

STAFF REPORT 10-09-2019 REGULAR MEETING
APPLICATION NUMBER: 19-6452
ADDRESS: 634 SELDEN STREET
HISTORIC DISTRICT: WILLIS SELDEN
APPLICANT: ANTHONY MAJC
DATE OF COMPLETE APPLICATION: 09-23-2019
STAFF SITE VISIT: 09-25-2019

PREPARED BY: A. PHILLIPS

SCOPE: GENERAL REHABILITATION -- SIGNAGE & EXTERIOR PATIO

EXISTING CONDITIONS

The building located at 634 Selden Street is a 2-story commercial structure constructed ca. 1920 as a butter factory and creamery for the Blue Valley Creamery. The steel structure is clad in variegated red brick and features cast stone detailing. The south/front façade (Selden Street) of the building includes double hung divided light windows at the first and second floors. The primary entrance to the building is located at the west edge of the front elevation. The west/side façade of the building is not visible as it abuts the adjacent building. The east/side (Redmond Plaza) currently has seven window openings of varying widths at the second floor only. The only existing masonry opening at the first floor is a wide person door located toward the rear of the elevation. A parapet surrounds the flat roof of the structure.



PROPOSAL

With the current proposal, the applicant is seeking the Commission's approval **to perform a general rehabilitation of the building per the attached drawings and application.** Included in the proposal are the following scope items:

- **South/Front Elevation**

- **Signage**

- 24' x 4' building-mounted sign to be centered on the elevation between first and second floors. The sign will be "reverse lit" channel letters on a black aluminum frame background.
- Blade sign to be located at the eastern edge of the elevation and mounted so the bottom of the sign falls 13' above grade. The sign is to be 10"-12"D x ~8'H x 18" – ~3'W and constructed of aluminum per the attached drawings. The "CONDADO" portion of the sign will contain red push through letters on a black aluminum background. The red letters will be internally illuminated and the perimeter of the sign will contain a border of individual light bulbs. The "Tacos" portion of the sign will include

digitally printed acrylic which will be internally illuminated. The red arrow portion of the sign will include red acrylic faces and be internally illuminated.

- **East/Plaza Side Elevation**

- (1) New masonry opening (~7'W x 7'H) for pedestrian entrance and side light at south end of elevation including:
 - Black metal canopy/signage to finish 9' above grade – Size: 8'-9"W x 1'-10"H x 3'-6"D
 - Sign to be externally illuminated by (2) new black metal gooseneck lamps
 - The lower portion of the sign will be internally illuminated.
 - (2) new up/down light wall sconces located on either side of door/side light
 - New black aluminum storefront door and side light window
 - New 5' x 5' frost slab in front of door
- (2) New masonry openings (~16' x 10') for (2) new overhead doors with clear tempered glass panels and black frames
- (1) New masonry opening (~3'W x 7'H) for second pedestrian entrance toward north end of elevation. Similar to pedestrian door listed above, a new 5' x 5' frost slab is proposed in front of the door. The finish of the door will match that of the pedestrian door listed above.
- New 10'W x 60'L concrete dining patio including:
 - (4) 6" square black light posts (10'-4" in height) and associated concrete footings
 - String lights (non-blinking, clear lamps @ 12" O.C.) around perimeter of patio between light posts
 - 3' high black metal railing, graphic panels (logo), gate posts and gates around the perimeter of patio and associated concrete footings.
 - New patio furniture (tables and chairs)

STAFF OBSERVATIONS & RESEARCH

- The side yard (location of proposed patio) is visible from right-of-way

ISSUES

- The blade sign, as proposed, does not meet the **Historic District Commission's Signs and Awning Guidelines**—specifically as it relates to the illumination method(s), color, and material (acrylic).

RECOMMENDATION

It is staff's opinion that the work, as proposed, does not destroy historic materials that characterize the historic building, its site, and setting. Staff therefore recommends that the Commission approve a Certificate of Appropriateness for the work as proposed as it meets the Secretary of the Interior's Standards for Rehabilitation

9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



Brown Ministries

Westwill Apartments

The Children's Center

Garden Theater

W Canfield St

John C Lodge Service Dr

Calumet St

4th St

3rd Ave

2nd Ave

Slows To Go

W Alexandrine St

Selden St

Max M. and W. S. Fisher Music

Four Tops

Blossoms

El Moore Lodge & Residences

Sfumato Fragrances

The Old Miami

Detroit School of Arts High School

St. Patrick Parish

West Willis Park

Gus's World Famous Fried Chicken

Rainer Court Apartments

SheWolf Pastificio & Bar

Advance Plumbing & Heating Supply

Orchestra Place Apartments

Temptations Dr

W Willis St

4th St

W Alexandrine St

3rd Ave

Selden Standard

Honest John's

Selden St

Woodbridge Senior Village

Woodbridge Estates

City Sculpture Park

Finn Apartments

634 Selden Street

University of Detroit

The Hamilton Midtown Detroit

Contours Ln

John C Lodge Service Dr

Frank St

Selden St

3rd Ave

Campus Collision

Brainard Apartments

Parsons St

Davenport St

Martha Reeves Dr

John C Lodge Fwy

Selden St

3rd Ave

Jumbo's Bar

Brainard Street Social Club

The Hub of Detroit

Wick Park

Selden St

John C Lodge Service Dr

Third Ave. Hardware

Google

Midtown Place Apartments

Ocelot Print Shop

Davenport St

Chesterfield Apartments

Kings Arms

King Jr Blvd

Cass Ave

Stimson St



City Sculpture Park

Gus's World Famous Fried Chicken

Cinema Detroit

Mario's

Rainer Court Apartments

El Moore Lodge & Residences

Finn Apartments

Sfumato Fragrances

Smith & Co

634 Selden Street

Ladder 20 Squad 2 Medic 6

Campus Collision

Jumbo's Bar

Honest John's

SheWolf Pastificio & B...

Google



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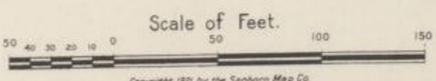
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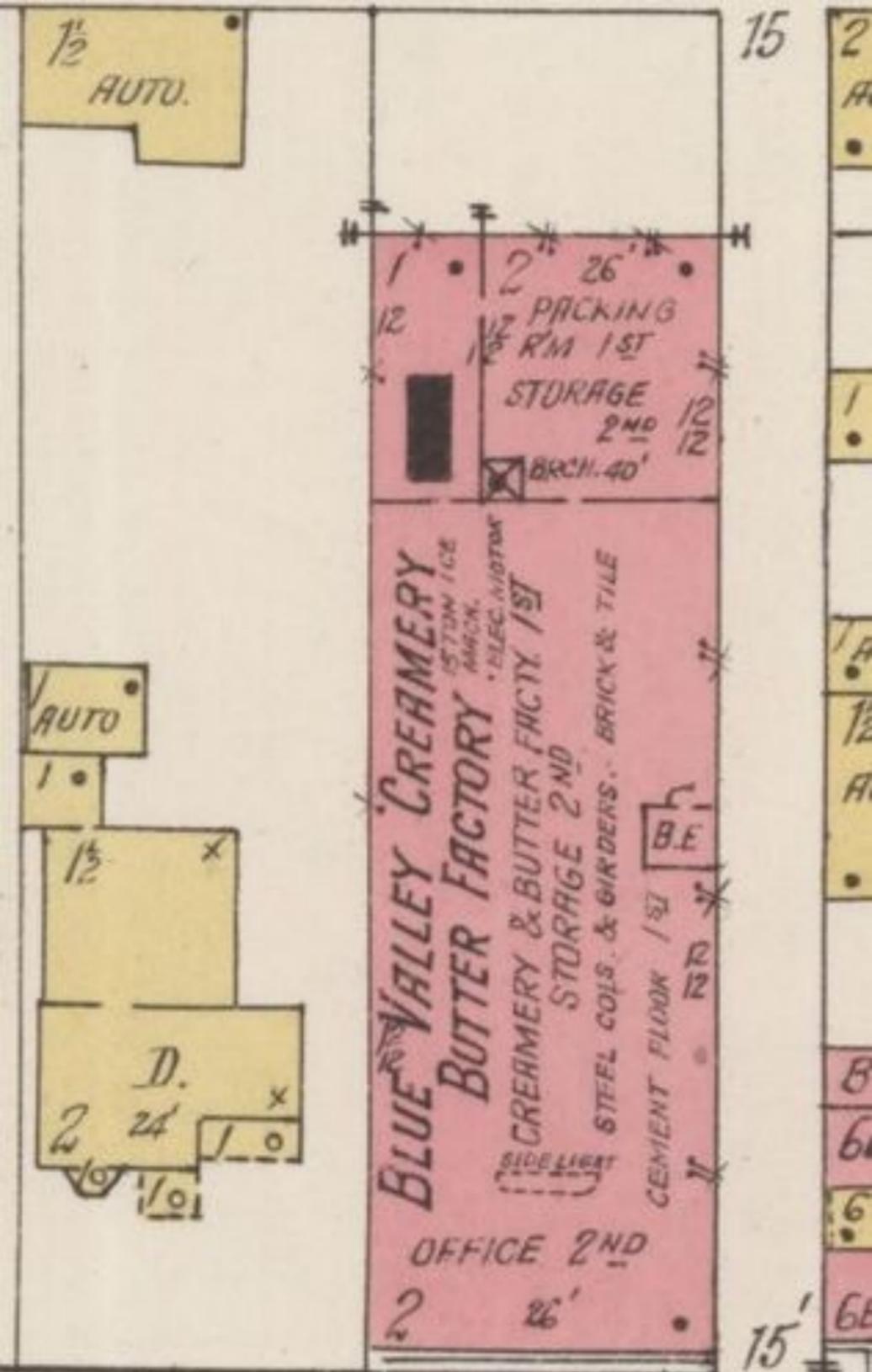
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 Geography and Map Division
 Library of Congress



644
172

636
170

634
168

NO WATCHMAN - POWER &
 LIGHTS: ELEC. - HEAT: STEAM
 FUEL: COAL - NO FIRE HPPS.



APPLICANT PHOTO



APPLICANT PHOTO



SUPPLY &
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DHP 2962
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APPLICANT PHOTO



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APPLICANT PHOTO



August 21, 2019

Condado Taco -
634 Selden Street
Detroit, Mich. 48201

Historical Committee Review

The following is an overview of the proposed updates to the existing building at this address.

Work at this location consists of tenant improvements to an existing vacant tenant space in an existing building currently being remodeled by the owner and located in the Willis Selden Historical District.

Interior Improvements for a new Restaurant Tenant include:

- New interior non-load bearing walls
- New interior Plumbing/Electrical/HVAC systems
- New interior finishes
- New interior furnishings
- New interior Plumbing/Electrical fixtures
- New Sprinkler and Alarm System

Exterior Improvements include:

- 2 new man doors, 2 new OH doors and 1 window added to the Secondary elevation (east wall) to connect interior and exterior dining areas
- new dining patio at the east elevation
- 4 new patio lightposts(with stringlights)
- new patio railings (black metal)
- new patio furniture
- 1 new entrance canopy with cut out lettering signage (black metal)
- 1 new blade blade sign at south east corner
- 1 new LED reverse lit channel letter on aluminum frame sign on Primary elevation (south wall)
- 2 new gooseneck and 2 new wall sconce lights at entrance

Thank you,
Sue Zala

RSA Architects LLC
10 N. Main Street Chagrin Falls, Ohio 44022

ARCHITECTURE

PLANNING

INTERIORS

Telephone:440.247.3990 Fax:440.247.3285 Email:mail@rsaarchitects.com Url:www.rsaarchitects.com



AL-5602-0



SKU: N/A

Categories: [Outdoor](#), [Outdoor Chairs & Barstools](#), [Outdoor Quick Ship](#), [Quick Ship](#)

Tag: [Summer](#)

ADDITIONAL INFORMATION

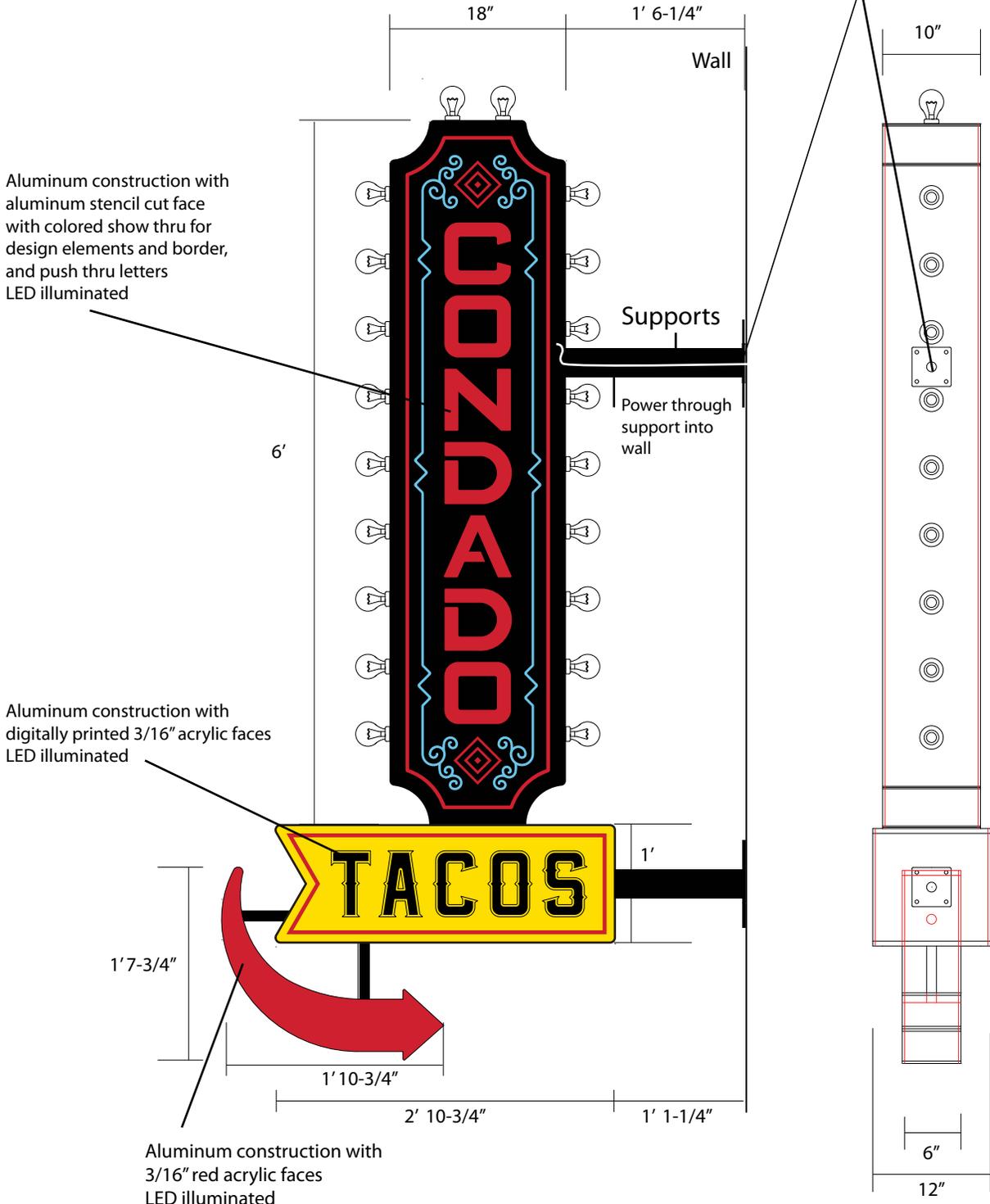
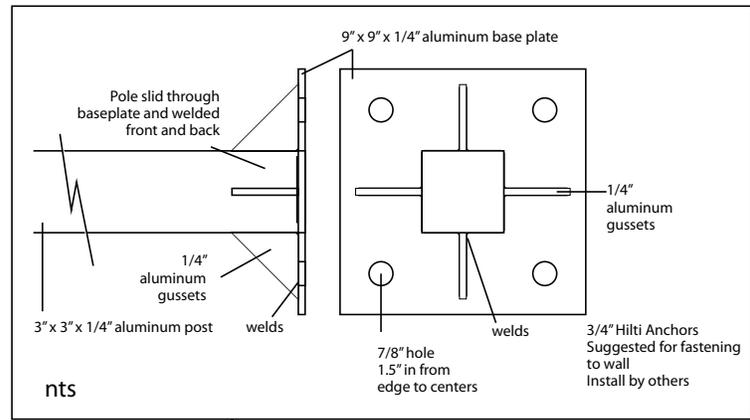
Construction	Powder coated aluminum frame / Faux teak back and seats
Overall Height (in)	33
Overall Width (in)	19
Overall Depth (in)	21.5
Seat Height (in)	17
Seat Width (in)	16.5
Seat Depth (in)	16.5
Frame Colors	Anthracite, Black, Gray, Silver, Taupe
Seat Colors	Faux Teak, Gray Faux Teak
Combinations (Frame/Seat or Inlay)	[Anthracite / Faux Teak], [Black / Faux Teak, Gray Faux Teak], [Gray / Gray Faux Teak], [Silver / Faux Teak], [Silver / Gray Faux Teak], [Taupe / Faux Teak]
Weight (lb)	10
Stackable	Yes

REPORT Blade Sign

ELECTRICAL NOTES

Sign Company DOES NOT provide primary electrical to sign. Power to the sign must be done by a licensed electrical contractor or licensed electrician. Each sign must have:

1. A minimum of one dedicated 120V 20A circuit
2. Junction box installed within 6 feet of sign
3. Three wires: Line, Ground, Neutral



Aluminum construction with aluminum stencil cut face with colored show thru for design elements and border, and push thru letters LED illuminated

Aluminum construction with digitally printed 3/16\"/>

Aluminum construction with 3/16\"/>

CUSTOMER APPROVAL: _____ DATE: _____	PROJECT: Condado
Distribution or exhibition of this design other than personnel of your company is expressly forbidden under stated agreement. In the event that such an exhibition should occur, Precision Sign and Awning will be compensated for a minimum of \$300 up to 15% of the proposed project.	W/O# _____ DATE: 8/21/19
3 GLASS ST. CARNEGIE, PA 15106 412.278.0400 FAX 412.278.4040. precisionsignandawning.com	SALESPERSON: Melissa Morrow SCALE: 3/4" = 1'

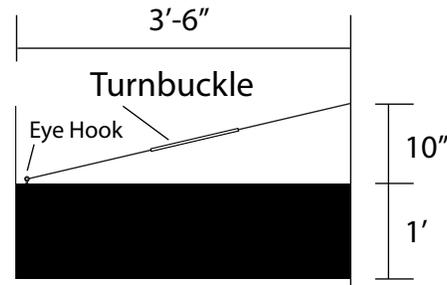


Canopy



Front View

Routed to shape 1/8" aluminum with stencil cut letters backed up with white acrylic

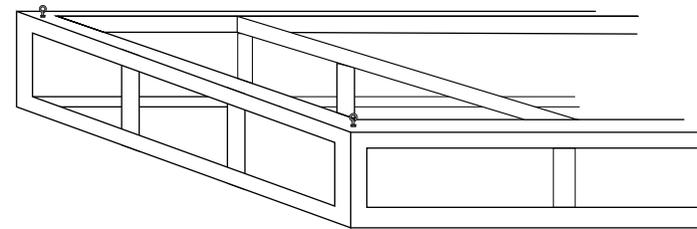


Side View

1/2" holes provided in back of sign for fastening to wall
Install by others



Top View



2" x 2" x 1/4" aluminum angle skeleton frame, skinned with painted 1/8" aluminum
Internally illuminated with LEDs, translucent white acrylic on top and bottom

CUSTOMER APPROVAL: _____ DATE: _____

Distribution or exhibition of this design other than personnel of your company is expressly forbidden under stated agreement. In the event that such an exhibition should occur, Precision Sign and Awning will be compensated for a minimum of \$300 up to 15% of the proposed project.

PROJECT: Condado	
W/O#	DATE: 8/21/19
SALESPERSON: Melissa Morrow	SCALE: 1/2" = 1'

3 GLASS ST. CARNEGIE, PA 15106 412.278.0400 FAX 412.278.4040. precisionsignandawning.com

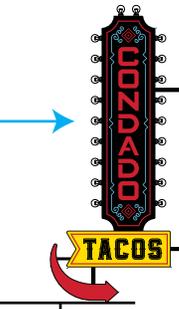


A Full Service Sign Company

29' - 0" PARAPET
28' - 0" UPPER ROOF

Blade Sign

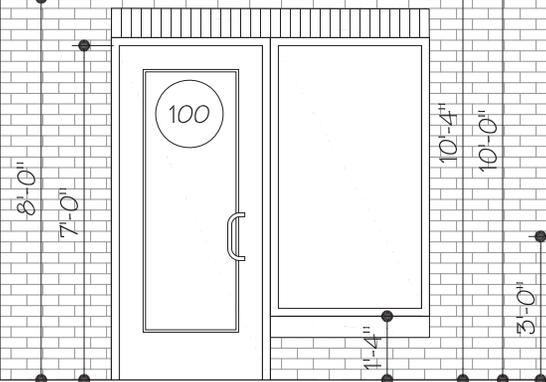
Canopy



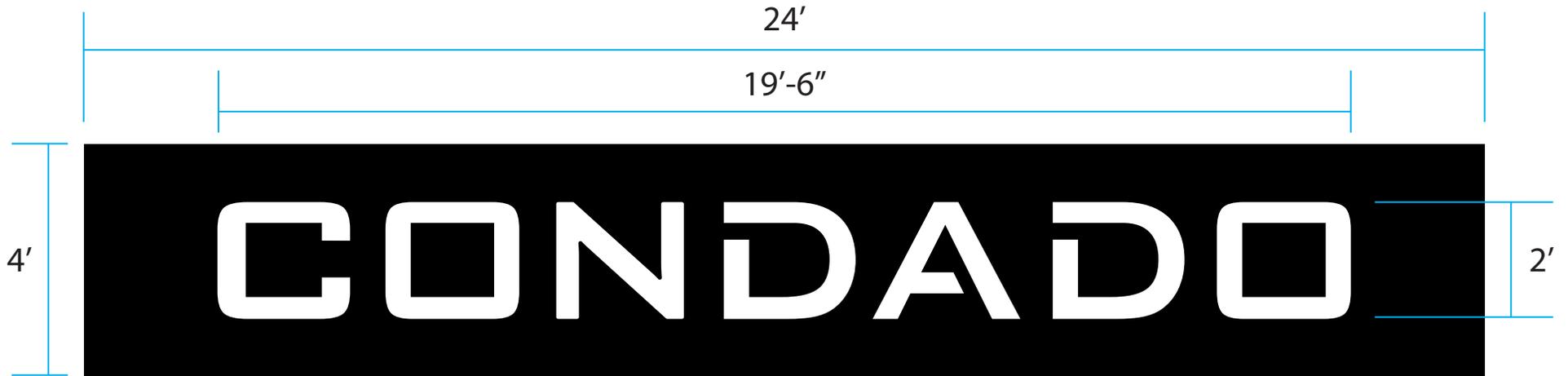
15" Clearance

CONDADO.
TACOS • TEQUILA • MARGARITAS

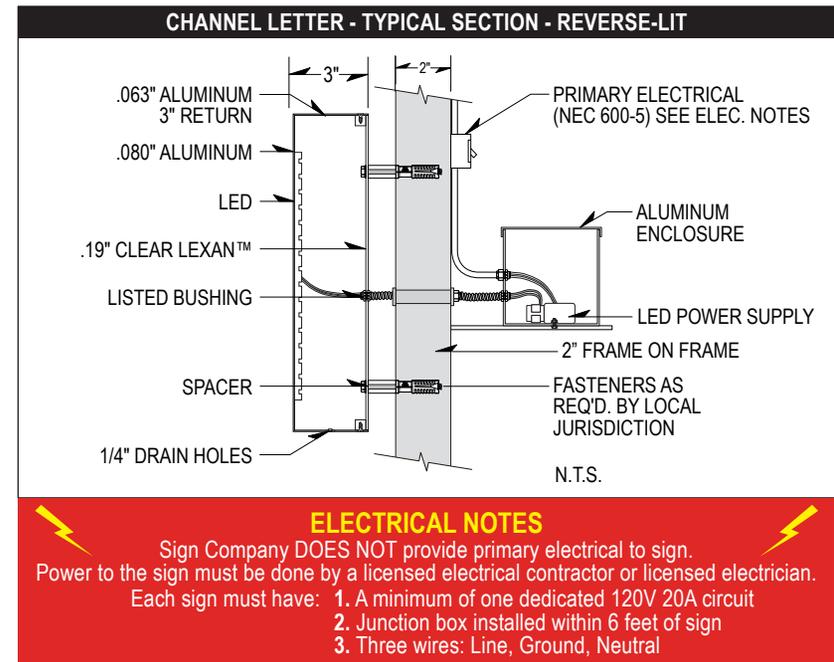
13'-0" to grade
9'-0" to grade



0" FIRST FLOOR



LED reverse lit channel letters on an aluminum frame on frame background



CUSTOMER APPROVAL: _____ DATE: _____

Distribution or exhibition of this design other than personnel of your company is expressly forbidden under stated agreement. In the event that such an exhibition should occur, Precision Sign and Awning will be compensated for a minimum of \$300 up to 15% of the proposed project.

PROJECT: Condado	DATE: 8/21/19
W/O#	SCALE: 3/8" = 1'
SALESPERSON: Melissa Morrow	



A Full Service Sign Company



Blade Sign

CONDADO

Channel Letters On Frame

13'-0" to grade



120V Exterior LED Light String **HYDRA STL SERIES**

HYA-STL_V2.2

HYDRA STL Series
120V Exterior LED Light String

- Features**
- Ideal for decorative lighting above patios, walkways and plazas
 - Includes replaceable 120V medium-base LED lamps
 - Available with 1800K clear lamps, 2700K frosted lamps or 2700K milky white lamps
 - Consumes only 2W per lamp
 - Standard 12", 18" or 24" lamp spacing (Consult factory for custom spacing)
 - ETL Listed for wet location
 - Maximum 500 feet per circuit based on 12" lamp spacing.
 - Intended for lamp-down applications only

WIRE: UL Listed, 12AWG Stranded Copper, Black PVC Insulation, Rated 150V

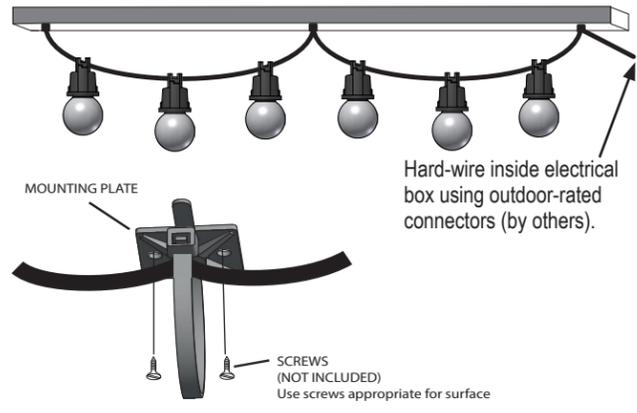
SOCKET: UL Listed, black phenolic Medium Base, Rated 250V 60W

- LED LAMP (Included):
- 120V
 - Medium base (E26)
 - 1800K Clear
 - 2700K Frosted
 - 2700K Milky white
 - 25,000 Hrs averaged rated life
 - 2.0W each
 - Not recommended for dimming
 - Consult factory for shatter proof coating

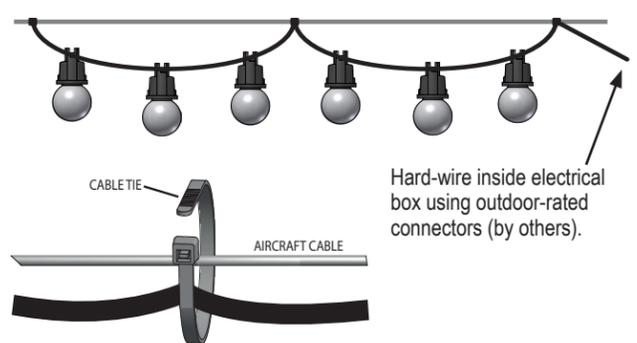
Light String Weight		
Per ft including lightstrip and LED lamp		
12" on center	3.00 oz	per ft
18" on center	2.33 oz	per ft
24" on center	2.00 oz	per ft



HYDRA STL shown mounted with drop, to flat secure surface such as beam or truss. Specify mounting plates with cable ties. Fasten at least every 6 feet.



HYDRA STL shown mounted with drop, to aircraft cable (by others). Ensure that aircraft cable is taut and secured. Specify cable ties. Use at least one cable tie every 6 feet.



NON BLINKING - CLEAR LAMPS @ 12" O.C.

Footcandle Summary (Based on one Gamma LED medium base lamp)

Clear Lamp		Frosted Lamp		Milky White Lamp	
distance	fc	distance	fc	distance	fc
12"	5.53	12"	10.40	12"	16.10
24"	2.46	24"	3.91	24"	5.55
36"	1.43	36"	2.08	36"	2.91
48"	0.91	48"	1.28	48"	1.81
60"	0.65	60"	0.89	60"	1.25
72"	0.49	72"	0.66	72"	0.92
84"	0.38	84"	0.50	84"	0.69
96"	0.31	96"	0.42	96"	0.58

How to Specify HYDRA STL Series

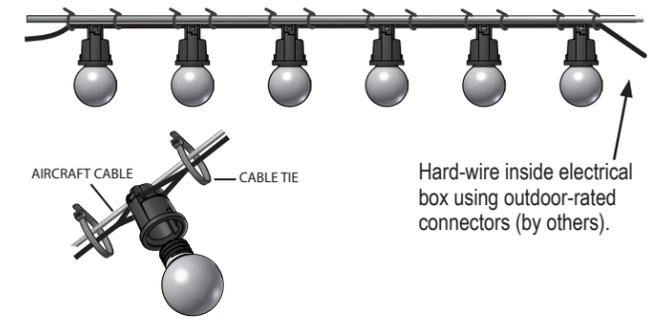
HYA - STL -		-	
	LED Lamp		Socket Spacing
GC	1800K LED clear globe	12	12" on center
GF	2700K LED frosted globe	18	18" on center
GM	2700K LED milky white globe	24	24" on center
			Consult factory for custom spacing
Example			
HYA - STL -	GC	-	24

Specifications subject to change without notice © Celestial Lighting

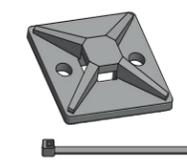
www.celestiallighting.com

Phone: 562-802-8811

HYDRA STL shown mounted with no drop, to aircraft cable (by others). Ensure that aircraft cable is taut and secured. Specify cables ties. Use two cable ties per socket; one on each side.



Mounting Plate with Cable Tie (STL-MC)
Order at least one set per 6ft of HYDRA STL when mounting to flat surface.



Cable Ties (STL-CT)
Order at least one per 6ft of HYDRA STL if mounting with drop to aircraft cable. Order at least two per socket if mounting with no drop to aircraft cable.



FIELD SURVEY REQUIRED PRIOR TO FABRICATION

JOB NUMBER	5469
JOB NAME	Condado - Crocker Park
LOCATION	Westlake, OH
DATE	7-3-19
FILE NAME	cond_5469_v2

Due to screen calibration and printing capabilities, the colors shown are only to be used as a close representation or final product.

STRINGLIGHT SPECIFICATION

APPROVED BY _____ DATE _____



TA-PT TOPS - SQUARE



SKU: N/A

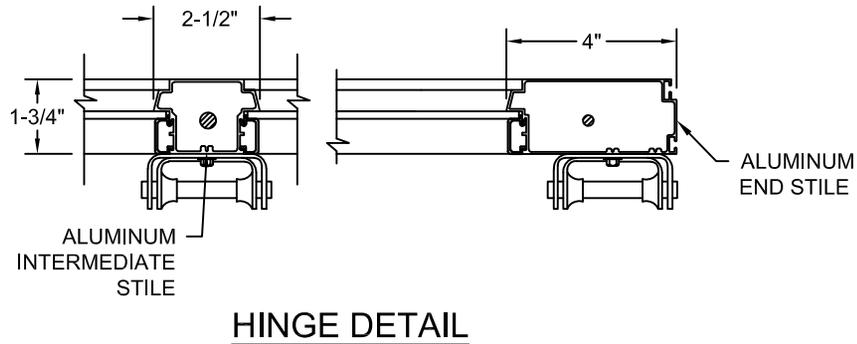
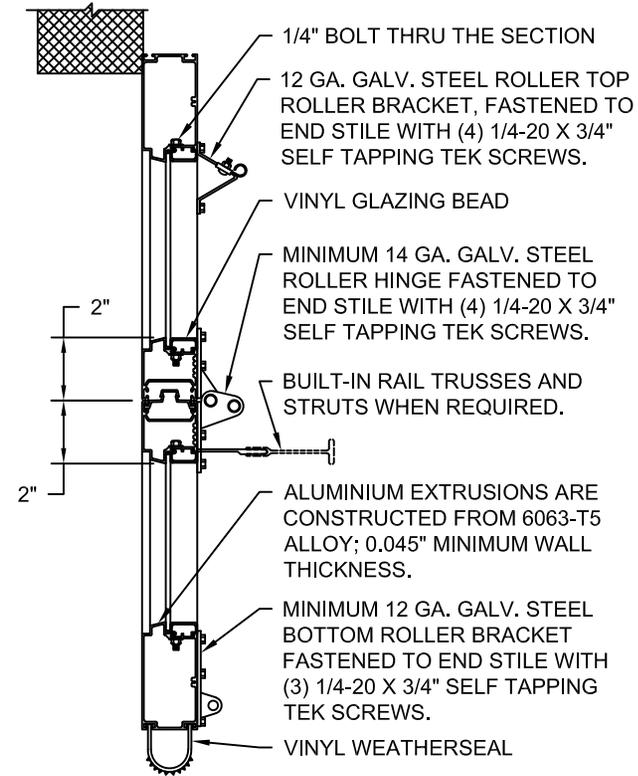
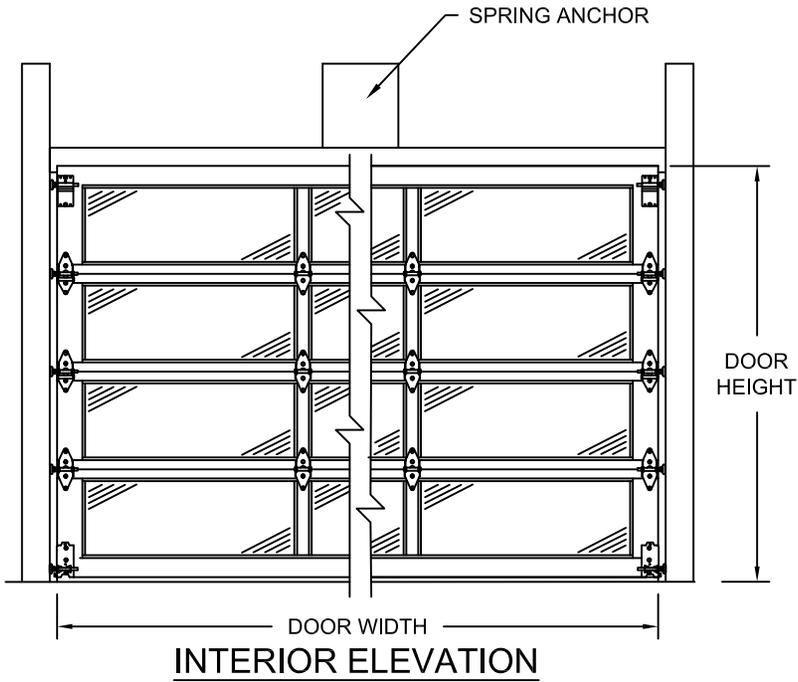
Categories: [Outdoor](#), [Outdoor Quick Ship](#), [Outdoor Tops](#), [Quick Ship](#)

ADDITIONAL INFORMATION

Construction	Faux Teak / Aluminum Edge
Table Top Finishes	Faux Teak, Gray Faux Teak
Frame Colors	Black, Gray, Silver
Shape	Square
Size (in)	24X32, 24X24, 32X48, 32X32, 36X36
Combinations (Frame/Seat or Inlay)	[Black, Silver / Faux Teak], [Gray / Gray Faux Teak]

GALLERY IMAGES

REPORT



GENERAL NOTES:

DOORS ARE CONSTRUCTED OF (BOX SHAPED) ALUMINUM EXTRUSIONS FROM 6063-T6 ALLOY. EXTRUSIONS TO BE MINIMUM .045" WALL THICKNESS WITH .125" WALL THICKNESS WHEREVER HARDWARE ATTACHES. STILES AND RAILS ARE FACTORY ASSEMBLED WITH THRU-BOLT CONSTRUCTION.

STANDARD FINISH IS CLEAR ANODIZED, OTHER FINISHES AVAILABLE. SOLID PANELS ARE MANUFACTURED FROM 18 GA. STUCCO EMBOSSED OR SMOOTH ALUMINUM SHEETS TO MATCH DOOR FINISH.

GLAZING, GLASS OR PANELS TO BE SET IN HOT MELT SEALANT AND HELD IN PLACE BY VINYL SNAP-IN BEAD.

MODEL NUMBER

CA320/CA320i

320 Sycamore St.
Wauseon, Ohio 43567
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CONDADO TACOS

Tenant Improvements

634 Selden Street, Detroit, Michigan 48201



RSA ARCHITECTS, LLC
 10 NORTH MAIN STREET
 CHAGRIN FALLS, OHIO 44022
 TELEPHONE: (440) 247-3990
 FAX (440) 247-3285
 www.rsarchitects.com



SCOPE OF PROJECT:

CODES:

BUILDING CODE DATA -
 BUILDING.....MICHIGAN BUILDING CODE (2015)
 STRUCTURAL.....MICHIGAN BUILDING CODE (2015)
 MECHANICAL.....MICHIGAN MECHANICAL CODE (2015)
 ELECTRICAL.....MICHIGAN ELECTRIC CODE (2015)
 PLUMBING.....MICHIGAN PLUMBING CODE (2015)
 ENERGY CODE.....MICHIGAN ENERGY CODE (2015) BASED ON IECC & ASHRAE 90.1-2013

ADDITIONAL CODES -
 LIFE SAFETY - MICHIGAN BUILDING CODE 2015, DETROIT FIRE CODE AND NFPA 1, NFPA 13, NFPA 72
 ACCESSIBILITY - CHAPTER 11 OF MICHIGAN BUILDING CODE, 2015 PLUS IBC AND ICC/ANSI A117.1 CODES W/ AMENDMENTS

CODE ANALYSIS:

USE GROUPS - MIXED USE GROUP AS FOLLOWS	RESTAURANT
'A2' ASSEMBLY	OFFICE
'B' BUSINESS	
BUILDING CONSTRUCTION CLASSIFICATION:	PROPOSED TYPE 3-A - (CURRENTLY 3-B)
BUILDING STORIES AND HEIGHT:	TWO STORIES AT 26.5 FT - NO CHANGE
BUILDING AREA TOTAL:	13,580 SF - NO CHANGE
TENANT BUILDING AREA:	3,879 SF - NO CHANGE
TENANT STORIES:	ONE STORY - NO CHANGE
FIRE ASSEMBLIES:	
FIRE RATINGS:	
- PRIMARY STRUCTURE:	0HR (EXISTING/UNCHANGED)
- EXTERIOR BEARING WALLS:	2HR (EXISTING/UNCHANGED)
- INTERIOR BEARING WALLS:	0HR (EXISTING/UNCHANGED)
- INTERIOR NON-BEARING WALLS:	0HR (EXISTING/UNCHANGED)
- FLOOR CONSTRUCTION:	1HR (EXISTING/UNCHANGED)
- ROOF CONSTRUCTION:	0HR (EXISTING/UNCHANGED)
- TENANT SEPARATION:	1HR (EXISTING/UNCHANGED)

FIRE PROTECTION:
 SPRINKLERS: BUILDING TO BE FULLY SPRINKLERED.
 SPRINKLER AND ALARM SYSTEM DRAWINGS TO BE SUBMITTED UNDER SEPARATE COVER.

CODES (OCCUPANCY AND PLUMBING):

OCCUPANCY TYPE	MIN. OCCUPANT LOAD	AREA	CALC.	ACTUAL	#USERS
A ASSEMBLY-UNCONCENTRATED INTERIOR	1 PER 15sq.ft. net	720sqft	48	116	116
B ASSEMBLY-CONCENTRATED INTERIOR	1 PER 7sq.ft. net	74sqft	11	20	20
C ASSEMBLY-STANDING INTERIOR	1 PER 5sq.ft. net	34sqft	7	-	7
D ACCESSORY AREAS - STORAGE/MECH INTERIOR	1 PER 300sq.ft. gross	130 sqft	1	-	1
E KITCHENS - COMMERCIAL INTERIOR	1 PER 200sq.ft. gross	1136 sqft	6	-	6
F ASSEMBLY-UNCONCENTRATED EXTERIOR	1 PER 15sq.ft. net	308sqft	21	46	46
				INTERIOR TOTAL	196
				EXTERIOR TOTAL	46
				TENANT TOTAL	196

BUILDING EGRESS WIDTH REQ'D: (SECT 1005.3.2) 2' x 150 = 30"
 30" REQ'D MIN 108"2

MINIMUM NUMBER OF EXITS REQUIRED (TABLE 1006.3.1):
 TOTAL EXITS PROVIDED: 3

MAXIMUM ALLOWED EXIT TRAVEL DISTANCE W/O SPRINKLER (TABLE 1017.2):
 ACTUAL MAXIMUM TRAVEL DISTANCE: 200'
 69'

MAXIMUM ALLOWED COMMON PATH OF TRAVEL (TABLE 1006.2.1):
 ACTUAL MAXIMUM COMMON PATH: 75'
 44'

REQUIRED MIN. DISTANCE BETWEEN EXITS; W/O AUTOMATIC SPRINKLER (SECTION 1007.1.1): DISTANCE TO BE AT LEAST 1/2 MAX DIAG. LENGTH
 ACTUAL DISTANCE BETWEEN EXITS #1 AND #2: 88'-4" / 2 = 44'-2"
 X1 TO X2 = 44'-8"

PLUMBING FIXTURES FOR 'A-2' RESTAURANT (107 PEOPLE /SEX)	REQUIRED	PROVIDED	REFERENCE
A WATER CLOSETS - FEMALE (1 per 75)	2	2	MICH. PLUMB CODE 403.1
B WATER CLOSETS - MALE (1 per 75) W/ 1 URINAL SUBSTITUTION	2	2	MICH. PLUMB CODE 403.1 & 419.2
C LAVATORIES - FEMALE (1 per 200)	1	1	MICH. PLUMB CODE 403.1
D LAVATORIES - MALE (1 per 200)	1	1	MICH. PLUMB CODE 403.1
E SERVICE SINK	1	1	MICH. PLUMB CODE 403.1
F DRINKING FOUNTAIN (OPC 403.4)	0	0	MICH. PLUMB CODE 403.1

GENERAL NOTES:

DOCUMENT OWNERSHIP:
 ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF RSA 1 ARCHITECTS, LLC AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.

GENERAL REQUIREMENTS:
 WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 (1) PACKAGE CONTAINING BOTH SPECIFICATIONS AND DRAWINGS.
 (2) APPLICABLE STATE CODES AND THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE WORK.

INTENT OF CONTRACT DOCUMENTS:
 THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AND SUBCONTRACTOR.

WORKMANSHIP:
 ALL WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE BUILDING CODES, ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS. THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES. ALL WORK TO BE PERFORMED IN A "WORKMAN LIKE MANNER".

ON-SITE & EXISTING CONDITIONS VERIFICATION:
 THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO REVIEW THE PROJECT WITH THE OWNER AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING THE WORK. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

COORDINATION OF THE WORK:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK AND METHODS OF CONSTRUCTION.

GUARANTEE:
 CONTRACTOR SHALL GUARANTEE THAT ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE FREE FROM DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FOLLOWING COMPLETION OF ALL WORK AND THAT ALL DEFECTS ARISING WITHIN THIS PERIOD OF TIME SHALL BE CORRECTED, REPAIRED OR REPLACED WITHIN 30 DAYS OF NOTIFICATION OF SUCH DEFECTS BY OWNER OR ARCHITECT.

MANUFACTURER'S PRODUCTS AND FABRICATIONS:
 ALL MANUFACTURER'S AND FABRICATOR'S PRINTED WARNING FOR HANDLING OF THEIR PRODUCTS MUST BE STRICTLY OBSERVED. ALSO AS PER LOCAL CODES AND OTHER REQUIREMENTS.
 ALL PRODUCTS AND MATERIALS MUST BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS OR THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

INTERPRETATION OF CONTRACT DOCUMENTS:
 SHOULD DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS BE FOUND, OR INQUIRIES RELATIVE TO THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS ARISE, THEY SHALL BE SUBMITTED TO THE ARCHITECT AND WILL BE ANSWERED BY APPROPRIATE SUCH INSTRUCTIONS AND OTHER APPENDIX ISSUED PRIOR TO DATE OF THE SIGNING OF THE AGREEMENT WILL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND BE BINDING TO THE CONTRACTOR AND SUBCONTRACTOR.

PROJECT CONTACT LIST:

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DRAWING INDEX:

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A-011	Specifications	E-002	Electrical Diagrams & Details	FSE 2	Food Service Plan
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A-031	ANSI Requirements	E-102	Electrical Power Plan	1	Hood Schedules & Details
A-032	ANSI Requirements	E-103	Electrical Roof & Platform Plan	2	Hood Plan & Section
A-101	Life Safety Plan	F-101	Fire alarm Plan	3	Fire System
A-111	Base Construction Plan	F-102	Fire Alarm Specifications	4	Hood and Fane
A-121	Reflected Ceiling Plan	M-001	Mechanical Specifications	5	Electrical
A-201	Enlarged Restroom	M-101	Mechanical Plan		
A-301	Interior Elevations	M-201	Mechanical Schedule		
A-302	Exterior Elevations	P-001	Plumbing Specifications		
A-401	Sections /Details	P-101	Sanitary Plan		
A-501	Schedules	P-102	Domestic Plan		
S-101	Structural Sections	P-201	Sanitary isometric		

LIABILITY INSURANCE:
 THE CONTRACTOR SHALL CARRY FOR THIS PROJECT CONTRACTORS PUBLIC LIABILITY INSURANCE (INCLUDING PRODUCT AND COMPLETED OPERATIONS) IN THE AMOUNT OF NOT LESS THAN \$1,000,000.00 PER OCCURRENCE OF BODILY INJURY AND THE SAME AMOUNT FOR PROPERTY DAMAGE.

CONSTRUCTION DEBRIS:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DIRT AND DEBRIS FROM THE EXCAVATION, DEMOLITION AND CONSTRUCTION AS REQUIRED.

MISCELLANEOUS NOTES:
 THE BUILDING IS NOT STRUCTURALLY STABLE UNTIL ALL CONNECTIONS, FRAMING, SHEAR WALLS, X BRACING, AND EXTERIOR LOAD BEARING WALLS ARE COMPLETE AND HAVE ACHIEVED DESIGN STRENGTH. THE CONTRACTOR IS SOLELY RESPONSIBLE TO MAINTAIN STRUCTURAL STABILITY DURING ERECTION AND CONSTRUCTION. TEMPORARY BRACING SYSTEMS ARE NOT TO BE REMOVED UNTIL STRUCTURAL WORK IS COMPLETE.

PROPERTY PROTECTION:
 PRECAUTIONS SHALL BE TAKEN TO PROTECT THE GROUNDS, PLANTINGS, DRIVE, ETC. FROM ANY DAMAGE. DAMAGE INCURRED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST PROOF BARRIERS AT AREAS WHICH ARE UNDER CONSTRUCTION.

CONSTRUCTION MATERIALS:
 ALL MATERIALS SHALL BE STORED ON THE SITE AS DIRECTED BY THE OWNER.



SITE LOCATION PLAN

NO SCALE
 PROJECT NORTH

KEY SYMBOLS:

[Symbol]	EARTH/SOIL	[Symbol]	WALL SECTION CUT
[Symbol]	POROUS FILL	[Symbol]	DRAWING NUMBER
[Symbol]	CONCRETE	[Symbol]	WALL SECTION CUT
[Symbol]	CONCRETE BLOCK (C.M.U.)	[Symbol]	SCALE: 3/4" = 1'-0"
[Symbol]	STONE VENEER	[Symbol]	DRAWING NUMBER
[Symbol]	DIMENSIONAL LUMBER	[Symbol]	DETAIL CUT
[Symbol]	WOOD BLOCKING	[Symbol]	SCALE: 1/2" = 1'-0"
[Symbol]	PLYWOOD	[Symbol]	DRAWING NUMBER
[Symbol]	BATT INSULATION	[Symbol]	BUILDING INTERIOR ELEVATION SECTION CUT
[Symbol]	RIGID INSULATION	[Symbol]	DRAWING NUMBER
[Symbol]	GYPSUM BOARD/DRYWALL	[Symbol]	BUILDING SECTION CUT
[Symbol]	NEW PARTITION (PLAN)	[Symbol]	SCALE: 1/4" = 1'-0"
[Symbol]	EXISTING PARTITION (PLAN)	[Symbol]	DRAWING NUMBER
[Symbol]	DEMOLITION (PLAN)	[Symbol]	INTERIOR ELEVATION VIEW
[Symbol]	LEVEL/ELEVATION/DATUM	[Symbol]	SCALE: 1/2" = 1'-0"
		[Symbol]	DRAWING NUMBER

DEMOLITION NOTES:
 CONTRACTOR TO REPORT ALL UNDOCUMENTED CONDITIONS OR EXISTING CONDITIONS UNCOVERED THAT VARY FROM THOSE SHOWN WITHIN THESE DOCUMENTS IN FIELD TO THE ARCHITECT.

EXISTING FLOOR SYSTEMS TO REMAIN MUST BE INSPECTED FOR STRUCTURAL DAMAGE AND DETERIORATION. REPLACE OR REPAIR ALL OR PORTIONS NECESSARY TO MEET THE REQUIREMENTS OF THE NEW CONSTRUCTION AND IN ACCORDANCE TO ALL APPLICABLE BUILDING CODES, ORDINANCES AND ACCEPTABLE BUILDING STANDARDS.

WHERE EXISTING STRUCTURE IS TO BE REMOVED, REMAINING STRUCTURE SHALL BE ADEQUATELY SUPPORTED USING TEMPORARY BRACING, UNDERPINNING, OR OTHER SHORING, AS NECESSARY, PRIOR TO THE BEGINNING OF DEMOLITION. TEMPORARY SUPPORT TO REMAIN IN PLACE AND UNDISTURBED UNTIL FINAL CONSTRUCTION OR PERMANENT STRUCTURE IS COMPLETED.

DISMANTLE ALL STRUCTURES, FLOORS, FLOORING, WALLS, WINDOWS, DOORS, CABINETS, SHELVING, ETC. AS SHOWN OR REQUIRED. SALVAGE OF MATERIALS TO BE DICTATED BY OWNER. REMOVE, TERMINATE OR RELOCATE ALL EXISTING ELECTRICAL, PLUMBING, HVAC, IT, IRRIGATION SYSTEMS, OR OTHER DEVICES AS REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION. ALL WASTE AND DEBRIS FROM DEMOLITION WORK SHALL PROMPTLY BE REMOVED FROM SITE.

CONTRACTOR SHALL UTILIZE ALL MEANS NECESSARY DURING DEMOLITION AND NEW CONSTRUCTION TO INSURE THAT ALL NEW CONSTRUCTION AND EXISTING FINISHED SPACES ARE THOROUGHLY PROTECTED FROM WATER, THERMAL AND WIND DAMAGE, AND SHALL REMEDY, AT THE CONTRACTOR'S EXPENSE, ANY SUCH DAMAGE THAT MAY OCCUR.

STRUCTURE SHALL BE PROTECTED, AS NECESSARY, WITH TEMPORARY ENCLOSURES FOR WEATHER RELATED PROTECTION AND SECURITY PURPOSES. CONSTRUCTION MATERIALS STORED OUTSIDE SHALL BE COVERED AND PROTECTED WITH WATERPROOF TARP AND ADEQUATELY SECURED FROM NATURAL AND INDUCED MOVEMENT. WOOD AND SIMILAR MATERIALS SHALL NOT BE STORED IN CONTACT WITH THE GROUND.

BARRIERS, BARRICADES, SIGNS, WARNING LIGHTS OR OTHER SAFETY DEVICES SHALL BE PROVIDED TO INSURE SAFETY TO THE OWNER, WORKERS AND THE GENERAL PUBLIC FROM HAZARDOUS CONDITIONS WHICH MAY ARISE AS A RESULT OF THE WORK. TO MINIMIZE INTRUSION OF DUST AND OTHER DEBRIS, CONSTRUCTION AREAS SHALL BE SEALED OFF FROM INTERIOR SPACES WITH PLASTIC ENCLOSURES WITH ZIPPERED DOORWAYS, OR SIMILAR. DUST, DEBRIS, AIRBORNE PAINTS, DISTURBING OR TOXIC FUMES OR OTHERS, ARE TO BE ISOLATED FROM EXISTING FINISH SPACES, AS WELL AS FROM THE GENERAL PUBLIC. DAMAGES RESULTING FROM THE PREVIOUSLY MENTIONED TO BE REMEDIATED BY THE CONTRACTOR.

WHERE DEMOLITION, CONSTRUCTION, OR RELATED ACTIVITIES ARE TO OCCUR IN AREAS WITH EXISTING WINDOWS, DOORS, CARPET, HARDWOOD, VINYL OR CERAMIC FLOOR FINISH, ADEQUATE PROTECTIVE COVERINGS SHALL BE TEMPORARILY INSTALLED, BY THE CONTRACTOR, TO PROTECT FINISHES FROM DAMAGE. HVAC LOUVERS AND DIFFUSERS SHALL BE COVERED WITH TEMPORARY FILTERS DURING THE DEMOLITION AND CONSTRUCTION PHASE.

CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR USE BY ALL PERSONNEL, LOCATED WHERE DIRECTED BY OWNER, WHICH SHALL BE CLEANED AND SERVICES ON A REGULAR BASIS. CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND ZONING ORDINANCES AFFILIATED WITH PORTABLE TOILETS, WHERE APPLICABLE.

POST CONSTRUCTION NOTES:
 AT THE COMPLETION OF THE PROJECT AND DURING THE PROJECT AS NECESSARY, CONTRACTOR SHALL THOROUGHLY CLEAN ALL WORK, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

REMOVAL OF MORTAR SPLATTERS OR STAINS FROM ALL INTERIOR AND EXTERIOR FINISHES

REMOVAL OF ANY SPLATTERS OR STAINS FROM EXTERIOR SIDING, ROOFING, OR OTHER EXTERIOR MATERIALS

REMOVAL OF ALL STAINS FROM ALL EXPOSED CONCRETE WORK.

REMOVAL OF STAINS AND CLEANING OF ALL INTERIOR FINISHES (COUNTERTOPS, PLUMBING FIXTURES, FLOORING, ETC.)

THOROUGH CLEANING OF FAUCET SCREENS AND PLUMBING TRAPS

VACUUMING OF ALL FLOORS, FOLLOWED BY WET MOPPING OF ALL HARD SURFACE FLOORS

DUSTING OF ALL WALLS, CEILINGS, TRIMS, DOORS, WINDOWS, CABINETS, ETC., INCLUDING THE INTERIOR SURFACES OF ALL CABINETS

REMOVAL OF ALL WINDOW AND DOOR STICKERS, INCLUDING GLUE RESIDUE, PAINT OR STAIN OVERLAPPING ON GLASS AND OTHER GLASS SPATTERS

POLISHING OF ALL WINDOWS, MIRRORS OR SURFACES WITH REFLECTIVE OR TRANSPARENT QUALITIES.

ADDITIONALLY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, INCLUDING VACUUMING, OF ALL CONSTRUCTION, OR OTHER DEBRIS, FROM JOIST, RAFTER, STUD, OR OTHER CAVITIES, PRIOR TO GYPSUM BOARD, INSULATION, FINISH FLOORING OR SURFACING.



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RICHARD E. SIEGFRIED,
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 EXPIRATION DATE 10/31/20
 CONSULTANT:

BULLETIN / DATE

DATE	ISSUE
05-29-19	CLIENT REVIEW
05-05-19	FOR PERMIT AND BID
05-21-19	FOR PERMIT

PROJECT #: 1945

COVER SHEET

SHEET NUMBER:

A-001

SECTION 00700 - GENERAL CONDITIONS

- 1. GENERAL CONDITIONS: AIA DOCUMENT A201-2007
END OF SECTION

SECTION 00700 - SUPPLEMENTARY CONDITIONS

THE FOLLOWING SUPPLEMENTS MODIFY AIA DOCUMENT A201-2007, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, WHERE A PORTION OF THE GENERAL CONDITIONS IS MODIFIED OR DELETED BY THESE SUPPLEMENTARY CONDITIONS. THE UNLINED PORTIONS OF THE GENERAL CONDITIONS SHALL REMAIN IN EFFECT.

ARTICLE I - GENERAL CONDITIONS

- ADD THE FOLLOWING PARAGRAPHS:
17. DOCUMENTS REQUIRED PRIOR TO SINGING OF CONTRACT
A. IMMEDIATELY UPON THE AWARD OF, AND PRIOR TO THE SINGING OF THE CONTRACT, THE SUCCESSFUL BIDDER SHALL FURNISH TO THE ARCHITECT:
1. COPIES OF ALL SUBCONTRACTS AND AGREEMENTS FOR THE STATE OF Michigan
2. A CURRENT WORKERS' COMPENSATION CERTIFICATE FOR THE STATE OF Michigan
3. IF THE SUCCESSFUL BIDDER SHOULD BE A CORPORATION NOT INCORPORATED UNDER THE LAWS OF THE STATE OF Michigan, THERE SHALL ALSO BE FURNISHED:
A. CERTIFICATE FROM THE SECRETARY OF STATE, SHOWING THE RIGHT OF THE SUCCESSFUL BIDDER TO DO BUSINESS IN THE STATE OF Michigan

ARTICLE 2 - CONTRACTOR

- 3.5 WARRANTY: ADD THE FOLLOWING PARAGRAPH:
3.5.2 THE CONTRACTOR SHALL GUARANTEE HIS WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR, OR FOR A LONGER PERIOD IF SO STIPULATED IN THE CONTRACT DOCUMENTS, FROM THE DATE OF ACCEPTANCE BY THE OWNER, AND THERE SHALL ALSO BE FURNISHED:
A. AT COMPLETION, UPON WRITTEN NOTICE, HE SHALL REMEDY ANY DEFECTS DUE THEREO AND PAY ALL COSTS FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM.

- 3.7 PERMITS, FEES, NOTICES AND COMPLIANCE WITH LAWS: ADD THE FOLLOWING TO PARAGRAPH 3.7.1:
CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED BUILDING AND ALL OTHER REQUIRED PERMITS FROM THE CERTIFIED LOCAL MUNICIPAL, AND/OR COUNTY BUILDING DEPARTMENTS UNLESS SPECIFICALLY EXEMPTED FROM SECURING SUCH PERMITS BY THE CONTRACT DOCUMENTS.

- 3.9 SUPERINTENDENT: ADD THE FOLLOWING PARAGRAPH:
3.9.4 ONCE THE PROJECT HAS BEGUN, THE GENERAL CONTRACTOR AGREES THAT NO WORK OF ANY SUBCONTRACTOR SHALL BE PERFORMED UNLESS THE GENERAL CONTRACTOR SUPERINTENDENT IS PRESENT AT THE JOB SITE OR UNLESS SPECIFIC ARRANGEMENTS ARE MADE WITH THE ARCHITECT.

- 3.15 CLEAN-UP: ADD THE FOLLOWING PARAGRAPH:
3.15.3 THE PREMISES MUST BE CLEANED AFTER EACH DAY'S WORK BY THE CONTRACTOR, AND DEBRIS REMOVED FROM THE SITE EACH WEEK AND DISPOSED OF IN AN AREA DIRECTED AND APPROVED BY THE LOCAL GOVERNMENT AGENCY. EXISTING TRASH DISPOSAL SYSTEMS (DUMPSTERS, ETC) SHALL NOT BE USED.

ARTICLE 7 - CHANGES IN THE WORK

- 7.2 CHANGE ORDERS: SUPPLEMENT THE FOLLOWING:
7.2.1 CHANGE ORDERS SHALL BE ISSUED ON AIA DOCUMENT 7701 - CHANGE ORDER

ARTICLE 8 - TIME

- 8.2 PROGRESS AND COMPLETION: ADD THE FOLLOWING PARAGRAPH:
8.2.4 IT IS HEREBY UNDERSTOOD AND MUTUALLY AGREED, BY AND BETWEEN THE CONTRACTOR AND THE OWNER, THE TIME FOR COMPLETION AS SPECIFIED IN THE CONTRACT OR THE WORK TO BE DONE HEREIN IS SUBJECT TO THE FOLLOWING:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MUTUALLY UNDERSTOOD AND AGREED THAT THE WORK ENCOMPASSED IN THIS CONTRACT SHALL BE COMMENCED ON A DATE TO BE SPECIFIED IN THE LETTER OF INTENT AND CONTRACT, THE CONTRACTOR AGREES THAT SUCH WORK SHALL BE PROCEEDED REGULARLY, DILIGENTLY, AND UNINTERRUPTEDLY AT SUCH RATE OF PROGRESS AS WILL ENSURE FULL COMPLETION THEREOF WITHIN THE TIME SPECIFIED; IT IS EXPRESSLY UNDERSTOOD AND AGREED, BY AND BETWEEN THE CONTRACTOR AND THE OWNER, THAT THE TIME FOR THE COMPLETION AS STATED IN THE CONTRACT DOCUMENTS IS A REASONABLE TIME FOR THE COMPLETION OF SAME, TAKING INTO CONSIDERATION THE AVERAGE CLIMATIC RANGE AND USUAL INDUSTRIAL CONDITIONS PREVAILING IN THIS LOCALITY.

ARTICLE 9 - PAYMENTS AND COMPLETION

- 9.3.1 SUPPLEMENT THE FOLLOWING:
9.3.1 CONTRACTOR SHALL SUBMIT PAY APPLICATION ON AIA 7702 AND 7703. APPLICATION FOR PAYMENT SHALL BE MADE NO LATER THAN THE 28TH DAY OF EACH MONTH. RECEIPT OF CONTRACTOR'S PAY APPLICATION, OWNER WILL MAKE SUCH PAYMENT TO THE CONTRACTOR WITHIN 15 DAYS OR AS SOON AS PRACTICAL THEREAFTER.

ARTICLE 10 - TIME

- 10.2 PROGRESS AND COMPLETION: ADD THE FOLLOWING PARAGRAPH:
10.2.4 IT IS HEREBY UNDERSTOOD AND MUTUALLY AGREED, BY AND BETWEEN THE CONTRACTOR AND THE OWNER, THE TIME FOR COMPLETION AS SPECIFIED IN THE CONTRACT OR THE WORK TO BE DONE HEREIN IS SUBJECT TO THE FOLLOWING:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MUTUALLY UNDERSTOOD AND AGREED THAT THE WORK ENCOMPASSED IN THIS CONTRACT SHALL BE COMMENCED ON A DATE TO BE SPECIFIED IN THE LETTER OF INTENT AND CONTRACT, THE CONTRACTOR AGREES THAT SUCH WORK SHALL BE PROCEEDED REGULARLY, DILIGENTLY, AND UNINTERRUPTEDLY AT SUCH RATE OF PROGRESS AS WILL ENSURE FULL COMPLETION THEREOF WITHIN THE TIME SPECIFIED; IT IS EXPRESSLY UNDERSTOOD AND AGREED, BY AND BETWEEN THE CONTRACTOR AND THE OWNER, THAT THE TIME FOR THE COMPLETION AS STATED IN THE CONTRACT DOCUMENTS IS A REASONABLE TIME FOR THE COMPLETION OF SAME, TAKING INTO CONSIDERATION THE AVERAGE CLIMATIC RANGE AND USUAL INDUSTRIAL CONDITIONS PREVAILING IN THIS LOCALITY.

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ARTICLE 9 - PAYMENTS AND COMPLETION

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ARTICLE 11 - INSURANCE

- 11.1 CONTRACTOR'S LIABILITY INSURANCE: SUPPLEMENT THE FOLLOWING:
11.1.1 THE CONTRACTOR SHALL PURCHASE INSURANCE IN FROM A COMPANY LICENSED TO DO BUSINESS IN THE STATE OF Michigan AND IN SUCH FORM AS IS ACCEPTABLE TO THE OWNER.
11.1.2 THE INSURANCE REQUIRED BY SUPPARAKORFCA 11.1.1 SHALL BE IN THE TYPES AND AMOUNTS AS COORDINATED BETWEEN THE OWNER AND CONTRACTOR.
11.1.3 SUPPLEMENT THE FOLLOWING:
11.1.3.1 THE CONTRACTOR SHALL SUBMIT ONE COPY OF WORKERS' COMPENSATION CERTIFICATE TO THE OWNER AND ONE COPY TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
11.1.3.2 THE CONTRACTOR SHALL SUBMIT CERTIFICATES OF CONTRACTORS' LIABILITY INSURANCE TO THE OWNER FOR APPROVAL AND OBTAIN APPROVAL PRIOR TO THE COMMENCEMENT OF THE WORK. THE OWNER SHALL BE AN ADDITIONAL MEMBER INSURED UNDER THE REQUIRED POLICIES OF PUBLIC LIABILITY INSURANCE.
11.1.3.3 THE CONTRACTOR SHALL SUBMIT COPIES OF CERTIFICATES OF CONTRACTORS' LIABILITY INSURANCE THAT HAVE BEEN APPROVED BY THE OWNER, TO THE ARCHITECT FOR HIS FILES TOGETHER WITH A WRITTEN STATEMENT THAT THE CERTIFICATES OF INSURANCE HAVE BEEN APPROVED BY AND ARE ACCEPTABLE TO THE OWNER. CERTIFICATES OF INSURANCE SHALL BE SUBMITTED ON AIA DOCUMENT 7705 - CERTIFICATE FOR INSURANCE.
11.1.3.4 UNLESS OTHERWISE DIRECTED BY THE OWNER IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PURCHASE OF THE INSURANCE COVERED BY EACH OF HIS SUBCONTRACTORS AND SHALL, IF REQUESTED, FILE COPIES OF ALL SUBCONTRACTORS' INSURANCE CERTIFICATES WITH THE OWNER AND THE ARCHITECT PRIOR TO THE RESPECTIVE SUBCONTRACTORS' PARTICIPATION IN THE WORK.
11.1.3.5 THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR CHECKING AND/OR APPROVING THE CONTRACTOR AND SUBCONTRACTORS' LIABILITY INSURANCE CERTIFICATES. OWNERS' INSURANCE COUSHL CHECK THE INSURANCE CERTIFICATES TO DETERMINE THEIR ADEQUACY IN COMPLYING WITH THE CONTRACT DOCUMENTS. IT IS THE OWNERS' RESPONSIBILITY TO DETERMINE IF THE INFORMATION CONTAINED IN THE CERTIFICATES OF INSURANCE IS ADEQUATE AND ACCEPTABLE.

- 11.2 THE CONTRACTOR AND ALL SUBCONTRACTORS AGREE TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY LIABILITY, DAMAGES, FINES, PENALTIES OR EXPENSES ARISING OUT OF OR IN CONNECTION WITH THE VIOLATION OF OR COMPLIANCE WITH THE CONTRACT DOCUMENTS, IT IS THE OWNERS' RESPONSIBILITY TO DETERMINE IF THE INFORMATION CONTAINED IN THE CERTIFICATES OF INSURANCE IS ADEQUATE AND ACCEPTABLE.

- 11.3 PROPERTY INSURANCE: MODIFY AND SUPPLEMENT THE FOLLOWING:
GENERAL: THE CONTRACTOR IS REQUIRED TO PROVIDE THE BUILDERS' RISK POLICY, WHERE NECESSARY, SUBSTITUTE THE TEXT "CONTRACTOR" FOR "OWNER" TO REFLECT THIS INTENT.
GENERAL: PROPERTY INSURANCE SHALL INCLUDE COVERAGE OF MACHINERY, TOOLS AND EQUIPMENT OWNED OR RENTED BY THE CONTRACTOR THAT ARE UTILIZED IN THE PERFORMANCE OF THE WORK, BUT NOT INCORPORATED INTO THE PERMANENT IMPROVEMENTS.

- 11.3.1 SUPPLEMENT THE FOLLOWING:
11.3.1 IF THE OWNER IS DAMAGED BY THE FAILURE OF THE CONTRACTOR TO PURCHASE AND MAINTAIN SUCH INSURANCE, THEN THE CONTRACTOR SHALL SAVE, HOLD HARMLESS, AND DEFEND THE OWNER FOR ANY SUCH DAMAGE.

- 11.3.1.2 DELETE THIS PARAGRAPH IN ITS ENTIRETY
END OF SECTION

SECTION 01000 - SUMMARY

- 1. PROJECT
1.A. PROJECT NAME: CHORON FALLS ADMIN, POLICE AND FIRE DEPT., ADDITIONS & RENOVATION
1.B. WORK GENERALLY INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
1.B.A. SELECTIVE DEMOLITION OF ITEMS INDICATED ON THE DRAWINGS, INCLUDING STRUCTURAL, WALLS, ROOF, CEILING AND FLOOR FINISHES.
1.B.B. REMOVE EXISTING FINISHES AND RECONSTRUCT TO MATCH EXISTING ADJACENT FINISHES.
1.B.C. HAVE WORK PERFORMED BY PERSONS QUALIFIED TO PRODUCE REWORK AND SPOILED QUALITY.
1.B.D. INSTALLATION OF NEW CABINETS, APPLIANCES, & FURNITURE
1.B.E. INSTALLATION OF FLOORINGS, WALLS, & CEILING FINISHES
1.B.F. MECHANICAL WORK
1.B.G. PLUMBING WORK
1.B.H. ELECTRICAL WORK
1.B.I. EXTERIOR SITE WORK

- 2. CONTRACT DESCRIPTION
2.A. CONTRACT TYPE: AIA DOCUMENT A01-2007 OWNER/CONTRACTOR AGREEMENT - STIPULATED SUM
2.B. CONTRACT USE OF SITE AND PREMISES
2.B.A. CONSTRUCTION OPERATIONS: LIMITED TO AREAS NOTED ON DRAWINGS. PROVIDE ACCESS TO AND FROM AREAS AS REQUIRED BY LAW AND BY OWNER.
2.B.B. PROVIDE EMERGENCY ACCESS THROUGH WORK AREAS AT ALL TIMES.
2.B.C. EMERGENCY BUILDING EXITS DURING CONSTRUCTION: KEEP ALL EXITS UNOCCUPIED BY CODE. OPEN DURING CONSTRUCTION PERIOD. PROVIDE TEMPORARY EXIT SIGNS IF EXITS ARE TEMPORARILY ALTERED.
2.B.D. DO NOT OBTAIN PERMISSIONS, SIDEWALKS, OR OTHER PUBLIC WAYS WITHOUT PERMIT. UTILITY OUTAGES AND SHUTDOWN.
2.B.D.A. PREVENT UNDESIRABLE DISRUPTION OF UTILITY SERVICES TO OTHER FACILITIES.

- 3. CONTROL OF INSTALLATION
3.1. MONITOR QUALITY CONTROL OVER SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS, AND WORKMANSHIP TO PRODUCE WORK OF SPECIFIED QUALITY. COMPLY WITH MANUFACTURER'S INSTRUCTIONS INCLUDING EACH STEP IN SEQUENCE.
3.2. MAINTAIN MANUFACTURER'S INSTRUCTIONS CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
3.3. COMPLY WITH SPECIFIED STANDARDS AS MINIMUM QUALITY FOR THE WORK EXCEPT WHERE MORE STRINGENT TOLERANCES, CODES, OR SPECIFIED REQUIREMENTS INDICATE HIGHER STANDARDS OR MORE PRECISE WORKMANSHIP.
3.4. HAVE WORK PERFORMED BY PERSONS QUALIFIED TO PRODUCE REWORK AND SPOILED QUALITY.
3.5. VERIFY THAT FIELD MEASUREMENTS ARE AS INDICATED ON SHOP DRAWINGS OR AS INSTRUCTED BY THE MANUFACTURER.
3.6. SECURE PRODUCTS IN PLACES WITH POSITIVE ANCHORAGE METHODS DESIGNED AND SIZED TO WITHSTAND STRESSES, VIBRATION, PHYSICAL DISTURBANCE, AND DISBURGEMENT.
3.7. TOLERANCES
3.8. MONITOR FABRICATION AND INSTALLATION TOLERANCE CONTROL OF PRODUCTS TO PRODUCE ACCEPTABLE WORK. DO NOT PERMIT TOLERANCES TO ACCUMULATE.
3.9. COMPLY WITH MANUFACTURERS' TOLERANCES. SHOULD MANUFACTURERS' TOLERANCES CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
3.10. ADJUST PRODUCTS TO APPROPRIATE DIMENSIONS POSITION BEFORE SECURING PRODUCTS IN PLACE.

- 4. DEFECT ASSESSMENT
4.1. REPLACE WORK OR PORTIONS OF THE WORK NOT CONFORMING TO SPECIFIED REQUIREMENTS.
4.2. IF, IN THE OPINION OF ARCHITECT, IT IS NOT PRACTICAL TO REMOVE AND REPLACE THE WORK, ARCHITECT WILL DIRECT AN APPROPRIATE REMEDY OR ADJUST PAYMENT.
END OF SECTION

- 4. TIME RESTRICTIONS
4.A. CONTRACTOR SHALL COMPLY WITH VILLAGE OF CHORON FALLS WORK HOUR RESTRICTIONS, UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE VILLAGE.
5. CONSTRUCTION COMPLETENESS
5.A. COMPLETENESS OF WORK: CONTRACTOR SHALL PROVIDE ALL ITEMS, MATERIALS, LABOR AND EQUIPMENT NOT SPECIFICALLY MENTIONED HEREIN OR INDICATED ON DRAWINGS, BUT REQUIRED FOR COMPLETE INSTALLATIONS AND PROPER OPERATION OF ALL WORK, AS IF CALLED FOR IN DETAIL BY SPECIFICATIONS OR DRAWINGS.
6. VISITING THE SITE
6.A. BIDDERS SHALL VISIT THE SITE AND TAKE SUCH OTHER STEPS AS MAY BE NECESSARY TO ASCERTAIN THE NATURE AND LOCATION OF THE WORK, AND THE GENERAL AND LOCAL CONDITIONS WHICH MAY AFFECT THE PROJECT OR OTHERWISE AFFECT THE PROJECT. IN NO EVENT WILL VISITING PROFESSIONAL BE RESPONSIBLE FOR ANY COST OR EXPENSE THAT PROVIDES BETTERMENT, UPGRADE OR ENHANCEMENT OF THE PROJECT.
END OF SECTION

- 7. BETTERMENT IS DUE TO DESIGN PROFESSIONALS ERROR, ANY REQUIRED ITEM OR COMPONENT OF THE PROJECT OMITTED FROM DESIGN PROFESSIONALS' CONSTRUCTION DOCUMENTS, DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR PAYING THE COST TO ADD SUCH ITEM OR COMPONENT TO THE EXTENT THAT SUCH ITEM OR COMPONENT WOULD HAVE BEEN OTHERWISE NECESSARY TO THE PROJECT OR OTHERWISE ADDS VALUE OR BETTERMENT TO THE PROJECT. IN NO EVENT WILL VISITING PROFESSIONAL BE RESPONSIBLE FOR ANY COST OR EXPENSE THAT PROVIDES BETTERMENT, UPGRADE OR ENHANCEMENT OF THE PROJECT.
END OF SECTION

- 8. TEMPORARY LIGHT AND POWER
8.1. PROVIDE TEMPORARY LIGHTING, LABOR, MATERIALS, SUPERVISION TO PROVIDE, CONNECT, DISTRIBUTE, DISCONNECT AND MAINTAIN ALL MEANS OF PROVIDING TEMPORARY LIGHTING AND POWER FOR THE WORK. MEP CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR, AND PROVIDE REQUIRED COORDINATION TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES.
8.2. OWNER WILL PAY FOR THE CONTRACTOR ELECTRICAL POWER USED DURING THE WORK.
END OF SECTION

- 9. TEMPORARY BATHROOMS
9.1. FURNISH EXTRA MATERIALS, SPARE PARTS, TOOLS, AND SOFTWARE OF TYPES AND IN QUANTITIES SPECIFIED IN INDIVIDUAL SPECIFICATION SECTIONS.
9.2. DELIVER TO PROJECT SITE; OBTAIN RECEIPT PRIOR TO FINAL PAYMENT.
END OF SECTION

- 10. TRANSPORTATION AND HANDLING
10.1. COORDINATE SCHEDULE OF PRODUCT DELIVERY TO DESIGNATED PREPARED AREAS IN ORDER TO MINIMIZE SITE STORAGE TIME AND POTENTIAL DAMAGE TO STORED MATERIALS.
10.2. TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
10.3. TRANSPORT MATERIALS IN COVERED TRUCKS TO PREVENT CONTAMINATION OF PRODUCT AND LITTERING OF SURROUNDING AREAS.
10.4. PROMPTLY INSPECT SHIPMENTS TO ENSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS. QUANTITIES ARE CORRECT, AND PRODUCTS ARE UNDAMAGED.
10.5. PROVIDE EQUIPMENT AND PERSONNEL TO HANDLE PRODUCTS BY METHODS TO PREVENT SOILING, DISBURGEMENT, OR DAMAGE.
10.6. ARRANGE FOR THE RETURN OF PACKING MATERIALS, SUCH AS WOOD PALLETS, WHERE ECONOMICALLY FEASIBLE.
END OF SECTION

- 11. STORAGE AND PROTECTION
11.1. DESIGNATE RECEIVING/STORAGE AREAS FOR INCOMING PRODUCTS SO THAT THEY ARE PROTECTED ACCORDING TO INSTALLATION SCHEDULE AND PLACED CONVENIENT TO WORK AREA IN ORDER TO MINIMIZE WASTE DUE TO EXCESSIVE MATERIALS HANDLING AND MISAPPLICATION.
11.2. STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
11.3. STORE WITH SEALS AND LOCKS AND TO PREVENT DAMAGE TO RECEIVING MATERIALS AND EQUIPMENT.
11.4. STORE SENSITIVE PRODUCTS IN WEATHER TIGHT, CLIMATE CONTROLLED, ENCLOSED IN AN ENVIRONMENT FAVORABLE TO PRODUCT.
11.5. FOR EXTERIOR STORAGE OF FABRICATED PRODUCTS, PLACE ON SLOPED SURFACES ABOVE GROUND.
11.6. COVER PRODUCTS SUBJECT TO DETRIORATION WITH IMPERVIOUS SHEET COVERING. PROVIDE VENTILATION TO PREVENT CONDENSATION OF PRODUCTS.
11.7. PREVENT CONTACT WITH MATERIAL THAT MAY CAUSE CORROSION, DISCOLORATION, OR STAINING.
11.8. PROVIDE EQUIPMENT AND PERSONNEL TO STORE PRODUCTS BY METHODS TO PREVENT SOILING, DISBURGEMENT, OR DAMAGE.
11.9. ARRANGE STORAGE OF PRODUCTS TO PERMIT ACCESS FOR INSPECTION PERIODICALLY INSPECT TO VERIFY PRODUCTS ARE UNDAMAGED AND ARE MAINTAINED IN ACCEPTABLE CONDITION.
END OF SECTION

- 12. EXTERIOR ENCLOSURES
12.1. INSULATE WEATHER PROTECTIVE TIGHT ENCLOSURE OF EXTERIOR OPENINGS TO ACCOMMODATE ADVERSE WORKING CONDITIONS AND PROTECTION FOR PRODUCTS, TO ALLOW FOR TEMPORARY HEATING AND MAINTENANCE OF REQUIRED AMBIENT TEMPERATURES IDENTIFIED IN INDIVIDUAL SPECIFICATION SECTIONS.
12.2. PROVIDE ACCESS DOORS WITH SELF-CLOSING HARDWARE AND LOCKS.
END OF SECTION

- 13. INTERIOR ENCLOSURES
13.1. PROVIDE TEMPORARY PARTITIONS AS INDICATED TO SEPARATE WORK AREAS FROM OWNER-OCCUPIED AREAS, TO PREVENT PENETRATION OF DUST AND MOISTURE INTO OWNER-OCCUPIED AREAS, AND TO PREVENT DAMAGE TO RECEIVING MATERIALS AND EQUIPMENT.
13.2. CONSTRUCTION FRAMING AND GYPSUM BOARD SHEET MATERIALS WITH CLOSED JOINTS AND SEALED EDGES AT INTERSECTIONS WITH EXISTING SURFACES.
13.3. PROVIDE GYPSUM BOARD JOINTS TO BE FINISHED TO A FINISH OF 1/2" WITH REINFORCED POLYETHYLENE FIBER TOW OF GYPSUM BOARD TO CEILING OR FLOOR.
13.4. PROVIDE WALL-GROUP MATS AT EACH ENTRANCE THROUGH TEMPORARY PARTITION.
13.5. PROVIDE WALL-GROUP MATS AT EACH ENTRANCE THROUGH TEMPORARY PARTITION.
13.6. PROVIDE CONTACT WITH MATERIAL THAT MAY CAUSE CORROSION, DISCOLORATION, OR STAINING.
13.7. PROVIDE EQUIPMENT AND PERSONNEL TO STORE PRODUCTS BY METHODS TO PREVENT SOILING, DISBURGEMENT, OR DAMAGE.
13.8. ARRANGE STORAGE OF PRODUCTS TO PERMIT ACCESS FOR INSPECTION PERIODICALLY INSPECT TO VERIFY PRODUCTS ARE UNDAMAGED AND ARE MAINTAINED IN ACCEPTABLE CONDITION.
END OF SECTION

- 14. ISOLATION OF WORK AREAS IN OCCUPIED FACILITIES
14.1. PROVIDE ISOLATION OF WORK AREAS FROM EXISTING OCCUPIED AREAS. PRIOR TO COMMENCING WORK, ISOLATE THE HVAC SYSTEM IN AREA WHERE WORK IS TO BE PERFORMED.
14.2. DISCONNECT SUPPLY AND RETURN DUCTWORK IN WORK AREA FROM HVAC SYSTEMS SERVING OTHER AREAS OF THE BUILDING.
14.3. MAINTAIN NEGATIVE AIR PRESSURE WITHIN WORK AREA, STARTING WITH COMMENCEMENT OF TEMPORARY PARTITION CONSTRUCTION, AND CONTINUING UNTIL REMOVAL OF TEMPORARY PARTITIONS IS COMPLETE.
14.4. MAINTAIN DUST PARTITIONS DURING THE WORK, USE VACUUM COLLECTION ATTACHMENTS ON PUMP-DRIVEN EQUIPMENT. ISOLATE LIMITED WORK WITH OCCUPIED AREAS USING PORTABLE CONTAMINANT BARRIERS.
14.5. PERFORM DAILY CONSTRUCTION CLEANUP AND FINAL CLEANUP USING VACUUM EQUIPMENT.
END OF SECTION

- 15. VENTILATION AND HUMIDITY CONTROL
15.1. PROVIDE TEMPORARY VENTILATION REQUIRED BY CONSTRUCTION ACTIVITIES FOR CURING OR DRYING OF COMPLETED INSTALLATIONS OR FOR PROTECTING INSTALLED CONSTRUCTION FROM ADVERSE EFFECTS OF HIGH HUMIDITY. SELECT EQUIPMENT THAT WILL NOT HAVE A HARMFUL EFFECT ON COMPLETED INSTALLATIONS OF ELEMENTS BEING INSTALLED. COORDINATE VENTILATION REQUIREMENTS TO PROVIDE AMBIENT CONDITION REQUIRED AND MINIMIZE ENERGY CONSUMPTION.
15.2. PROVIDE DEHUMIDIFICATION SYSTEM WHEN REQUIRED TO REDUCE SUBSTRATE MOISTURE LEVELS AS REQUIRED TO ALLOW INSTALLATION OR APPLICATION OF FINISHES.
END OF SECTION

- 16. SECURITY AND PROTECTION
16.1. PROTECT EXISTING VERTICAL EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT THE SITE AND ON ADJACENT PROPERTIES. REPAIR DAMAGE TO EXISTING FACILITIES.
16.2. TEMPORARY FIRE PROTECTION: INSTALL AND MAINTAIN TEMPORARY FIRE PROTECTION FACILITIES OR TYPES NEEDED TO PROTECT AGAINST FIRE DURING CONSTRUCTION. INSTALL CONTROLLABLE FIRE LOSSES. COMPLY WITH NFPA 241 MANAGE FIRE PREVENTION PROGRAM.
16.3. SECURITY ENCLOSURE AND LOCKUP: INSTALL TEMPORARY ENCLOSURE AROUND PARTIALLY COMPLETED AREAS OF CONSTRUCTION. PROVIDE LOCKABLE ENTRANCES TO PREVENT UNAUTHORIZED ENTRANCE, VANDALISM, THEFT AND SIMILAR VIOLATIONS OF SECURITY.
16.4. SITE EXPOSURE FENCE: BEFORE CONSTRUCTION OPERATIONS BEGIN, FURNISH AND INSTALL SITE EXPOSURE FENCE TO PREVENT A MANNER THAT WILL PREVENT PEOPLE FROM EARLY ENTERING THE SITE EXCEPT BY ENTRANCE GATES.
16.5. TEMPORARY EGRESS: MAINTAIN TEMPORARY EGRESS FROM EXISTING OCCUPIED FACILITIES.
END OF SECTION

- 17. VEHICULAR ACCESS AND PARKING
17.1. COMPLY WITH REGULATIONS RELATING TO USE OF STREETS AND SIDEWALKS, ACCESS TO EMERGENCY FACILITIES, AND ACCESS FOR EMERGENCY VEHICLES.
17.2. COORDINATE ACCESS AND HAUL ROUTES WITH GOVERNING AUTHORITIES AND OWNER.
17.3. PREVENT SPREAD OF SOIL AND DEBRIS FROM CONSTRUCTION SITE TO PUBLIC WAY.
17.4. PROVIDE AND MAINTAIN ACCESS TO FIRE HYDRANTS, FIRE, OR OBSTRUCTIONS.
17.5. PARKING: COMPLY WITH OWNERS' PARKING REQUIREMENTS.
END OF SECTION

- 18. TEMPORARY USE OF PERMANENT ROADS AND PAVED AREAS
18.1. LOCATE TEMPORARY ROADS AND PAVED AREAS IN SAME LOCATION AS PERMANENT ROADS AND PAVED AREAS. CONSTRUCT AND MAINTAIN TEMPORARY ROADS AND PAVED AREAS ADEQUATE TO CONSTRUCTION OPERATIONS. EXTEND TEMPORARY ROADS AND PAVED AREAS, WITHIN CONSTRUCTION LIMITS INDICATED, AS NECESSARY FOR CONSTRUCTION OPERATIONS.
18.2. COORDINATE ELEVATIONS OF TEMPORARY ROADS AND PAVED AREAS WITH PERMANENT ROADS AND PAVED AREAS.
18.3. PREPARE SUBGRADE AND INSTALL SUBBASE AND BASE FOR TEMPORARY ROADS AND PAVED AREAS ACCORDING TO CONTRACT DOCUMENTS.
18.4. RECONSTRUCT BASE AFTER TEMPORARY USE, INCLUDING REMOVED CONTAMINATED MATERIAL, REPAIRING, PROFILES, COMPACTING AND TESTING.
18.5. LIFTS AND HOSTS: PROVIDE FACILITIES NECESSARY FOR HOSTING MATERIALS AND PERSONNEL.
18.6. PREPARE SUBGRADE AND INSTALL SUBBASE AND BASE FOR TEMPORARY ROADS AND PAVED AREAS ACCORDING TO CONTRACT DOCUMENTS.
18.7. PROVIDE WASTE REMOVAL FACILITIES AND SERVICES AS REQUIRED TO MAINTAIN THE SITE IN A CLEAN AND ORDERLY CONDITION.
18.8. PROVIDE CONTAINERS WITH LIDS. REMOVE TRASH FROM SITE PERIODICALLY.
END OF SECTION

- 19. FIELD OFFICES
19.1. CONTRACTOR SHALL MAINTAIN A CLEAN OFFICE AT THE SITE FOR HIS USE. HIS SUBCONTRACTOR'S AGENTS AND THE ARCHITECT, AND AT WHICH LOCATION HE OR HIS AUTHORIZED AGENT SHALL BE PRESENT, OR TO WHOM EITHER THEY MAY BE READILY CALLED AT ALL TIMES WHILE THE WORK IS IN PROGRESS.
19.2. AN AREA FOR CONTRACTOR'S FIELD OFFICE SHALL BE DESIGNATED BY OWNER WITHIN EXISTING STRUCTURE. ALL EXPENSES IN CONNECTION WITH THE FIELD OFFICE, INCLUDING THE INSTALLATION, COST AND USE OF TELEPHONES, HEAT, AIR CONDITIONING, LIGHT, WATER AND JANITORIAL SERVICE SHALL BE BORNE BY THE CONTRACTOR.
19.3. MAINTAIN OFFICE IN A CLEAN AND ORDERLY MANNER. THE OFFICE SHALL BE KEPT UP TO DATE WITH ALL REVISIONS AND ALL ADDENDA SHALL BE KEPT AT OFFICE READY FOR USE AT ALL TIMES.
END OF SECTION

- 20. GENERAL INSTALLATION REQUIREMENTS
20.1. INSTALL PRODUCTS AS SPECIFIED IN INDIVIDUAL SECTIONS, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS, AND SO AS TO AVOID WASTE DUE TO NEGLIGENCE OR REPAIR.
20.2. MAKE VERTICAL ELEMENTS PLUMB AND HORIZONTAL ELEMENTS LEVEL, UNLESS OTHERWISE INDICATED.
20.3. INSTALL EQUIPMENT AND FITTINGS PLUMB AND LEVEL, NEATLY ALIGNED WITH ADJACENT VERTICAL AND HORIZONTAL LINES, UNLESS OTHERWISE INDICATED.
20.4. MAKE CONSISTENT TEXTURE ON SURFACES, WITH SEAMLESS TRANSITIONS, UNLESS OTHERWISE INDICATED.
20.5. MAKE HEAT TRANSITIONS BETWEEN DIFFERENT SURFACES, MAINTAINING TEXTURE AND APPEARANCE.
END OF SECTION

- 21. ALTERATIONS
21.1. DRAWINGS SHOWING EXISTING CONSTRUCTION AND UTILITIES ARE BASED ON CASUAL FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS ONLY.
21.2. VERIFY THAT CONDITIONS AND DIMENSIONS INDICATED AS SHOWN.
21.3. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION.
21.4. BEGINNING OF ALTERATIONS WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS. KEEP AREAS IN WHICH CONSTRUCTION ARE BEING CONDUCTED SEPARATED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
21.5. PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF CONSTRUCTION SPECIFIED IN SECTION 0500 IN LOCATIONS INDICATED ON DRAWINGS AND AS REQUIRED TO MAINTAIN SEPARATION.
21.6. MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE EXCEPT FOR INTERRUPTIONS REQUIRED FOR REPLACEMENT OR MODIFICATIONS. TAKE CARE TO PREVENT WATER AND HUMIDITY DAMAGE.
END OF SECTION

- 22. INSULATION EXISTING DUCTS OR PIPES THAT ARE EXPOSED TO OUTDOOR AMBIENT TEMPERATURES BY ALTERATIONS WORK.
22.1. REMOVE EXISTING WORK AS INDICATED AND AS REQUIRED TO ACCOMPLISH NEW WORK. REMOVE ITEMS INDICATED ON DRAWINGS.
22.2. RELOCATE ITEMS INDICATED ON DRAWINGS.
22.3. WHERE NEW SURFACE FINISHES ARE TO BE APPLIED TO EXISTING WORK, PERFORM REMOVALS, PATCH, AND PREPARE EXISTING SURFACES AS REQUIRED TO RECEIVE NEW FINISHES; REMOVE EXISTING FINISH IF NECESSARY FOR SUCCESSFUL APPLICATION OF NEW FINISH.
END OF SECTION

- 23. CUTTING AND PATCHING
23.1. WHENEVER POSSIBLE, EXECUTE THE WORK BY METHODS THAT AVOID CUTTING OR PATCHING.
23.2. SEE ALTERATIONS ARTICLE ABOVE FOR ADDITIONAL REQUIREMENTS.
23.3. PATCH AS NECESSARY TO REPAIR DAMAGE TO EXISTING WORK. PATCHING IS NECESSARY TO:
23.3.1. COMPLETE THE WORK.
23.3.2. FIT PRODUCTS TOGETHER TO INTEGRATE WITH OTHER WORK.
23.3.3. ADJUST WORK TO MATCH EXISTING WORK OR MECHANICAL, ELECTRICAL, AND OTHER SERVICES.
23.3.4. MATCH WORK THAT HAS BEEN CUT TO ADJACENT WORK.
23.3.5. REPAIR AREAS ADJACENT TO CUTS TO RECOVER CONDITION.
23.3.6. REPAIR NEW WORK DAMAGED BY SUBSEQUENT WORK.
23.3.7. REMOVE SAMPLES OF INSTALLED WORK FOR TESTING WHEN REQUESTED.
23.3.8. REMOVE AND REPLACE DEFECTIVE AND NON-CONFORMING WORK.
23.3.9. EXECUTE WORK BY METHODS THAT AVOID DAMAGE TO OTHER WORK, AND THAT WILL PROVIDE APPROPRIATE SURFACE FINISHES AND FINISHING. IN EXISTING WORK, MINIMIZE DAMAGE AND RESTORE TO ORIGINAL CONDITION.
23.3.10. CUT RIGID MATERIALS USING MASONRY SAW OR CORE DRILL. PNEUMATIC TOOLS NOT ALLOWED WITHOUT PROOF APPROVAL.
23.3.11. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
23.3.12. FIT WORK TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
23.3.13. AT PENETRATIONS OF FIVE RATED WALLS, PARTITIONS, CEILING, OR FLOOR CONSTRUCTION, PROVIDE SEAL, Voids WITH FIVE RATED MATERIAL, TO FULL THICKNESS OF THE PENETRATED ELEMENT.
23.3.14. FINISH PATCHED SURFACES TO MATCH FINISH THAT EXISTED PRIOR TO PATCHING. ON CONTIGUOUS SURFACES, REFINISH TO NEAREST INTERSECTION OF NATURAL BREAK. FOR AN ASSEMBLY, REFINISH ENTIRE SURFACE TO MATCH EXISTING FINISHES.
23.3.15. MATCH COLOR, TEXTURE, AND APPEARANCE.
23.3.16. REPAIR PATCHED SURFACES THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS DUE TO PATCHING. REPAIR DEFECTS ARE DUE TO CONDITION OF SUBSTRATE, REPAIR SUBSTRATE PRIOR TO REPAIRING FINISH.
END OF SECTION

- 24. PROGRESS CLEANING
24.1. MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION.
24.2. REMOVE DEBRIS AND RUBBISH FROM PIPE CHASES, PLUMBING, ATTICS, CRAWL SPACES, AND OTHER CLOSED OR REMOTE SPACES, PRIOR TO EXPOSING TO THE PUBLIC.
24.3. BROOM AND VACUUM CLEAN AREAS PRIOR TO EXPOSURE TO SURFACE FINISHING, AND TO REMOVE CLEANING TOOLS AND EQUIPMENT FROM AREAS.
24.4. COLLECT AND REMOVE WASTE MATERIALS, DEBRIS, AND TREASURE/RUBBISH FROM SITE PERIODICALLY AND DISPOSE OFF-SITE. DO NOT BURN OR BURY.
24.5. CONDUCT DAILY INSPECTIONS TO VERIFY THAT PROGRESS CLEANING REQUIREMENTS ARE BEING MET.
END OF SECTION

- 25. PROTECTION OF INSTALLED WORK
25.1. PROVIDE INSTALLED WORK FROM DAMAGE BY CONSTRUCTION OPERATIONS.
25.2. PROVIDE SPECIAL PROTECTION WHERE SPECIFIED IN INDIVIDUAL SPECIFICATION SECTIONS.
25.3. PROVIDE TEMPORARY AND REMOVABLE PROTECTION FOR INSTALLED PRODUCTS, CONTROL ACTIVITY IN IMMEDIATE WORK AREA TO PREVENT DAMAGE.
25.4. PROVIDE PROTECTIVE COVERINGS AT WALLS, PROJECTIONS, JAMBS, SILLS, AND SOFFITS OF OPENINGS.
25.5. PROTECT FINISHED FLOORS, STAIRS, AND OTHER SURFACES FROM TRAFFIC, DIRT, WEAR, DAMAGE, OR MOVEMENT OF HEAVY OBJECTS, BY PROTECTING WITH DURABLE SHEET MATERIALS.
25.6. PROHIBIT TRAFFIC OR STORAGE UPON WATERPROOFED OR ROOFED SURFACES. IF TRAFFIC OR ACTIVITY IS NECESSARY, OBTAIN RECOMMENDATIONS FOR PROTECTION FROM WATERPROOFING OR ROOFING MATERIAL MANUFACTURER.
25.7. REMOVE PROTECTIVE COVERINGS WHEN NO LONGER NEEDED; REUSE OR RECYCLE PLASTIC COVER IF POSSIBLE.
END OF SECTION

- 26. ADJUSTING
26.1. ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.
26.2. TEST, ADJUST AND BALANCE HVAC SYSTEMS IN ACCORDANCE WITH MECHANICAL DRAWINGS AND SPECIFICATIONS.
26.3. DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMIT.
26.4. CONDUIT OPERATIONS TO MINIMIZE OBSTRUCTION OF PUBLIC AND PRIVATE ENTRANCES AND EXITS; DO NOT OBSTRUCT REPAIRS OR ACCESS AT ANY TIME. PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.
26.5. EXISTING UTILITIES
26.5.1. PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE.
26.5.2. DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING LIFE SAFETY SYSTEMS THAT ARE IN USE WITHOUT AT LEAST 7 DAYS PRIOR WRITTEN NOTIFICATION TO OWNER.
26.5.3. REMOVE EXISTING PIPING, VALVES, METERS, SUPPORTS, AND FOUNDATIONS OF DISCONNECTED AND ABANDONED UTILITIES.
END OF SECTION

- 27. SELECTIVE DEMOLITION FOR ALTERATIONS
27.1. DRAWINGS SHOWING EXISTING CONSTRUCTION AND UTILITIES ARE BASED ON CASUAL FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS ONLY.
27.2. VERIFY THAT CONDITIONS AND DIMENSIONS INDICATED AS SHOWN.
27.3. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION.
27.4. BEGINNING OF DEMOLITION WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS THAT WOULD BE APPARENT UPON EXAMINATION PRIOR TO STARTING DEMOLITION.
27.5. SEPARATE AREAS IN WHICH DEMOLITION IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
27.6. PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF CONSTRUCTION SPECIFIED IN SECTION 0500 IN LOCATIONS INDICATED ON DRAWINGS.
27.7. MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE EXCEPT FOR INTERRUPTIONS REQUIRED FOR REPLACEMENT OR MODIFICATIONS; TAKE CARE TO PREVENT WATER DAMAGE, HUMIDITY DAMAGE AND TEMPERATURE FLUCTUATION.
27.8. REMOVE EXISTING WORK AS INDICATED AND AS REQUIRED TO ACCOMPLISH NEW WORK.
27.9. REMOVE ITEMS INDICATED ON DRAWINGS.
27.10. REPAIR AREAS ADJACENT TO CUTS TO RECOVER CONDITION.
27.11. REPAIR NEW WORK DAMAGED BY SUBSEQUENT WORK.
27.12. REMOVE AND REPLACE DEFECTIVE AND NON-CONFORMING WORK.
27.13. EXECUTE WORK BY METHODS THAT AVOID DAMAGE TO OTHER WORK, AND THAT WILL PROVIDE APPROPRIATE SURFACE FINISHES AND FINISHING. IN EXISTING WORK, MINIMIZE DAMAGE AND RESTORE TO ORIGINAL CONDITION.
27.14. CUT RIGID MATERIALS USING MASONRY SAW OR CORE DRILL. PNEUMATIC TOOLS NOT ALLOWED WITHOUT PROOF APPROVAL.
27.15. RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
27.16. FIT WORK TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER PENETRATIONS THROUGH SURFACES.
27.17. AT PENETRATIONS OF FIVE RATED WALLS, PARTITIONS, CEILING, OR FLOOR CONSTRUCTION, PROVIDE SEAL, Voids WITH FIVE RATED MATERIAL, TO FULL THICKNESS OF THE PENETRATED ELEMENT.
27.18. FINISH PATCHED SURFACES TO MATCH FINISH THAT EXISTED PRIOR TO PATCHING. ON CONTIGUOUS SURFACES, REFINISH TO NEAREST INTERSECTION OF NATURAL BREAK. FOR AN ASSEMBLY, REFINISH ENTIRE SURFACE TO MATCH EXISTING FINISHES.
27.19. MATCH COLOR, TEXTURE, AND APPEARANCE.
27.20. REPAIR PATCHED SURFACES THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS DUE TO PATCHING. REPAIR DEFECTS ARE DUE TO CONDITION OF SUBSTRATE, REPAIR SUBSTRATE PRIOR TO REPAIRING FINISH.
END OF SECTION

- 28. ADDITIONAL GLOBEOUT SUBMITTALS
28.1. CONTRACTOR SHALL ADDITIONALLY PROVIDE THE FOLLOWING GLOBEOUT SUBMITTALS:
28.1.1. OCCUPANCY PERMITS/CERTIFICATES OF INSPECTIONS.
28.1.2. AFFIDAVIT OF WAIVER OF LIEN.
28.1.3. EQUIPMENT DEMONSTRATIONS TO OWNER.
28.1.4. AS-BUILT DRAWINGS AND SUBMITTAL LOG ARE TO BE SUBMITTED IN CAD FORMAT UPON FINAL REVIEW OF THE GLOBEOUT MATERIALS. ONE FULL SIZE PAPER SET IS REQUIRED AND TWO (2) CD'S REQUIRED.
END OF SECTION

- 29. WARRANTY AND BONDS
29.1. OBTAIN WARRANTIES AND BONDS, EXECUTED IN DUPLICATE BY THE RESPONSIBLE SUBCONTRACTORS, SUPPLIERS, AND MANUFACTURERS, WITHIN 15 DAYS AFTER COMPLETION OF THE APPLICABLE ITEM OF WORK. EXCEPT FOR ITEMS PUT INTO USE WITH OWNER'S PERMISSION, LEAVE DATE OF BEGINNING OF THE WORK WARRANTY UNTIL THE DATE OF SUBSTANTIAL COMPLETION IS DETERMINED.
29.2. VERIFY THAT DOCUMENTS ARE IN PROPER FORM, CONTAIN FULL INFORMATION, AND ARE NOTARIZED.
29.3. CD-EXECUTE SUBMITTALS WHEN REQUIRED.
29.4. RETAIN WARRANTIES AND BONDS UNTIL TIME SPECIFIED FOR SUBMITTAL.
END OF SECTION

- 30. ADDITIONAL GLOBEOUT SUBMITTALS
30.1. CONTRACTOR SHALL ADDITIONALLY PROVIDE THE FOLLOWING GLOBEOUT SUBMITTALS:
30.1.1. OCCUPANCY PERMITS/CERTIFICATES OF INSPECTIONS.
30.1.2. AFFIDAVIT OF WAIVER OF LIEN.
30.1.3. EQUIPMENT DEMONSTRATIONS TO OWNER.
30.1.4. AS-BUILT DRAWINGS AND SUBMITTAL LOG ARE TO BE SUBMITTED IN CAD FORMAT UPON FINAL REVIEW OF THE GLOBEOUT MATERIALS. ONE FULL SIZE PAPER SET IS REQUIRED AND TWO (2) CD'S REQUIRED.
END OF SECTION

- 31. ACCEPTANCE OF ALTERNATES
31.1. ALTERNATES QUOTED ON BID FORM WILL BE REVIEWED AND ACCEPTED OR REJECTED AT OWNER'S OPTION. ACCEPTED ALTERNATES WILL BE IDENTIFIED IN THE OWNER-CONTRACTOR AGREEMENT.
2. SCHEDULE OF ALTERNATES
31.2. ALTERNATE G-1-STATE THE AMOUNT TO BE ADDED TO THE BASE BID PROPOSAL FOR ALL LABOR AND MATERIAL TO PROVIDE ADDITIONAL WORK IN DEMOLITION AND TILE

THERMAL AND MOISTURE PROTECTION: DIVISION - 7

ASPHALT ROOFING AND SHEET METAL WORK: SECTION 0700

- PART-1 REFERENCE: A. THE RESIDENTIAL CODE OF OHIO (R.C.O.), LATEST EDITION. B. ASHRAE - AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS. C. SMACTA - SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION - ARCHITECTURAL SHEET METAL MANUAL. D. ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS. PART-2 PRODUCTS: A. ROOF COVERING TO BE ASPHALT SHINGLES AND SHALL CONFORM TO ASTM-D225 OR D-3482, UNLESS NOTED OTHERWISE ON THE DRAWINGS. B. ASPHALT SHINGLE UNDERLAYMENT SHALL CONFORM TO ASTM D-226, TYPE 1 OR ASTM D-4860, TYPE 1. C. SELF-ADHERED ROOFING MEMBRANE UNDERLAYMENT "GRADE ICE & WATER SHIELD" TO COMPLY WITH K.C.O. SECTION K905.2.7.1. AND CONFORM TO ASTM D492, D903, D1970, D3767, E96 AND E108. MEMBRANE TO BE .40 MIL THICKNESS WITH TERRACE OF .45 FROM. D. FLASHING, COUNTER-FLASHING, COPINGS SHALL BE LISTED ON THE DRAWINGS AND MEET ONE OF THE FOLLOWING: 1. METAL FLASHINGS SHALL BE NOT LESS THAN NO. 26 GA. CORROSION RESISTANT METAL. 2. ANODIZED ALUMINUM .02" THICK ALUMINUM ANODIZED TO COLOR AS SELECTED BY ARCHITECT OR OWNER. 3. COPPER FLASHING-16 OZ. MINIMUM FOR ASPHALT, 20 OZ. MIN FOR SLATE OR TILE. E. RIDGE VENTS TO BE "COR-A-VENT" OR AN EQUIVALENT APPROVED BY THE ARCHITECT.

- PART-3 EXECUTION: A. ROOFING: 1. TERRACE: ASPHALT OR COMPOSITION STRIP TYPE SHINGLES: a. THE CONSTRUCTION OF THE ROOF SHALL BE COMPLETED BEFORE SHINGLE ROOFING WORK IS STARTED. ROOF SURFACES SHALL BE SMOOTH, FIRM, DRY AND FREE FROM LOOSE ENDS THAT MIGHT INJURE THE ROOFING. VENTS AND OTHER PROJECTIONS THROUGH ROOFS SHALL BE FLASHED AND SECURED IN POSITION. PROJECTING NAILS SHALL BE DRIVEN FIRMLY HOME. b. APPLY ICE/WATER SHIELD PER MANUFACTURER'S WRITTEN DIRECTIONS AT ALL EAVES, VALLEYS AND ROOF/WALL INTERSECTIONS, INCLUDING DORMERS. APPLY PER THE FOLLOWING: - EAVES: 12 LAYER 36" WIDE FELT. - VALLEYS: 36" WIDE ROLL AT EACH SIDE OF THE VALLEY - ROOF /WALL INTERSECTIONS: 18" VERTICALLY AND HORIZONTALLY. c. INSTALL ONE LAYER OF 30# ASPHALT-SATURATED ROOFING FELT. FELT SHALL BE APPLIED TO THE SHEATHING LAYER AT LEAST 2" AT TOP AND 4" AT END AND NAILED ALONG THE EDGE TO HOLD IN PLACE UNTIL SHINGLES ARE APPLIED. d. INSTALL FORMED METAL DRIP EDGES ALONG ALL EAVES AND GABLE ENDS. e. INSTALL FLASHING SLEEVES AT ALL PIPE AND ROOF PENETRATIONS. f. INSTALL ASPHALT SHINGLES: STARTER STRIP SHALL CONSIST OF ONE LAYER OF SHINGLES LAID IN NORMAL POSITION OR WITH CUTOUTS REVERSED. STARTER STRIP SHALL PROJECT 3/4" BEYOND THE EAVE LINE TO FORM A DRIP AND SHALL BE NAILED 1/2" TO 5/8" FROM CLOSED END OF EACH CUTOUT. THE FIRST COURSE OF SHINGLES SHALL BE LAID DIRECTLY ON TOP OF THE STARTER STRIP. FLUSH WITH THE DRIP EDGE AND ALIGNED WITH CUTOUTS CENTERED ON STARTER STRIP TABS. EACH SHINGLE SHALL BE NAILED FROM THE END ADJOINING THE PREVIOUSLY APPLIED SHINGLE AT 1/2" TO 5/8" ABOVE EACH CUTOUT AND 1/2" FROM EACH EDGE OF SHINGLE. INDIVIDUAL SHINGLES SHALL HAVE A MINIMUM FOUR NAILS PER STRIP. SHINGLE EXPOSURE SHALL BE 5/8" AND WITH MINIMUM 2" HEAD LAP. PROVIDE MINIMUM DOUBLE COVERAGE AT ALL PLACES. EACH SHINGLE SHALL BE SECURED IN PLACE. g. SHINGLES NOT TO BE APPLIED ON ROOF AREAS HAVING LESS THAN 3-1/2:12 PITCH. REFER TO DRAWINGS FOR ROOF TYPE IN THIS CASE. h. INSTALL CONTINUOUS RIDGE VENTS (SHINGLE OVER) PER MANUFACTURER'S WRITTEN SPECIFICATIONS. i. RIDGES SHALL BE FORMED WITH 9" x 12" INDIVIDUAL SHINGLES OR 12" x 12" SHINGLES CUT FROM 12" x 36" SHINGLES LAPPED TO PROVIDE AN EXPOSURE OF MAXIMUM 5" FROM THE BUTT AND NAILED IN THE UNEXPOSED AREA 1" FROM EACH SIDE. j. PACKAGES OF COMPOSITION SHINGLES SHALL BEAR THE LABEL OF AN APPROVED TESTING LABORATORY HAVING A SERVICE FOR THE INSPECTION OF MATERIAL AND FINISHED PRODUCTS DURING MANUFACTURE. k. COMPOSITION SHINGLES SHALL BE FASTENED ACCORDING TO MANUFACTURER'S PRINTED INSTRUCTIONS BUT NOT LESS THAN FOUR NAILS PER EACH STRIP SHING NOT MORE THAN 36" WIDE AND TWO NAILS PER EACH INDIVIDUAL SHINGLE LESS THAN 27" WIDE. COMPOSITION SHINGLE ROOFS SHALL HAVE AN UNDERLAYMENT OF NOT LESS THAN 1/8" FELT. COMPOSITION SHINGLE NOT TO BE USED FOR PITCH LESS THAN 4:12. l. NAILS FOR COMPOSITION ROOFS SHALL BE NOT SMALLER THAN NO. 12 GAUGE WITH HEADS NOT LESS THAN 3/8" IN DIAMETER FOR SHINGLE APPLICATION AND 7/8" IN DIAMETER FOR BUILT UP ROOFS, AND SHALL BE LONG ENOUGH TO PENETRATE INTO THE SHEATHING 3/4" OR THROUGHOUT THE THICKNESS OF THE SHEATHING, WHO-EVER IS LESS. SMALLER SIZE HEAD NAILS MAY BE USED PROVIDED METAL DISCS ARE USED WITH THEM. EXPOSED NAILS AND SHINGLE NAILS SHALL BE CORROSION-RESISTANT.

- B. VENTILATION: (NOT REQUIRED WITH OPEN-CELL SPRAY FOAM INSULATION) 1. ROOF VENTILATION IS REQUIRED AT ALL ENCLOSED ATTICS AND ENCLOSED RAFTER/TRUSS SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE INTERIORS OF ROOF RAFTERS/TRUSSES. 2. CROSS VENTILATION SHALL BE PROVIDED AT EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. 3. RIDGE VENTS TO BE INSTALLED PER MANUFACTURER'S WRITTEN SPECIFICATIONS. 4. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/500 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1/300, PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3'-0" ABOVE EAVE OR CORNER VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION BY EAVE OR SOFFIT. 5. FOR ANY OVERBUILT ROOF CONDITIONS - CONTRACTOR TO PROVIDE A MIN. (3) SQUARE FOOT OPENING THRU THE ROOF SHEATHING TO PROVIDE ADEQUATE VENTILATION.

DAMP/PROOFING AND WATERPROOFING: SECTION 0710

- PART-1 REFERENCE: A. THE RESIDENTIAL CODE OF OHIO (R.C.O.), LATEST EDITION. B. ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS. PART-2 PRODUCTS: A. WATERPROOFING TO BE "TUFF-N-DRI H9" WATERPROOFING MEMBRANE BY TREMCO. MEMBRANE TO CONFORM TO ASTM D-3088 AND MUST COMPLY WITH K.C.O. SECTION K406, UNLESS NOTED OTHERWISE ON THE DRAWINGS. B. FOUNDATION PROTECTION BOARD TO BE "WARMA-N-DRI" FOUNDATION BOARD BY TREMCO. THICKNESS PER DRAWINGS, UNLESS NOTED OTHERWISE ON THE DRAWINGS. PART-3 EXECUTION: A. FOUNDATION WALL SURFACE MUST BE CLEAN, DRY AND FREE OF MORTAR, SAND, SOIL, WATER, FROST OR ANY OTHER LOOSE MATERIALS. SURFACE MUST ALSO BE FREE OF ANY PROJECTIONS. B. PREPARE SURFACES PER MANUFACTURER'S WRITTEN SPECIFICATIONS. C. APPLY SPRAYED WATERPROOFING MEMBRANE PER MANUFACTURER'S WRITTEN SPECIFICATIONS TO A THICKNESS OF 60 MILS WITH A CURED THICKNESS OF 40 MILS. APPLY TO LEVEL OF FINISH GRADE. D. APPLY 4#8 SHEETS OF WARMA-N-DRI FOUNDATION BOARD PER MANUFACTURER'S SPECIFICATIONS UP TO THE LEVEL OF FINISH GRADE. BOARD THICKNESS AND R-VALUE PER DRAWINGS.

INSULATION: SECTION 0720

- PART-1 REFERENCE: A. THE RESIDENTIAL CODE OF OHIO (R.C.O.), LATEST EDITION. B. ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS. C. NAIMA - NORTH AMERICAN INSULATION MANUFACTURERS ASSOCIATION. PART-2 PRODUCTS: A. RAFT FACED BATT INSULATION: GLASS FIBER THERMAL INSULATION COMPLYING WITH ASTM C 665, TYPE II, CLASS C. INSULATION EXCLUSIVE OF FACING NON-COMBUSTIBLE WHEN TESTED IN ACCORDANCE WITH ASTM E 1363 EXTRA WIDE STAPLING FLANGES, UNLESS NOTED OTHERWISE IN THE DRAWINGS. B. R-VALUE AS INDICATED WHEN TESTED IN ACCORDANCE WITH ASTM C 518. C. INSULATION WORK TO COMPLY WITH K.C.O. CHAPTER 11, ENERGY EFFICIENCY.

INSULATION: SECTION 07210 (CONTINUED)

- PART-3 EXECUTION: A. INSULATION MUST BE PROVIDED TO ALL EXTERIOR WALLS, FOUNDATIONS AND CEILING OF HEATED SPACES WITH VAPOR BARRIER TO THE WARM SIDE INSTALL WITH NAILING FLANGES PER MANUFACTURER'S SPECIFICATION AND MUST BE AT A WIDTH THAT COMPLETELY FILLS THE CAVITY: 1. R-10 RIGID INSULATION FOR BASEMENT OR SLAB FOUNDATIONS. 2. R-15 BATT FOR 2-4 EXTERIOR STUD WALLS 3. R-19 BATT FOR 2-6 STUD WALLS 4. R-25 BATT FOR 2-8 STUD WALLS 5. R-30 BATT HIGH DENSITY FOR 2-10 SLOPED RAFTERS (CATHEDRAL CEILING), U.I.O. 6. R-38 BATT HIGH DENSITY FOR 2-10 SLOPED RAFTERS (CATHEDRAL CEILING), U.I.O. 7. R-38 BATT FOR FLAT CEILING, U.I.O. B. INSTALL POLYSTYRENE THERMAL Baffles AT ALL EAVES TO MAINTAIN A MINIMUM AIRSPACE OF 1" FOR AIR CIRCULATION (ROOF VENTILATION). C. PROVIDE AN EQUIVALENT OF R-8 (MIN) AROUND ALL DUCTWORK IN UNHEATED SPACES, INCLUDING UNDER SLABS ON GRADE OR HEATED SPACES. D. PROVIDE R-15 QUIET THERM INSULATION AT ALL BATHROOM AND POWDER ROOM WALLS FOR SOUND ATTENUATION - VERIFY W/ OWNER. E. INSTALL IN ACCORDANCE WITH NAIMA RECOMMENDATIONS FOR INSTALLATION IN RESIDENTIAL AND OTHER LIGHT-FRAME CONSTRUCTION - FIBER GLASS BUILDING INSULATION AND MANUFACTURER'S INSTRUCTIONS.

JOINT SEALANTS: SECTION 07300

- USE A 50-YEAR WARRANTY SILICON BASED CAULK AT HIGH EXPANSION/COMPRESSION AREAS, SUCH AS AROUND CHIMNEYS, TILE, CERAMIC AND AROUND ENAMEL AND PRE-FABRICATED TUBS AND SHOWERS. FOR EXTERIOR WINDOWS, DOOR FRAMES, INTERIOR TRIM, WOODWORK AND OTHER PAINTABLE SURFACES, USE A CLEAR OR COLORED LATEX BASED CAULK. COLOR SHALL MATCH WINDOW FRAME OR PAINT.

DOORS AND WINDOWS: DIVISION - 8

DOORS: SECTION 0821

- PART-1 REFERENCE: A. AAMA - AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION. B. NWWDA - NATIONAL WOOD WINDOW AND DOOR ASSOCIATION. C. WDMA - WINDOW AND DOOR MANUFACTURERS ASSOCIATION. D. SIO - STEEL DOOR INSTITUTE - SIO 100 FOR STEEL DOORS AND FRAMES. E. NFPA - NATIONAL FIRE PROTECTION ASSOCIATION - NFPA-80 FOR FIRE DOORS AND WINDOWS. F. CPSC - CONSUMER PRODUCTS SAFETY COMMISSION - CPSC CFR PART 1201-86 FOR ARCHITECTURAL GLAZING STANDARDS AND RELATED MATERIALS. G. ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS - ASTM E-283, ASTM E-281, ASTM E-847. PART-2 PRODUCTS: A. ALL DOORS AND GLASS DOORS SHALL BEAR THE LABELS OF THE ABOVE REFERENCES INDICATING COMPLIANCE WITH PERFORMANCE STANDARDS, INCLUDING ANSIA/MANAWOODA 101U.5.2 OR AAMA/WDMA 101U.5.2/NAF5. 1. EXCEPTIONS: 1. REGARDLESS OF THE TYPE OR REQUIREMENTS OF THE SLIDING GLASS DOORS SET FORTH IN THE AFOREMENTIONED SPECIFICATIONS, NO SLIDING GLASS DOOR MAY BE SELECTED UNLESS AIR INFILTRATION EXCEEDS 0.50 CFM PER SQUARE FOOT OF DOOR AREA WHEN TESTED IN ACCORDANCE WITH ASTM E 288 AT A PRESSURE DIFFERENTIAL OF 1.56 PSF. 2. WHEN SELECTING SLIDING GLASS DOORS IN ACCORDANCE WITH THE AFOREMENTIONED SPECIFICATIONS, THE DESIGN LOADING SHALL NOT EXCEED 66 2/3 PERCENT OF THE UNIFORM STRUCTURAL TEST LOADING SET FORTH IN THE SPECIFICATION. B. FLASHING: 1. "GRADE YCOCOR PLUS SELF-ADHERED FLASHING" OR EQUIVALENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AROUND EACH JAMB, AND HEAD. 2. SILICUARD TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EACH SILL. 3. "GRADE YCOCOR PLUS PREFABRICATED CORNERS" OR EQUIVALENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EACH BOTTOM CORNER. 4. FLASHING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH HOUSE WRAP. C. HARDWARE: 1. HINGES: DOORS UP TO 6'-8" TO RECEIVE 1-1/2" PAIR BUTT HINGES, DOORS UP TO 8'-0" TO RECEIVE 2" PAIR BUTT HINGES. 2. PROVIDE LATCH STRIKES, STRIKE BOXES, DOOR STOPS AND LOCKSETS. 3. EXTERIOR DOORS, PROVIDE FULL MORTISE LOCK AND LEVER HANDLE SETS AND DEADBOLT. 4. EXTERIOR DOORS, PROVIDE THRESHOLD. 5. INTERIOR GARAGE PASS DOORS SHALL BE 20 MIN. RATED WITH HYDRAULIC CLOSERS, FULLY WEATHERSTRIPPED, WITH THRESHOLD AND PRIVACY LOCKSET AND TRACK. 6. INTERIOR DOORS TO RECEIVE THE FOLLOWING: a. BATHROOM/POWDER ROOMS - PRIVACY LOCKSET c. LOCKETS - PASSAGE SETS 4. WATER CLOSET ROOMS - PRIVACY SETS

- PART-3 EXECUTION: A. EXAMINATION: 1. VERIFICATION OF CONDITIONS: BEFORE INSTALLATION, VERIFY OPENINGS ARE PLUMB, SQUARE, AND OF PROPER DIMENSION AS REQUIRED IN SECTION 0710 DO. REPORT FRAME DEFECTS OR UNSUITABLE CONDITIONS TO THE GENERAL CONTRACTOR BEFORE PROCEEDING. 2. ACCEPTANCE OF CONDITIONS: BEGINNING OF INSTALLATION CONFIRMS ACCEPTANCE OF EXISTING CONDITIONS. B. INSTALLATION: 1. ASSEMBLE AND INSTALL DOORS, STATIONARY UNITS AND FRAMES ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND REVIEWED SHOP DRAWINGS. 2. SET DOOR SILLS IN FULL BED OF SEALANT AND INSTALL RELATED BACKING MATERIALS AND SEALANT AT HEAD AND SIDE. JAMBS OF UNIT, DO NOT USE HIGH EXPANSIVE FOAM SEALANT. 3. INSTALL ACCESSORY ITEMS AS REQUIRED. C. CLEANING: 1. REMOVE VISIBLE LABELS AND ADHESIVE RESIDUE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. 2. LEAVE WINDOWS AND GLASS IN A CLEAN CONDITION. D. PROTECTING INSTALLED CONSTRUCTION: 1. PROTECT WINDOWS FROM DAMAGE BY CHEMICALS, SOLVENTS, PAINT, OR OTHER CONSTRUCTION OPERATIONS THAT MAY CAUSE DAMAGE.

DOORS AND WINDOWS: DIVISION - 8 (CONTINUED)

ALUMINUM CLAD WOOD WINDOWS: SECTION 0852

- PART-1 REFERENCE: A. AAMA - AMERICAN ARCHITECTURAL MANUFACTURERS ASSOCIATION. B. NWWDA - NATIONAL WOOD WINDOW AND DOOR ASSOCIATION. C. WDMA - WINDOW AND DOOR MANUFACTURERS ASSOCIATION. D. AWI - ARCHITECTURAL WOODWORK INSTITUTE. E. NFPA - NATIONAL FIRE PROTECTION ASSOCIATION - NFPA-80 FOR FIRE DOORS AND WINDOWS. F. CPSC - CONSUMER PRODUCTS SAFETY COMMISSION - CPSC CFR PART 1201-86 FOR ARCHITECTURAL GLAZING STANDARDS AND RELATED MATERIALS. G. ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS - ASTM E-280, ASTM E-281, ASTM E-847. PART-2 PRODUCTS: A. ALL WINDOWS AND SKYLIGHTS SHALL BEAR THE LABELS OF THE ABOVE REFERENCES INDICATING COMPLIANCE WITH PERFORMANCE STANDARDS, INCLUDING ANSIA/MANAWOODA 101U.5.2 OR AAMA/WDMA 101U.5.2/NAF5. B. WINDOW FLASHING: 1. "GRADE YCOCOR PLUS SELF-ADHERED FLASHING" OR EQUIVALENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AROUND EACH WINDOW JAMB, AND HEAD. 2. SILICUARD TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EACH WINDOW SILL. 3. "GRADE YCOCOR PLUS PREFABRICATED CORNERS" OR EQUIVALENT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT EACH WINDOW BOTTOM CORNERS. 4. FLASHING TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH HOUSE WRAP. C. TEMPERED GLASS SHALL BE STANDARD PRODUCT OR RECOGNIZED MANUFACTURER SIZES AS SHOWN ON THE DRAWINGS, WHETHER OR NOT INDICATED ON THE DRAWINGS, PROVIDE TEMPERED GLASS IN ALL HAZARDOUS LOCATIONS AS REQUIRED BY THE RESIDENTIAL CODE OF OHIO, LATEST VERSION. WINDOWS SHALL BE TESTED AND CERTIFIED TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF THE ABOVE REFERENCES AND SHALL CONFORM TO ASTM C-973.

- D. EMERGENCY ESCAPE WINDOWS: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. THE UNITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS OR SEPARATE TOOLS. 1. SILL HEIGHT OF NOT MORE THAN 44" ABOVE FINISHED FLOOR. 2. FIRST FLOOR NET CLEAR OPENING OF 20 SQUARE FEET MINIMUM, WITH NORMAL OPERATION. 3. SECOND FLOOR NET CLEAR OPENING OF 5.7 SQUARE FEET, MINIMUM, WITH NORMAL OPERATION. 4. NET CLEAR HEIGHT OF OPENING SHALL BE A MINIMUM OF 34". 5. NET CLEAR WIDTH OF OPENING SHALL BE A MINIMUM OF 20". 6. BARS, GRILLS OR SCREENS PLACED OVER EMERGENCY ESCAPE WINDOWS SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT USE OF A KEY, TOOL OR EXCESSIVE FORCE. E. MANUFACTURED UNITS: DESCRIPTION: DRAWINGS INDICATE AN ALUMINUM CLAD DOUBLE HUNG, CASEMENT, AWNING, AND/OR FIXED WINDOW TO MATCH EXISTING AND EQUIVALENT TO "WEATHERHELP". WEATHER STRIP: WEATHER STRIPPED AT FRAME PERIMETER WITH FLEXIBLE GASKETS. GASH WEATHER STRIPPED AT FERMIETER WITH COMBINATION SULE AND LEAF WEATHER STRIP. G. JAMB EXTENSION: FURNISH FACTORY INSTALLED JAMB EXTENSION FOR WALL THICKNESS INDICATED OR REQUIRED. MATCH INTERIOR FRAME FINISH. H. INSECT SCREENS TO BE INCLUDED W/ WINDOWS. I. ACCESSORIES AND TRIM: PROVIDE ALL VINYL NAILING FINISH/CRIP CAP, BRACKETS AND SILL GUARD

- PART-3 EXECUTION: A. EXAMINATION: 1. VERIFICATION OF CONDITIONS: BEFORE INSTALLATION, VERIFY OPENINGS ARE PLUMB, SQUARE, AND OF PROPER DIMENSION AS REQUIRED IN SECTION 0710 DO. REPORT FRAME DEFECTS OR UNSUITABLE CONDITIONS TO THE GENERAL CONTRACTOR BEFORE PROCEEDING. 2. ACCEPTANCE OF CONDITIONS: BEGINNING OF INSTALLATION CONFIRMS ACCEPTANCE OF EXISTING CONDITIONS. B. INSTALLATION: 1. ASSEMBLE AND INSTALL WINDOW UNITS ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND REVIEWED SHOP DRAWINGS. 2. INSTALL SEALANT AND RELATED BACKING MATERIALS AT PERIMETER OF UNIT OR ASSEMBLY. DO NOT USE HIGH EXPANSIVE FOAM SEALANT. 3. INSTALL ACCESSORY ITEMS AS REQUIRED. 4. USE FINISH NAILS TO APPLY WOOD TRIM AND MOLDINGS. C. CLEANING: 1. REMOVE VISIBLE LABELS AND ADHESIVE RESIDUE ACCORDING TO MANUFACTURER'S INSTRUCTIONS. 2. LEAVE WINDOWS AND GLASS IN A CLEAN CONDITION. D. PROTECTING INSTALLED CONSTRUCTION: 1. PROTECT WINDOWS FROM DAMAGE BY CHEMICALS, SOLVENTS, PAINT, OR OTHER CONSTRUCTION OPERATIONS THAT MAY CAUSE DAMAGE.

FINISHES: DIVISION - 9

GYPSPUM: SECTION 0925

- PART-1 REFERENCE: A. THE RESIDENTIAL CODE OF OHIO (R.C.O.), LATEST EDITION AND IN CONFORMANCE WITH THE AGENCIES LISTED BELOW. 1. ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS. 2. UL - UNDERWRITERS' LABORATORIES, INC. PART-2 PRODUCTS: A. GYPSPUM WALL BOARD, WATER RESISTANT GYPSPUM WALL BOARD, GYPSPUM BACKING BOARD, EXTERIOR GYPSPUM SOFFIT BOARD, GYPSPUM SHEATHING BOARD, GYPSPUM BASE FOR VENEER PLASTER, GYPSPUM LATH AND GYPSPUM CEILING BOARD SHALL CONFORM TO ASTM C-1396/C-1396M. 1. GYPSPUM BOARD SIZES ARE AS SPECIFIED BELOW AS SHOWN ON THE DRAWINGS. a. WALLS: 1/2" THICKNESS, U.I.O. b. CEILING: 1/2" THICKNESS, U.I.O. 2. WATER RESISTANT GYPSPUM BOARD THICKNESS TO MATCH ADJACENT GYPSPUM BOARD THICKNESS. NOT TO BE USED AS TILE BACKER. 3. ACCEPTABLE MANUFACTURERS: a. GEORGIA PACIFIC CORP. b. UNITED STATES GYPSPUM COMPANY. B. FIRE RATED GYPSPUM BOARD SHALL CONFORM TO ASTM E-119 AND ONE-HOUR UL RATING AND BE 5/8" THICK UNLESS NOTED OTHERWISE ON THE DRAWINGS. C. FLOOR UNDERLAYMENTS SHOULD BE INSTALLED PER FINISH FLOOR MANUFACTURER'S REQUIREMENTS AND SPECIFICATIONS. D. WET LOCATION BACKER BOARD: IN WET LOCATIONS AND FOR TILE INSTALLATION, USE WATER RESISTANT TREATED CORE BACKER BOARD WITH GLASS MAT MOISTURE PROTECTANT COATING AND EMBOSSED GLASS MATS, BOTH SIDES. PROVIDE TYPE AND THICKNESS LISTED BELOW IN MAXIMUM LENGTH AVAILABLE TO MINIMIZE END TO END BUTT JOINTS. 1. THICKNESS: 1/2" UNLESS NOTED OTHERWISE. 2. MATERIAL: DENS-SHIELD (BY GEORGIA PACIFIC) E. ACCESSORIES: ALL ADHESIVES, MASTIC, TAPES, SCREWS, METAL CORNER BEADS AND OTHER ACCESSORIES AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION AS RECOMMENDED BY THE MANUFACTURER OF THE GYPSPUM BOARD. FOR TUB/SHOWER LOCATIONS, USE AN INTERIOR-EXTERIOR ADHESIVE.

FINISHES: DIVISION - 9 (CONTINUED)

GYPSPUM: SECTION 0925 (CONTINUED)

- PART-3 EXECUTION: A. ALL GYPSPUM TO BE INSTALLED WITH SCREWS AND ADHESIVE AND FINISH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND IN CONFORMANCE WITH CODES IDENTIFIED ABOVE. B. DO NOT INSTALL UNTIL WEATHER PROTECTION AND OTHER RECOMMENDED ENVIRONMENTAL REQUIREMENTS ARE PROVIDED. C. PROVIDE WATER-RESISTANT GYPSPUM BOARD AT AREAS SUBJECT TO REPEATED DAMP CONDITIONS AND MOISTURE ACCUMULATIONS. D. INSTALL BACKER BOARD AT ALL AREAS TO RECEIVE TILE FINISH. E. GYPSPUM BOARD FINISH TO BE AS FOLLOWS: 1. INTERIOR WALLS: SMOOTH FINISH 2. INTERIOR CEILING: SMOOTH FINISH 3. GARAGE WALLS: SMOOTH FINISH 4. GARAGE CEILING: SMOOTH FINISH F. ALL VERTICAL ENDS MUST FALL ON A STUD OR OVER A SUPPORT. G. INSTALL ALL CORNER BEADS AND EDGE TRIMS WHEREVER EDGES WOULD BE EXPOSED. H. USE RUST RESISTANT SCREWS IN WET LOCATIONS. I. FOR SMOOTH FINISH, APPLY JOINT COMPOUND IN 3 COATS (NOT INCLUDING PRE-FILL) AND SAND BETWEEN LAST 2 COATS AND AFTER LAST COAT. TITLE: SECTION 0930 PART-1 REFERENCE: A. ASTM - AMERICAN SOCIETY FOR TESTING AND MATERIALS. B. ANSI - AMERICAN NATIONAL STANDARD INSTITUTE PART-2 PRODUCTS: A. UNDERLAYMENT: WATER RESISTANT BACKER BOARD (PER SECTION 0925) B. COMPLY WITH ANSI A87.1 "AMERICAN NATIONAL STANDARD SPECIFICATIONS FOR CERAMIC TILE" FOR TYPES AND GRADES OF TILES USED. C. PROVIDE ALL TILE AND TRIM UNITS. TILE TO BE 3" x 3" CERAMIC, COLOR "WHITE". D. FOLLOW ANSI STANDARD FOR TILE INSTALLATION MATERIALS. E. PROVIDE SETTING MATERIALS. ACCEPTABLE MANUFACTURERS ARE: 1. DAP 2. AM SAFEGAT 3 IN 1 ADHESIVE G. GROUT: PROVIDE LATEX-FORTIFIED GROUT. COLOR TO BE "WHITE". H. SEALER: PROVIDE PENETRATING SEALER AS MANUFACTURED BY AQUAMIX, TILE LAB, OR EQUIVALENT. I. TILE CLEANER: PRODUCT SPECIFICALLY ACCEPTABLE TO MANUFACTURER OF TILE AND GROUT. PART-3 EXECUTION: A. INSTALL TILE BACKER BOARD PER MANUFACTURER'S RECOMMENDATIONS TO FULLEST LENGTHS TO MINIMIZE JOINTS. B. INSTALL TILE PER ANSI TILE INSTALLATION STANDARD C. FOLLOW ADHESIVE MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION. D. ALL EXPOSED TILE EDGES SHALL BE BULLNOSED INCLUDING ALL BASES AND ALL OUTSIDE CORNERS. E. CUT TILE EDGES SHALL NOT BE PERMITTED AGAINST TUBS, OTHER MATERIALS OR SHOWER BASES. F. TILE SHOWER BASES SHALL BE INSTALLED OVER PLASTIC MEMBRANE. G. GROUT TILE TO COMPLY WITH REFERENCED INSTALLATION STANDARDS USING GROUT MATERIALS INDICATED. INSTALL PER MANUFACTURER'S SPECIFICATIONS. H. SEAL ALL TILE WORK, AS DIRECTED BY SELER MANUFACTURER'S SPECIFICATIONS. I. UPON COMPLETION OF PLACEMENT AND GROUTING, CLEAN ALL TILE SURFACES SO THAT THEY ARE FREE OF FOREIGN MATTER FOLLOWING MANUFACTURER'S RECOMMENDATIONS.

RESILIENT FLOORING: SECTION 0965

- A. SELECTION IS BY THE OWNER. B. INSTALLATION TO BE DONE IN STRICT ACCORDANCE OF THE MANUFACTURER'S SPECIFICATIONS.

CARPET: SECTION 0968

- A. SELECTION IS BY THE OWNER. B. INSTALLATION OF PADDING AND CARPET TO BE DONE IN STRICT ACCORDANCE OF THE MANUFACTURER'S SPECIFICATIONS.

PAINTING: SECTION 0990

- PART-1 REFERENCE: A. SCOPE: THE WORK IN THIS SECTION SHALL INCLUDE THE FOLLOWING: 1. PAINTING AND STAINING OF ALL SURFACES INSIDE AND OUTSIDE, EXCLUDING THE BASEMENT UNLESS NOTED OTHERWISE ON THE DRAWINGS. 2. PAINTING AND STAINING ALL WINDOWS AND DOORS AND TRIM INSIDE AND OUTSIDE, INCLUDING ALL EDGES. 3. VARNISHING OR URETHANE COATING ALL WOODWORK, SPECIFIED TO RECEIVE NATURAL FINISH. PART-2 PRODUCTS: A. PRIMER: PROVIDE PRIMERS AS MANUFACTURED BY SHERWIN-WILLIAMS LISTED RECOMMENDED FOR LOCATIONS AND PAINT FINISHES OR EQUIVALENT. B. ALL INTERIOR PAINT TO BE "DURATION HOME INTERIOR LATEX" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. C. ALL INTERIOR WOODWORK TO BE "ALL SURFACE ENAMEL LATEX AND ALKYL" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. D. EXTERIOR PAINT TO BE "DURATION EXTERIOR LATEX COATING" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. E. INTERIOR STAINS TO BE "WOOD CLASSICS INTERIOR STAIN" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. F. INTERIOR STAIN FINISH TO BE "WOOD CLASSICS POLYURETHANE VARNISH" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. G. EXTERIOR STAINS TO BE "WOODSCAPES EXTERIOR HOUSE STAIN" AS MANUFACTURED BY SHERWIN-WILLIAMS OR EQUIVALENT. PART-3 EXECUTION: A. ALL SURFACES TO BE PROPERLY PREPARED FOR FINISHING INCLUDING FILLING AND SANDING ALL SURFACES AS REQUIRED. NAIL HOLES AND ANY IMPERFECTIONS ARE TO BE PUTTED AND Sanded SMOOTH. WOODWORK SHALL BE PROPERLY PREPARED PRIOR TO STAINING PER MANUFACTURER'S SPECIFICATIONS. B. EXTERIOR PAINTING SHALL NOT BE DONE IN FREEZING WEATHER. C. PAINTING SHALL BE APPLIED AS FOLLOWS: 1. EXTERIOR WOOD SIDING, DOORS, AND TRIM: ONE COAT OF PRIMER AND TWO COATS OF EXTERIOR PAINT. 2. INTERIOR GYPSPUM BOARD: ONE COAT OF PRIMER AND TWO COATS OF INTERIOR PAINT. FINISHES PER OWNER. 3. INTERIOR STAINING: TWO COATS OF STAIN AND TWO COATS OF VARNISH. FINISH PER OWNER. 4. EXTERIOR STAINING: TWO COATS OF EXTERIOR STAIN. FINISH PER OWNER.



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BULLETIN	DATE

DATE	SET	ISSUANCE
08-29-19	CLIENT REVIEW	
09-09-19	FOR PERMIT AND BID	
09-21-19	FOR PERMIT	

PROJECT # 1945

SPECS

SHEET NUMBER:

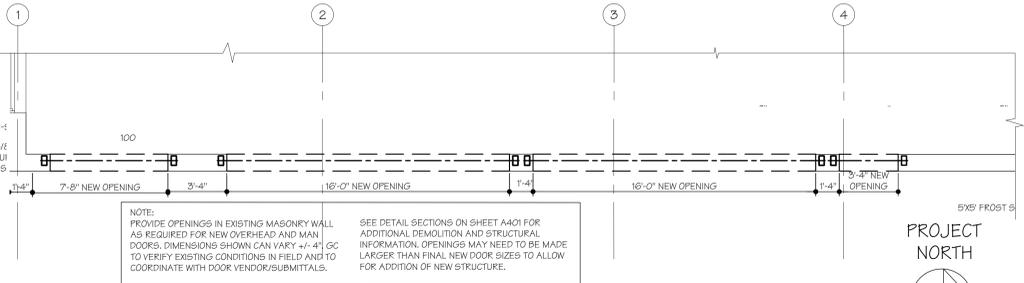
A-013

DEMOLITION GENERAL NOTES

- SCOPE/SEQUENCE COORDINATION
 - G.C. TO OBTAIN REQUIRED PERMITS.
 - DEMOLITION INDICATED ON THE DRAWINGS IS SHOWN IN GENERAL TO INDICATE THE EXTENT OF DEMOLITION AND IS NOT TO BE CONSIDERED AS A RECORD DRAWING OF EXISTING CONDITIONS.
 - REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION. BEGINNING OF DEMOLITION WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS THAT WOULD BE APPARENT UPON EXAMINATION PRIOR TO STARTING DEMOLITION. DO NOT PROCEED WITH DEMOLITION WITHOUT WRITTEN AUTHORITY TO PROCEED. COORDINATE ALL DEMOLITION WORK WITH LANDLORD. MAINTAIN EXISTING ACTIVE SYSTEMS THAT ARE TO REMAIN IN OPERATION; MAINTAIN ACCESS TO EQUIPMENT AND OPERATIONS.
- DEMOLITION AND STRUCTURE
 - REMOVE EXISTING CONSTRUCTION AS INDICATED ON DRAWINGS AND REQUIRED TO ALLOW FOR NEW CONSTRUCTION. REPLACE OR REPAIR ITEMS AS NECESSARY TO MEET THE REQUIREMENTS OF THE NEW CONSTRUCTION AND IN ACCORDANCE WITH APPLICABLE BUILDING CODES, ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS.
 - WHERE PORTIONS OF THE EXISTING STRUCTURE ARE TO BE REMOVED, REMAINING STRUCTURE SHALL BE ADEQUATELY SUPPORTED USING TEMPORARY BRACINGS, UNDERPINNING OR OTHER SHORING AS NECESSARY TO PREVENT SHIFTING, MOVEMENT OR FAILURE OF EXISTING CONSTRUCTION TO REMAIN, PRIOR TO THE BEGINNING OF DEMOLITION. TEMPORARY SUPPORT TO REMAIN IN PLACE AND UNDISTURBED UNTIL FINAL CONSTRUCTION OF PERMANENT STRUCTURE IS COMPLETED.
 - WHERE NEW SURFACE FINISHES ARE NOT SPECIFIED OR INDICATED, PATCH HOLES AND DAMAGED SURFACES TO MATCH ADJACENT FINISHED SURFACES AS CLOSELY AS POSSIBLE.
- TEMPORARY BARRIERS:
 - PROVIDE, ERECT AND MAINTAIN TEMPORARY PHYSICAL BARRIERS, BARRICADES, SIGNS, WARNING LIGHTS OR OTHER SAFETY DEVICES TO ENSURE SAFETY TO THE OWNER AND GENERAL PUBLIC FROM HAZARDOUS CONDITIONS WHICH MAY ARISE AS A RESULT OF THE WORK. DUST, DEBRIS, AIRBORNE PAINTS, DISTURBING OR TOXIC FUMES OR OTHERS ARE TO BE ISOLATED FROM THE GENERAL PUBLIC. DAMAGES RESULTING FROM THE PREVIOUSLY MENTIONED TO BE REMEDIATED BY THE CONTRACTOR.
- SAFETY
 - CONTRACTOR SHALL MAINTAIN ON PREMISES ONE (1) 25 LB. ABC DRY CHEMICAL EXTINGUISHER FOR EACH 4000 S.F. OF FLOOR AREA. MAXIMUM TRAVEL TO EACH EXTINGUISHER SHALL NOT EXCEED 75 FEET OF TRAVEL.
 - COMPLY WITH APPLICABLE REQUIREMENTS OF NFPA 241: WELDING, TORCH CUTTING OR OTHER METHODS OF HOT DEMOLITION WHERE THERE IS A PROBABILITY OF GENERATING HEAT, FLAME OR SPARKS IS PROHIBITED.
 - PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.
- ACCOMMODATIONS FOR WORKERS:
 - CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR USE BY PERSONNEL, LOCATED WHERE DIRECTED BY OWNER, WHICH SHALL BE CLEANED AS SERVICED ON A REGULAR BASIS. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND ZONING ORDINANCES AFFILIATED WITH PORTABLE TOILETS, WHERE APPLICABLE.
- PROTECTION
 - CONTRACTOR SHALL UTILIZE ALL MEANS NECESSARY, INCLUDING TEMPORARY ENCLOSURES, TO PROVIDE WEATHER RELATED AND SECURITY PROTECTION DURING DEMOLITION AND CONSTRUCTION. NEW CONSTRUCTION, STORED MATERIALS AND EXISTING FINISHED SPACES ARE TO BE PROTECTED FROM WATER, HUMIDITY, THERMAL AND WIND DAMAGE. THE CONTRACTOR SHALL REMEDY, AT THE CONTRACTOR'S EXPENSE, ANY DAMAGE THAT MAY OCCUR. MATERIALS STORED OUTSIDE SHALL BE COVERED AND PROTECTED WITH WATERPROOF TARPIS AND ADEQUATELY SECURED FROM NATURAL AND INDUCED MOVEMENT. WOOD AND SIMILAR MATERIALS SHALL NOT BE STORED IN CONTACT WITH THE GROUND.
 - PROTECT EXISTING UTILITIES TO REMAIN FROM DAMAGE.
- REPAIRS AND RESTORATION
 - SURFACES EXPOSED DUE TO DEMOLITION SHALL BE REPAIRED AND PREPARED FOR NEW FINISHES AS PER THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR SHALL REPAIR AND RESTORE TO ORIGINAL CONDITION ALL ITEMS TO PORTIONS OF WORK THAT ARE NOT NOTED TO BE DEMOLISHED, BUT ARE DAMAGED BY WORK UNDER THIS CONTRACT.
- UTILITIES/MEP - GENERAL (REFER TO MEP DRAWINGS FOR ADDITIONAL INFO)
 - GC IS TO CONFIRM THAT THE CONDITION & LOCATION OF EXISTING UTILITIES CORRESPOND WITH THE PROPOSED DESIGN FOUND IN THE CONSTRUCTION DOCUMENTS. GC TO REPLACE ANY ELEMENTS FOUND TO BE IN DISREPAIR AND NOTIFY THE ARCHITECT & DESIGN TEAM IF EXISTING CONDITIONS DIFFER FROM THAT SHOWN IN THE DRAWINGS. BEFORE DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE TO APPROPRIATE FIELD TESTING TO DETERMINE THE NATURE OF THE EXISTING ELECTRICAL, MECHANICAL, PLUMBING OR STRUCTURAL WORK TO BE DEMOLISHED IN ORDER TO PROTECT EXISTING WORK REMAINING AND TO PROTECT THE PUBLIC.
 - WHERE WORK BY THE GENERAL CONTRACTOR (WALL REMOVAL, NEW OR RELOCATED WALL OPENING, ETC) RESULTS IN THE REMOVAL, RELOCATION OR RE-FEEDING OF ELECTRICAL, MECHANICAL OR PLUMBING DEVICES (INCLUDING BUT NOT LIMITED TO ALARMS/SPRINKLER SYSTEMS ETC.) THAT CONTRACTOR SHALL DISCONNECT OR RECONNECT AS REQUIRED ALL ACTIVE DEVICES REMAINING ON THAT FLOOR AND/OR ASSOCIATED DEVICES. WHERE EXISTING SYSTEMS OR EQUIPMENT ARE NOT ACTIVE AND CONTRACT DOCUMENTS REQUIRE REACTIVATION, PUT BACK INTO OPERATIONAL CONDITION; REPAIR SUPPLY, DISTRIBUTION AND EQUIPMENT AS REQUIRED.
 - DO NOT CLOSE, SHUT OFF, OR DISRUPT EXISTING UTILITY BRANCHES OR TAKE-OFFS THAT ARE IN USE WITHOUT AT LEAST 7 DAYS PRIOR WRITTEN NOTIFICATION TO OWNER.
 - DRAWINGS SHOWING EXISTING CONSTRUCTION AND UTILITIES ARE BASED ON CASUAL FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS ONLY.
 - VERIFY THAT ABANDONED SERVICES SERVE ONLY ABANDONED FACILITIES BEFORE REMOVAL.
 - REMOVE ABANDONED PIPE, DUCTS, CONDUITS, AND EQUIPMENT, INCLUDING THOSE ABOVE ACCESSIBLE CEILING, BACK TO SOURCE OF SUPPLY WHERE POSSIBLE. OTHERWISE DISCONNECT, CAP AND TAG WITH IDENTIFICATION AT BOTH ENDS.

GENERAL NOTES

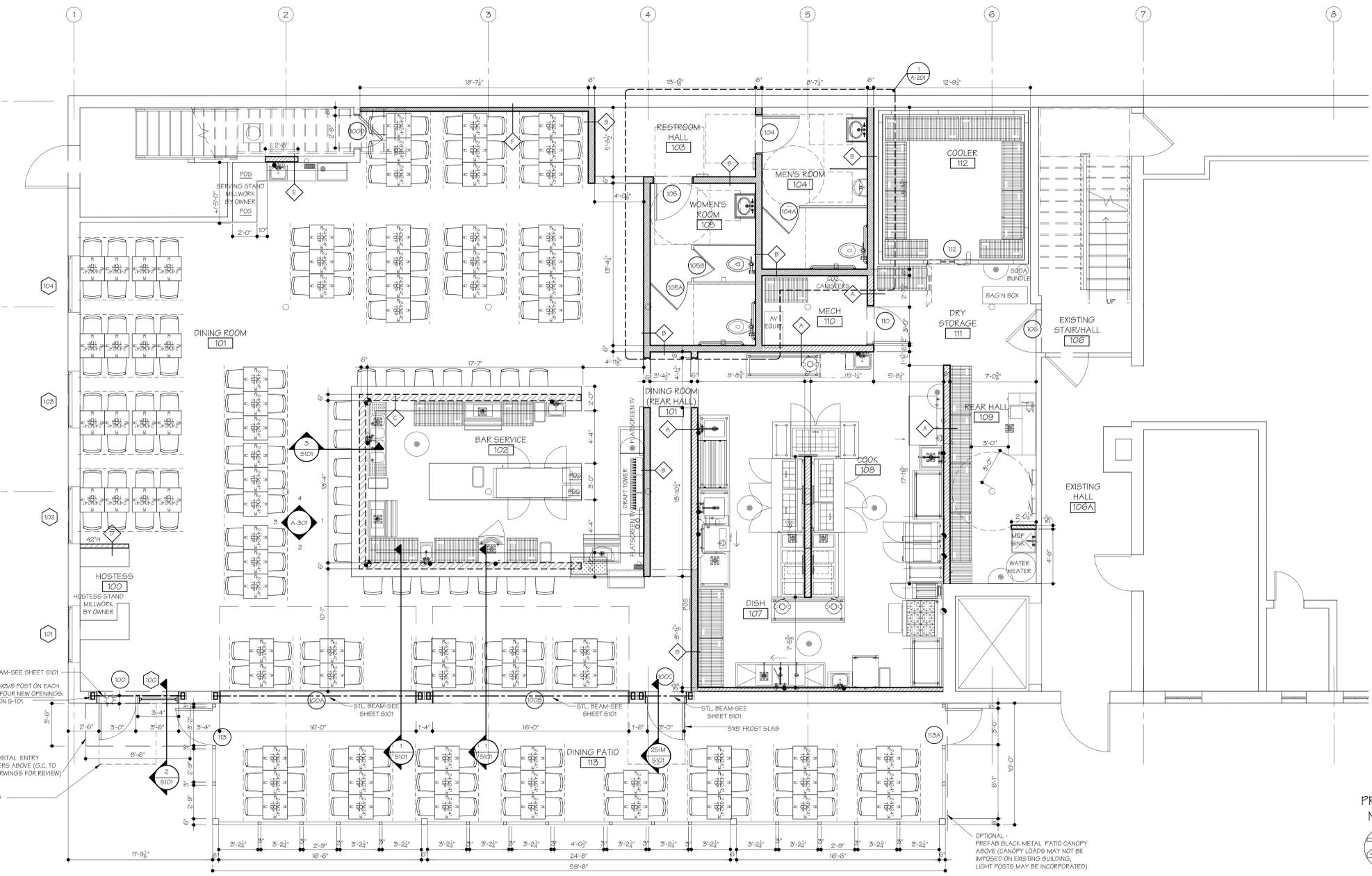
- ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD TO FACE OF STUD FOR NEW CONSTRUCTION UNLESS NOTED OTHERWISE.
- GC TO INSTALL BLOCKING IN WALL AS REQUIRED FOR EQUIPMENT, COUNTERS, CABINETS, ACCESSORIES, SIGNAGE, AWNINGS, ARTWORK, CURTAINS, DRAPEY, MIRRORS, ETC. REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL BLOCKING INFORMATION. GC TO COORDINATE WITH PROJECT MANAGER AND VENDORS FOR THEIR BLOCKING REQUIREMENTS.
- GC TO VERIFY REQUIRED ROUGH OPENINGS FOR ALL MILLWORK, DOORS, WINDOWS AND SIGHT LIGHTS WITH THE MILLWORK CONTRACTOR AND MILLWORK SHOP DRAWINGS.
- GC TO INSTALL SOUND ATTENUATION IN RESTROOM WALLS AND OFFICE WALLS AS DIRECTED BY OWNER.
- GC TO VERIFY CONDUIT, BLOCKING, UTILITIES, ETC. INSTALLED PRIOR TO INSTALLING BATT INSULATION.
- SLOPE SLAB AT DRAINS 1/4" INCH PER FOOT MIN. IN ALL DIRECTIONS UNLESS NOTED OTHERWISE. DRAINS TO BE SET 1/2" INCH BELOW TYP. CONCRETE FLOOR SLAB ELEVATION.
- BRACE TOPS OF WALLS TO STRUCTURE.
- PROVIDE FIRESTOPPING AS REQUIRED.
- REFER TO PLUMBING DRAWINGS FOR ALL FLOOR DRAIN AND CLEANOUT LOCATIONS. DRAINS ON PLAN ARE FOR REFERENCE ONLY.
- WALL TYPES
 - COORDINATE ALL LIGHT GAUGE METAL STUD FRAMING WITH STRUCTURAL DRAWINGS, INCLUDING BUT NOT LIMITED TO SIZING, SPACING, CONNECTIONS AND SPECIFICATIONS.
 - REFER TO FINISH SCHEDULE FOR GYPSUM BOARD AND CEMENT BOARD FINISH LEVEL REQUIREMENTS.
 - GC TO SUBMIT LIGHT GAUGE METAL FRAMING SHOP DRAWINGS AND CUT SHEETS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - GC TO COORDINATE THE FRAMING DESIGN WITH MECHANICAL, PLUMBING AND ELECTRICAL WORK, INCLUDING DUCT LAYOUT PRIOR TO THE INSTALLATION OF FRAMING OR DUCTWORK.
 - WALLS TO RECEIVE SHEATHING/SUBSTRATE SUITABLE FOR THEIR SPECIFIED FINISHES. REFER TO INTERIOR ELEVATIONS AND FINISH SCHEDULE FOR WALL FINISHES. EXTEND SUBSTRATE MIN. 6" ABOVE FINISHED CEILING TYP. INSTALL 5/8" GYPSUM BOARD OVER STUDS WHERE REQUIRED BY WALL TYPE.
 - NO FINISH GYPSUM BOARD
 - PAINT GYPSUM BOARD
 - WALL AND BASE TILE; TILE BACKER BOARD/DUROCK BOARD
 - RESIN BASE; DUROCK BOARD
 - HOOD; CEMENT OR BOARD BEHIND AND MIN. 18" BEYOND IN ALL DIRECTIONS
 - FFP; FIRE RATED PLYWOOD
 - STAINLESS STEEL; CEMENT BOARD
 - COOLER; GREEN BOARD WITH WATERPROOFING



PARTIAL DEMOLITION PLAN



1/4" = 1'-0" 2



BASE CONSTRUCTION PLAN



1/4" = 1'-0" 1

TAG TYPES

- 115 DOOR TAG - SEE DOOR SCHEDULE
- 102A WINDOW TAG - SEE WINDOW SCHEDULE
- A WALL TAG - SEE WALL TYPES BELOW
- 4 NOTE TAG - SEE SHEET NOTES LIST ON THIS PAGE

SHEET NOTES

- G.C. TO COORDINATE W/ OWNER FOR WINDOW ART AT STOREFRONT GLASS
- MECHANICAL PLATFORM LOCATED ABOVE CEILING. SEE SHEETS A-401 & A-402
- TYPICAL CUSTOM METAL DECORATIVE PANEL - SEE ELEVATIONS
- HOSTESS STAND (FURNITURE) TO BE PROVIDED BY OWNER.
- POINT OF SALE (POS)
- TYPICAL CUSTOM METAL RAILING SEGMENT - SEE ELEVATIONS
- TYPICAL CUSTOM METAL LIGHT POST - SEE ELEVATIONS

FLOOR PLAN LEGEND

- EXISTING METAL STUD WALL TO REMAIN
- NEW METAL STUD WALL - TO UNDERSIDE OF STRUCTURE
- NEW METAL STUD WALL - TO 6" ABOVE CLG
- NEW METAL STUD WALL - PARTIAL HEIGHT (ROOM DIVIDER)
- NEW METAL STUD WALL - PARTIAL HEIGHT (BAR DIE)
- EXISTING MASONRY WALL TO BE REMOVED FOR DOORS 100, 100A, 100B AND 100C. SEE ELEVATION ON A-302. SECTIONS ON 5-101 & DEMO NOTES ON A-111.

WALL TYPES

- NOTE: REPAIR/PATCH EXISTING TENANT SEPARATION WALLS (INCLUDING BUT NOT LIMITED TO SHEATHING) TO MAINTAIN PREVIOUSLY APPROVED EXISTING FIRE RATINGS AS REQUIRED BY LOCAL AND STATE CODES. SEE SECTION DRAWING A-401 FOR TYPICAL INTERIOR NON-BEARING WALL SECTION.
- NON-BEARING DEMISING WALL - 3 5/8" OR 6" x 20ga STUDS @ 16" OC - TO MIN 6" ABOVE ADJACENT CEILING. BRACE TOP OF WALL TO UNDERSIDE OF EXISTING STRUCTURE EVERY 48" O.C.
 - NON-BEARING DEMISING WALL - 3 5/8" OR 6" x 20ga STUDS @ 16" OC - TO DECK ABOVE W/ SOUND ATTENUATION BATTS AS DIRECTED BY OWNER. EXTEND SHEATHING/SUBSTRATE AND BRACE TO STRUCTURAL DECKING ABOVE.
 - NON-BEARING PARTIAL HEIGHT WALL - BAR DIE WALL. SEE BAR DETAIL PLAN AND DETAIL SECTION ON SHEET A-401. BRACE TO WALL AND FLOOR AS REQ'D.
 - NON-BEARING PARTIAL HEIGHT WALL - 6" x 20ga STUDS @ 16" OC - BRACE TO WALL AND FLOOR AS REQ'D. SEE PLAN FOR HEIGHT
 - DOOR INFILL WALL - STAGGERED 3 5/8" x 20ga STUDS @ 16" OC - FILL IN OPENING FLUSH TO WALL FINISH BOTH SIDES. PATCH TO MATCH ADJACENT SURFACES AS REQUIRED.
 - FURRED OUT WALL - 3 5/8" x 20ga STUDS @ 16" OC - OVER EXISTING WALL TO UNDERSIDE OF DECK. PATCH TO MATCH ADJACENT SURFACES AS REQUIRED.



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BULLETIN / DATE

PROJECT # 1945

BASE CONSTRUCTION PLAN

SHEET NUMBER:
A-111

GENERAL NOTES

1. SEE GATE DETAIL ON DOOR SCHEDULE SHEET A-401.
2. SEE RAILING PLAN DIMENSIONS ON BASE CONSTRUCTION PLAN A-111
3. RAILINGS AND POSTS TO HAVE FLAT BLACK FINISH.
4. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING.
5. SUBMIT SHOP DRAWINGS TO OWNER FOR OWNER AND LANDLORD APPROVAL.



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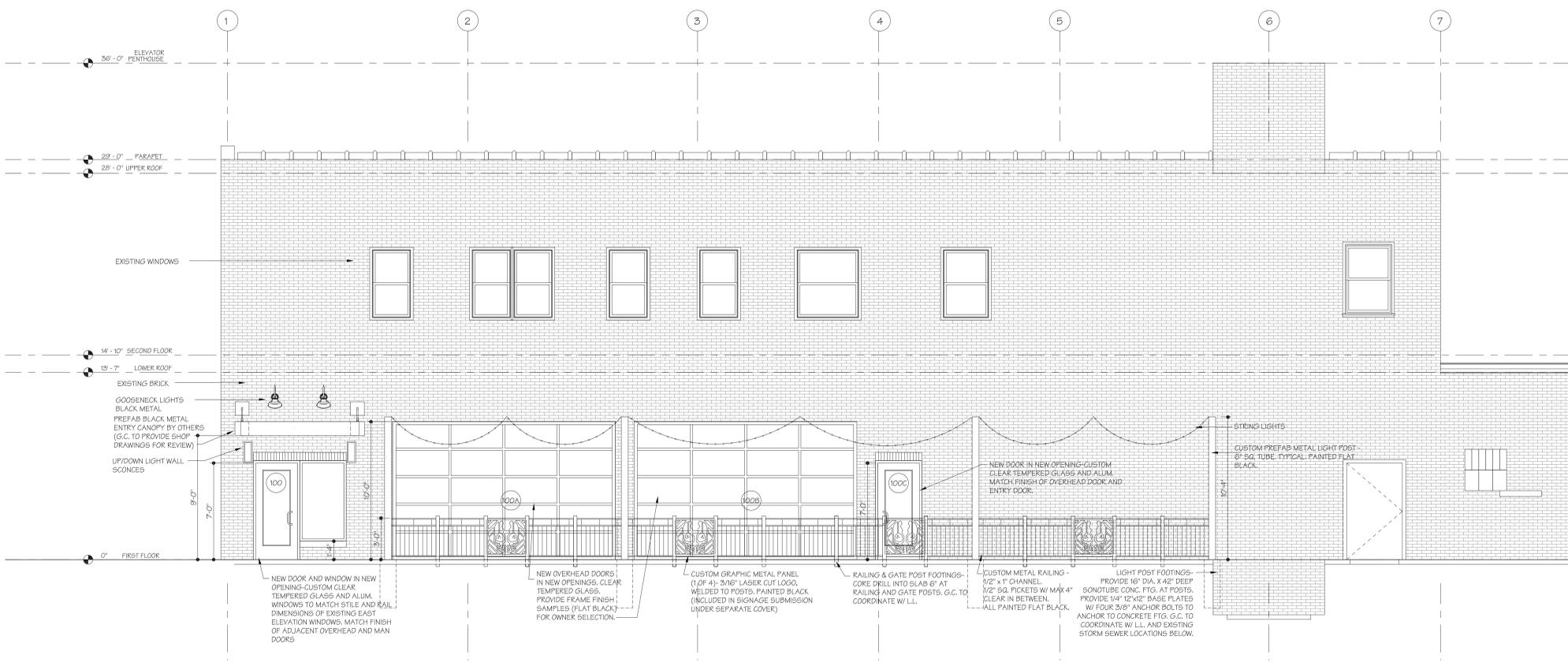
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PROJECT #: 1945

EXTERIOR ELEVATIONS

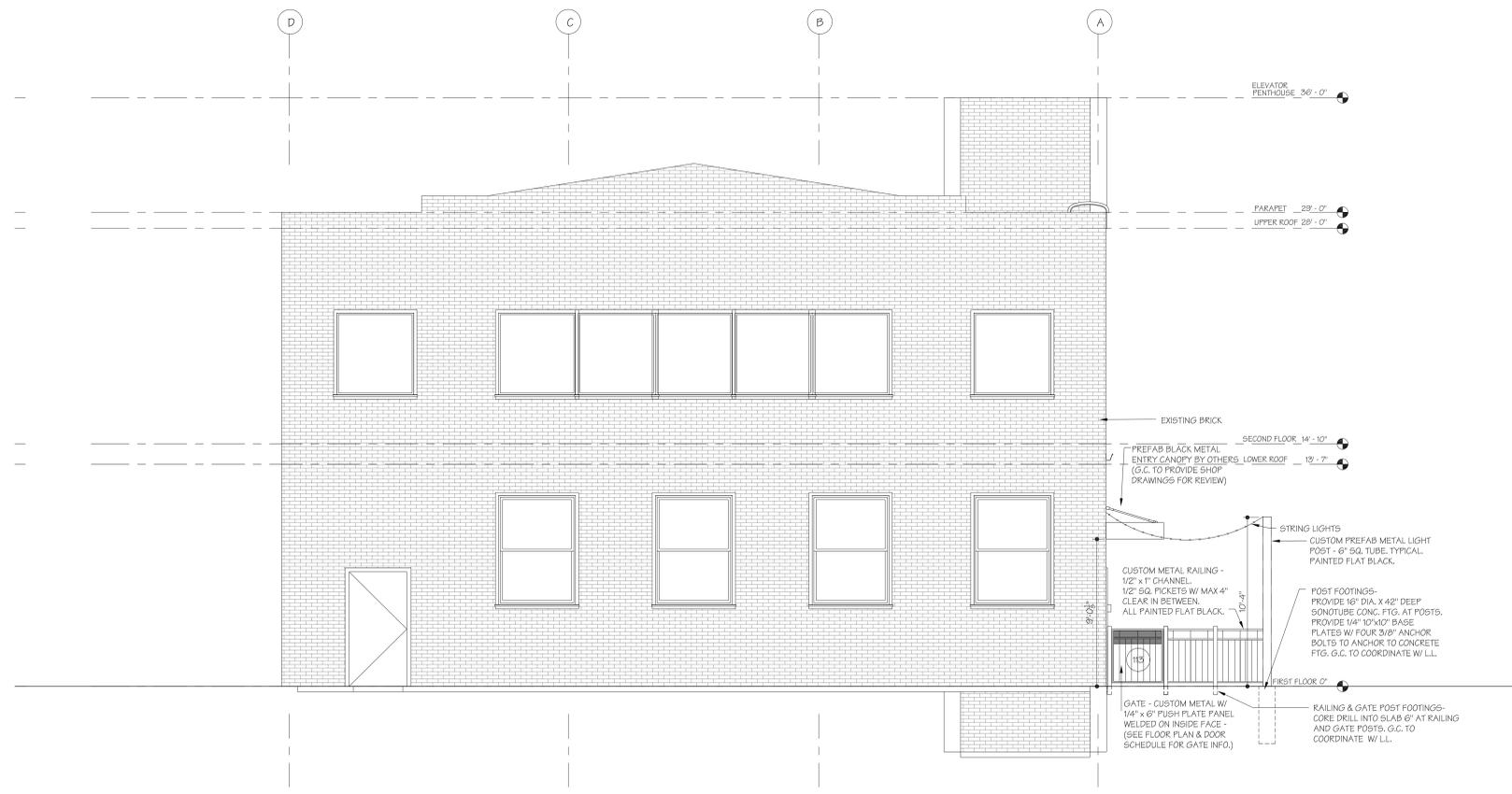
SHEET NUMBER:

A-302



EAST ELEVATION

1/4" = 1'-0" 2



SOUTH ELEVATION (NORTH SIMILAR)

1/4" = 1'-0" 1



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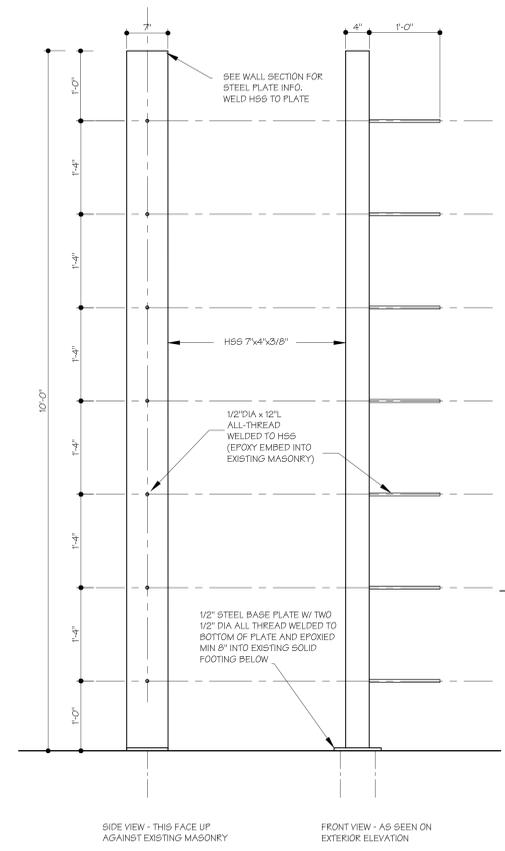
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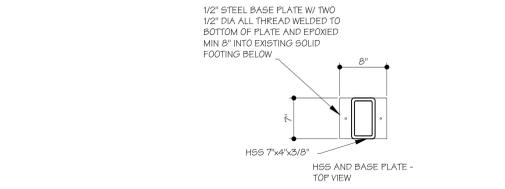
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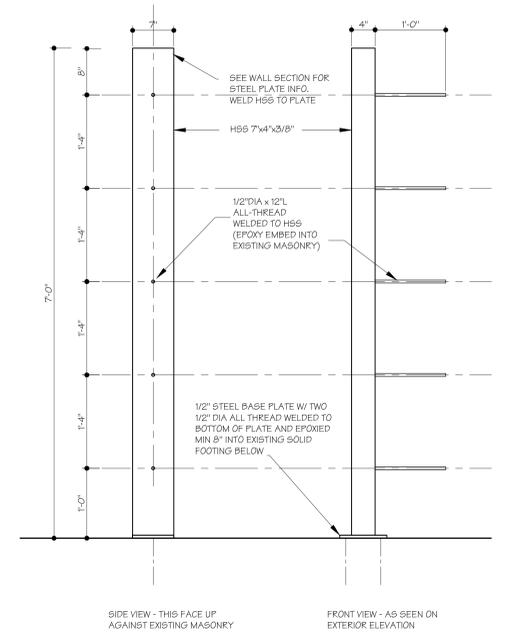
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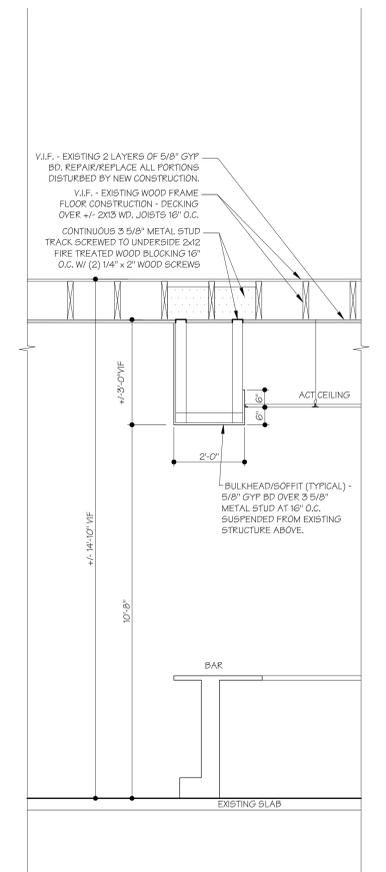
ENLARGED HSS COL. ELEV. DETAIL - O.H. DOOR 1" = 1'-0" 6



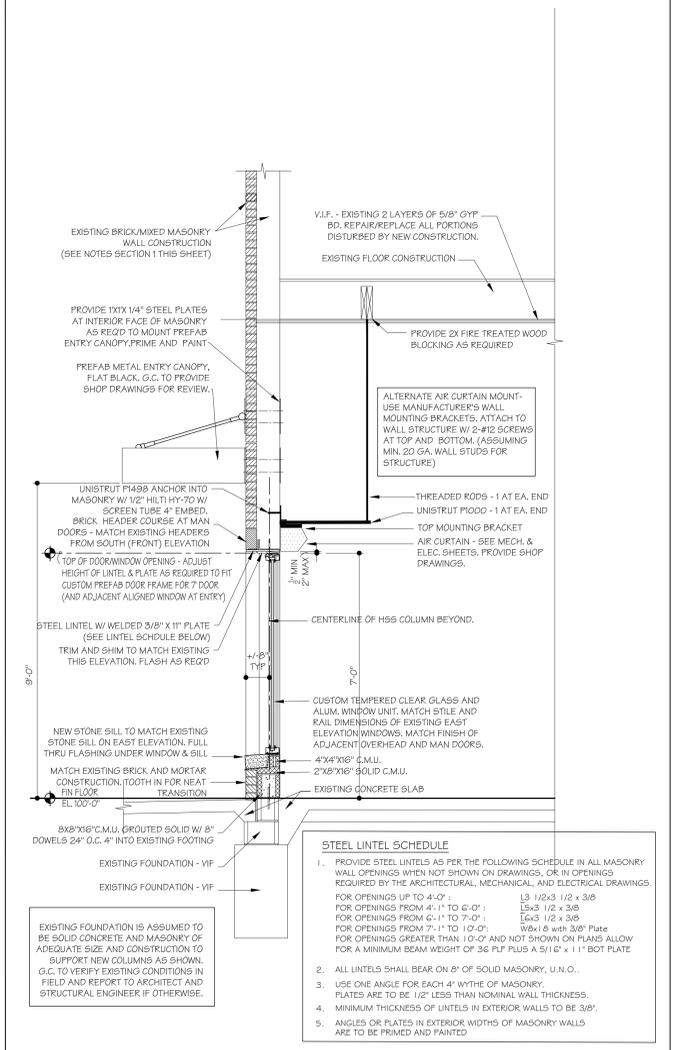
ENLARGED HSS COLUMN PLAN DETAIL 1" = 1'-0" 5



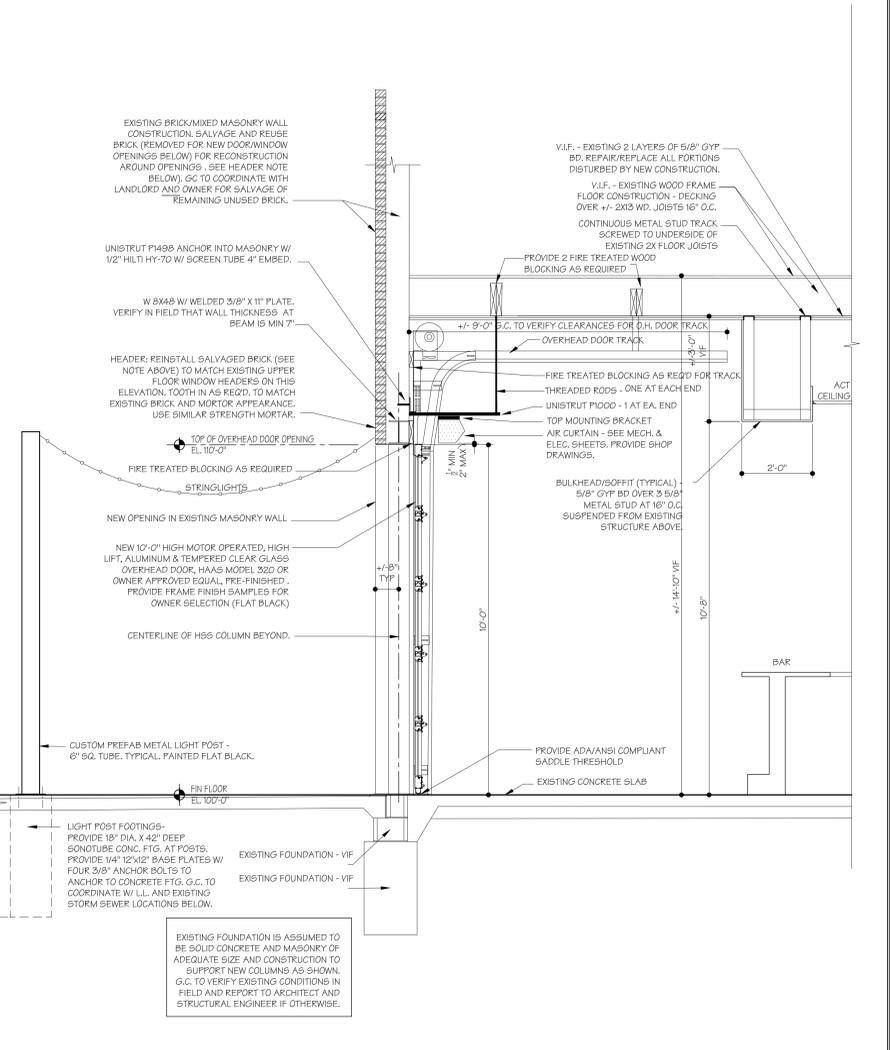
ENLARGED HSS COL. ELEV. DETAIL - MAN DOOR 1" = 1'-0" 4



ENLARGED SECTION AT BAR 1/2" = 1'-0" 3



ENLARGED SECTION AT MAN DOOR 1/2" = 1'-0" 2



ENLARGED SECTION AT O.H. DOOR AND BAR 1/2" = 1'-0" 1

STEEL LINTEL SCHEDULE

- PROVIDE STEEL LINTELS AS PER THE FOLLOWING SCHEDULE IN ALL MASONRY WALL OPENINGS WHEN NOT SHOWN ON DRAWINGS, OR IN OPENINGS REQUIRED BY THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.

FOR OPENINGS UP TO 4'-0"	L3 1/2x3 1/2 x 3/8
FOR OPENINGS FROM 4'-1" TO 6'-0"	L4x3 1/2 x 3/8
FOR OPENINGS FROM 6'-1" TO 7'-0"	L4x3 1/2 x 3/8
FOR OPENINGS FROM 7'-1" TO 10'-0"	W8x18 w/ 3/8" Plate
FOR OPENINGS GREATER THAN 10'-0" AND NOT SHOWN ON PLANS ALLOW FOR A MINIMUM BEAM WEIGHT OF 36 PLP PLUS A 5/16" x 1" BOT PLATE	
- ALL LINTELS SHALL BEAR ON 8" OF SOLID MASONRY, U.N.O.
- USE ONE ANGLE FOR EACH 4" WYTHE OF MASONRY. PLATES ARE TO BE 1/2" LESS THAN NOMINAL WALL THICKNESS.
- MINIMUM THICKNESS OF LINTELS IN EXTERIOR WALLS TO BE 3/8"
- ANGLES OR PLATES IN EXTERIOR WIDTHS OF MASONRY WALLS ARE TO BE PRIMED AND PAINTED

Sec. 21-2-217. - Willis-Selden Local Historic District.

- (a) An historic district to be known as the Willis-Selden Local Historic District is established in accordance with the provisions of this article.
- (b) This historic district designation is certified as being consistent with the Detroit Master Plan of Policies.
- (c) The boundaries of the Willis-Selden Local Historic District, as shown on the map on file in the Office of the City Clerk, are as follows:

Beginning at a point, that point being the intersection of the center lines of Selden Avenue and Third Street; thence north along the center line of Third Street to its intersection with the center line of West Willis Avenue; thence east along the center line of West Willis Avenue to its intersection with the west boundary, extended north and south, of Lot 21 of Block 98 of the Cass Farm Subdivision, Liber 1, Page 259; thence north along said extended west property boundary to its intersection with the center line of the east-west alley lying between West Canfield Avenue and West Willis Avenue; thence east along the center line of said alley to its intersection with the east property boundary, extended north and south, of Lot 20 of Block 98 of the Cass Farm Subdivision, Liber 1, Page 259; thence south along said extended property boundary to the center line of West Willis Avenue; thence east along the center line of West Willis Avenue to its intersection with the center line of Second Avenue; thence north along the center line of Second Avenue to its intersection with the north property boundary, extended east and west, of a parcel described as the south 40 feet of Lots 15 and 16 of Block 97 of the Cass Farm Subdivision, Liber 1, Page 259; thence east along said extended property boundary to its intersection with the east boundary, extended north and south, of Lot 15 of Block 97 of the Cass Farm Subdivision, Liber 1, Page 259; thence south along said extended property boundary to its intersection with the center line of the east-west alley lying between West Canfield Avenue and West Willis Avenue; thence east along the extended center line of said alley to its intersection with the center line of the north-south alley lying west of and parallel to Cass Avenue; thence north along the center line of said alley to the center line of West Canfield Avenue; thence east along the center line of West Canfield Avenue to the center line of Cass Avenue; thence south along the center line of Cass Avenue to the south boundary, extended east and west, of part of Lot 23 of the Subdivision of Park Lots, Liber 1, Page 128; thence east along said extended property boundary to its intersection with the center line of the north-south alley lying east of and parallel to Cass Avenue; thence south along the center line of said alley to its intersection with the center line of West Willis Avenue; thence east along the center line of West Willis Avenue to its intersection with the center line of Woodward Avenue; thence south along the center line of Woodward Avenue to its intersection with the center line of Selden Avenue; thence west along the center line of Selden Avenue to its intersection with the center line of the north-south alley lying west of and parallel to Woodward Avenue; thence north along the center line of said alley to its intersection with the center line of West Alexandrine Avenue; thence west along the center line of West Alexandrine Avenue to its intersection with the center line of Cass Avenue; thence south along the center line of Cass Avenue to its intersection with the center line of Selden Avenue; thence west along the center line of Selden Avenue to its intersection with the east property boundary, extended north and south, of Lot 9 of Block 91 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence south along said extended property boundary to its intersection with the center line of the east-west alley between Selden Avenue and Brainard Avenue; thence west along the center line of said alley to its intersection with a line running five feet west of and parallel to the western boundary of Lot 9 of Block 91 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence north along said line to its intersection with the center line of Selden Avenue; thence west along the center line of Selden Avenue to its intersection with the center line of the west property boundary, extended north and south, of Lot 24 of Block 93 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence north along said extended property boundary to the center line of the east-west alley between West Alexandrine Avenue and Selden Avenue; thence west along the center line of said alley to its intersection with the center line of Second Avenue; thence south along the center line of Second Avenue to its intersection with the northern boundary, extended east and west, of Lot 3 of Block 92 of Milo A. Smith's Subdivision, Liber 4, Page 15; thence east along said extended boundary to its

intersection with the center line of the north-south alley lying east of and parallel to Second Avenue; thence south along the center line of said alley to its intersection with the center line of the east-west alley lying between Selden Avenue and Brainard Avenue; thence east along the center line of said alley to its intersection with the eastern boundary line, extended north and south, of Lot 21 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence south along said extended boundary line to its intersection with the center line of Brainard Avenue; thence east along said center line to its intersection with a line lying 10 feet east of and parallel to the eastern boundary of Lot 11 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence south along said line to the center line of the east-west alley lying between Brainard Avenue and Martin Luther King Jr. Boulevard; thence west along the center line of said alley to its intersection with a line lying 10 feet west of and parallel to the western boundary of Lot 20 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence south along said line to its intersection with the center line of Martin Luther King Jr. Boulevard; thence west along said center line to its intersection with a line lying ten feet west of and parallel to the western boundary line of Lot 20 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177, as extended north and south; thence north along said boundary line, as extended, to its intersection with the center line of the east-west alley lying between Brainard Avenue and Martin Luther King Jr. Boulevard; thence west along the center line of said alley to its intersection with a line lying ten feet east of the east boundary of Lot 15 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence north along said boundary line to its intersection with a line lying 38 feet south of and parallel to the northern boundary of Lot 14 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177; thence west along said line to its intersection with the western boundary line of Lot 14 of Block 89 of the Cass Farm Subdivision, Liber 1, Page 175-177, as extended north and south; thence north along said boundary line, as extended to the center line of the east-west alley lying between Selden Avenue and Brainard Avenue; thence west along the center line of said alley to its intersection with the center line of the north-south alley lying east of and parallel to Third Street; thence north along the center line of said alley to its intersection with the center line of Selden Avenue; thence west along the center line of Selden Avenue to the point of beginning.

(Legal Description: Lots 4-9, 16-22, 32, 34-35, 39-45 of the Subdivision of Park Lots 61 & 62, as recorded in Liber 1, Page 128 Plats, Wayne County Records; also, the west ten feet of Lot 10, Lots 11-13, the east 40 feet of Lot 14, the east ten feet of lot 19, and Lots 20-21 of Block 89, Lot 9, the east five feet of Lot 10, and Lots 19-21 of Block 91, Lots 9-16 of Block 92, Lots 1-16 and 24 of Block 93, Lots 1-12, 15-16, and 20-24 of Block 94, Lots 1-20 of Block 95, and Lots 1-10 and 12-22 of Block 96, Lots 1, 5-8, and the south 40 feet of Lots 15-16 of Block 97, Cass Farm Subdivision, as recorded in Liber 1, Page 175-177 Plats, Wayne County Records; also, Lots 20-21 of Block 98, Cass Farm Subdivision, as recorded in Liber 1, Page 259 Plats, Wayne County Records; also, Lots 1-4 of Fales Subdivision, as recorded in Liber 1, Page 287 Plats, Wayne County Records; also, Lots A-F of Block 94, Cass Farm Subdivision, as recorded in Liber 4, Page 11 Plats, Wayne County Records; also, Lots 1-3 of Block 91 of Milo A. Smith's Subdivision, as recorded in Liber 4, Page 15 Plats, Wayne County Records; also, the north 30 feet of Lot 2, and Lots 3-5 of the Resubdivision of Part of Cass Farm, as recorded in Liber 6, Page 46, Plats, Wayne County Records.)

(d) The elements of design, as defined in Section 21-2-2 of this Code, are as follows:

- (1) *Height.* Single-family or small multi-unit residential structures range in height from 1½ to 2½ stories in height. Apartment buildings typically range in height from two stories to four stories, often on high basements; a majority of these buildings are three stories in height with high basements. The apartment building at 70 West Alexandrine Avenue is eight stories in height. Commercial and other building types typically range from one to two stories in height. The building at 444 West Willis Avenue, commonly known as the Willys-Overland Building, is historically four stories in height and features a modern, set back, fifth story addition. The building at 3933 Woodward Avenue, commonly known as the Garden

Theater, is three stories in height. The building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, features a sanctuary that is a tall, single story in height, a tower that is approximately 1½ times as tall as the sanctuary, and a two-story addition.

- (2) *Proportion of buildings' front façades.* Front façades of single-family or small multi-unit residential structures are typically as tall as wide or slightly taller than wide. Front façades of apartment buildings are commonly as tall as wide or slightly taller than wide, with the exception of broader buildings at 3761 Second Avenue, commonly known as the Coronado Apartments, 711 West Alexandrine Avenue, 495-497 West Willis Avenue, and 477 West Alexandrine Avenue, which are significantly wider than tall. Front façades of single-story commercial buildings are significantly wider than tall, while multi-story commercial buildings and other non-residential buildings tend to be slightly wider than tall. Buildings often occupy most or all of deep lots, resulting in side elevations of buildings that are often substantially wider than tall.
- (3) *Proportion of openings within the façades.* Openings typically amount to between 20 percent and 35 percent of the front façade. Commercial buildings often feature expansive storefront windows on their first floors, though in many cases these windows have been covered with boards or closed with brick or concrete block. Sash windows, taller than wide, predominate on all building types. On apartment buildings, sash windows are sometimes arranged in groupings which, together, are square or wider than tall. A significant minority of buildings feature arched, mullioned, semi-circular, casement, or dormer windows appropriate to their respective architectural styles. Upper sashes and transoms are occasionally subdivided into smaller panes. Casement windows are usually subdivided into smaller panes. Door openings are typically slightly larger in scale than window openings. Primary entrance openings are usually centered on the façades of commercial and apartment buildings, but are usually off-center on the façades of smaller residential buildings.
- (4) *Rhythm of solids to voids in front façades.* Despite a variety of building types, the overall impression is one of regular, repetitive openings arranged horizontally within façades. A repetitive flow of storefront openings, where they exist, creates a rhythm along commercial frontage. Smaller residential buildings as well as the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, display more varied, often asymmetrical, arrangements of openings, but the overall impression is still one of regular, repetitive openings.
- (5) *Rhythm of spacing of buildings on streets.* Rhythm of spacing on streets is generally determined by setbacks from side lot lines. The overall character of the district is one of densely clustered, yet visually distinct, structures separate by narrow setbacks. Commercial buildings frequently abut adjacent buildings, typically featured no setbacks from side lot lines, especially on Woodward Avenue where evenly spaced storefronts create a regular spacing of buildings. There is a general regularity in the widths of subdivision lots from one block to another, contributing to a regular rhythm of spacing of buildings on streets.
- (6) *Rhythm of entrance and/or porch projections.* Porches on smaller residential buildings typically project while those on other types of buildings usually do not. On residential buildings only, entrances are often located several steps above grade to accommodate high basements. Doorways on smaller residential buildings are often set beneath gable-roofed or arched openings, while doorways on other buildings are typically centered on their façades. A regular rhythm of entrances is created by a row of similar commercial buildings along Woodward Avenue.
- (7) *Relationship of materials.* A majority of buildings are faced with brick and feature stone or cast stone trim. Single-family residential buildings are generally faced with brick and feature wooden brackets, bay

windows, vergeboards, timbering, porch supports, dentils, entablature, or other Classically-inspired elements, and other details depending upon style. A small number of single-family residential buildings feature wood clapboard siding. Stone or stone facing defines the foundations of buildings at 643-647 and 748 West Alexandrine Avenue, 481 Brainard Avenue, 3957 and 4107 Cass Avenue, and 500 West Willis Avenue, the lower levels of buildings at 4120 Cass Avenue, 3761 Second Avenue, 495-497 West Willis Avenue, and the entire primary façade of buildings at 624 and 627 West Alexandrine Avenue and 3977 Cass Avenue. The buildings at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, 3900 and 3977 Second Avenue, and 4100 Third Avenue are composed primarily of stone. Sash windows are historically wood but, in many cases, have been replaced with windows of modern materials. Stone is used for window sills on a majority of buildings within the district. While roofs within the district are generally flat and not visible, pitched roofs typically feature visible slate or asphalt shingles. Buildings at 686 Selden and 711 West Alexandrine Avenue feature clay tile roofs. The building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, features a copper roof on its tower.

- (8) *Relationship of textures.* On a majority of buildings within the district, the major textural effect is that of brick with mortar joints juxtaposed with cast stone or limestone trim. Patterned brickwork is used to create subtle detail on commercial and apartment buildings, such as spandrels and rectangular panels, and more pronounced textural interest where it exists on the upper stories of buildings, such as at 461 West Alexandrine Avenue, and in an arcaded cornice on the building at 711 West Alexandrine Avenue. Where they exist, detailed wooden vergeboards, gables, brackets, and dormers create considerable textural interest on all single-family residential buildings in the district. Rough-cut stone with thick mortar joints creates considerable textural interest on buildings where it exists, while other buildings feature smooth stone with thin mortar joints. In general, asphalt-shingle roofs do not contribute to textural interest.
- (9) *Relationship of colors.* Natural brick colors in shades of brown, red, and buff predominate on wall surfaces, while natural stone colors in shades of gray, red, and brown also exist. Although most roofs are flat and therefore not visible, sloped roofs typically feature gray asphalt, while some feature red or green clay tile or slate in contrasting colors of gray, red, or green. Wooden architectural details are frequently painted in bold colors, appropriate to the architectural style of the buildings, which contract markedly with brick facing. Brick apartment buildings are generally unpainted, with gray stone trim contracting with brown or buff brickwork. Brick on commercial buildings is frequently painted in shades of yellow or orange. The original colors of any building, as determined by professional analysis, are always acceptable for that building and may provide guidance for similar buildings.
- (10) *Relationship of architectural details.* Buildings in the district exemplify a broad range of architectural styles, and their architectural details relate to their style. Pre-1880 residential buildings, as well as commercial buildings on Woodward Avenue, are Italianate in style. Single-family residential buildings are often Queen Anne or Stick/Eastlake in style. Romanesque Revival structures include the building at 3977 Second Avenue, commonly known as the Campbell-Symington House, and the building at 3901 Cass Avenue, commonly known as the Cass Avenue Methodist Church. Larger apartment buildings include the Spanish Medieval building at 624 West Alexandrine Avenue, commonly known as the El Moore Flats, and several buildings in Beaux Arts and Colonial Revival styles. Also represented are the Jacobethan Revival, Craftsman, Spanish Colonial, Late Gothic, and Neo-Georgian styles. Buildings range from vernacular to high style in appearance, with the level of architectural detail varying greatly from one building to the next.
- (11) *Relationship of roof shapes.* Most apartment buildings and all non-residential buildings have flat roofs

that cannot be seen from the ground, with the exception of the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, with prominent cross gables defining its nave and transept and a hip roof defining a two-story addition. Single-family residential buildings feature multiple roof shapes, with steps, intersecting gables, dormers, towers, and tall chimneys creating dramatic silhouettes. Flat-roofed apartment buildings often feature stepped or triangular parapet walls, occasionally with crenellation or balustrades, which add interest to the building's roofline.

- (12) *Walls of continuity.* Setbacks of residential buildings tend to vary slightly from one buildings to the next, but generally create a wall of continuity on all streets in the district, except where building demolition has created vacant lots. The continuous façades of commercial buildings, where they exist in rows, create significant walls of continuity in the district. Fencing, often modern steel units that resemble historic cast or wrought iron fencing, exists at the front lot line of many properties and suggests an additional wall of continuity. Mature trees and public lighting fixtures generally do not contribute to a wall of continuity due to their irregular placement throughout the district.
- (13) *Relationship of significant landscape features and surface treatments.* The overall impression is that east-west streetscapes are abundantly planted whereas north-south streetscapes are not. Typical treatment of individual residential properties is a shallow, flat front lawn in grass turf, subdivided by a straight concrete walk leading to the front entrance. Alleys provide access to the rear of a majority of lots in the district; a small number of these lots contain garages in the rear accessed via the alley. Trees, hedges, and other landscaping features are irregularly spaced. Trees in the front yards of buildings vary in size, age, and species. Most commercial buildings, and a smaller number of apartment buildings, are built up to the front lot line. Public sidewalks run alongside all streets in the district. Curbs, while historically stone, have been replaced with concrete in a majority of the district. Public lighting is generally of the modern, steel, pole-mounted variety, though wrought iron-style light fixtures exist on Woodward Avenue.
- (14) *Relationship of open space to structures.* Front and side yards range from shallow to non-existent, while most smaller residential buildings feature rear yards. Other than public rights-of-way, large areas of open space exist only where they have been created by building demolition; sometimes these spaces serve as parking lots or are maintained as open lawns.
- (15) *Scale of façades and façade elements.* Single-family residential buildings are moderate to large in scale relative to typical buildings from the period in which they were constructed. Apartment buildings range from small to large in scale, with a small number of buildings, such as the building at 70 West Alexandrine and the building at 3751-73 Second Avenue, commonly known as the Coronado Apartments, being significantly larger in scale than the others. The building at 444 West Willis Avenue, commonly known as the Willys-Overland building, is also large in scale. Elements within the façades are generally small to medium in scale.
- (16) *Directional expression of front elevations.* Façades of single-family residential structures are generally vertical in directional expression due to tall window and door openings and peaked rooflines. Apartment buildings generally range from neutral to slightly vertical in directional expression, though a smaller number are horizontal in directional expression. Commercial buildings, especially single-story ones, are generally horizontal in directional expression due to broad storefront windows and, where they exist, horizontal cornices.
- (17) *Rhythm of building setbacks.* A degree of irregularity is introduced by varying setbacks of front façades; smaller residential buildings tend to be set back several feet from the public sidewalk, while larger apartment buildings and other buildings often occupy their entire lots. While setbacks may vary slightly

from one building to the next, the overall impression is one of a consistent rhythm of building setbacks. Where building demolition has occurred, the original rhythmic progression of buildings has been disrupted.

- (18) *Relationship of lot coverages.* Lot coverage within the district are generally high, but vary based on building type. Single-family residential buildings and smaller apartment buildings often occupy between 20 percent and 40 percent of their lots, with much of the remaining space being devoted to rear yards. Other building types range from 50 percent to 100 percent lot coverage. Large buildings may have light courts or central courtyard spaces. Commercial buildings, in particular, often occupy a large percentage of their lots.
- (19) *Degree of complexity within the façades.* The façades within the district range from simple to complex, depending upon style. Overall, front façades tend to be simple in their massing and mostly regular in their fenestration, though a variety of window and door shapes, materials, architectural elements, and details of individual buildings increase the overall level of complexity of the district.
- (20) *Orientation, vistas, overviews.* Buildings generally face the streets and are entered from the front façades by a single or double doorway. The tallest buildings within the district, such as the building at 70 West Alexandrine Avenue, the building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, the building at 3761 Second Avenue, commonly known as the Coronado Apartments, and the building at 444 West Willis Avenue, commonly known as the Willys-Overland Building, constitute landmarks that are clearly visible from several blocks away. The buildings on Woodward Avenue, visible from a considerable distance up and down the street, are a significant component of a broader streetscape.
- (21) *Symmetric or asymmetric appearance.* The appearance of front façades in the district, for the most part, is symmetrical. Single-family residential buildings tend to display a modest degree of asymmetry in massing and architectural detail.
- (22) *General environmental character.* The general character of the district is that of a medium-density, mixed-use, urban neighborhood of small to large apartment buildings interspersed with other building types. The district maintains a sense of vitality as a result of its mixture of uses and the correspondingly diverse physical appearance of its buildings.

(Code 1984, § 25-2-181; Ord. No. 24-11, § 1(25-2-181), eff. 10-11-2011)

Signs & Awning Guidelines



“Signs often become so important to a community that they are valued long after their role as commercial markers has ceased. They become landmarks, loved because they have been visible at certain street corners--or from many vantage points across the city--for a long time. Such signs are valued for their familiarity, their beauty, their humor, their size, or even their grotesqueness. In these cases, signs transcend their conventional role as vehicles of information, as identifiers of something else. When signs reach this stage, they accumulate rich layers of meaning. They no longer merely advertise, but are valued in and of themselves. They become icons.”

Signs as Icons, “The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

The cultural significance of signs combined with their often transitory nature makes the preservation of historic signs fraught with questions, problems, and paradoxes. If the common practice in every period has been to change signs with regularity, when and how should historic signs be kept? If the business is changing hands, how can historic signs be reused? The subject is an important one, and offers opportunities to save elements that convey the texture of daily life from the past.

“The Preservation of Historic Signs,” by Michael J. Auer. Preservation Brief, #25 (Technical Preservation Services), National Park Service, U.S. Department of the Interior

SIGNS

Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic signs

Purpose of signage:

- To indicate the original occupants and the area’s past. Even with a change in business, retaining historic signage as part of the community memory is desirable
- To identify current businesses and stores

Guidelines

1. Preserve historic signage when possible
2. Restore signs only when the original has lost its visibility through age, damage, or excessive/inappropriate cleaning
3. Create attractive commercial signs that promote business, both pedestrian and vehicular, but are free of visual clutter



4. Require that new signage compliment the historic integrity of the building and community. Signs must relate to the building(s) they serve
5. Signs shall be restricted to those which identify the name of the establishment and/or the primary business or service provided within.
6. Advertising related to businesses or services not provided on the premises shall be prohibited unless, with the approval of the Commission, such advertising is deemed historically appropriate.
7. Signage should make an attempt to recognize the stylistic features and characteristics of the historical districts in their materials and graphics
8. Signage should recognize the scale, massing, style, materials and colors of the building and the district

Common elements of historic signage include:

- Painted facades and fascia signs
- Material inlaid into the buildings façade
- Hanging signs and older neon signs
- Gold leaf or gilded lettering in storefront windows



Signs Mounted on Buildings

Size

Signage must fit within the building design and its storefront and be historically compatible with the site and context; must be compatible with building; and must not obscure architectural elements.

Shape

Shape of sign must be consistent with the character of the historic district in which the signage is located.

Materials

- Material inlaid or carved into the buildings façade should be retained
- Sign materials should be compatible with the design theme and use of materials on the building where the sign is to be placed.
- Painted wood and metal are preferred materials for the signs.
- Metal signs, wood signs, glass signs, and signs painted on masonry are permitted.

Position

- Locate signage above the storefront opening so that it does not conceal architectural details and features
- Signs should be located where architectural features or details suggest a location, size, or shape for the sign
- Signs should be placed on buildings consistent with sign location on adjacent buildings
- Limit the number of projecting signs
- In pedestrian areas, orient signs to sidewalk instead of motorists.

- The bottom of hanging signs should maintain at least a 10 foot pedestrian clearance from the sidewalk.
- Signs on canopies should be twelve (12) inches away from the end edges of such canopies.
- Maintain a physical separation between individual store signs so that it is clear that the sign relates to a particular store below

Illumination

- Consider if the sign needs to be lighted
- Use external or halo lighting to illuminate building and/or storefront signage
- Lighting should fit within the building design and its storefront and be architecturally compatible with the site and context
- With internally illuminated channel letters, limit raceways depth behind letter to five (5) inches (2 inches when using LED light source)

Typeface/Legibility

- Use cast or fabricated metal dimensional graphics – letters and logos – in lieu of plastic or vinyl dimensional graphics
- Use a minimum of ½ deep metal dimensional graphics – letters and logos.
- Selected materials should contribute to the legibility of the sign
- Avoid faddish or bizarre typefaces
- Avoid hard to read typefaces and symbols
- Limit the number of lettering styles



Color

- Sign colors should complement the colors used on the structures and the project as a whole
- Sign colors should reflect the color system appropriate to the period of the building
- Limit the total number of colors used in any one sign

Signs not mounted on buildings (commercial development or multi-tenants identification) should reference the following guidelines:

1. Use a *ground or monumental* sign not to exceed six-feet in height including the base
2. Provide a sign base of masonry, granite, or concrete with an architectural finish. A metal base on grade is prohibited unless it is 12 inches above grade
3. Include landscaping around the base of ground and monument signs
4. Limit commercial development identification signage to a maximum of two signs (double face) when development is on two major streets, not to exceed 150 square foot of signage
5. For *pylon* signs, limit height to a maximum of (12) twelve foot in height above grade including its base and post. Limit post width to 12 inch face.

6. Provide professionally made signage, including design, material, painting and construction.
7. Use signage materials that are architecturally appropriate to the historic character of the neighborhood

AWNINGS\CANOPIES

Objective

- To enhance the integrity of the buildings and community by preserving and appropriately restoring historic awnings and canopies

Purpose of awning

- Awnings and canopies provide protection from the elements, expand floor space, provide unity of appearance, and create a decorative backdrop for identification.

Guidelines

1. Design awnings and canopies so as not to conceal building features such as pilasters or windows.
2. Use color schemes to coordinate with building façade colors
3. Use simple and triangular shape awnings with valance face not to exceed ten (10) inches
4. Install into mortar joints – no fastening into brick, stone or arch details.

Standards

1. Locate awnings, canopies and marquees and their supporting structure at a minimum of eight (8) feet, six (6) inches above public sidewalk
2. Project awnings and canopies not more than one half the width of the sidewalk and not more than 10 feet, six inches.
3. Project awnings and canopy material such as metal, glass, or woven fabric.
4. Limit signage on awning to the valance area (e.g., front fascia of the awning, not the sloped area.) Include business name, address, logo, or business “slogan,” but not to exceed 40% of the awning valance surface area. Product advertising is unacceptable.
5. Limit the signage area of awnings and canopies to that allowed per Section 61-140292(5) of the City of Detroit Zoning Ordinance.
6. Use external lighting to illuminate awnings. Internally illuminated awnings are unacceptable.



7. Use awnings to define individual storefront openings. Continuous awnings along blank walls or awnings located at upper floor windows are unacceptable.
8. Use exposed awning design with open ends and no ceiling.

Other

The awning may be attached either just below the storefront cornice or between the transom and display windows (allowing light into the store while shading merchandise and pedestrians from the sun.)

The awning should fit within the storefront opening; i.e., should not cover the piers or space above the cornice. Aluminum awnings or canopies generally detract from the historic character and should not be erected.

New coverings for existing – previously approved – awnings may be administratively approved by the coordinator if the colors, content, placement of printing and materials are appropriate.

"... signs (and awnings) convey the texture of daily life from the past."

Variance to the above guidelines may be granted by the Historic District Commission.

The Historic District Commission reserves all rights to amend and/or update this policy statement. Any questions pertaining to this policy shall be directed to the Historic District Commission, 65 Cadillac Square, Suite 1300, Detroit, Michigan 48226, telephone (313) 224-06536

Use these guidelines in conjunction with the City of Detroit Zoning Ordinance: Signs – Article VI and Awnings-Article XIV General Development Standards

Adopted: August 13, 2008
Effective: August 13, 2008
Revised: May 12, 2010 and November 13, 2013