large single-family house. The only architecturally articulated elevation faces Cass Avenue. The two halves of the building's facade are unified by the banded limestone at the first story, the ochre brick of the upper levels, and the continuous metal modillion cornice and paneled brick frieze at the eaves. The sides and rear of the building are constructed of common brick without architectural enrichment. NR C
- Church of Our Father / First Unitarian-Universalist Church (1915). Late Gothic Revival; Donaldson & Meier, architect. Constructed of Bedford limestone, this impressive church is located on the corner of Cass Ave. and W. Forest. The large, rectangular building includes: a three-story crenellated tower with a recessed, arched entrance crowned with a finial at the street corner and a five bay nave which is divided by spur buttresses extending back along Cass. Each of the five bays per side contains one large pointed arch window with Medieval tracery. The south side of the church is adjoined to the Perry McAdow house and the southwest corner to McCollester Hall. The interior of the church reflects the handicraft ethic popular in Neo-Gothic architecture. NR C

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# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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#### Cass Avenue (continued)

- Specialty store / salesroom (1948). The lower portion of this narrow-fronted, two story concrete block and stone building with flat roof contains a centrally located, recessed entrance flanked by large, storefront windows. Stone facing covers the area above. NC
- Harold A. Rhein Drugstore (1928). Art Deco; C.S. Vaugn Company, general contractors. This two story, light brick corner store measures 43' wide (along Cass Ave.) by 65' deep. The street front facades are treated similarly: a curved corner containing a recessed entrance is located on the first floor and a window on the second. The second floor contains windows placed at regular intervals. A masonry belt course divides the first and second stories and serves as a continuous sill. A second arched entrance is located on the south corner. C
- 4704 Cass Avenue Sweet Shop (1921). Commercial style; W.C. Morris, builder. This one story brick building with flat roof measures 95' along Cass Avenue and is 60' deep. The facade contains storefront windows with a brick cornice above, half of which is concealed under an awning. NC
- David MacKenzie House (1895). Queen Anne; W.H. Hollands & Sons, builder, and Malcomson & Higginbotham, architect. The most prominent feature of this considerable two and one-half story brick house is the three-quarter round turret with conical roof at the southeast corner. A porch spans the width of the first floor, above which is a three-sided bay window on the second floor. The house is surmounted on the north, east, and south with steep overhanging gables containing variations on classical Palladian windows. The roof and gable material is slate; the trim is painted wood. NR C
- First Church of Christ, Scientist (1939, 1968). Classical Revival; F. Herbert Martin Construction Co., builders. 4830 Cass is actually two buildings; the 180' wide northern section, constructed in 1939, is a one story building with classical characteristics. The facade, which faces Cass Ave., is composed of two entrances and a band of large windows shaded by an awning. The cornice has a denticulated frieze and smooth, unadorned coping. The equally wide southern building, constructed in 1968, is a modern, one story building which does not contribute to the district. C, NC
- Central High School (1895). Richardsonian Romanesque; Malcomson & Higginbotham, architect. Central High School is a massive, yellow brick, T-shaped building located on the corner of Cass Ave. and Warren. The four and one-half story building with steep gable roof includes a six story bell tower at the near base of the T. Two projections at the other end of the building form the crossbar of the T; each projection is topped by a hipped roof with a steeply pitched, gable dormer encompassing a rounded arch window. This treatment is also seen atop the bell tower. Romanesque features include rounded arch windows and decorative brick work. NR C
- Marwill Bookstore (1922). This one-story brick, L-shaped building with flat roof has been remodeled several times and has therefore lost its original historic character. Contemporary, vertical metal siding conceals the cornice level. NC

### Forest, West

Motor State Parking (1956). This building, topped by a gabled roof, is a small, one story square building now clad in artificial, brick-coat like stone and has a metal awning above its centrally placed entrance and side window. NC

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#### West Forest (continued)

- John J. Alley House (c. 1885). Queen Anne. This tall and proportionally slender brick house, built on a raised basement, is two and one-half stories in height. An entrance porch with Eastlake detailing is located on the western side of the facade with a small bracketed window hood over the second floor window and a small gabled dormer located directly above the overhang. The eastern side is composed of a two story three faceted bay with a protruding front-facing gable above. The side elevations of the house lack any ornamentation, reflecting the adjacent buildings once present on either side. C
- Automotive Electrical Service Inc. (1928). Classical Revival. This modest, one story brick building measures 94' wide (along W. Forest) by 37' deep. The narrow, West Forest facade, currently brick filled with the exception of an off-center door and two small windows, is bound by terra cotta, corner pilasters. The eastern elevation consists of nine repeating metal windows, interrupted once by a garage door opening that has also been filled in with brick. The cornice treatment is terra cotta and divided into three parts. C
- McGrath House (c. 1877). Stick/Eastlake. This two and one-half story, wood frame building of medium scale was built on a raised basement. The residence is rectangular in shape, with a facade vertically divided into two bays. The narrow, projecting bay is topped by a front-facing gable roof with unadorned verge board and supported by corbelled brackets. A recessed entrance and second story, gabled window are located to the east. The house has a cross gable towards the rear of the building. Wood siding is placed both horizontally and vertically. C
- Frank B. Clark House (1893). Queen Anne. This large, brick duplex is square in shape, measuring 41' by 41', and rises two and one-half stories above a raised basement. The facade is divided into two asymmetrically arranged halves. The central entrance bay, with double entrances flanked by pilasters with an entablature frieze, is between a slightly bowed three story bays which result in a gabled dormer with ocular window on the east and a bay with a second and third story turret with conical roof at its corner on the west. The steep, side facing gable slate roof is further interrupted over its center by a hipped roof dormer with an aedicule pushing out from its roof. C
- Joseph S. Keen House (1891). Queen Anne; Donaldson and Meier, architect. This substantial two and one-half story, Victorian brick dwelling is essentially square in shape and built on a raised stone foundation. The main facade is divided into vertical sections with a stone course at the second floor sill level. The east bay contains a recessed entrance, the center bay contains a window on each floor with a dormer above, and the west bay is a two-story curved bay topped by a front facing slate gable. The main block of the house is topped with a wide cornice with horizontal brackets and the roof is a flat-topped hip nearly a mansard. The front is covered with slate while the remaining portions are asphalt. C
- House (1892). Romanesque; A.C. Varney, architect. The three stories of this large, rectangular brick residence with narrower facade, sit atop a raised basement, with the stone foundation rising to the first floor, window sill height. The intricate facade is essentially three bays wide and consists of a broad, flat wall of brick with a low pitched gable. The east bay contains a three-story tower with conical roof. The central entrance bay is flanked by a broad, two story bay topped with a brick parapet railing. Centered in the gable of the third story is a set of three double-hung, arched windows topped with brick voussoirs. Side dormers project from the gable roof. The side elevations lack architectural ornamentation due to the close location of the adjacent buildings. C

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# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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#### West Forest (continued)

Apartments is a large, rectangular, ten story concrete building with a dominant street presence along the north side of W. Forest. Lacking ornamentation, the symmetrical facade is a mixture of architectural panels, casement windows and concrete columns. The recessed main entrance is three stories high and is supported by three square concrete columns. NC

- William L. Heaton House (1890). Queen Anne; Donaldson & Meier, architect. This relatively large yet narrow, two and one-half story brick residence was constructed on a raised basement. The simple street-front facade contains a two-story shallow, three-sided bay on the west and a double door entrance with window above on the east. The house is capped by a steep hip roof with front facing dormer, covered in slate. The eaves are wide with a broad fascia board. A two story bay is centrally located on the east elevation. C
- House (1891). Romanesque Revival; Giedon Vivier, builder. This two and one-half story residence is rectangular in shape and built of brick on a high stone foundation. The facade of this substantial house is divided into two vertical sections and dominated by the large, round arch entrance porch and front window. The left section contains the flat roofed entrance porch with second story window and third story, flat roof dormer above. The right section contains an arched window with a second story, three sided bay window and third story Palladian window centered in a gable. The steep hip roof is intersected by multiple dormers. C
- Duplex (1908). W.J. Vollmer, architect, and M.W. Beals, builder. This medium size, two story brick duplex measures 28' wide by 58' deep and is built atop a raised basement. The facade is asymmetrically arranged with two separate entrances. A tripartite, first floor window opening is slightly off center. An identical window is found to the west side of the second floor, a single window on the east with a door set well left of center. The cornice, once supported by brick corbels, is below a plain brick parapet and flat roof. A narrow cement block addition is located on the west side of the building. C
- House (1906). City & Suburban Homes Company, builder. This large, two and one-half story brick residence, measuring 32' wide by 40' deep, was built atop a raised basement. The asymmetrical facade is divided into two vertical segments. A two story bay, surmounted by a front facing gable, is located on the right. An entrance porch and dormer window are located in the other section. The roof is side gable facing. C
- Duplex (1900). Second Renaissance Revival; Joseph E. Mills, architect. This large, three story duplex is rectangular in shape, measuring 51' wide by 38' deep, and has a vertical presence. Built on a raised basement, the first floor contains a round-headed door with a round-arch hood supported on classical brackets. The second and third floors both display two windows to each unit; the outer windows on the second floor are three-sided bay windows. The duplex is capped by a substantial modillion cornice and flat roof. C
- Netherland Apartments(1912). English Domestic Revival; Pollmer & Ropes, architect. The Netherlands is a small scale, symmetrical, three story brick veneer apartment building with narrow street frontage. The facade is divided into three vertical sections with a brick front porch spanning the width of the building. The two outer bays with three story, three-sided bay windows flank the central entrance bay. The flat roof building has been altered with the removal of the original frieze beneath the cornice and the third story porch. C

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# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

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West	Forest	(continued)
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- Aronda Apartments (1912). Prairie School; Morehouse & Shanklin. Built on a raised basement, this medium size, two story brick apartment building measures 40' wide by 70' deep. The vernacular style, flat roof building has a central, two story porch with square brick piers. The central, recessed entrance bay is flanked by bowed bays containing three windows on each floor per bay. C
- Flats (c. 1905). Colonial Revival. This small, almost square brick building was built on a raised basement. The flat roof building features a wooden, two story portico on the west side connected to a two-story, multifaceted bay is located on the other end by windows. The roof is not visible above the parapet wall. C
- Robson-Dodge House (1891). Queen Anne; A.C. Varney, architect. This large, narrow fronted, rectangular residence rises three stories above a raised basement. Constructed of red brick set in Flemish bond, the asymmetrical facade is divided into two portions; the narrower is on the west, two stories high with a dormer on the third story. To the east is a rectangular, three-story bay topped by a pagoda roof with a small dormer topped by a steep hip roof. The entrance porch is topped by a front-facing gable. The residence incorporates sandstone window sills and limestone veneer facing on the basement story of the facade. The roof is side gable facing. C
- Duplex (1904). Colonial Revival; Andrew T. Carmichael. This small, two story brick duplex with flat roof measures 35' wide by 57' deep. The facade is symmetrically arranged with two porches of the lonic order. Ocular windows, with pronounced keystones, and wood-framed, three sided bay windows are in the second story. Above the modillion cornice is a parapet wall. C
- Philip T. VanZile House (1891). Queen Anne; A.C. Varney, architect. This substantial brick residence rises two and one-half stories above a raised basement. Measuring 36' wide, the asymmetrical facade is divided into two vertical sections. The two story, three sided bay on the right is topped by a front facing gable. The double door entrance on the left is sheltered by a projecting porch roof. Above, the left corner of the building is curved with a third story tower topped with a conical roof. The whole is covered by a steep hip roof with intersecting elements. C
- Rev. William H. Davis House (1891). Victorian; A.C. Varney, architect. This medium size, brick house is a simple rectangle. The facade is divided into two vertical bays. A two story, three-sided bay occupies the eastern portion of the facade. A stone and brick entrance porch with Palladian window above are located on the west. The residence is topped by a hip, slate roof with large central dormer incorporating a wide expanse of windows.
- The Thelma Apartments (1905). Colonial Revival. This medium size, two story brick four unit building was constructed on a raised foundation. Measuring 44' wide by 71' deep, the facade has been largely altered and is now clad in artificial stone. A porch spans the width of the first floor. Three sided bay windows are located on either side of the second floor, each with adjacent single windows. The roof if flat. C
- Little Holland Apartments (1908). Neo-Georgian; M.W. Beals, builder. The three stories of this brick apartment building rise above a raised basement. The rectangular building measures 26' wide by 60' deep and has a vertical appearance. The main feature of this building is the lonic columned portico extending the width and height of the building. Quoins are articulated in brick and the three-sided bay windows are set in wood frames. C

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### West Forest (continued)

- Fred W. Bourke House (1894). Colonial Revival; Rogers & MacFarlane, architects. This medium size, two and one-half story brick house is rectangular in shape. The main facade is composed of two vertical sections. On the west, the facade displays a two story semicircular bay with triple windows at both levels. The front entrance occupies the first floor of the eastern facade: an oval window is east of the door and the second floor displays a paired window. The house is topped by a side facing gable roof with two dormers. The house was renovated in 1985. C
- Hyesta Apartments (1912). Arts and Crafts; Judson Mayhew, contractor. This near square, symmetrical three story brick building with flat roof measures 50' wide by 44' deep. The facade is divided into five vertical bays: the central bay with recessed entrance has two porches above flanked by three story, three sided bays. The outer bays are flat wall surfaces with one window per floor. A parapet wall has modest stone detailing and cresting. C
- James Cleland House (1904). W.S. Pocock, builder. This medium size, two and one-half story brick building is rectangular in shape, measuring 27' wide by 36' deep. A one story, brick and cinder block addition covers the first floor of the street-facing facade. The second story, topped by a side facing gable roof, contains a three-sided bay window on the west side with a forward facing gable above and a single window on the east with a hipped dormer window above. The brick side elevations include windows with stone sills. C
- 699 Commercial Building (date unknown). This small, one story cinder block commercial building has narrow street frontage. The facade, with entrance door and covered storefront windows, is plain and surmounted by a parapet wall. The building occupies the majority of the lot. NC

#### Fourth Avenue

4626-38 Berea Tabernacle (1922). Arts and Crafts; Paul C. Kroske, architect. This square, medium scale church, faced with red brick and gray stone trim, sits atop a raised basement. The building's entrance tower is located on the corner of Fourth and West Forest. The Fourth Avenue facade displays a broad, two-level, tripartite window under a gable and centered between buttressing. The window is topped by a segmental, stone arch. Basement window are located below this window and along the north elevation with a stone, watertable above. The side and rear elevation are less developed than the facade, especially the east elevation as it originally faced an alley. C

### Hancock, West

- Commercial Building (1919). George W. Graves, architect. The facade of this large, four story reinforced concrete building is minimally set back from the street. The rectangular building, with flat roof, was altered in 1973 concealing the original with aggregate panels and casement windows. NC
- Detroit Industrial Clinic (1937). Art Moderne; Charles N. Agree. The rounded corners of this medium size, two story brick and macotta building reflect the Art Moderne style. The facade is asymmetrically arranged and unornamental, including an entrance and windows of various widths. The flat roof is also characteristic of the style. C
- George W. Loomer House (1888). Richardsonian Romanesque; A.C. Varney, architect and Lew Tuller, builder. Although small in size, the architectural features of this rectangular, two story brick and stone house are large. The house was built on a raised basement finished with rusticated stone.

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### West Hancock (continued)

The asymmetrical facade has two vertical bays: a rounded tower capped by a conical roof is located on the west and a covered entry porch with a centered round arch springing from short limestone piers is to the east. NR - C

- Commercial building (1941). International style; Misch-Gellasch Company, general contractors. This two story brick and concrete block building with narrow street frontage, measuring 40' wide by 167' deep, extends the entire depth of the lot. The facade is windowless on the first story with two windows on the second. The entrance is recessed. Additional ornamentation is in the form of string courses and a corbel table. The side elevations are treated similarly, with numerous windows on the first and second stories. C
- Mulford T. Hunter House (1894). Queen Anne; William P. Langley, builder. This two and one-half story, brick and stone residence is rectangular in shape with a narrow street-front facade. Although relatively small in size, the scale of the architectural features of this house are large. The facade is divided into two vertical bays. A round two story bay is located on the east with a gabled dormer above. A porch supported by lonic columns covers the recessed front door. An elliptical fanlight framed by a Syrian arch is located on the second story with another, smaller gabled dormer above. The original slate, side gable roof is still intact. NR C
- Stromberg Motor Devices Co. (1925). Smith, Hinchman & Grylls, architect. This two story, red brick-front commercial building is rectangular in shape, measuring 50' wide by 167' deep. The medium size building with flat roof is minimally set back from the street. The symmetrically arranged facade is divided into three bays by two story wall pilasters. The wide entrance door includes a transom and sidelights set into a masonry architrave with a cornice door hood supported by a single bracket on each side. Large storefront-like windows to its sides are grouped in threes, with transoms above on the first floor. A double window is located above the entrance and is flanked by windows grouped in threes. Stone details and an arcaded corbel table ornament the symmetrical facade. C
- American Boast Magneto Corporation (1923). Classical Revival; Howard A. Ladue, architect. The facade of this medium scale, two story brick commercial building is faced with stone and divided into three bays by two story, fluted Doric pilasters carrying a simple stone entablature. The street level windows have been replaced but still reflect the original openings. Spandrels with decorative stone work separate the first and second story. C
- San Antonio Apartments (1905). English Revival; E.C. VanLeyen. This four story, symmetrically arranged brick apartment building, measuring 36' wide by 88' deep, is constructed on a raised basement. The narrow, street-front facade of this small scale, symmetrically arranged building is divided into three vertical bays and faced with cast stone. The recessed, central entrance bay is flanked by three-sided, four story bays. Continuous cast stone sills and lintels divide the each story of the building horizontally. The roof is flat. C
- Medical office building (1957). This small, one story masonry building, measuring 32' wide by 24' deep, is typical of 1950s architecture. The facade and side elevations lack any ornamentation and consists of metal, transomed windows and a smooth undecorated cornice. NC
- Thompson Home (1884). Italianate / Second Empire; George D. Mason, architect. This four story, painted brick building sits atop a high basement, lending to the vertical appearance of the facade. The main body of the house is rectangular in shape. The impressive street-front facade

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### West Hancock (continued)

consists of a central tower with pyramidal roof flanked by projecting, three story, three-sided bays. The steeply pitched roof contains dormers above the side bays and along the sides of the house. The side elevations are similarly treated. The north elevation contains two projecting bays. NR - C

- 1st Church of Christ, Scientist (1917). Neo-Classical Revival; Field, Hinchman and Smith, architect. This large, two story rectangular brick building, with flat roof, has an impressive street presence on the corner of West Hancock and Cass Ave. Measuring 120' along W. Hancock, the north facade employs the Roman temple design with a rectangular parapet. A series of six, fluted lonic columns, flanked by two engaged half columns, support the entablature with egg and dart molding between the volutes. Seven recessed bays lie behind the plane of the colonnade, with windows on the second floor, and three doors separated by windows on the first. The two floors are separated by a belt course of running Greek meander design with a string course beneath. Extending 150' along Cass Avenue, the east side of the building is executed in the same style as the front facade: seven bays with windows divided by pilasters and separated by string courses are flanked by two wider end bays each with a doorway. NR C
- Franklin Apartments (1907). Classical Revival. This medium size, three story, flat roofed apartment building is built atop a raised basement. The approximately square brick building measures 54' wide by 56' deep. The main feature of the three vertical bay, street-front facade is the two story portico of the Roman Doric order located in the central bay which is flanked by a three and one-half story, three sided bay on each side. The front facade culminates with a modillion cornice. The cornice wraps around to the side elevations, which are similar to the facade. The roof is flat. C
- Helena Apartments (1907). Colonial Revival. This small, two story, brick faced building was built as a four-flat with two apartment units per floor. The rectangular building measures 42' wide by 52' deep. The building features a side-facing gable roof intersected on its front slope by a transverse gable. A one-story porch, with brick walls and original lonic columns, spans the width of the traverse gable. Stone window sills and lintels accentuate the window openings. C
- Renaud Annex (1905). Beaux Arts; Baxter & O'Dell, architect. The Renaud Annex, a medium size, four story apartment building, sits on a high basement. The building is rectangular in shape, measuring 53' wide by 70' deep. The symmetrically arranged facade is divided into five bays. The central entrance bay, with a staircase leading inside from the portal, is flanked by three-sided, four story bays culminating in semi-round brick pediments. Raised brick demarcates quoins at the corners of the outer bays. Beneath the cornice is a Florentine corbel table. The roof is flat. C
- Sherbrooke Apartments (1913). English Domestic Revival. This three story, buff brick apartment building is laid out in two identical halves on the corner of W. Hancock and Second Avenue. The wider street front facade, along W. Hancock, is divided into seven, narrow bays. The narrow entrance bay consists of a classical archway at entrance level and a stylized stone crest at the third story level. This bay is flanked by bays with rows of four double hung sash windows per floor culminating in a shingled frontal gable with wooden verge board and a rectangular leaded glass window. To its side is another tall, narrow recessed bay with ornamental iron balconies covered with a bracketed shed roof. At the outer corners of the front facade is another narrow, tall bay with a molded, steeply gabled parapet wall with decorative brickwork. This corner treatment is also present at the rear of the building, connected to the front by a wide bay with a series of five windows per floor, topped by a shed roof. C

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#### West Hancock (continued)

- Flats (1914). Bungalow/Craftsman; Ladue & Rahles, architect. This two and one-half story, small orange-brown brick building is rectangular in shape with narrow street frontage. The asymmetrically arranged facade features a large, semi-round brick arched porch on the eastern side of the facade with a sunroom above, composed mostly of subdivided windows. A one story, five-sided bay with multifaceted roof is adjacent to the porch, below a triple and double window. The steep gable roof is interrupted by three, evenly spaced gable roofed dormers. The side, brick elevations include various sized windows, including a three sided bay window on the second floor of the east elevation. The building houses four units. C
- House (1912). Foursquare; Charles F. Barnes, architect. This small, two story brick dwelling is essentially square, measuring 28' wide by 31' deep. An elevated, gabled entrance porch is the central focal point of the dwelling facade with square, brick porch supports and decorative woodwork above the entryway. The short, stepped brick porch railing is capped by stone; the stone detail is carried through in the window sills of the first story windows. A two story, three-sided bay adorns the east side of the facade. A single window is located on both stories on the west with a small, single window above the entrance. The hipped roof contains a wide, centrally placed dormer window. C
- WSU Physics Research Building (1976). The elevations of this three story building with flat roof primarily consist of wide bands of narrow windows flanked on either side by brick. NC
- Wellesley Apartments (1914). Neo-Georgian; Maclean Building Co. This rectangular, three story, brick apartment building with flat roof extends nearly to the rear lot line. The medium sized building, atop a raised basement, has a relatively narrow street-front facade. Light courts are located on the building's side elevations. The symmetrical front facade features a rusticated first floor, cast stone Georgian-style flat arched lintels and entranceway, and quoins framing upper level windows. C
- Hancock Apartments (1917). Neo-Georgian; Maclean Building Company. This large, H-shaped brick apartment building, with central court, rises three stories above a raised basement. A recessed, central entrance bay, featuring a balustrade beneath the second story windows and framed panels of stylized ornamentation above, connects the two halves of the building. At the feet of the "H" are the end walls comprising the front facade. Their centers are bowed, either stuccoed or painted white, and are fenestrated with double-hung sash windows with leaded glass transoms and containing a small milk glass shield. Details include quoin-like detailing around the bowed portion of the facade, the water table, and continuous sill. The side elevations are unadorned as adjacent buildings are closely situated. The roof is flat. C
- Duplex (1913). Prairie School; George V. Pottle, architect. Square in shape, this small, two story brick dwelling includes two side-by-side units. The building is on a raised foundation and features a porch which spans the width of the building, covering the two entrances. Windows are double-hung sashes grouped in pairs or a single window. The hipped roof contains two shed-dormers. C
- Evans, Winter and Hebb Advertising and Printing (1924). Spanish Colonial Revival; Frederick J. Winter, architect. This large rectangular, two story building is located on the corner of W. Warren and Anthony Wayne Drive. The building is finished in stucco and topped by both a hipped tile roof and a flat roof. A curvilinear, gabled bay centered on the southern facade contains the enriched classical door surround. Corner pavilions project slightly from the building and each contain a double-arched opening balconet with a patera above at the second story level. The Anthony Wayne Drive elevation mirrors the West Hancock facade, but with more restrained detail. C

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#### Prentis

- McCollester Hall (1917). Tudor Revival; Donaldson & Meier, architect. This two story, red brick church meeting hall and classroom building is rectangular, with narrow street frontage. As part of the First Unitarian-Universalist Church complex, the flat roof building is connected to the adjacent church and house. The symmetrical facade contains a massive, central gabled stone entrance flanked by single windows and surmounted by a bank of windows with limestone surrounds. The parapet wall forms a center gable. Stone quoins accentuate the corners of the building. NR C
- Jay W. Morrison House (1912). Prairie School. This small, rectangular, two story brick apartment building measures 28' wide by 48' deep. The asymmetrical facade features an elevated porch and balcony, with square, brick supports and brick railings with contrasting caps, which spans the width of the facade. The entrance is located on the west side and a row of three windows occupy the east portion of the first floor facade. The second story features a similar door and window arrangement. The building is capped with a hipped roof with central, flattened arch dormer. The east side features a centrally located, two story bay which protrudes from the elevation. The contrasting stone caps of the porch and floor line of the second story turn the corners onto the side elevations, tying the composition together. C
- Milton G. Wylie House (c. 1904). Foursquare. This rectangular, two story brick house with narrow street frontage is built on a raised basement. The asymmetrical facade features a raised brick course which accentuates the separation between the first and second stories. The elevated entrance, located off-center toward the east, is approached by concrete steps flanked by an iron railing. A second entrance is located at the rear of the west facade. Four windows of varying size rest on stone sills. A wooden cornice board with eaves brackets crowns the top of the facade. The hipped roof contains gabled dormers. C
- Orrington Manor (1929). Tudor Revival; Dunitz Bros., contractors. This large, four story brick and cast stone apartment building measures the full dimensions of its lot and exhibits enormous variety and interest. The basement and part of the first floor is faced in smooth cast stone, staggered at its juxtaposition with the brick. The facade is divided into four vertical sections, with the Tudor-arch, wooden, double door entrance in the center. The westernmost section of the facade resembles a four story tower; the slightly recessed section to its left is more domestic in nature, with groupings of subdivided double hung sashes and casement windows, a slate shed roofed canopy on brick corbels over the second story windows, and ogee arched motifs beneath the fourth story windows. The front slope of the roof is clad in slate: chimney pots project from a chimney over the easternmost section of the facade. The side elevations are unadorned brick, as the facade was originally the only elevation highly visible from the street. C
- Prentis Apartments (1904). Colonial Revival; E.W. Gregory, architect. The Prentis Apartments is a medium, three story, symmetrically arranged brick building measuring 61' wide by 54' deep. The facade of this building is articulated in three sections. The central section includes a two-story, Colonial portico with fluted columns. The flanking bays consist of a pair of windows per floor sharing a common lintel and sill. A denticulated molded cornice caps the flat roofed building. C
- George Emery Smith House (c. 1904). English Revival. This medium size, two and one-half story residence sits atop a raised basement. The facade is divided into two vertical bays. The western bay features a grouping of three windows on the first floor and paired window on the second, each with stone surround featuring quoins, and is topped by a steep, front gabled roof with raking verge boards and an arched window. The recessed entrance is located in eastern bay and is covered by a

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porch, supported on square, tapered columns, which wraps around to the side. A similar, paired window and gabled dormer are located above the porch. C

- Laurel Apartments (1905). Colonial Revival. This three story, small scale apartment building sits atop a slightly raised basement and measures 38' wide by 47' deep. The symmetrical facade features in its center an applied two story portico with two-story fluted Corinthian columns supporting a denticulated frieze. Windows flank the portico. The building is capped by a modillion cornice beneath the parapet wall. Slightly bowed window bays project from the side elevations. C
- David J. Epstein House (c. 1905). Tudor and Colonial Revival. This medium size, three story residence is rectangular in shape and topped by a front gabled roof. The asymmetrical facade features a porch which spans the full width of the facade. The entrance is on the east side with a large adjacent window to the west. A three-sided bay is located on the second floor above the entrance, with an adjacent triple window. The denticulated gable end includes a Palladian window. A hipped roof dormer projects from the roof slope of the side elevation. C
- Brentwood Apartments (1917). Neo-Georgian. This large, three story brick apartment building, built on a raised basement, measures 34' wide by 176' deep and occupies the entire depth of its lot. The very narrow, symmetrically arranged facade is divided into three vertical bays. The central entrance is slightly recessed within a cast stone surround with pilasters. Three sets of paired, double hung windows are above the entrance within the central bay. The outer bays contain a grouping of three windows on stone sills per floor. Cast stone squares ornament panels between the second and third floor windows. The side elevations, originally hidden from view by adjacent buildings, are brick and lack any ornamentation. C
- Marcus Apartments (c. 1911). Built on a raised basement, this small, three story brick apartment building is rectangular in shape with wide street frontage. The facade is divided into five vertical bays. The central bay features a one story (originally two story) porch, supported on square brick piers, sheltering the main entrance. Doors are located at the second and third story levels. The central bay is flanked by a three-sided, full height bay and then another flat wall surface to the corners. The cornice of this flat roof building has been removed. The side, brick elevations are unadorned as they are nearly invisible from the street. C
- Erdel Apartments (1905). Neo-Georgian. The Erdel is a three story, medium size brick building on a raised basement. The rectangular building measures 38' wide by 50' deep. The symmetrical facade features a wide, two story tall portico and flat roof. The central entrance door is flanked with sidelights and a transom is above. Similar windows are located on the second and third floors. Stone sills and lintels frame the windows. Additional architectural features include a modillion cornice and brick corner quoins. C
- Dubois Apartments (1916). Neo-Georgian; Apartment Construction Company. The Dubois Apartments, a large rectangular building with side light courts and narrow street frontage, occupies most of its lot. The four story building rises above a raised basement. Each story is accentuated by a cast stone belt course at window sill level. The facade is divided into five vertical bays; the central entrance bay is flanked by four story, three sided bays with triple windows per floor and narrow outer bays with a single window per floor. The windows are highlighted with cast stone keystones and corner decorations. A cartouche is centrally located within the third floor. A simple box cornice with

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#### Prentis (continued)

entablature crowns the flat roofed building. The stone belt course continues around to the side elevations, which are similarly treated. C

- House (1904). This medium size, rectangular, two story brick house exhibits characteristics of the vernacular Arts and Crafts, English Domestic Revival, and Prairie styles. The simple, asymmetrical facade has two entrances; the western entrance is covered by a gabled porch with missing columns and the eastern one is through a narrow archway. A central, three-sided bay window is in-between. A single and paired window occupy the second story. A hipped roof dormer occupies the center of the front slope of the main hipped roof. C
- Waldorf Apartments (1923). Neo-Georgian; R. Siversky & Co., builders. This three story, large brick apartment building, atop a highly raised basement, extends the entire depth of its lot. The building, with overall measurements of 50' wide by 180' deep, has four rectangular sections forming three light courts. The symmetrically arranged, simple facade contains a central entrance surmounted by flat, pilaster-like arrangements. From the outer bays to the center, single, double and then triple window arrangements are located respectively. On the first floor and central bay, the fenestration is framed by Colonial-style, wooden units composed of pilasters, sills on consoles, triangular pediments, and pineapple-like motifs at the corners. The original cornice has been removed. C
- Fox House (1904). Prairie School; A.R. Forrester. This small, two story brick building, with raised basement, was divided into two flats. The rectangular building, with narrower street frontage, is topped by a shallow hipped roof and overhanging eaves. The facade is divided into two vertical bays. A three-sided, two story bay is to the west and a two story porch with double wooden columns is to the recessed, east side. C
- 651-5 Emerins-Silberman Double House (1905). Arts & Crafts; Henwood & Brown, builders. This small, two story brick duplex measures 43' wide by 34' deep. The symmetrically arranged facade features identical halves; adjacent two story, three-sided bays are capped by a parapet wall and small rounded pediments. The porches to the outer sides of the bay windows are supported on slender columns resting on porch walls. Brick detailing beneath the cornice takes the form of a running band of X's. C
- Rosemary Apartments (1916). Late 19th & 20th Century Revival style with Arts & Crafts; Victor & Lipshitz, builders. Measuring 34' wide by 91' deep, this two story, medium size brick apartment building contains an slightly off-center light court toward the front of the building. The building is built atop a rusticated, raised basement and topped by a flat roof. The symmetrically arranged facade is vertically divided into three sections. The recessed central bay contains the entrance which is surrounded by a cast stone archway; a large window is above in the second story. The central bay is flanked by two story, square bays containing a set of three windows per floor. Above the cornice is a parapet wall with a rectangular pediment over the central bay and semiround pediments over the squared bay portions of the facade. C
- Villa Lante (1916). Italian Renaissance Revival; Richard H. Marr, architect. Constructed on a high stone-faced basement with semiround arched door openings and squared windows, this three story light brick, symmetrically arranged building measures 38' wide by 118' deep. The facade is divided into five bays. The central bay contains a semiround, classically framed stone entrance with a cast

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iron railing above at second story level and a cast stone cartouche at third story level. Groupings of three windows per floor flank the entrance bay and single windows per floor are located in the outer bays. A bracketed cornice crowns the facade with a bracketed cornice supporting a shallow tiled roof slope. C

- Two-flat (1915). This small, two-story brick building, built atop a raised basement, is rectangular in shape with narrower street frontage. The asymmetrical facade contains three bays: the two story, three sided, central bay with square dormer, above in the hipped roof, is flanked on the west by a first floor entrance and on the east by a first floor entrance and second story door. The original porch and balcony on the east side have been removed. C
- Two-flat (1909). English Domestic Revival with Arts & Crafts; Williams Brothers, architects, and Morgan W. Beals, builder. This small, two story brick building with narrow street frontage is rectangular in shape. The primarily symmetrical facade, divided into two vertical bays, features a porch on brick piers with a wooden modillion cornice that extends the full width of the first floor. Second story windows include two single windows in the west bay and a triple window in the east, both with cast stone lintels. The facade culminates in a metal cornice, with decorative detail and brackets, and a parapet wall above. The roof is flat. C
- House (1913). Prairie School. This small, two story, light colored brick residence, built atop a raised basement, measures 26' wide by 28' deep. The asymmetrically arranged facade, divided into two vertical bays, contains a slightly off-center entrance sheltered by a porch. A single window is to the east and repeated in the second story. A two story, three-sided bay surmounted by a shallow gable is to the west. The roof is hipped. C
- 678-82 Two-flat (1909). English Domestic Revival; Williams Brothers, architects, and Morgan W. Beals, builder. This small and rectangular, two story building with narrow street frontage is built on a slightly raised basement. The asymmetrically arranged facade, divided into two vertical bays, features a porch which extends the full width of the first floor. Second story windows include two single windows in the west bay and a triple window in the east. The facade culminates with a metal cornice with decorative detail and brackets near its corners, and a parapet wall above. The roof is flat. C
- Franzen Apartments (1916). Neo-Georgian; Richard H. Marr, architect. This medium size, four story brick building rises above a raised basement. The tall building has narrow street frontage and measures 38' wide by 99' deep. The symmetrically arranged facade is divided into three vertical sections. A stylized Colonial portico surrounds the central entrance. A small window is located on each floor of the central bay, which is flanked by four story, three-sided square bays containing a triple window per floor. A pediment spans the width of the flat roof building and decorative stonework adds interest to the facade. C

#### Second Avenue

House (1880). Queen Anne; Miles A. Smith, builder. This medium size, two and one-half story frame house is rectangular with narrow street frontage. The house was built on a raised basement and features a steep side-facing gable roof, with hipped roof dormer over the front section of the house and a mansard over the back. The asymmetrical front facade is divided into two bays; the south side is occupied by a two story three-sided bay while the north half is occupied by a recessed two story porch and a flat wall surface with one window per floor. A diaper pattern brick frieze is

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#### Second Avenue (continued)

located beneath the bracketed roof eaves. The south elevation features irregular fenestration and a three-sided bay window on the first floor. C

- Cassel Hotel (1917). Neo-Federal; Fred Swirskey, architect. This small, three story brick apartment building on raised basement measures 32' wide by 100' deep and extends the full depth of its lot. The symmetrical facade is vertically divided into three bays. The central bay, containing a double-door entrance, s flanked by slightly projecting, identical bays with two windows per floor. Stone trim, a large patera surmounted by a stylized volute, wreath and swag motifs below the parapet, and stylized rosette-like blocks beneath the windows add classical detail to the building. The side brick elevations are unadorned as they were originally invisible from the street due to adjacent buildings. C
- Ford Motor Truck Company (1920). This medium size, one story brick service station originally measured 76' wide by 114' deep. The building has expanded north. The facade of this flat roof building is arcaded (each now filled by brick) and ornamented with cast stone coping, pilaster or wall buttress tops, string courses, and the characteristic small diamond shapes above the arcading. C
- Harry W. Kanouse Building (1918). Commercial style; Baxter, O'Dell & Halpin, architect. This one story, brick-faced building, containing a garage at the south and four storefronts to the north, is located on the corner of Second Avenue and Prentis. The center storefront facade on Second Avenue retains some of the original commercial detailing. A molded cornice, at the base of the parapet, runs the length of the Second and Prentis facades, with the exception of the corner. At the ends of the facade and at the corner, the parapet wall steps up and there are small indented rectangular details running horizontally below the coping stones. The roof is flat. C
- House (1883). High Victorian Eclectic; A.C. Varney, architect. This rectangular, three story brick house on a high basement has narrow street frontage. The facade is articulated in two halves; the north contains the original porch over the entrance and windows, with cast stone sills and details, and the south contains a three-sided, two story bay. The mansard roof, with a slightly sloping shingled front, contains two gabled dormers and flat sides as the side walls of the house rise three stories. C
- S & S Grocery (1921). This one story brick commercial building with corner location is rectangular in shape, with narrow street frontage along Second Avenue. Possibly an addition to the adjacent house, the flat roof building has been altered with the application of artificial stone and covering of original window arrangements. The only detail is in the form of raised brick. C
- Biltmore Apartments (1915). Classical Revival; C.E. Shippey, architect. This medium size, four story brick apartment measures 70' along Second Avenue and 115' along Prentis. Both elevations appear to undulate due to the repetition of four story, three-sided bays of windows; the outer bays and central bay protrude from the Second Avenue facade. The first floor has a rusticated appearance and fluted pilasters surmount the arched cast stone entrances on both Second Avenue and Prentis elevations. The cornice has been removed from this flat roofed building. C
- Store (1941). Henry Kohner Inc., architect. This one story cement block and brick store with narrow street frontage measures 45' wide by 110' deep. The smooth facade is horizontally divided by a band of windows spanning the width of the building. The main entrance is located at the far west side of the south facade. NC

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### Second Avenue (continued)

- Avonroy Apartments (1907). Colonial Revival; Edwin W. Gregory, architect. Built on a raised basement, this three story, brick apartment building with flat roof measures 41' wide by 78' wide. The symmetrical facade is divided into three vertical bays; the most prominent feature being the two story porch. Square brick piers on the porch walls of the first floor support the second story balustraded porch with Doric columns. Single windows are located on the first floor of the outer bays with paired windows in the upper two floors. Two single windows are located above the porch in the central bay of the third floor. The denticulated, modillion cornice wraps around to the side elevations, terminating at a bowed window section. The side elevations are utilitarian as the facade is the only portion on the building truly visible from the street. C
- Forest Apartments (1905). Jacobethan Revival; Baxter & O'Dell, architect. This richly detailed, large scale, symmetrically arranged four story red and yellow apartment building, built on a raised basement, is configured with a central block that is set back and two (north and south) wings. The building measures 160' along Second Avenue and 115' along West Forest. The central arched entrance within the central block exhibits decorative column capitals, figural reliefs in the spandrels, cartouches, and a shell-like niche above its cornice. Red and yellow brick alternate at the corners of bays, creating a quoin or stripe effect. The perimeter of the flat roof is lined by crenelations, curvilinear pediments, and small domes with projections in the central recessed section. C
- Rosalie Flats (1905). Elizabethan Revival; Baxter & O'Dell, architect. The three stories of this small, brick, apartment building rise above a slightly raised basement. The rectangular building measures 34' wide by 80' deep. The narrow facade is divided into three vertical bays, the central one containing the entrance. A shed like roof slopes downward over the front porch between curvilinear shaped tops of square brick porch piers. There is one window per face in the three-sided bays flanking the central bay. The roof is flat. C
- James McEldowney House (1893). Dietrich Bros., masons. Once a two story dwelling facing Second Avenue, this house has been majorly altered with the removal of the second story. The building is divided into three sections, the middle section with a long row of windows is recessed. NC
- 4709-11 Hollenden Apartments (1911). Classical Revival; Pollmer & Ropes, architect. This large, three story, flat roof apartment building, with narrow street frontage along Second Avenue, sits atop a raised basement. The building is rectangular in shape, with irregular light courts on the north side of the building. The symmetrically arranged elevations feature detail in raised brick, such as quoins and framed panels. Two entrances, one on each main elevation, are set within stone archways. A cast stone water table, belt course beneath the second story windows, and decorative, double string course arrangement above the third story windows run horizontally along both major facades. Windows are generally grouped in threes. The molded cornice with decorative frieze is capped with a segmentally arched pediment above the two entrance bays. C
- 4727-29 LaBelle Apartments (1912). Neo-Georgian; Baxter, O'Dell, & Halpin; architect. This three story brick, small scale apartment building with raised basement is symmetrically arranged and measures 72' wide by 53' deep. The building is U-shaped due to a light court on the building's west side. Brick is used for the rusticated base and quoins at the corners of the front facade: cast stone continuous sills act as belt courses running the length of the facade. A cast stone, molded flat arch, with a cartouche as its keystone, frames the original double door arrangement, above which are French doors with iron balconies at the second and third story levels. C

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### Second Avenue (continued)

- 4741-43 Winthrop Apartments (1908). Neo-Georgian. This three story, flat roof, light brown brick building with slightly raised basement measures 51' wide by 58' deep. The symmetrical facade is vertically divided into three bays. The central entrance has a cast stone surround with fluted pilasters and an entablature frieze with triglyphs and metopes. Fenestration is regularly arranged and generally consists of double hung sashes with cast stone sills and flat arched lintels with pronounced keystones. The windows in the outer bays are grouped in threes and are slightly bowed. C
- Touraine Apartments (1906). Neo-Georgian; Baxter & O'Dell, architect. This three story, brick apartment building on raised basement had overall measurements of 65' wide by 80' deep when built; an addition was later added to the rear of the flat roof building. Buff brick is utilized at the foundation level to imply smooth and rusticated stone and also on the upper stories to imply elements such as the pilasters of the outer and central bays. Red brick is used on the areas that project or recede from the seemingly applied elements. The facade of this building, topped by a modillion cornice and flat roof, is divided into five bays; the central entrance bay with one window per floor is flanked by three story, three sided bays. The outer bays are identical to the center bay. The utilitarian side elevations include light wells and projecting bays. C
- Renaud Apartments (1903). Beaux Arts; Baxter & O'Dell, architect. The Renaud Apartments is a four story, medium size brick building on "rusticated" raised basement measuring 60' along Second Ave. and 70' along W. Hancock. The symmetrically arranged, street front elevations are divided into vertical bays; both containing multiple four story, three sided bays. The Second Avenue facade contains a central entrance with stone surround lavished with Classical detailing reminiscent of a triumphal arch flanked by three-sided bays topped by semi-round brick pediments. The flat roof on the street-front elevations is lined by a balustrade and cornice, under which is a frieze with the name RENAUD flanked by cartouches on the main facade. C
- William A. Butler House (1894 / 1915 addition). Colonial Revival; Chapman & Frazer, architects (Boston) / Baxter & O'Dell, architects (addition). This large, rectangular, two and one-half story red brick building sits on a high, brown sandstone foundation, and features a cylindrical corner tower topped by a conical roof at the corner of Second Avenue and West Hancock. The brickwork of the first story is common bond with headers laid every sixth course; the brickwork of the second story is Flemish cross. The main roof is hipped and surrounded by a wooden modillioned cornice. Dormers, with triangular pediments, and chimneys project from the roof. The asymmetrically arranged, street-front elevations feature various windows including: a Palladian window on the north side, triangular pedimental dormers on each side, with the exception of one semicircular dormer with a shell motif on the south side, a large bay window with wooden entablature on the south side, another window on the east side with a Georgian style balustrade above, and various size, double hung windows. In the northeast corner a recessed porch, leading to the doorway, lies behind three unornamented brick arches. C
- Charles Day House (1894). Romanesque Revival; J.E. Boomer, builder. This medium size, two and one-half story house on raised foundation is rectangular in shape, with a narrow facade, and asymmetrically arranged. Heavy stone finishes the basement and first floor. The facade is vertically divided into two halves. The north half includes a recessed entrance, a single second story window, and a dormer window with a carved wooden gable. The south half features large windows on both stories and a brick gable dormer with a heavy entablature with returns, which interrupts the front face of the side facing gable roof. C

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#### Second Avenue (continued)

- Frederick A. Smith House (1894). Richardsonian Romanesque; J.E. Boomer, builder. This medium size, two and one-half story brick house on raised basement is rectangular in shape with narrower facade. Coursed rough stone faces the basement and first story levels. A side facing gable roof tops the building. The asymmetrical facade is divided into two halves. The three story, multifaceted tower on the south half is topped by a conical roof and features arched window on the first floor and single windows with stone sills and lintels on the second and third floor. The northern half contains an arched entrance and stone porch under a single window on the second floor and dormer with pyramidal roof. C
- Pioneer Apartments (1916). Beaux Arts / Neo-Georgian; Fidler Brothers, builder. The main facade of this large, three story flat roofed brick building with high basement is on Second Avenue; its secondary elevation is on West Warren. Each facade contains a series of three story, square bays with enclosed porches, culminating in a parapet wall topped by a semi-round pediment with a cross motif inset. The stone water table and extended window sills and lintels balance the verticality of the vertical bays with enclosed porches. A triple set of windows occupy the front face of each bay, while the side faces have a double set on one side and a single window on the other. C

#### Third Avenue

- Arthur H. McCloud House (1889). C.W. Shippey, builder. The original, two and one-half story, rectangular brick house of medium size, with front facing gable roof, appears to have Queen Anne influences identified by the fish-scaled shingle gable with a square attic window embellished with large brackets. The two story brick addition, added to the front during the 1940s by the Primitive Baptist Church, includes an triple-arched parapet and Colonial style arched windows. C
- Beethoven Apartments (1921). Tudor Revival; M.H. Finkel, architect. This medium size, four story brick apartment building measures 57' wide by 120' deep. The building sits on a tall, raised basement of white stucco which contains storefront windows and central entrance composed of a pair of doors within a Tudor arch. Above which, in the central bay of the five-bay facade, is a small windows with stone surround between the second and third floors and a double window on the fourth floor. The bays flanking the central bay include groupings of three windows; the first story windows have a stone surround and the upper two rest on stone sills. The outer bays are similar, yet with groupings of two windows. A parapet wall with a central crest tops the flat roof building. C
- 4632-40 Store (1924). Commercial style. This medium size, one story, brick and tile commercial building is rectangular in shape, with wide street frontage along Third Ave. and narrow frontage along West Forest. The street-front elevations are comprised of repeating bays. Cast stone, classical pilasters separate the individual bays, except along Third where the pilasters have been removed to create large openings for storefronts. Arched detail panels top the pilasters with tiled panels filling the spaces over the storefronts; however, nothing of the original storefronts remain. The roof is flat. C
- Store (1921). This medium size, one story, flat roof, brick and tile commercial building originally measured 80' along Third Ave. and 50 along West Forest. The building has been considerably altered with the application of inappropriate siding materials and a corner, shed roof over the entrance. NC

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#### Third Avenue (continued)

- Store (1941). Moderne. This two story, asymmetrically arranged, concrete building with brick facing has been considerably altered from the original design which included 1940s style storefront windows. The first floor of the medium size building has since been covered with vertical wood siding, except for clerestory window (not original openings), and two doors. A second story addition consists of narrow bands of windows above three staggered courses of raised brick at the outer edges of the front facade. A cornice with refined detail is just below the flat roof line. NC
- Apartment building flats (1914). Craftsman; Thomas Sharpe, builder. This medium size, two and one-half story, brick apartment building is rectangular in shape with wide street frontage and sits on a raised basement. The symmetrical facade includes a central, three story porch with brick piers on brick porch walls. The recessed entrance is flanked by three story, shallow three-sided bays, containing a single window per face per floor, with a partial conical roof projecting above the roof eaves on either side. A hipped roofed dormer projects from the lower slope of the half-hipped roof on the side elevations. C
- 4742-54 Apartment building terrace (1913). Colonial Revival / Craftsman; A.C. Wood Realty Company. This two story brick terrace building, containing nine units, is located on the corner of Third Ave. and W. Hancock. Although large in overall mass, the building is relatively small in scale. In plan, the building is L-shaped. The two-color brick is laid to create a diagonal striped pattern. Each unit has a two-story rounded bay of windows. The corner unit has its own Colonial Revival porch with lonic column capitals and a pedimental gable supported on brick porch walls; the other eight units are paired to share similar porches. Above the molded cornice is a parapet wall with cast stone cresting and open hole designs above the rounded bays. C
- Clarendon Apartments (1914). Neo-Georgian Revival; Walter S. Vivier, contractor. Almost square in plan, this medium size, three story brick apartment building sits on a raised basement. Brick is used to imitate rustication on its first story by recessing every sixth course and to provide quoins at its corners and voussoirs framing the second and third story windows. The symmetrically arranged facade is divided into five bays. The central entrance bay is flanked by bays with groupings of three windows per floor with a decorative, diamond pattern laid in tile between the second and third story windows, and a keystone above the third story windows. The outer bays contain a single window per floor. A modillion cornice tops the flat roof building. The side elevations feature a three sided bay. C
- Apartment building flats (1907). English Revival / Craftsman; William H. Pocock, builder. This medium size, brick, two story apartment building on raised basement is rectangular in shape with narrow street frontage along Third Ave. and wide frontage along W. Warren. The building is topped by a steeply pitched, gable roof, with simple barge board, bracketed corners and overhanging eaves, that is Craftsman in character. The Warren facade features two, three story, three-sided bays; the third story with pedimental gable rises through the roof. The two main elevations contain an entrance with brick walls supporting square brick piers and a flat roof. Fenestration is generally single, double-hung windows with stone sills and lintels. The attic window on the Third Ave. elevation is a three-sided, shallow bay. C

### Warren, West

Detroit Community Fund (1926). Neo-Romanesque. This large, four story, brick office building with flat roof is rectangular in plan, with narrow street frontage along W. Warren. The symmetrical facade is vertically divided into five bays by brick wall pilasters that rise above the first story to the eaves.

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#### West Warren (continued)

Each bay contains a pair of windows on the upper three floors. The first floor is highlighted by semicircular arched door and window openings and horizontal, concrete bands, which alternate with brick, and divide the facade into five bays containing a pair of windows per bay. C

- Children's Aid Society (1931). Arts & Crafts; Albert Kahn, architect. This large two story, brick building measures 136' wide by 142' deep. In plan, the building is a three-sided square with a courtyard in the middle. The street-front facade is a horizontally emphasized U-shape composed of a recessed central entrance bay flanked by outer bays containing horizontal rows of industrial style windows in groups of five. Raised brick rows flanking the windows and flat brick above and below the second story windows creates textural and coloristic interest. The building is topped by a hip roof with original gray slate. C
- Hadley Hall Apartments (1922). Elizabethan; I.M. Lewis. This large three story, brick apartment building sits atop a raised basement and measures 110' wide by 149' deep. In plan, the building is U-shaped with a recessed central courtyard. The central entrance bay is flanked by buttressed, three story porch bays with slate covered gables of parapet walls rising above the roof line. The roof is a combination of front and side gables. Cast stone trim is limited to cresting outlining the silhouette of the building, buttress ends, and the shields at the first story of the gabled porch bays. C
- Central High Apartments (1916). Arts & Crafts. This medium size, three story, brick apartment building atop a raised basement is rectangular in shape, with narrow street frontage along W. Warren. The symmetrical facade is divided into three vertical bays. The central entrance bay is flanked by two story, projecting square sections that most likely contained open porches in their original form. The openings on the front facade now contain two double hung sash windows. A green tile frieze is located below a non-original cornice. The roof is flat. C

#### Woodward Avenue

- Blessed & Son Meat & Grocery Store (1915). Second Renaissance Revival; W.S. Pocock, builder. This two story brick, reinforced concrete and steel building consists of four bays on Woodward Ave., measuring 60' wide, and six bays along Forest Ave., measuring 100' wide. The bays are divided by brick, Doric pilasters that extend the full two stories. The first floor of the two street-front elevations, covered with an aggregate board, originally consisted of a brick bulkhead and transom windows. The entrance has a Colonial style surround. The original metal cornice has been replaced. C
- Detroit Police Department (1946). International Style; Banbrook, Gwon & Company, contractors. Constructed of brick and concrete block, this medium-size, two story building with attached garage measures 174' wide along Woodward Avenue and 127' wide along W. Hancock. The asymmetrical elevations contain elements indicative of the International Style including flat roof tops, large expanses of windows, cantilevered horizontal surfaces, and absence of ornamental detail. C
- Goodrich Building (1913). Chicago style; Albert Kahn & Associates, architect. This medium size, three story, reinforced concrete building, clad with brick, is rectangular in plan with narrower street frontage. The first floor of the building was recently covered with a concrete skin with architectural detailing on the first floor piers. The building is vertically divided into five bays across the Woodward Ave. facade and eight bays along Hancock Avenue. Dark spandrels at the second story level along with the light tile and ornamentation on the legs of the arch make the arched openings above the

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### Woodward (continued)

third story more prominent. The second and third stories contain one grouping of windows per bay. C

- 4823-39 Hayward Building (1914). Smith, Hinchman & Grylls, architect. This three story brick building with flat roof has been altered by the application of brick to the first floor and metal siding to the upper facade. Original detail at the cornice level has been removed. NC
- Flanders Building (1912). Commercial style; Albert Kahn, architect. This reinforced concrete and brick, commercial building with flat roof is L-shape in plan, with wide street presence along both Woodward Ave. and W. Warren. The facade is now covered with a metal facade. The second story has sixteen bays of narrow steel casement windows. C

-	Statement of Significance cable National Register Criteria	Areas of Significance
(Mark ")	onal Register Isting.)	(Enter categories from instructions)
<u>x</u> A	made a significant contribution to the broad	ARCHITECTURE
	patterns of history.	SOCIAL HISTORY
_ B	Property is associated with the live of persons significant in our past.	COMMUNITY PLANNING & DEVELOPMENT
<u>x</u> C	Property embodies the distinctive characteristics of a a type, period, or method of construction or represents the work of a master, or possesses high artistic	
	values, or represents a significant and distinguishable entity whose components lack individual distinction.	Period of Significance
D	Droporty has yielded as in likely to yield information	1877 - 1946
_ D	Property has yielded, or is likely to yield, information important in prehistory or history.	
	ia Considerations " in all the boxes that apply.)	Significant Dates
(IVIAIR A	and the boxes that apply.)	N/A
_ A	owned by a religious institution or used for religious purposes.	
в	removed from its original location.	Significant Person (Complete if Criterion B is marked above)
_ c	a birthplace or grave.	
D	a cemetery.	N/A
Е	a reconstructed building, object, or structure.	Cultural Affiliation
		N/A
F	a commemorative property.	
G	less than 50 years of age or achieved significance within the past 50 years.	Architect / Builder
		ARCH: A.C. Varney, Donaldson & Meier, Baxter & O'Dell
		BLDR: Morgan W. Beals, William S. Pocock (cont.)
Narrat	ive Statement of Significance	
	the significance of the property on one or more continuation shee	ets.
9.	Major Bibliographical Reference	
Biblio	graphy	
(Cite the	books, articles, and other sources used in preparing this form on one or more	continuation streets.
	us documentation on file (NPS):	
	oreliminary determination of individual listing (36 CFR 67) has been requested.	Primary location of additional data: x State Historic Preservation Office
F	previously listed in the National Register	Other State agency
	previously determined eligible by the National Register designated a National Historic Landmark	Federal agency Local government
r	ecorded by Historic American Buildings	Local government University
5	Survey #:	Other
'F	ecorded by Historic American Engineering Record #:	Specify repository:

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### ARCHITECTS / BUILDERS

Architects

Agree, Charles N.
Barnes, Charles F.
Baxter, O'Dell & Halpin
Carmichael, Andrew T.
Chapman & Frazer

Field, Hinchman & Smith Finkel, M.H. Forrester, A.R.

Graves, George W. Gregory, Edwin W. Henry Kroner Inc.

Kahn, Albert

Kahn, Albert & Associates Kessler, William & Associates

Ladue, Howard A. Ladue & Rahles

Lane, Davenport & Peterson Malcomson & Higginbotham

Marr, Richard. H.
Mason, George D.
Mills, Joseph E.
Morehouse & Shanklin

Pollmar & Ropes Pottle, George V. Rogers & MacFarlane

Scott, John Shippey, C.E. Smith, Miles A.

Smith, Hinchman & Grylls

Swirskey, Fred VanLeyen, E.C. Vollmer, W.J. Williams Brothers Winter, Frederick J. Builders

**Apartment Construction Company** 

Boomer, J.E.

City & Suburban Homes Company

Dietrich Brothers (masons)

Fidler Brothers
Henwood & Brown
Hollands, W.H., & Sons
Langley, William P.

Maclean Building Company

Martin, F. Herbert, Construction Company

Morris, W.C.

Scholls, Martin, & Son Sharpe, Thomas Shippey, C.W.

Siversky, R., Company

Victor & Lipshitz

Wood, A.C., Realty Company

**General Contractors** 

Banbrook, Gwon & Company

Dunitz Brothers Mayhew, Judson

Misch-Gellasch Company

Vaugn, C.S., Company

Vivier, Walter S.

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#### NARRATIVE STATEMENT OF SIGNIFICANCE

The Warren-Prentis Historic District represents one of the last, largely intact neighborhoods of upper and upper-middle class, late nineteenth and early twentieth century housing in Detroit. The historic district was home to a number of leading Detroit industrialists and businessmen, as the Warren-Prentis Historic District was the place to which the first wave of upper and upper-middle class professionals moved from the city in the late 1800s. These residents commissioned many of the leading architects of the time to design their residences and the following wealth of early twentieth century apartment housing and apartment buildings. The mostly intact, building composition of the Warren-Prentis Historic District, which also includes commercial, institutional, religious and other types of buildings as well as vacant land, best reflects the area's developmental history of rapid growth, intensification of land use and sudden decline following the Great Depression.

Land included in the Warren-Prentis Historic District was originally known as the Park Lots, the Cass Farm, and the Jones / Crane Farm, all of which were subdivided in a consistent manner into generous size lots. The initial division of property into long, narrow ribbons, fronting on the Detroit River and extending back several miles, followed the lank ownership patterns established by the French settlers in the 18th century. The Park Lots are located between Woodward and Cass avenues and were sold at auction to the highest bidders in 1807. The Cass Farm, located between Cass and Third, was initially subdivided by Lewis Cass during the 1860s and later by his family in the 1870s. The Jones / Crane Farm, located between Third and the alley west of Fourth, was initially owned by DeGarmo Jones, a former Mayor of Detroit, and later came into the possession of Flavius J.B. Crane. The farm was platted in the 1850s. The area west of Third was subdivided into much smaller lots, with a corresponding change in demographics.

It was due to technological advances and the growth of Detroit during the 1860s as well as the generous lot size, that the Warren-Prentis Historic District became an accessible and popular area for development. The development of the streetcar lines along Woodward Avenue (which extended to present day Alexandrine by October 1863) and Third Avenue (which extended to present day Hancock by October 1873) facilitated faster and more accessible transportation to Warren-Prentis Historic District, located in Detroit's first streetcar suburb. It was also during this time that the city of Detroit was rapidly growing with the new industrial opportunities created by technology. In turn, this new growth and technological advancements brought with them an expanded wealthy professional class. It was this class who chose to escape the pollution, noise, crime, and overcrowding in the cities by moving to the "suburbs."

This move to the "suburbs" created the first wave of development in the Warren-Prentis Historic District. New development consisted primarily of single family dwellings built by the upper and upper-middle class professionals between 1880 and 1895. Many of Detroit's leading businessmen and their families commissioned the well-known Detroit architects to design impressive houses, which in turn showcased their new wealth. Some of these Detroit professionals included: William A. Butler, Jr., a prominent Detroit banker; John F. Dodge, an auto magnate and co-founder of Dodge Brothers automobile company; David MacKenzie, the principal of Central High School; William C. Boydell, the vice president and treasurer of the Boydell Brothers White Lead and Color Company - a major national producer of paints, oils, etc.; George Loomer, lumber dealer; Charles Day, a partner in the chair manufacturing firm of Smith, Day and Company; Frederick A. Smith, broker with Steel, Smith & Company; and Perry MacAdow, a society man who made his wealth mining Montana gold.

A most notable architects of single family residences in the Warren-Prentis Historic District were Almon Clother Varney and Donaldson and Meier. All houses designed by the architects in the district were in the Late Victorian styles, as it was the popular aesthetic of the day. Varney designed six houses, two each in the Romanesque, Queen Ann, and Victorian Eclectic styles and Donaldson and Meier designed two houses in the Queen Anne style.

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As apartment style living became popular in the late 1880s, the construction of duplexes and small scale apartments soared while single family construction nearly ceased. Again, the wealthy invested in this area and building numerous small scale apartment buildings, and commissioned the best architects in Detroit to design their buildings. The most notable architect was Baxter and O'Dell. The firm designed six apartment building in revival styles including Beaux Arts, Jacobethan, Elizabethan, and Neo-Georgian. Pollmar and Ropes designed two buildings in the English Domestic Revival and Classical Revival styles.

At the turn of the century, the composition of the Warren-Prentis Historic District began to change as commercial and industrial development - mainly auto related - increased throughout Detroit and within the district, intensifying the use of land. The Warren-Prentis Historic District became a prime area in which to house the rapidly expanding auto-industry and working class population in the early 1900s due to the district's proximity to automobile production, inner-city transportation routes, and the ample size and depth of the lots required by larger, high-density apartment development. In addition to the larger scale apartment buildings constructed to meet the needs of this burgeoning population, single family dwellings were converted into duplexes and flats while the small-scale apartment buildings were further subdivided.

Commercial development also expanded in the Warren-Prentis Historic District due to the automotive industry and increasing population of the Cass Farm area. Five of the fourteen contributing commercial and industrial buildings were specifically developed in response to the automotive industry, including auto repair and service shops, parts suppliers, and garages. Commercial buildings were located initially on the north-south streets and later began to fill in on the east-west side streets as zoning did not preclude businesses from doing so. Commercial and industrial construction, at it's peak from 1915 to 1930, all but ended as the Great Depression wrecked economic havoc on Detroit and the Warren-Prentis Historic District. The district experienced a period of steady decline from 1930 until 1945.

The Warren-Prentis Historic District best reflects the growth and development of the Cass Farm area because the majority of the pre-1930s building stock remains. The buildings reflect the district's expansion from an upper-class suburb into an upper-middle-class residential area with more intensive development of small apartment buildings, and finally, in the 1910s and 1920s, into a middle- and working-class residential area with far more intensive apartment house development reflecting the burgeoning growth of the city fueled by the automobile industry. During this period of development, new buildings and land uses were incorporated into the district, filling in the land not yet developed and demolishing various buildings to make way for new uses. The decline of the district, which began in the Depression years of the 1930s, is also evidenced by the various dilapidated buildings and vacant land within the district.

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United States Department of the Interior National Park Service

### NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 9 Page 1

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Permit #196, March 16, 1883.

Permit #903, June 25, 1890.

Permit #502, April 1, 1891.

Permit #510, April 2, 1891.

Permit #511, April 2, 1891.

Permit #512, April 2, 1891.

Permit #1054, June 15, 1891.

Permit #1666, September 9, 1891.

Permit #833, June 1, 1892.

Permit #498, April 3, 1893.

Permit #557, April 10, 1893.

Permit #476, May 10, 1894.

Permit #742, August 20, 1895.

Permit #848, November 2, 1900.

Permit #1436, October 6, 1903.

Permit #1079, August 6, 1904.

Permit #1100, August 10, 1904.

Permit #1210, August 25, 1904.

Permit #1700, November 15, 1904.

Permit #1704, November 16, 1904.

Permit #1720, March 3, 1905.

Permit #256, March 20, 1905.

Permit #262, March 21, 1905.

Permit #457, April 12, 1905.

Permit #516, April 18, 1905.

Permit #1555, August 29, 1905.

Permit #2110, November 17, 1905.

Permit #2103. November 16, 1905.

Permit #936, May 11, 1906.

Permit #2599, October 23, 1906.

Permit #1708, June 19, 1907.

Permit #1996, July 15, 1907.

Permit #1995, July 16, 1907.

Permit #2130, July 26, 1907.

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## NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 9 Page 2

Permit #658, April 7, 1908.

Permit #2215, October 22, 1908.

Permit #2326, November 6, 1908.

Permit #2746, December 31, 1908.

Permit #350, March 5, 1909.

Permit #1988, June 5, 1911.

Permit #4690, December 27, 1911.

Permit #111, January 24, 1912.

Permit #802, April 10, 1912.

Permit #2929, July 27, 1912.

Permit #2987, July 30, 1912.

Permit #5218, December 3, 1912.

Permit #5447, December 23, 1912.

Permit #5471, December 26, 1912.

Permit #7381, April 29, 1913.

Permit #9207, 1913.

Permit #11977, December 12, 1913.

Permit #141, January 19, 1914.

Permit #750, March 16, 1914.

Permit #1029, March 30, 1914.

Permit #4410, September 8, 1914.

Permit #5734, January 18, 1915.

Permit #7548, May 8, 1915.

Permit #11049, October 26, 1915.

Permit #11892, December 8, 1915.

Permit #4210, June 10, 1916.

Permit #738, February 25, 1916.

Permit #892, March 6, 1916.

Permit #1711, April 7, 1916.

Permit #1776, April 10, 1916.

Permit #11059A, May 15, 1916

Permit #7479, September 6, 1916.

Permit #8431, September 27, 1916.

Permit #11645, December 19, 1916.

Permit #11746, December 28, 1916.

Permit #11807, December 30, 1916.

Permit #19415, November 11, 1917.

Permit #8583, May 29, 1919.

Permit #3219, April 8, 1920.

Permit #14081, January 3, 1921.

Permit #15862, March 17, 1921.

Permit #16826, April 8, 1921.

Permit #32760, October 7, 1921.

Permit #24374, October 24, 1921.

Permit #10773A, November 26, 1921.

Permit #31734, May 26, 1922

Permit #15119A, September 19, 1922.

Permit #41441, October 31, 1922.

Permit #4625, March 30, 1923.

Permit #23276, November 2, 1923.

Permit #23819, November 12, 1923.

(8-86)

NPS Form 10-900a OMB No. 1024-0018

United States Department of the Interior National Park Service

### NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 9 Page 3

Permit #66422, June 9, 1925.

Permit #22233A, November 13, 1925.

Permit #19577, October 12, 1926.

Permit #39363, January 10, 1928.

Permit #49642, September 8, 1928.

Permit #52360, October 27, 1928.

Permit #18677, October 29, 1934.

Permit #19287, December 5, 1934.

Permit #49876, May 26, 1937.

Permit #50453, June 8, 1937.

Permit #58344, November 22, 1937

Permit #22377, August 30, 1939.

Permit #49281, October 29, 1940.

Permit #52452, December 31, 1940.

Permit #57346, April 1, 1941.

Permit #64656, June 24, 1941.

Permit #43691, October 13, 1944.

Permit #26309, May 17, 1946.

Permit #36312, November 22, 1946.

Permit #46403, June 10, 1947.

Permit #28490, September 22, 1948.

Permit #37552, October 3, 1950.

Permit #68621, February 15, 1952.

Permit #81993, September 20, 1956.

Permit #937, October 8, 1957.

Permit #2541, December 21, 1966.

Permit #23120, June 17, 1968.

Permit #13116, November 6, 1983.

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Permit #49410, June 17, 1988.

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United States Department of the Interior National Park Service

### NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 9 Page 1

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Wayne County Registrar of Deeds, Tract Index.

#### 10. Geographical Data

54

### Acreage of property: approximately 320 acres

#### **UTM References**

(Place additional UTM references on a continuation sheet.)

1	17	329360	4690970	3	17	330060	4691020
	Zone	Easting	Northing		Zone	Easting	Northing
2	17	329960	4691230	4	17	329440	4690690
	Zone	Easting	Northing		Zone	Easting	Northing

#### **Verbal Boundary Description**

(Describe the boundaries of the property on a continuation sheet.)

#### **Boundary Justification**

(Explain why the boundaries were selected on a continuation sheet.)

#### 11. Form Prepared by

#### Gretchen Griner, Associate

Detroit city or town	Michigan state	48226 zip code	
Dehueit	MC-LC	40000	
street & number	telephone		
422 West Congress, Suite 320	(313) 963-1410		
organization	date		
Zachary and Associates, Inc.	February, 1997		

### **Additional Documentation**

Submit the following items with the completed form:

#### **Continuation Sheets**

Maps

NI/A

A USGS map (7.5 or 15 minute series) indicating the property's location.

A Sketch map for historic districts and properties having large acreage or numerous resources.

#### **Photographs**

Representative black and white photographs of the property.

#### Additional items

(Check with the SHPO or FPO for any additional items)

### **Property Owner**

(Complete this item at the request of SHPO or FPO.)

14/2 (	
name	
N/A	
street & number	
N/A	N/A

N/A		N/A
street & number		telephone
N/A	N/A	N/A
city or town	state	zip code

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.)

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Projects (1024-0018), Washington, DC 20503.

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United States Department of the Interior National Park Service

## NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Section 10 Page 1

#### VERBAL BOUNDARY DESCRIPTION

Beginning at the intersection of the centerlines of West Warren and Woodward Avenues, thence proceeding south along the centerline of Woodward Avenue to its intersection with the centerline of West Forest; thence west along the centerline of West Forest to the eastern property line of 119-21 West Forest extended northwards and southwards; thence south along said extended property line to its intersection with the south property line of 4614 Cass Avenue extended eastward and westward; thence west along said extended south property line to its intersection with the centerline of Cass Avenue; thence south along the centerline of Cass Avenue to its intersection with the centerline of Prentis: thence west along the centerline of Prentis to the centerline of the north-south alley at the rear of the properties on the west side of Cass Avenue; thence south along the centerline of said alley to its intersection with the northern property boundary, extended eastwards and westwards, of 4425 Cass Avenue; thence east along said extended property line to its intersection with the centerline of Cass Avenue; thence south along the centerline of Cass Avenue to its intersection with the southern property boundary, extended eastwards and westwards, of 4425 Cass Avenue; thence west along said extended property line to its intersection with the centerline of the north-south alley at the rear of the properties on the west side of Cass Avenue; thence south along the centerline of said alley to its intersection with the centerline of West Canfield; thence west along the centerline of West Canfield to its intersection with the west property line. extended northwards and southwards, of 460 West Canfield; thence north along said extended property line to its intersection with the centerline of the east-west alley between Canfield and Prentis; thence west along the centerline of said alley to its intersection with the north-south alley located behind the properties on the east side of Second Avenue; thence south along the centerline of said alley to its intersection with the centerline of the east-west alley to the south of 4428 Second; thence west along the centerline, extended westwards, of said alley to its intersection with the centerline of Second Avenue; thence north along the centerline of Second to the centerline of the east-west alley between West Canfield and Prentis; thence west along the centerline of said alley, extended westwards, to its intersection with the centerline of Third Avenue; thence north along centerline of Third Avenue to its intersection with the southerly property line, extended east and west, of 4626-38 Fourth; thence west along said extended property line to its intersection with the centerline of Fourth; thence north along the centerline of Fourth to its intersection with the centerline of West Forest; thence east along the centerline of West Forest to its intersection with the centerline of Third; thence north along the centerline of Third to the centerline of West Hancock, now vacated; thence west along the centerline of vacated West Hancock to its intersection with the centerline of vacated Fourth Avenue; thence north along the centerline of vacated Fourth Avenue to the centerline of West Warren; thence east along the centerline of West Warren to the point of beginning.

#### **BOUNDARY JUSTIFICATION**

The boundaries were selected to encompass a district of significant, late nineteenth century and early twentieth century residential, industrial, educational, and commercial buildings while excluding vacant land and new construction where possible. Warren was chosen as the northern boundary because the character north of Warren, on the campus of Wayne State University, is not compatible with the district. The eastern boundary gerrymanders in order to exclude vacant land. The southern boundary was selected to avoid vacant land and borders the northern boundary of the National Register listed, West Canfield Historic District. The western boundary along Third Avenue was selected to include two contributing buildings on the west side of Third Avenue and exclude two housing development constructed after the 1970s.

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United States Department of the Interior National Park Service

### NATIONAL REGISTER OF HISTORIC PLACES **CONTINUATION SHEET**

Additional Documentation - Page 1

Negative #: 3-8

Photographs of the Warren-Prentis Historic District					
Photo #	Description				
1	South side of W. Warren Ave., looking west from Cass Avenue: Warrne-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 University Cultural Center Association (UCCA) South side of West Warren Ave., looking west from Cass, including 4835 Cass and 4863 Second Negative #: 3 -4				
2	West side of the 4700 and 4800 blocks of Woodward Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA West side of Woodward Avenue including 4711, 4747, 4809, 4823-9 and 4847-63 Woodward. Negative #: 2-6				
3	South side of W. Hancock between Woodward Avenue and Cass Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA South side of West Hancock including 51, 71, 77 and 95 West Hancock. Negative #: 2-7				
4	Central High School / Old Main (4835 Cass): Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA Southeast corner of Central High School on the corner of West Hancock and Cass Avenue. Negative #: 2-8				
5	West side of the 4700 block of Cass Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA West side of Cass Avenue including the Hillberry Theater (4743 Cass) and the David MacKenzie House (4735 Cass).				

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## NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Negative #: 2-13

Additional Documentation - Page 2

Photographs of the Warren-Prentis Historic District (continued)

Photographs of the Warren-Prentis Historic District (continued)		
Photo #	Description	
6	West side of the 4700 block of Second Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA West side of Second Avenue including 4727-9, 4741-3 and 4811 Second. Negative #: 3-5	
7	South side of the 600 block of West Hancock: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA South side of West Hancock including 633, 641, 653 and 665 West Hancock. Negative #: 2-9	
8	South side of the 600 block of West Forest: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA South side of West Forest including 681, 665-6, 661, 647-51, 641 and 633 West Forest. Negative #: 2-11	
9	South side of the 400 block of West Forest: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA South side of West Forest including 493, 477, 469, 461, 453, 445 and 437 West Forest. Negative #: 2-12	
10	First Unitarian-Universalist Church (4605-13 Cass): Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA Northeast corner of the First Unitarian-Universalist Church on the corner of West Forest and Cass Avenue.	

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United States Department of the Interior National Park Service

## NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Additional Documentation - Page 3

Photographs of the Warren-Prentis Historic District (continued)

	,
Photo #	Description
11	North side of the 400 block of Prentis: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA North side of Prentis including 436, 444 and 460 Prentis. Negative #: 2-14
12	West side of the 4600 block of Second Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA West side of Second Avenue including 4609, 4625 and 4709-11 Second. Negative #: 2-16
13	North side of the 600 block of Prentis: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA North side of Prentis including 632-4, 640-2, 648 and 656 Prentis. Negative #: 2-17
15	East side of the 4700 block of Third Avenue: Warren-Prentis Historic District Detroit, Wayne County, Michigan Gretchen Griner February 11, 1997 UCCA East side of Third Avenue including 4700, 4718, 4732, and 4742-54 Third. Negative #: 3-6

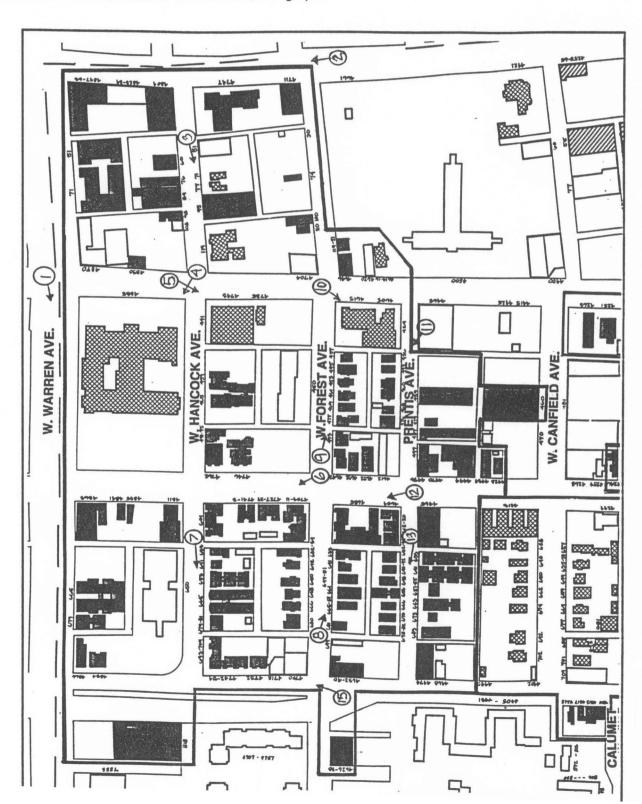
NPS Form 10-900a (8-86)

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## NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Additional Documentation - Page 4

Warren-Prentis Historic District - Location of Photographs



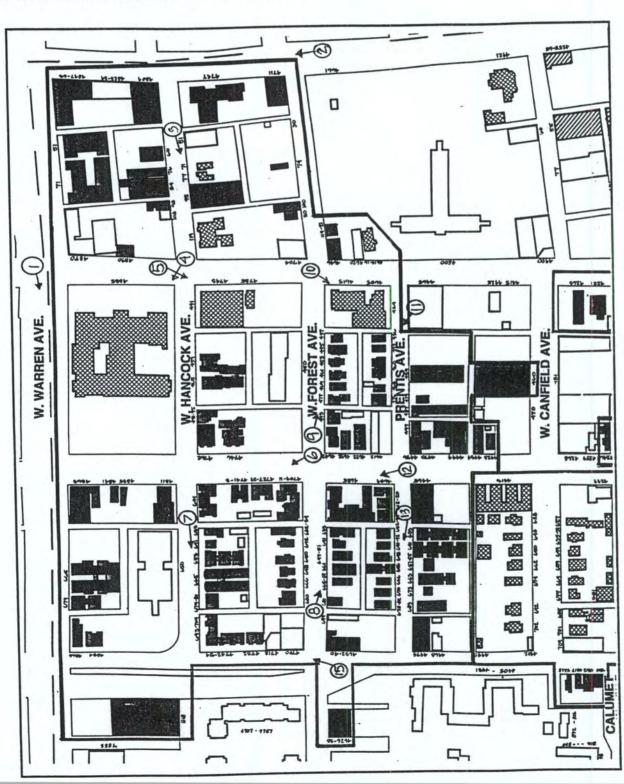
NPS Form 10-900a (8-86)

United States Department of the Interior National Park Service

# NATIONAL REGISTER OF HISTORIC PLACES CONTINUATION SHEET

Additional Documentation - Page 4

Warren-Prentis Historic District - Location of Photographs



REQUESTED ACTION: NOMINATION

PROPERTY Warren--Prentis Historic District

### UNITED STATES DEPARTMENT OF THE INTERIOR NATIONAL PARK SERVICE

## NATIONAL REGISTER OF HISTORIC PLACES EVALUATION/RETURN SHEET

NAME:
MULTIPLE Cass Farm MPS NAME:
STATE & COUNTY: MICHIGAN, Wayne
DATE RECEIVED: 10/31/97 DATE OF PENDING LIST: 11/13/97 DATE OF 16TH DAY: 11/29/97 DATE OF 45TH DAY: 12/15/97 DATE OF WEEKLY LIST:
REFERENCE NUMBER: 97001477
NOMINATOR: STATE
REASONS FOR REVIEW:
APPEAL: N DATA PROBLEM: N LANDSCAPE: N LESS THAN 50 YEARS: N OTHER: N PDIL: N PERIOD: N PROGRAM UNAPPROVED: N REQUEST: N SAMPLE: N SLR DRAFT: N NATIONAL: N
COMMENT WAIVER: N
ACCEPT RETURN REJECT 12/1/97 DATE
ABSTRACT/SUMMARY COMMENTS:
RECOM./CRITERIA
REVIEWER DISCIPLINE
TELEPHONE DATE
DOCUMENTATION see attached comments Y/N see attached SLR Y/N



S. SIDE WARREN, LOOKING W. FROM CASS, DETROIT, WAYNE, MI



W. SIDE 4700 + 4800 BLOCK WOODHARD - DETROIT, WAYNE, MI



5. SIDE W. HANCOCK BILL HOODHARD & CASS - DETROIT, WAYNE, MI



CENTRAL HIGH SCHOOL - DETROIT, WATHE, MI



W. SIDE 4700 BLOCK CASS- DETROIT, WAYNE, MI



W. SIDE OF 4100 BLOCK OF SECOND - DETROIT, WAYNE, MI



S. SIDE GOO BLOCK W. HANCOCK - DETROIT, WAYNE, MI

### **REPORT**



S. SIDE GOO BLOCK W. FOREST - DETROIT, WAYNE, MI



5. SIDE 400 BLOCK H. FOREST - DETROIT, WAYNE, MI

### **REPORT**



FIRST UNITARIAN-UNIVERSALIST CH. - DETROIT, WAYNE, MI



N. SIDE 400 BLOCK PRENTIS - DETROIT, WAYNE, MI

### **REPORT**



W. SIDE OF 4600 BLOCK SECOND - DETROIT, WATNE, MI



N. SIDE GOO BLOCK PRENTIS - DETROIT, WAYNE, MI



E. SIDE 4700 BLOCK THIRD - DETROIT, WAYNE, MI

A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

the boundaries of the National or

State reservations shown on this map

Red tint indicates areas in which only landmark buildings are shown



#### STATE OF MICHIGAN



# CANDICE S. MILLER, Secretary of State MICHIGAN DEPARTMENT OF STATE

LANSING, MICHIGAN 48918-0001

STATE HISTORIC PRESERVATION OFFICE
Michigan Historical Center
717 West Allegan Street
Lansing, Michigan 48918-1800

October 23, 1997

Ms. Carol D. Shull, Keeper National Register of Historic Places National Park Service U. S. Department of the Interior P. O. Box 37127 Washington, D. C. 20013-7127

Dear Ms. Shull:

Enclosed are national register nomination materials for the Warren-Prentis Historic District in Detroit, Wayne County, Michigan. This nomination is part of the Cass Farm Multiple Property Nomination.

This property is being submitted for <u>listing</u> in the national register. All letters of objection or other written comments concerning this nomination submitted to us prior to the submission of this nomination to you are enclosed.

Questions concerning this nomination may be directed to Robert O. Christensen, National Register Coordinator (517/335-2719).

Sincerely yours,

John R. Halsey

State Historic Preservation Officer

JRH:roc



### Marwil Book Co.

Cass & Warren Avenue Detroit, Mich. 48201 832-3078

SEF - 4

August 25, 1997

Mr. Robert Christensen National Registor Coordinator 717 W. Allegan St. Lansing, MI 48918

Dear sir:

We would be pleased to be included in the National Register, but the property is located in Detroit, not West Bloomfield, as mentioned in the first line of the letter sent by John R. Halsey on Aug. 18,1997.

Thank you for your consideration.

Sincerely yours,

Milton S.Marwil 6340 Drakeshire

W.Bloomfield, MI 48322