

APPLICATION NUMBER:19-6387

ADDRESS: 321 W. LAFAYETTE (DETROIT FREE PRESS)

HISTORIC DISTRICT: DETROIT FINANCIAL

APPLICANT: BRAIN REBAIN (ARCHITECT) &amp; PYRAMID DEVELOPMENT (OWNER)

DATE OF STAFF VISIT: 8/6/2019

## PROPOSAL

The resource at 312 W. Lafayette, known as the Detroit Free Press Building, is a steel-frame fourteen-story office building clad in limestone (1925). The building takes up the half city block fronting on Lafayette's south side between Washington Boulevard and Cass Avenue extending south to the alley. The design of the building is unusual in that the first three stories display rectangular floor plates, while two light courts along the building's rear side give floors four through six 25 E-shaped footprints. A central front tower area contains floors seven through fourteen. The exterior design was implemented by Albert Kahn for many of his other large office buildings such as the Fisher Building. The piers between window bays brought forward to give the building a dramatic light and shadow play. Windows are recently-added aluminum sash units. The two-story arched main entrance at the front of the building is flanked by two historical figures. Medallions depicting historical newsmen decorate the building's exterior. For many years, two red neon signs for "The Free Press" stood on the roof of the building, but were removed in the late 1990's. The roof is flat. Inside the first floor, the central lobby features an elaborate arched plaster ceiling with rosette and classical details. A paneled conference room to the east is highlighted by murals by artist Roy C. Gamble depicting the growth of the City of Detroit. Also on the first floor inside the West Lafayette Boulevard façade are a restaurant and other retail spaces. The two basement levels once housed the printing facilities of the newspaper. A State of Michigan historic marker is displayed on the exterior of the building.



Please note that the Commission approved an extensive rehabilitation proposal in 2017. With the current submission the applicant proposes the following work items:

### **Exterior Lighting**

- Exterior lights are proposed at the storefront, 2nd floor and 7th floor levels. Lights will be centered on the columns and provide downlighting at the storefront level and up-lighting at the 2nd and 7th floor levels. Additional lights will be located in planters in the sidewalk to illuminate the decorative carving around the main entry arch to the building, and at the flag poles on the 6th floor roof at the east and west corners of Lafayette. The attached drawings show proposed lighting types and locations.

### **Rear Elevation**

- .At the alley level, establish two loading bays with the installation of two angled walls with roll-up garage doors. The two loading bays are placed toward the middle of the building to minimize the visual impact from the street and are also in ideal locations based on structural constraints. The loading dock openings themselves are not being altered, and all existing historic fabric around the openings shall be maintained. If needed, the infill for the loading bay enclosures could easily be removed in the future and the loading dock bays would remain intact. The loading bays will be clad in a light-colored cementitious material to blend with the existing building while simultaneously clearly being an addition to the building. The garage doors will be a green color to match the windows, storefronts, and louvers on the building, and will have a series of small windows to provide transparency.
- Three louvers will be added to the alley façade to supply fresh air and expel exhaust air. The louvers will be installed in previously bricked-in window locations below the bridge connecting the Detroit Free Press Building and neighboring Detroit Club



**Location of new roll-up doors**

## New Rooftop Amenities

- Establish a deck on the roof of the building's 6<sup>th</sup> floor west wing. The deck will consist of a raised pedestal paver roof deck with porcelain and hardwood tiles. The roof deck will be held back from the parapets and have a guardrail surrounding the deck on all sides. The edge of the roof deck and guardrail will be located so that it is not a visible feature from the street.
- At the rooftop deck, install a grill enclosure, fireplace, electrical closet, sauna, spa, and pool. The electrical closet and sauna will be built adjacent to and the same height and finish as the stair penthouse added during the core and shell phase of the project to minimize visual impact. The grill will be kept tight to the stair penthouse, and the fireplace will be located adjacent to the spa, near the stair penthouse and sauna. An in-ground rooftop pool and spa will be built into the roof deck. The pool will be approximately 24' x 14' in size and the spa will be approximately 8' x 7'. The pool is located on the southern end of the roof top, while the spa is located more centrally by the stair enclosure and sauna. A small wrought iron gate between the stair enclosure and fireplace separates the pool and spa from the rest of the roof deck. Pool and spa equipment will be housed in the existing tall corner parapet at the south west corner of the rooftop. A small metal panel enclosure will be added to the open corner of the tall corner parapet to enclose the equipment. The metal panel enclosure will match the parapet in color as closely as possible so as to not be a noticeable feature from the street. A roof will be added at the top, the highest point of which will be level with the top of the parapet.



**Location of rooftop amenities**

## APPLICABLE ELEMENTS OF DESIGN

- (1) *Proportion of Buildings' Front Façades.* The proportions of individual front façades vary greatly within the district. Buildings over ten (10) stories tall are significantly taller than wide, and are usually located on corners of blocks or occupy their entire block. Most other buildings in the district are also taller than wide, with notable exceptions of several buildings facing West Fort Street, the Detroit Fire Department Headquarters at 250 East Larned Avenue, and a few smaller buildings on Shelby Street, which are wider than tall or proportionally neutral. The non-contributing building at 501 Woodward Avenue and the building at 611 Woodward Avenue are significantly wider than tall. Buildings with front-facing light courts, such as the Dime Building at 719 Griswold Street, appear to have two tall towers projecting upward from a single, multi-story base. The façades of the Neoclassical style First National Building at 660 Woodward Avenue follow the irregular footprint of its site, and because of its substantial height, provide a backdrop to the small-scaled buildings adjacent to it on Woodward Avenue. Skyscraper buildings of the Art Deco have multiple setbacks in their wall surfaces as the buildings rise, with faceted and decorative results. The Detroit Free Press Building at 321 West Lafayette Street is composed of a center tower with two lower wings, neutralizing its proportions. Tall buildings of the International style tend to rise as a single slab. Where buildings that are individually taller than wide either share a party wall or abut each other, they may collectively form a row that is wider than tall, particularly on the east side of Woodward Avenue.
- (2) *Proportion of Openings Within the Façades.* The buildings within the Historic Detroit Financial District are each composed of approximately thirty-five (35) to sixty (60) per cent openings in their front façades. Shapes and sizes of openings generally depend on the style and age of the buildings. Entrances are often centered prominently on the front façades, with revolving doors set back in an arched, covered area or portico. Large openings above the entrance openings, ground floors, and mezzanine levels in the base of the buildings frequently contain subdivided windows rising up through multiple stories. Plate glass storefront and display windows on the ground floors of commercial buildings are commonplace. Above the ornate bases of Neoclassical and Art Deco style buildings and simpler Victorian buildings are rows of double-hung sash windows that are twice as tall as wide and are often arranged in pairs or triples, sometimes divided vertically by spandrels. Subdivided glazing is often situated within large, ornate arched, square or rectangular openings in the attic stories. Replacement windows that are fitted to existing openings are common in the district. Some International style buildings with curtain wall construction feature undivided faces of fixed pane glass, or individualized treatments, such as hexagonal shaped window glass in precast concrete frames of 1 Woodward Avenue.
- (3) *Rhythm of Solids to Voids in the Front Façade.* Most buildings in the district are of steel-frame construction, which creates a structure for which windows are inserted in a regular arrangement of columns and rows between the base floor and the attic. The regular rhythm of windows arranged one over the other in a grid pattern prevails throughout the district. The base and attic stories of buildings are varied in architectural treatment, but may feature regular rhythms of arched, square or rectangular openings on first and attic stories. The Detroit Fire Department



Headquarters at 250 West Larned Street features double firehouse doors within arched openings on its Washington Boulevard and West Larned Street façades. The International style building at 611 Woodward Avenue features a checkerboard pattern of window placement, while the Federal Reserve Bank Annex at 160 West Fort Street features alternating horizontal bands of glass and marble panels supported by a stainless steel grid above its all-glass tall first story. In general, the district displays a variety of regularly arranged fenestration patterns.

- (4) *Rhythm of Entrance and/or Porch Projections.* Most primary entrances are prominently centered on their front façades, especially on the classically derived buildings, and are commonly recessed within single or multiple ornamental openings. Some buildings have colonnades or monumental porticos, with their entrances set behind. International style buildings often have entire base stories recessed behind a colonnade of piers. The Guardian Building at 500 Griswold Street has its main entrance at its northwest corner, and Victorian commercial buildings along Woodward tend to have entrances to the sides of storefronts. Some corner buildings have corner entrances. Most entrances are at grade, with the exceptions of the buildings at 611 Woodward Avenue and the west elevation of 211 West Fort Street, which each feature a set of steps that rise with the slope of their sites, and United States District Court at 231 West Lafayette Street, which sits on a high basement and has steps leading to its main entrance.
- (5) *Relationship of Materials.* A great variety of building materials exist throughout the district, with concentrations of finished, pressed or glazed brick, limestone, Mankato stone, terra cotta, marble; cast and porcelain enamel and glass facing primary façades. Base stories are commonly faced or partially faced in granite. Materials utilized for window surrounds and frames are cast concrete, steel, aluminum, bronze and wood. Architectural embellishments tend to be in cast and carved stone, glazed terra cotta, Pewabic tile, and red sandstone. Common brick appears on side elevations that were not intended to be visible. Bronze grills, metal fire escapes, and aluminum and steel framing elements are also visible. In general, the district is rich in its varieties and relationships of materials.
- (6) *Relationship of Textures.* The smooth surfaces of glazed or painted brick, glazed terra cotta, polished marble, polished granite, and large expanses of glass contrast with the matte finishes of limestone and unpainted brick with mortar joints. Where the bases of buildings are rusticated, they contrast with the smoother wall surfaces above. Repetitive pilasters and ornamental detail in masonry, terra cotta or metal, primarily on belt courses and cornices, and the fluting of columns, contribute significantly to textural interest. Subdivided window sashes and treatments also contribute to textural interest, as do receding windows and wall planes, resulting in textural effects created by light and shade. Where those International style buildings have glass bases, a smooth, transparent textural effect results. In general, the district is extremely rich in textural relationships.
- (7) *Relationship of Colors.* Major materials of light colors, such as beige, white, and cream, dominate the district. The natural brick colors of red, orange, and buff are also contrasted with beige or light gray trim elements and details. Painted brick, where it exists on the east side of Woodward Avenue, is in dark red and cream. Granite bases, where they exist, are black, red or gray. Window surrounds and sashes are shades of green, black, cream or white. Window and curtain wall glass is

either colorless or tinted in shades of light green, black or gray. Stainless steel and aluminum are silver in tone; grills and grates are green or black. The Guardian Building at 501 Griswold Avenue is a historic landmark featuring orange brick and colored tile. Light poles tend to be deep green, black or gray. Fire escapes, where they exist, are generally painted black. The original colors of any building, as determined by professional analysis, are always acceptable for that building and may provide guidance for similar buildings.

- (8) *Relationship of Architectural Details.* The styles of the buildings comprising the Historic Detroit Financial District range from Victorian commercial to International style; their architectural elements and details relate to their styles. Entrance bays, architraves, base stories, window frames, spandrels and cornices or attics are areas of the façades where architectural detail is concentrated. The small scale Victorian commercial buildings, concentrated on the east side of Woodward, have modified storefronts on their first floors and have lost their cornices and window hoods, much simplifying their original appearance. Approximately half of the buildings in the district are derived from classical styles, with an abundance of Neoclassical style buildings, a style well suited to judicial and financial institutions. Those classically inspired buildings are articulated as a base (bottom), shaft (mid-section) and attic (top). The base, often multi-storied, is heavily ornamented around the main, entrance with columns, arches, and architectural sculpture. Several buildings have rusticated stone bases, and some display colossal porticos. The shafts contain regular fenestration with ornamented spandrels, and their attics, including their cornices, are heavily ornamented. Art Deco commercial buildings are concentrated on Griswold Avenue, and in addition to their embellished entrances, feature setbacks at upper floor levels which are embellished, resulting in dramatic silhouettes that are part of their design. These Art Deco buildings also exhibit decorative tile work, mosaics, and large-scale architectural sculpture. International style buildings of the 1950s and early 1960s are concentrated on the east side of Woodward Avenue through to Griswold Street, and intermingled with classically-inspired buildings on West Fort Street. They feature transparent first stories of glass that are visible to the interior, and are set in back of piers supporting the upper stories. Flagpole bases, lighting, and street names integrated with the larger buildings are treated decoratively. In general, the architectural detail on buildings in the district is very rich.

## RECOMMENDATION

It is staff's recommendation that the commission issue a COA for the proposed work because it meets the Secretary of the Interior's Standards for Rehabilitation standard number 9) *New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment* and 10). *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*



Figure #1: Exterior, Looking Southeast. 12/7/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #2: Exterior, Looking South. 7/25/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #3: Exterior, Looking Southwest. 12/9/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



Figure #4: Exterior, Looking Southwest. 12/7/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #5: Exterior, Looking West. 1/30/2017



Figure #6: Exterior, Looking Northwest. 12/7/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



Figure #7: Exterior, Looking North. 12/7/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #8: Exterior, Looking Northwest. 3/4/2017



Figure #9: Exterior, Looking North. 3/4/2017

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #10: Exterior, Looking Northeast. 12/9/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #11: Exterior, Looking Northeast. 12/7/2016

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



Figure #1: Exterior, West Roof, Looking Southwest. 3/11/19



Figure #2: Exterior, West Roof, Looking West. 3/11/19

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #3: Exterior, West Roof, Looking Northwest. 3/11/19



Figure #4: Exterior, West Roof, Looking Northeast. 7/31/19

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



Figure #5: Exterior, West Roof, Looking South. 7/31/19

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI





Figure #6: Exterior, West Roof, Looking Northeast. 7/31/19

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



Figure #7: Exterior, West Roof, Looking Northwest. 7/31/19

**Detroit Free Press Building**  
321 W. Lafayette, Detroit MI



# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT  
PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: \_\_\_\_\_

## PROPERTY INFORMATION

ADDRESS: \_\_\_\_\_ AKA: \_\_\_\_\_

HISTORIC DISTRICT: \_\_\_\_\_

## APPLICANT IDENTIFICATION

Property  
Owner/  
Homeowner

Contractor

Tenant or  
Business  
Occupant

Architect/  
Engineer/  
Consultant

NAME: \_\_\_\_\_ COMPANY NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

PHONE: \_\_\_\_\_ MOBILE: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**Photographs** of ALL sides of existing building or site

**Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, and material)

**Description of existing conditions** (including materials and design)

**Description of project** (including an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

**Detailed scope of work** (formatted as bulleted list)

**Brochure/cut sheets** for proposed replacement material(s) and/or product(s)

### NOTE:

Based on the scope of work, additional documentation may be required  
See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements

**SUBMIT COMPLETED  
REQUESTS TO: HDC@DETROITMI.GOV**

July 26, 2019

Ms. Jennifer Ross  
City of Detroit  
Historic District Commission  
2 Woodward Avenue  
Suite 808  
Detroit, Michigan 48226

RE: Detroit Free Press Building - HDC Submission

Dear Ms. Ross:

Kraemer Design Group (KDG) is writing to submit information to the Detroit Historic District Commission (HDC), on behalf of Pyramid Development, LLC regarding the proposed rehabilitation of the Detroit Free Press Building located at 321 W. Lafayette. The proposed exterior work at the Detroit Free Press Building will include a pool and pool deck on the roof of the west tower and two parking bays on the alley façade, and exterior façade lights.

The Detroit Free Press Building is a steel framed fourteen story office building clad in limestone. It was designed by Albert Kahn and built in 1923. The building takes up the half city block fronting on West Lafayette's south side between Washington Boulevard and Cass Avenue, extending south from West Lafayette to the alley that bisects the city block. The first three stories have a rectangular footprint that fills the lot line while floors four through six are in the shape of an "E" as two lightwells punctuate the building's southern façade. There is a central tower that rises from floor seven to floor fourteen. The piers between window bays and decorative plaques display Art Deco features on an otherwise utilitarian skyscraper. The two-story arched main entrance on West Lafayette is guarded by two historical figures. Medallions depicting historical newsmen decorate the building's front exterior. Plaques depicting transportation modes adorn the Washington Boulevard and Cass Avenue facades. The Detroit Free Press, which was founded in 1831, is the oldest continually operating business in Detroit and occupied 321 West Lafayette for 76 years before leaving the building in 2001.

The following is a detailed description of the proposed work and its historic implications:

### Rooftop Pool

It is proposed that a rooftop pool and deck be added to the roof of the west wing. A raised pedestal paver roof deck with porcelain and hardwood tiles will be installed on the roof of the 6th floor west wing. The roof deck will be held back from the parapets and have a guardrail surrounding the deck on all sides. The edge of the roof deck and guardrail will be located so that it is not a visible feature from the street. See attached drawings for sightline studies of the proposed roof deck. The roof deck will contain loose seating, a grill enclosure, fireplace, electrical closet, sauna, spa, and pool. The electrical closet and sauna will be built adjacent to and the same height and finish as the stair penthouse added during the core and shell phase of the project to minimize visual impact. The grill will be kept tight to the stair penthouse, and the fireplace will be located adjacent to the spa, near the stair penthouse and sauna.

An in-ground rooftop pool and spa will be built into the roof deck. The pool will be approximately 24' x 14' in size and the spa will be approximately 8' x 7'. The pool is located on the southern end of the roof top, while the spa is located more centrally by the stair enclosure and sauna. A small wrought iron gate between the stair enclosure and fireplace separates the pool and spa from the rest of the roof deck. Pool and spa equipment will be housed in the existing tall corner parapet at the south west corner of the rooftop. A small metal panel enclosure will be added to the open corner of the tall corner parapet to enclose the equipment. The metal panel enclosure will match the parapet in color as closely as possible so as to not be a noticeable feature from the street. A roof will be added at the top, the highest point of which will be level with the top of the parapet.





## Parking

An automated parking system is proposed for the lower levels of the Detroit Free Press Building. The basement and sub-basement will house equipment and support structure for the automated parking system, car storage, and car lifts. At the alley level, two loading bays will be built to enclose the lift that will transport cars to the lower levels. Between the two loading bays a lounge will be constructed to provide access into the building from the loading bays and to provide a waiting area for car retrieval. The two loading bays have been located based on the building's structure and to minimize the impact on the tertiary façade. The enclosures each consist of two angled walls with roll-up garage doors that enclose a turntable.

Cars will enter the alley off Washington Boulevard and exit onto Cass Avenue. The loading bay enclosure is angled to allow easier entry for cars and to minimize the visual impact on the façade. A turntable is provided in each loading bay to rotate cars before relocating them to the basement and sub-basement. When the turntable is in use, the loading bay must be fully enclosed, causing the enclosure to project past the façade by 5'-0". The turntable enclosures are pushed as far into the building as possible to avoid projecting beyond the façade any more than is necessary.

The two loading bays are placed toward the middle of the building to minimize the visual impact from the street and are also in ideal locations based on structural constraints. The neighboring parking lot also has a series of small existing buildings that largely block the views of the new loading bay structures, as seen in the attached massing studies. The loading dock openings themselves are not being altered, and all existing historic fabric around the openings shall be maintained. If needed, the infill for the loading bay enclosures could easily be removed in the future and the loading dock bays would remain intact.

The loading bays and exterior face of the lounge will be clad in a light-colored cementitious material to blend with the existing building while simultaneously clearly being an addition to the building. The garage doors will be a green color to match the windows, storefronts, and louvers on the building, and will have a series of small windows to provide transparency. Three louvers will be added to the alley façade to supply fresh air and expel exhaust air. The louvers will be installed in previously bricked-in window locations below the bridge connecting the Detroit Free Press Building and neighboring Detroit Club.

## Exterior Lighting

Exterior lights are proposed at the storefront, 2<sup>nd</sup> floor and 7<sup>th</sup> floor levels. Lights will be centered on the columns and provide downlighting at the storefront level and up-lighting at the 2<sup>nd</sup> and 7<sup>th</sup> floor levels. Additional lights will be located in planters in the sidewalk to illuminate the decorative carving around the main entry arch to the building, and at the flag poles on the 6<sup>th</sup> floor roof at the east and west corners of Lafayette. The attached drawings show proposed lighting types and locations.

## Conclusion

The items listed above provide a synopsis of the proposed scope of work for the pool and parking buildouts and exterior lighting layout. We kindly request approval of the work proposed at 321 W. Lafayette. Further detail is provided in the attached drawings, photos, and documentation. Please contact Cassandra Talley at Kraemer Design Group if you have any further questions.




Sincerely,

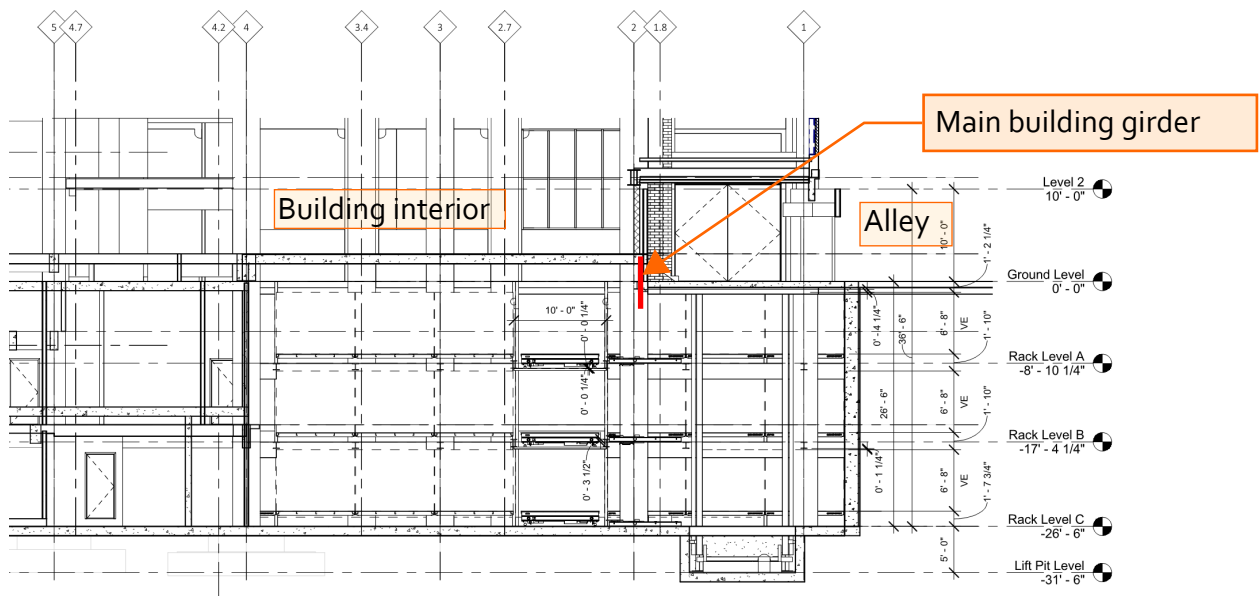
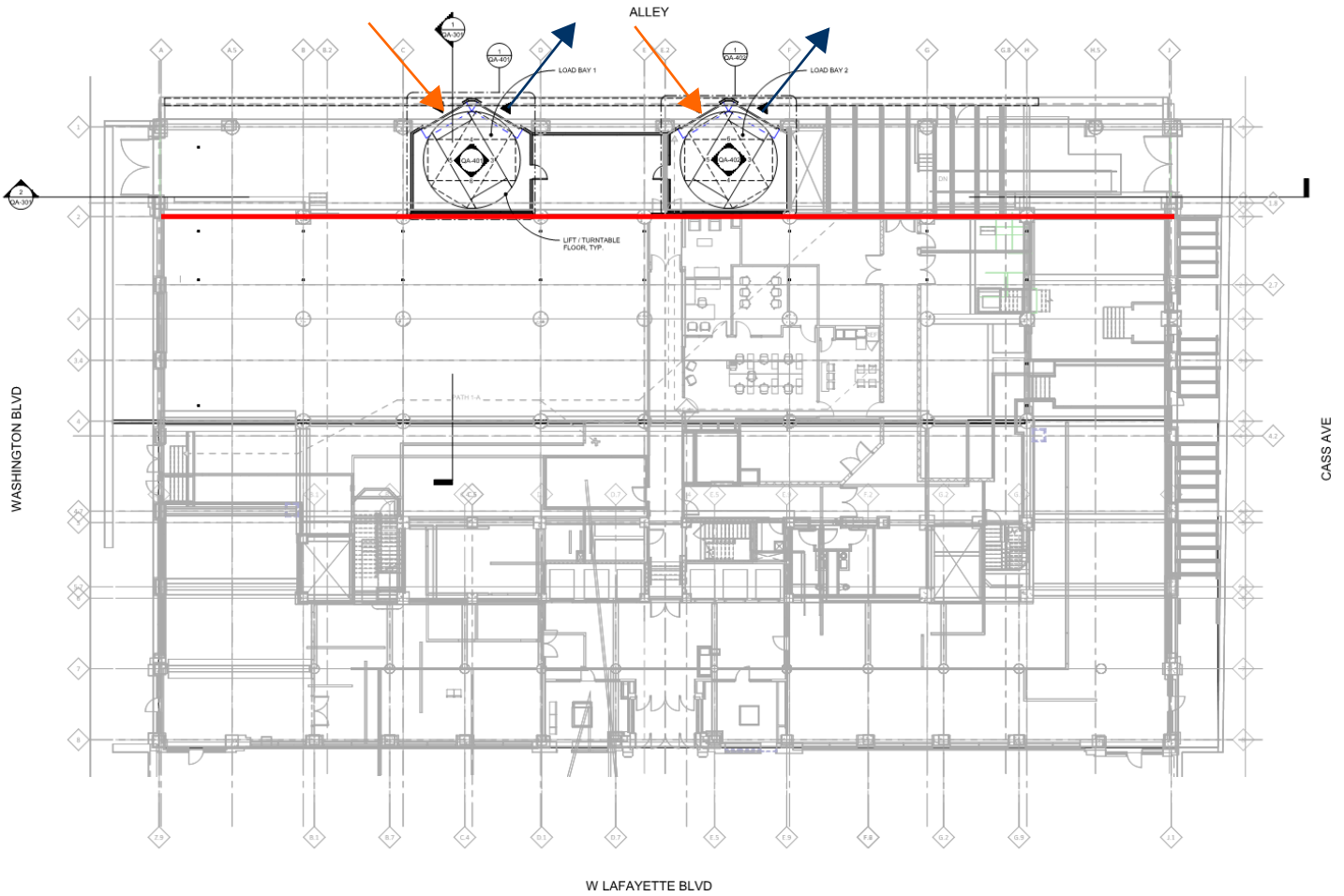
Kraemer Design Group



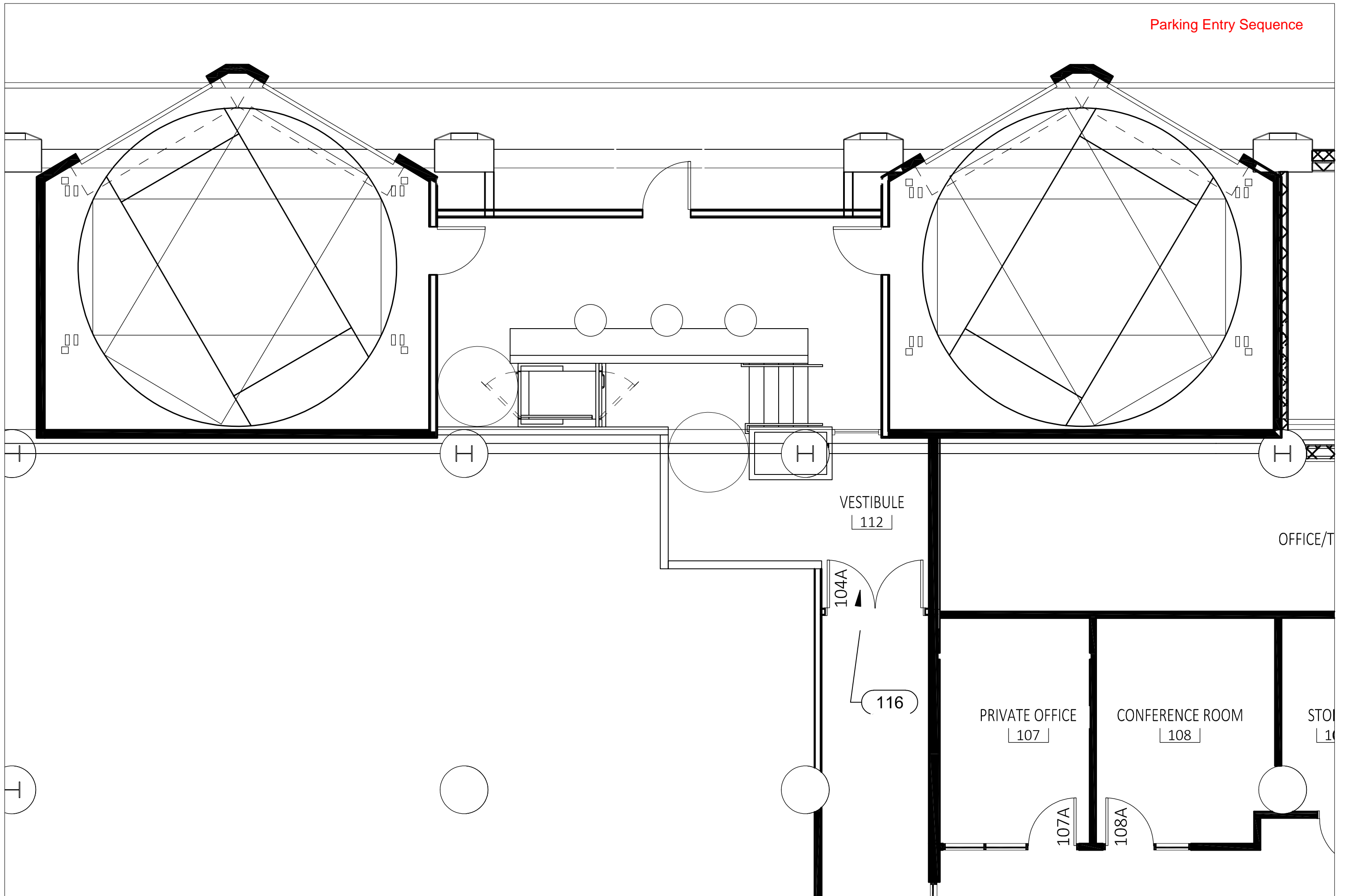
Cassandra Talley  
Historic Preservation Specialist



-  Loading bay entry
-  Loading bay exit
-  Main building girder







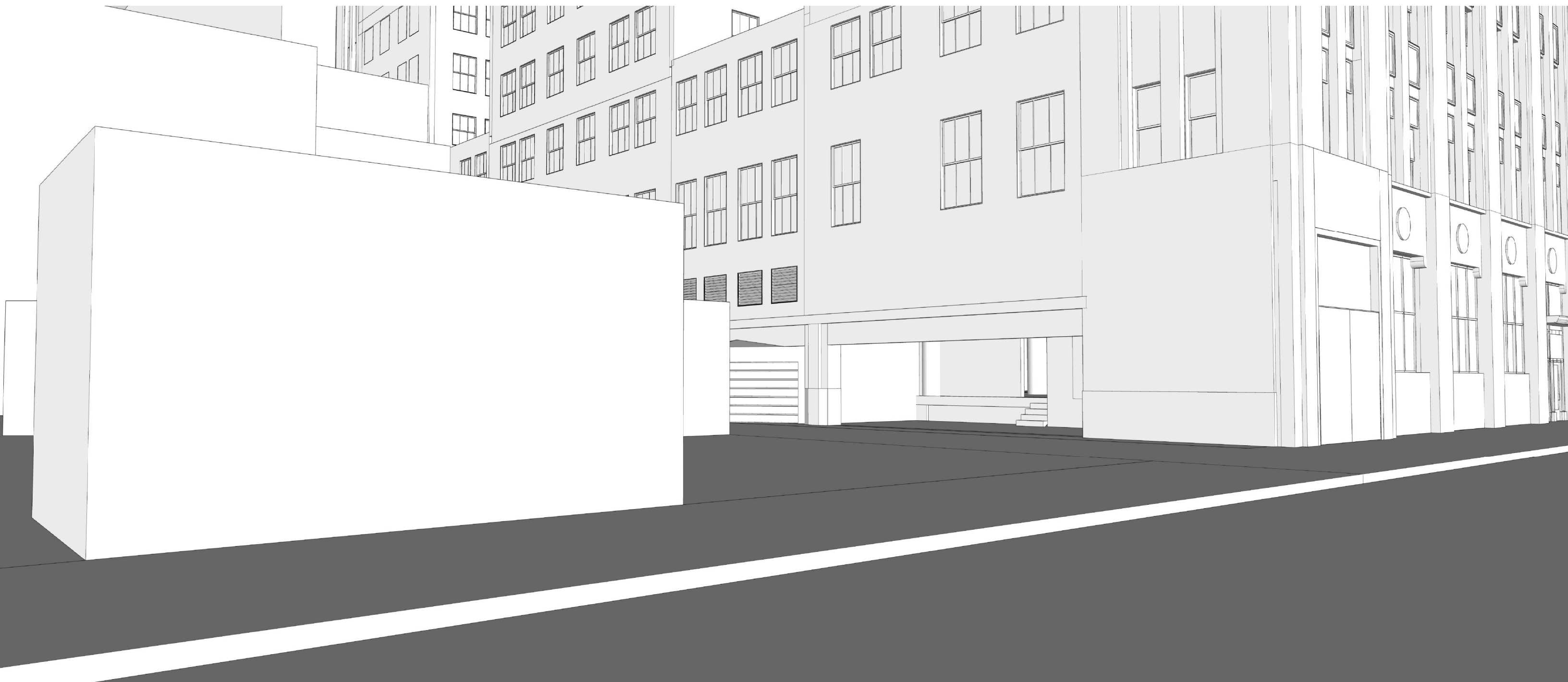
Loading Bay View from West Fort St and  
Washington Boulevard





Loading Bay View from West Fort St and  
Washington Boulevard







Loading Bay View from Washington Boulevard



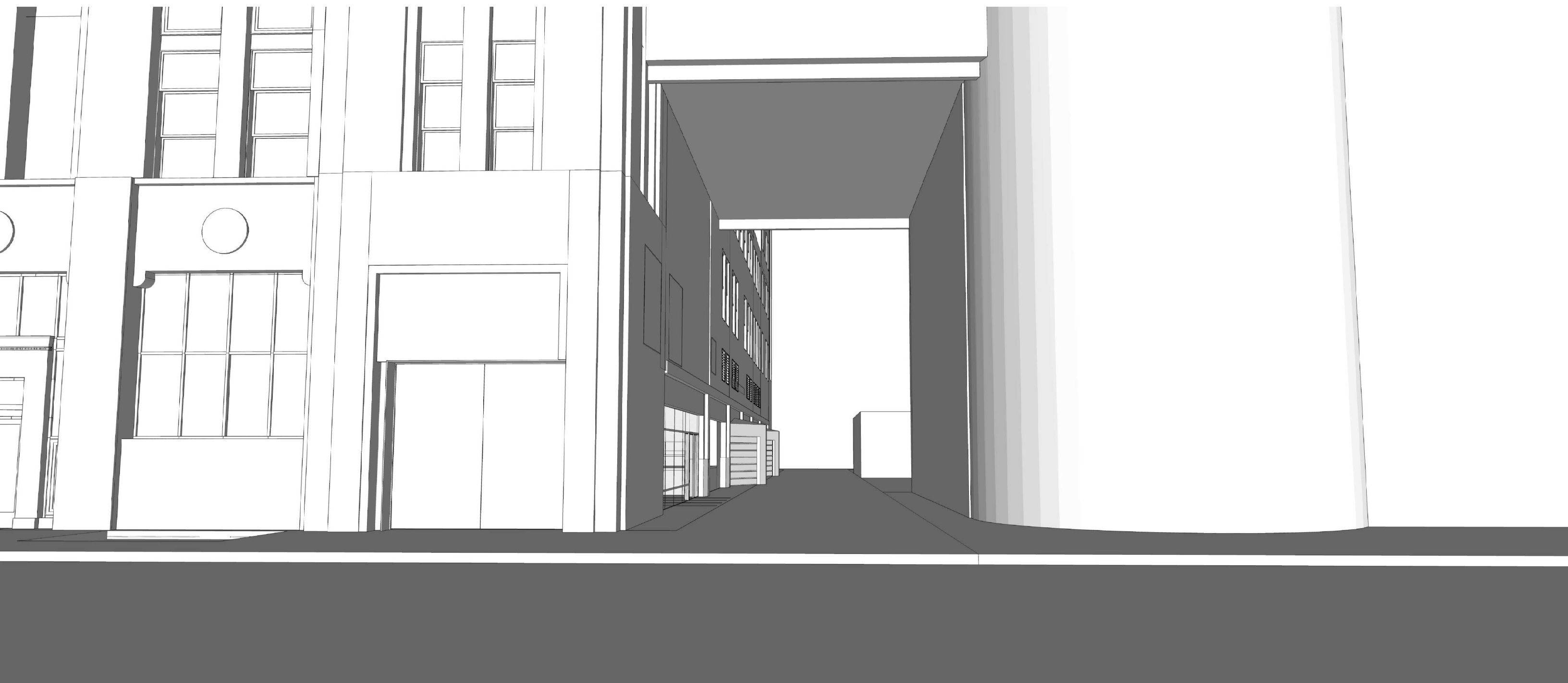




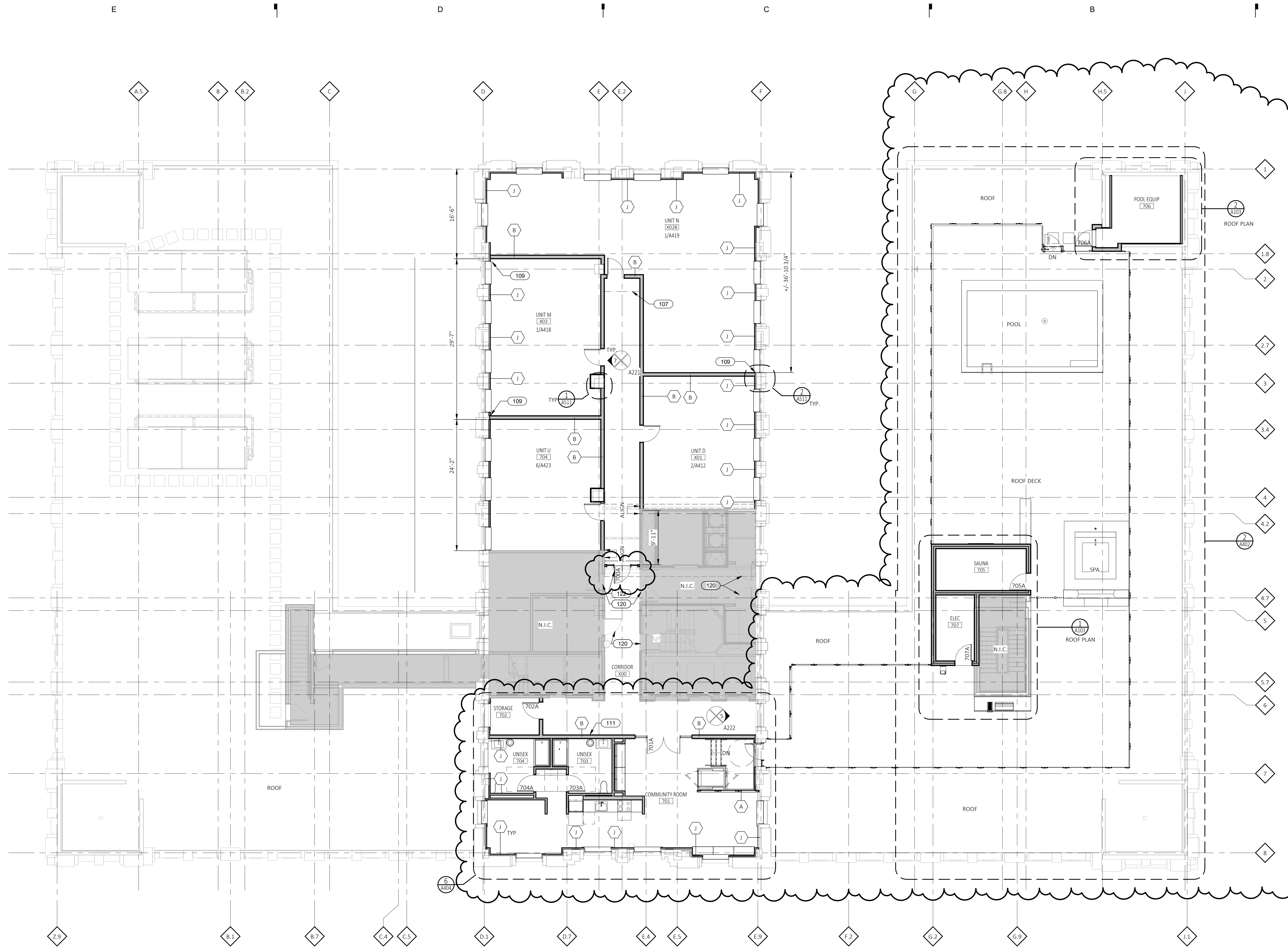








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**GENERAL NOTES**

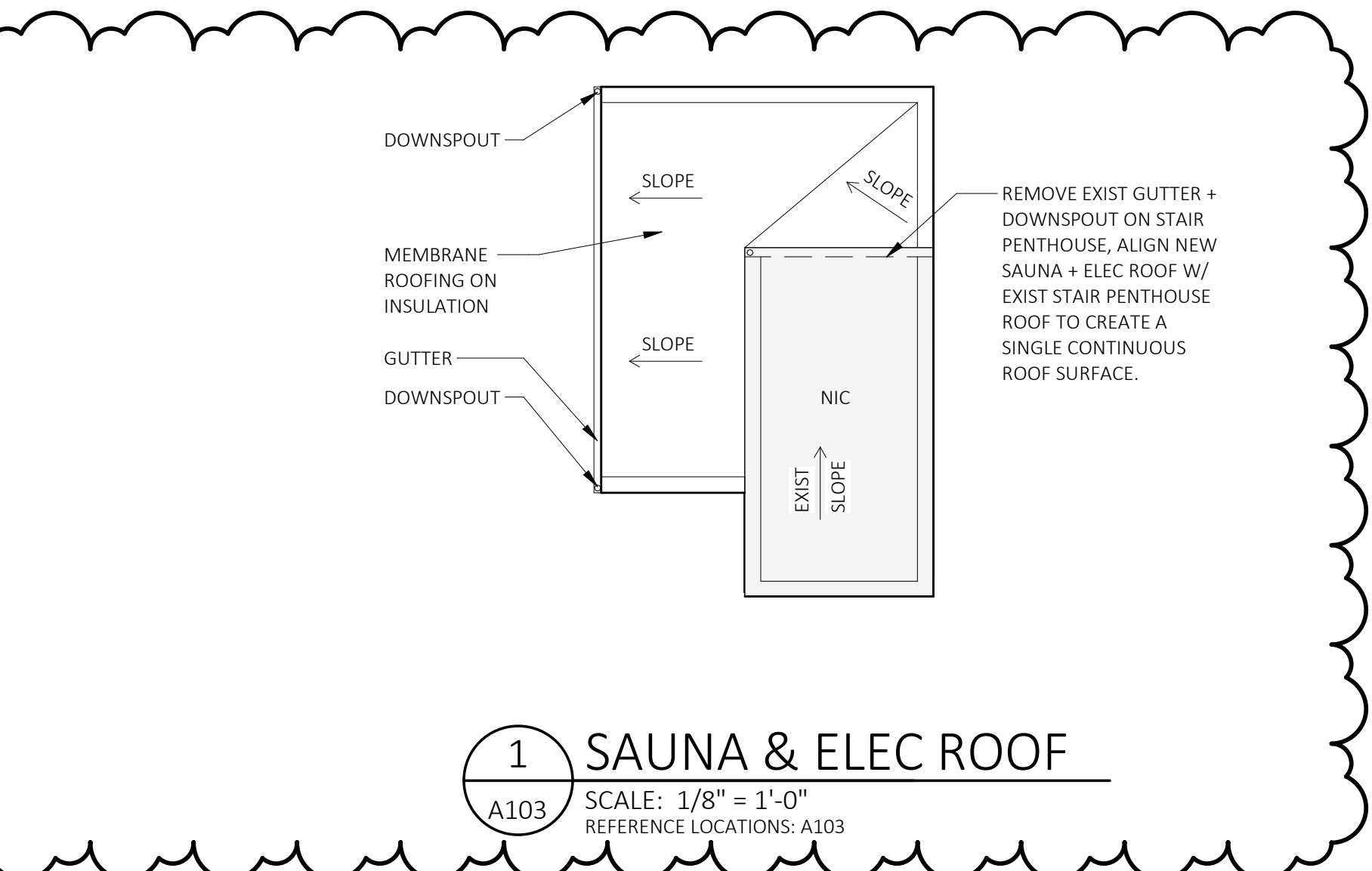
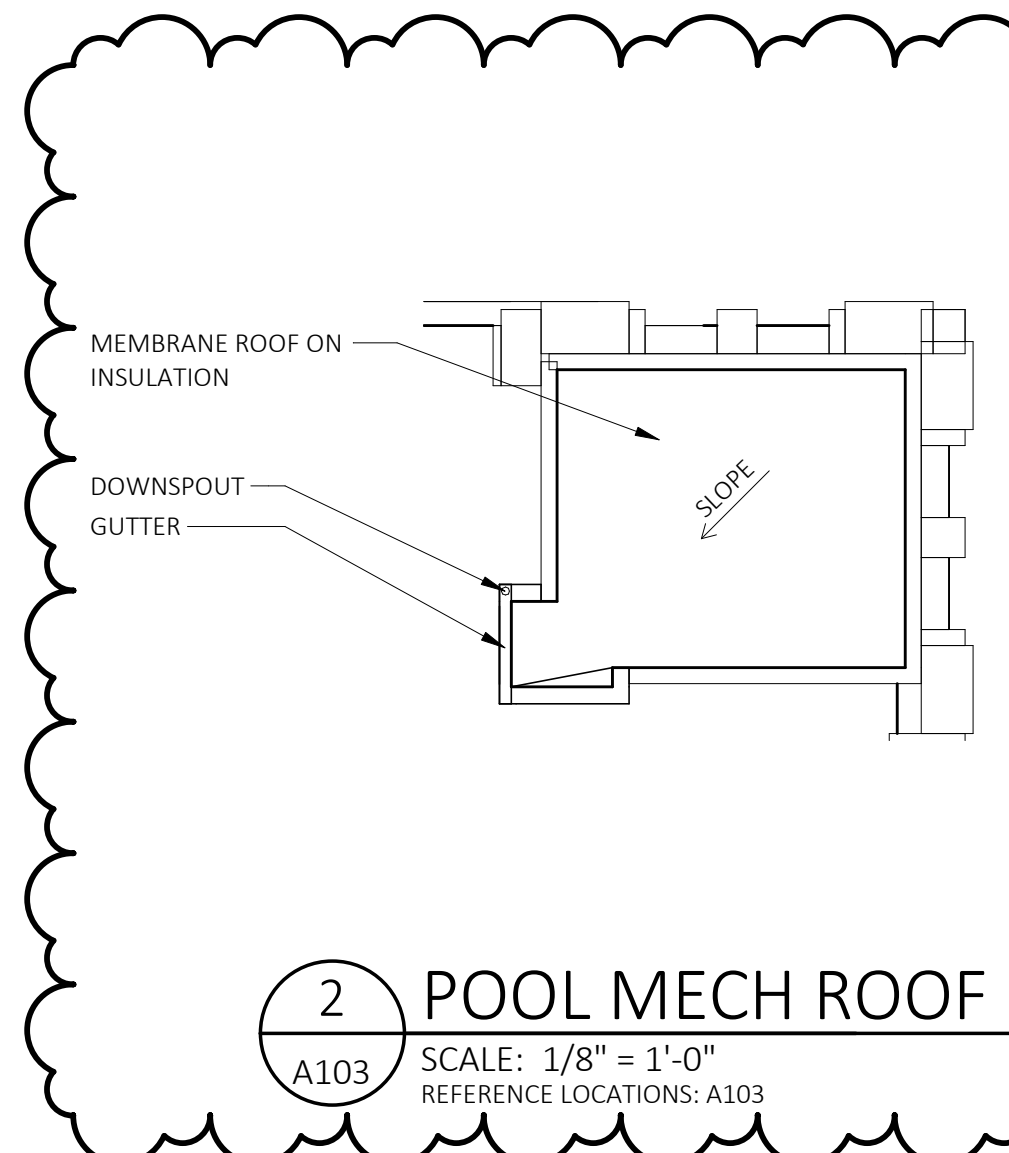
- A ALL PARTITIONS SHALL BE TYPE "A" UNLESS NOTED OTHERWISE.
- B PATCH AND REPAIR WALLS AND FLOOR TO ENSURE EVEN SURFACE TO RECEIVE FINISH MATERIAL. COORDINATE WITH ROOM FINISH AND COLOR SCHEDULE.
- C FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- D FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE AND SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (U.L. SYSTEM).
- E WHERE NEW BOARD PARTITIONS ARE A CONTINUATION OF AN EXISTING PARTITION OR COLUMN ENCASEMENT, THE FACE OF THE NEW GYPSUM BOARD SHALL BE ALIGNED WITH THE FACE OF THE EXISTING SURFACE. WHERE A NEW GYPSUM BOARD PARTITION IS SHOWN INTERSECTING A COLUMN ENCASEMENT THE CENTERLINE OF THE WALL SHALL BE CENTERED ON THE COLUMN ENCASEMENT.
- F WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- G PARTITIONS WITH EXISTING FRAMING MAY REQUIRE REWORK TO ACCOMMODATE NEW OPENINGS, ETC.
- H WHERE NEW FINISHES ARE SPECIFIED ON THE FINISH PLAN OR SCHEDULE REMOVE ALL EXISTING FINISHES - PATCH AND REPAIR WALLS AND FLOOR - PREPARE THEM TO ACCEPT NEW SCHEDULED FINISH PER MANUFACTURER'S INSTRUCTIONS. SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- I LOCATE DOOR FRAMES 6" FROM INSIDE CORNER TO DOOR OPENING, UNLESS NOTED OTHERWISE.
- J ALL INTERIOR GLAZING INCL DOORS, SIDELITES, & BORROWED LITES SHALL BE CLEAR LAMINATED SAFETY GLASS OR CLEAR TEMPERED SAFETY GLAZING. UNLESS NOTED OTHERWISE.
- K RECESSED ITEMS (GREATER THAN 16 SQ. IN.) IN RATED AND/OR SMOKE WALLS, INCLUDING ELEC PANELS, ELEC DUCTS, MED GAS VALVE BOXES, FIRE EXT CABINETS, ETC. SHALL BE BACKED WITH 5/8" TYPE "X" GYPSUM BOARD TO MAINTAIN RATING FIRE WALL.
- L TELEPHONE AND ELECTRICAL PANEL BOARDS: PROVIDE AND INSTALL 4" X 8" X 3/4" THICK, PLYWOOD, FIRE RETARDANT TREATED.
- M DEMO ALL EXISTING DOOR SILLS AND THRESHOLDS AND INFILL WITH CONCRETE FOR LEVEL SURFACE.
- N PROVIDE LEVEL FLOOR SUBSTRATE PRIOR TO CONSTRUCTION. SEE SPECIFICATIONS.

**CONSTRUCTION KEYNOTES** (###)

- 107 APPROXIMATE LINE OF END OF EXIST TERRAZZO. IF END OF TERRAZZO LESS THAN 1'-0" FROM UNIT DEMISING WALL @ END OF CORRIDOR, ALIGN UNIT WALL WITH EXIST TERRAZZO EDGE. IF END OF TERRAZZO GREATER THAN 1'-0" FROM UNIT DEMISING WALL, SEE 5/A511 FOR DETAILS.
- 109 FACE OF DEMISING WALL TO BE 5" FROM WINDOW JAMB, SEE A511.
- 111 LOCATE WALL SO THAT WIDTH OF DARK TERRAZZO BORDER IS EQUAL TO WITHIN 1/4" ON BOTH SIDES OF CORRIDOR. SEE DIAGRAM, 18/A511.
- 120 DOOR TO BE PAINTED TO MATCH ADJACENT RESIDENTIAL ENTRY DOORS.
- 122 CENTER DOOR IN WALL.

**7TH FLOOR PLANS**

SCALE: 1/8" = 1'-0"  
\*SEE ENLARGED UNIT PLANS FOR DOOR LOCATIONS.



**KraemerDesignGroup**  
 1420 Broadway | Detroit, MI 48226 | (313) 965-5399 | (313) 965-3555  
 www.kraemerdg.com  
 Architect

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Consultant

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**PYRAMID DEVELOPMENT CO.**  
**LLC**  
 1092 WOODWARD AVENUE  
 DETROIT, MI 48226  
 Owner

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**321 W LAFAYETTE RESIDENTIAL BUILD OUT**  
 321 WEST LAFAYETTE STREET  
 DETROIT, MI 48226  
 Project

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Seal

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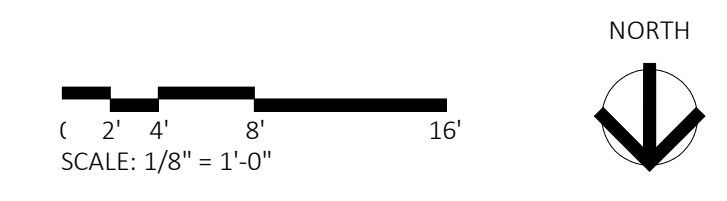
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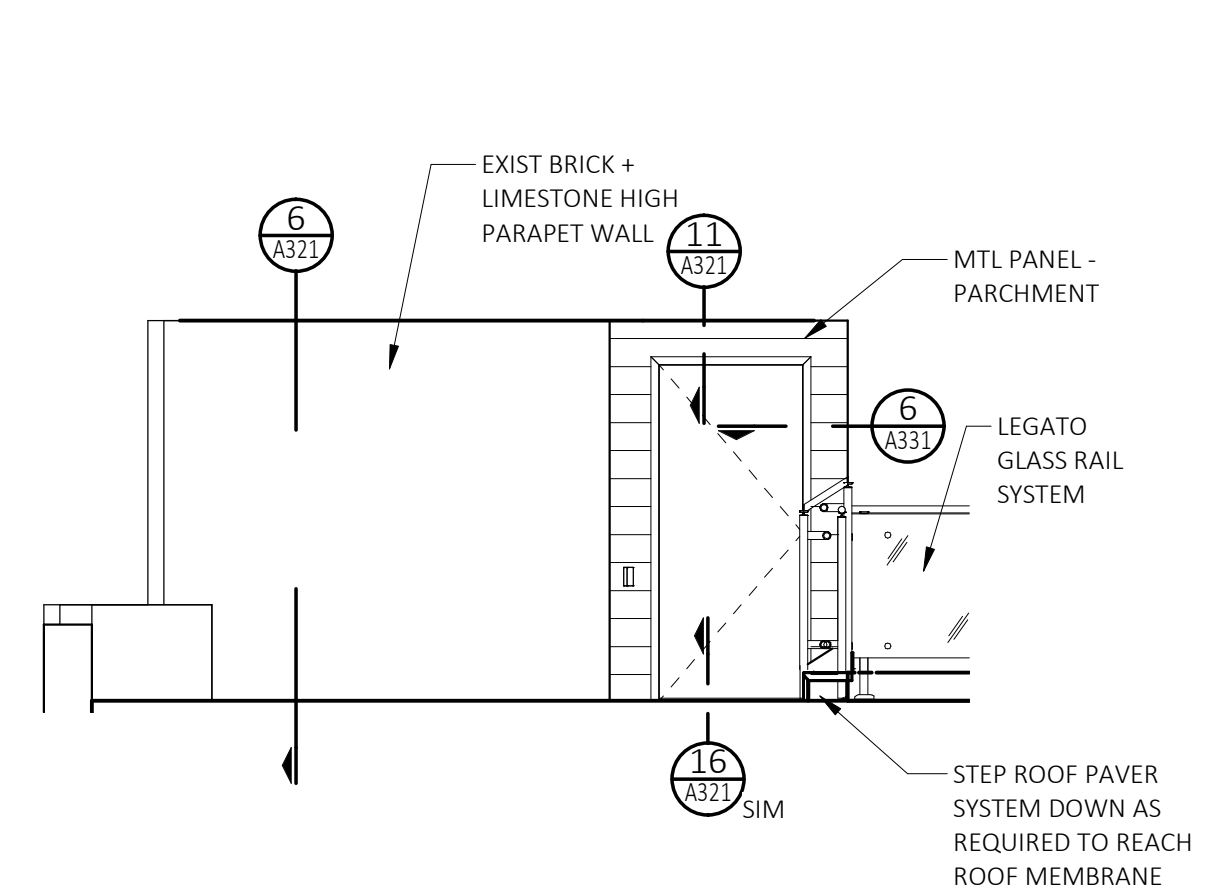
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POOL 100% DD	04-17-19
BULLETIN 02	03-29-19
PERMIT/BID	11-16-18
90% OWNER REVIEW	09-27-18
DESIGN DEV.	07-19-18

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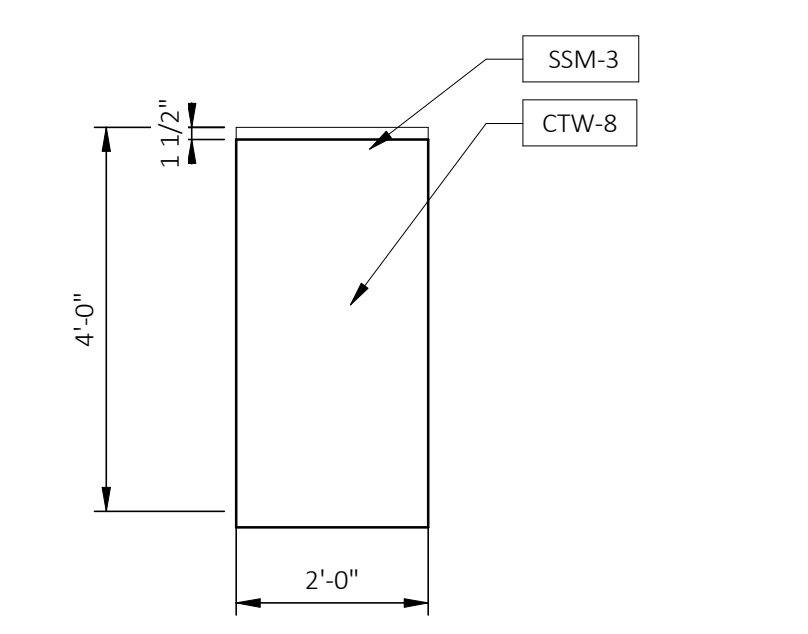
Date	06/21/19
Project Number	2018024
Sheet Title	<b>7TH FLOOR PLAN</b>
Sheet Number	<b>A103</b>



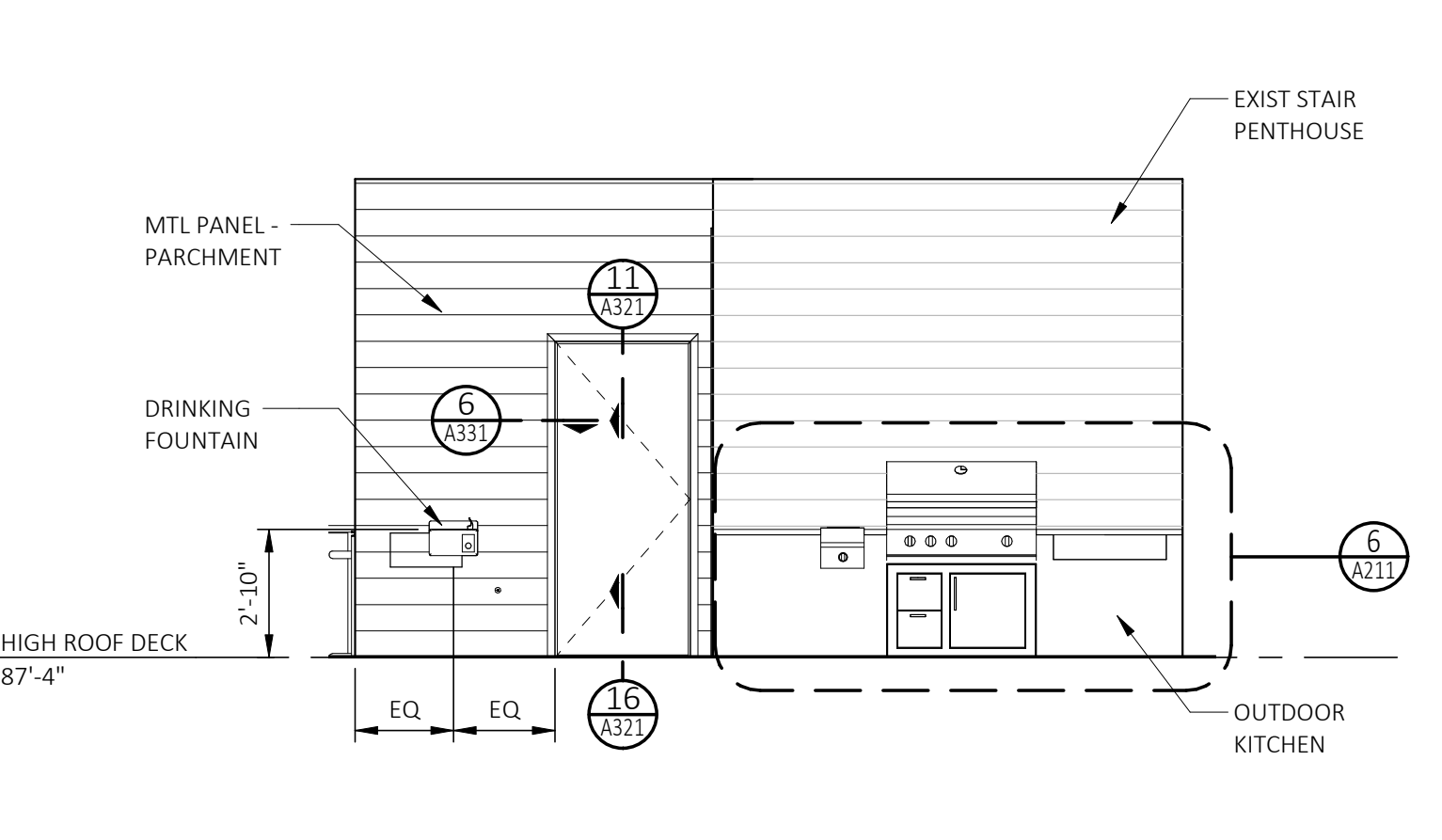
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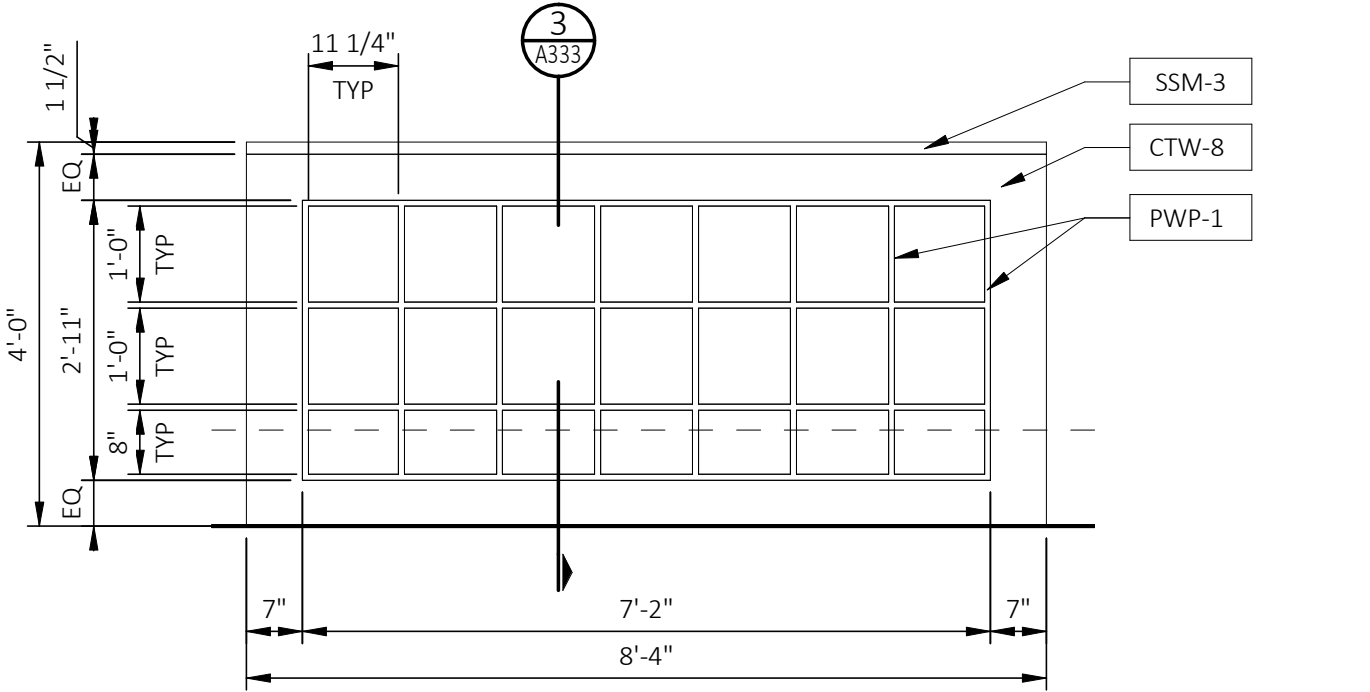
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A211 SCALE: 1/4" = 1'-0"  
REFERENCE LOCATIONS: A402



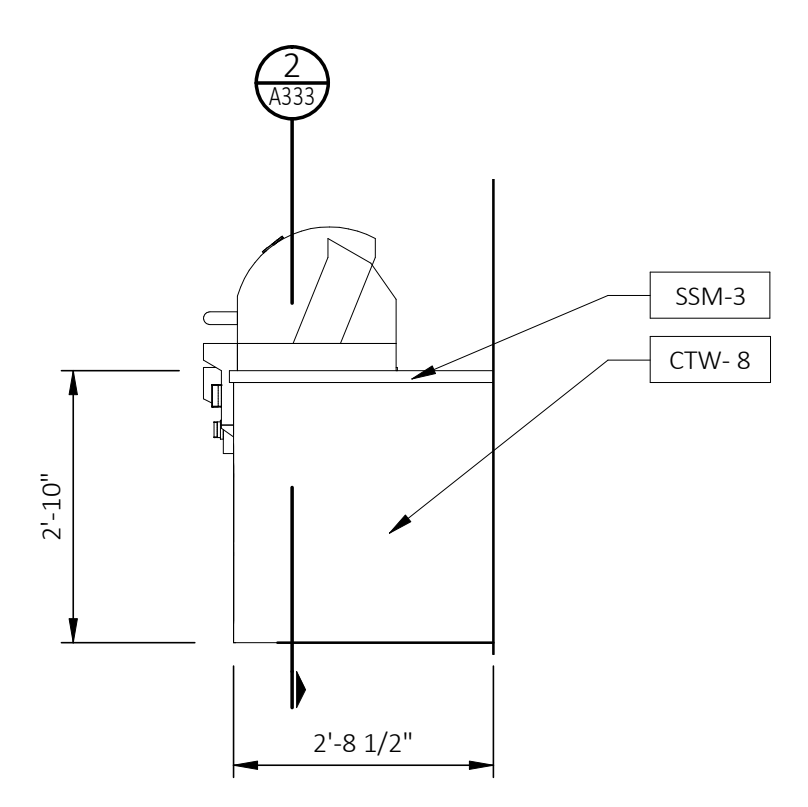
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A211 SCALE: 1/2" = 1'-0"  
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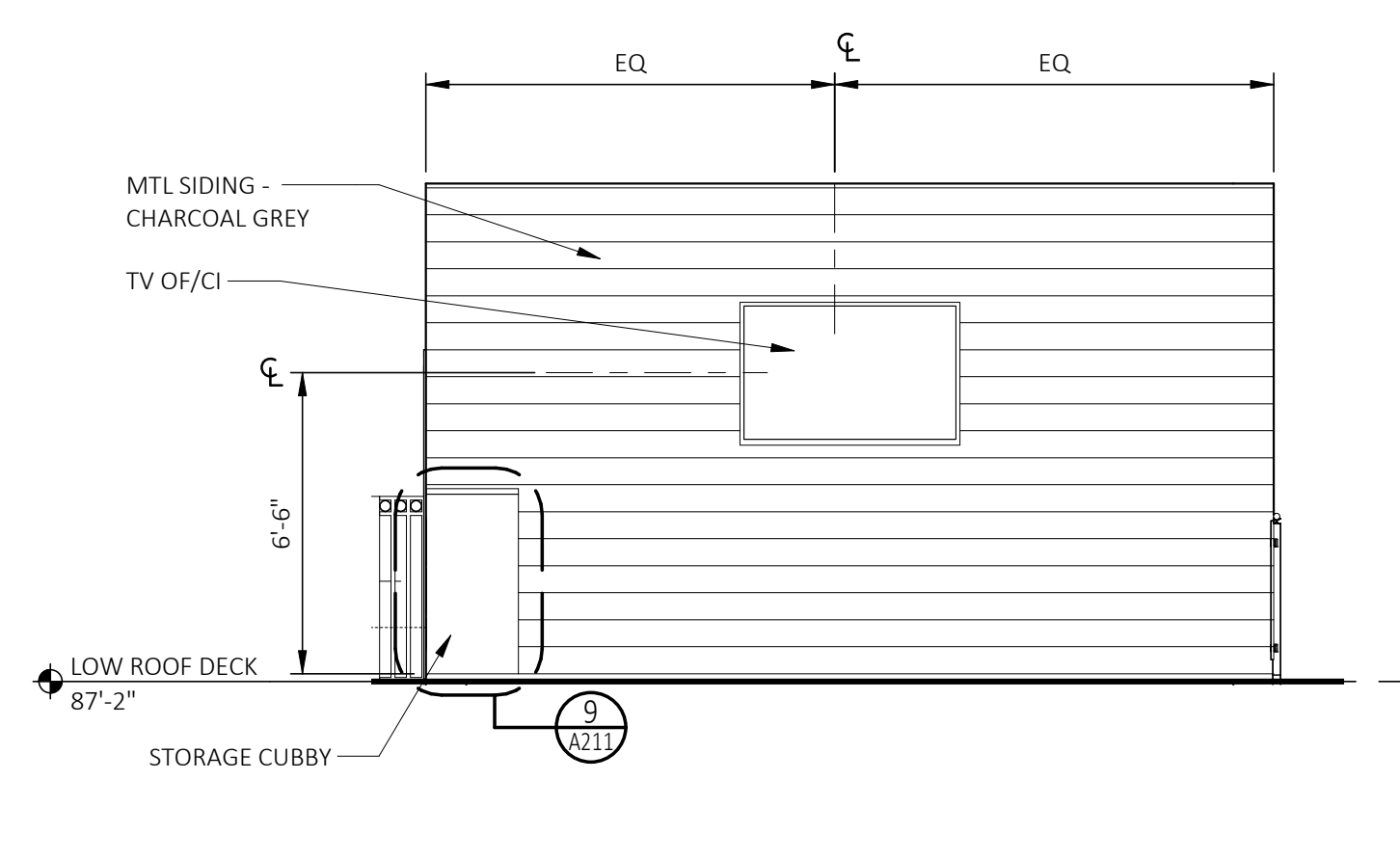
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A211 SCALE: 1/4" = 1'-0"  
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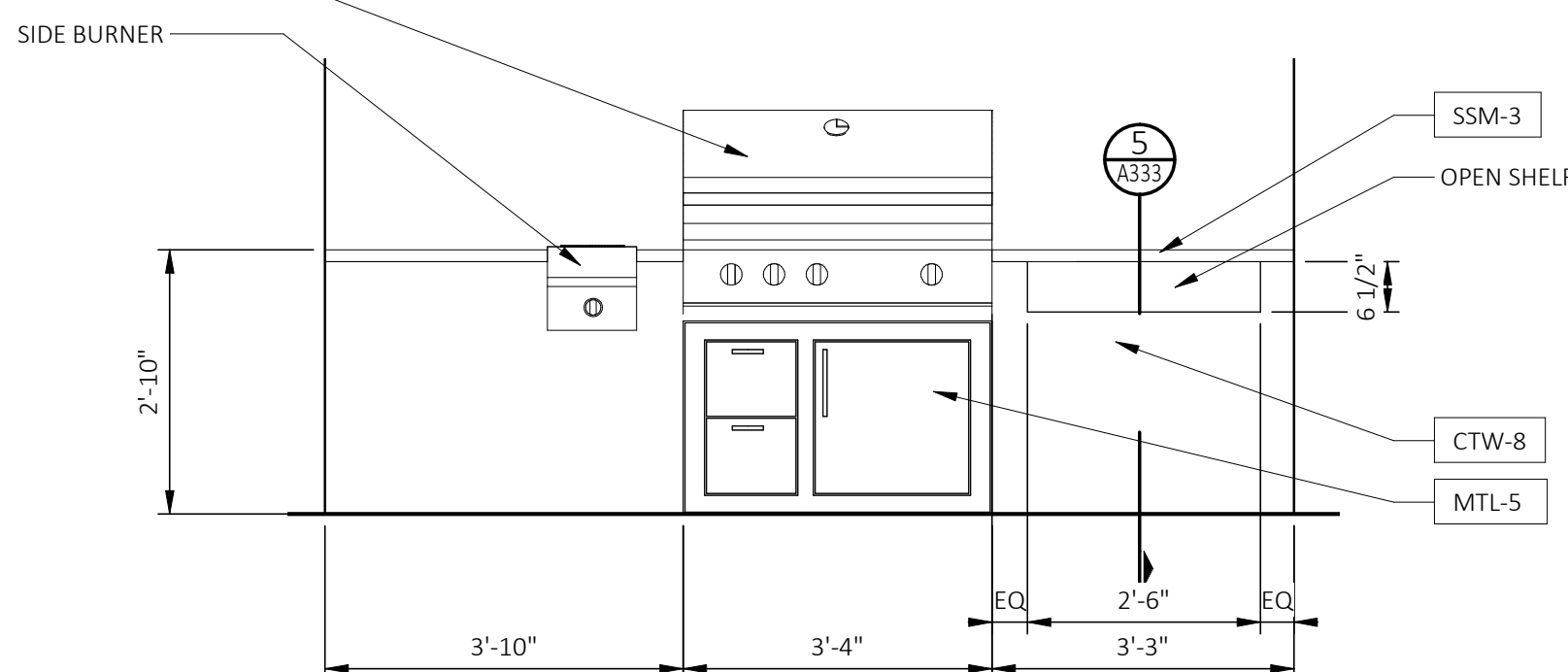
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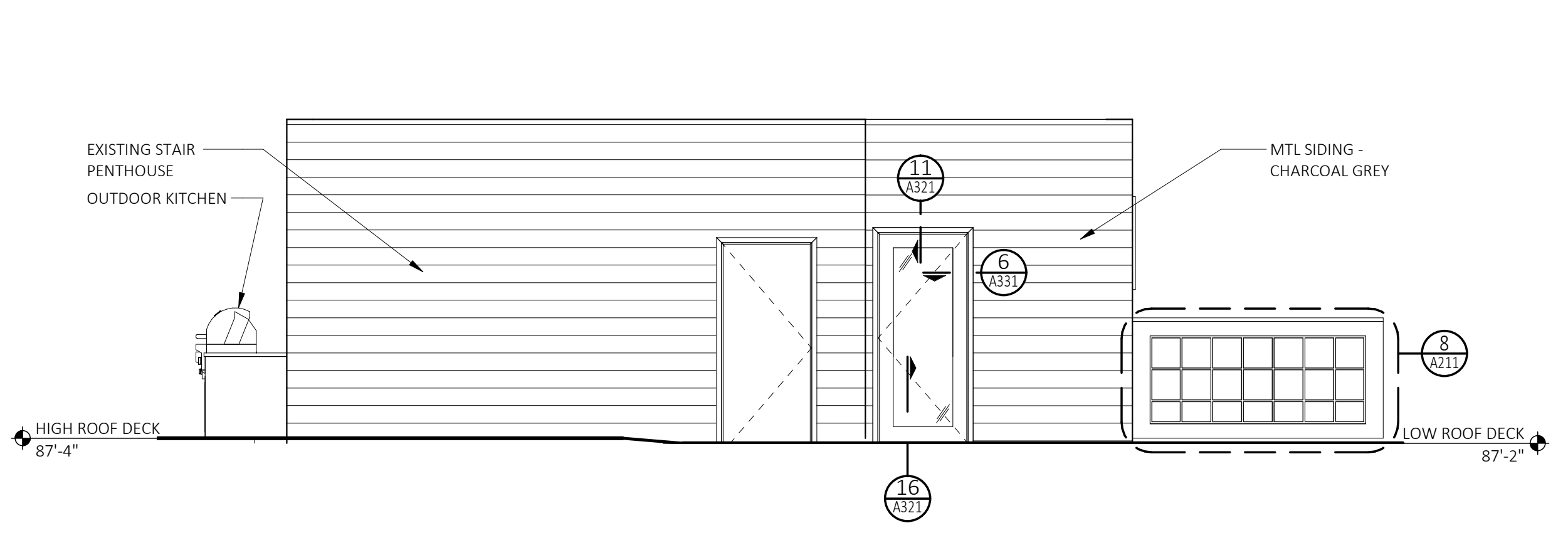
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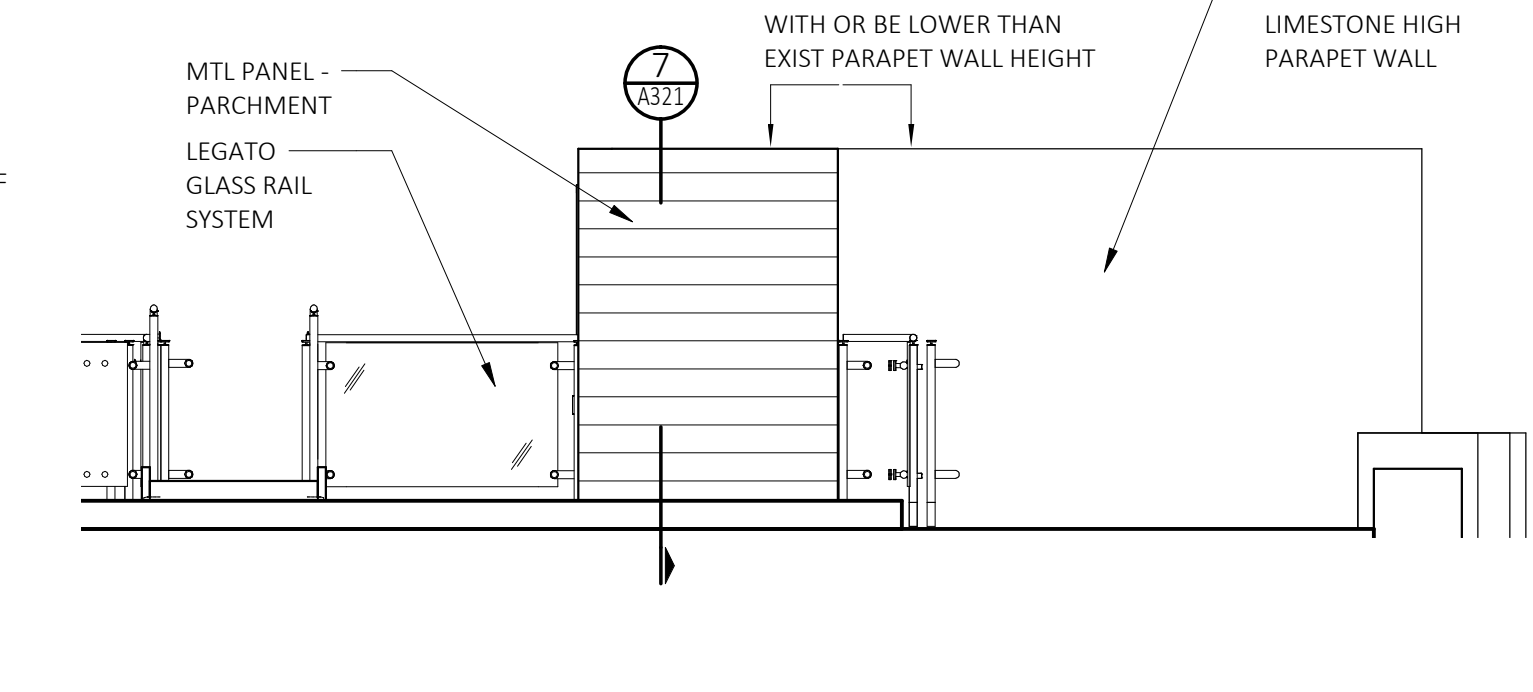
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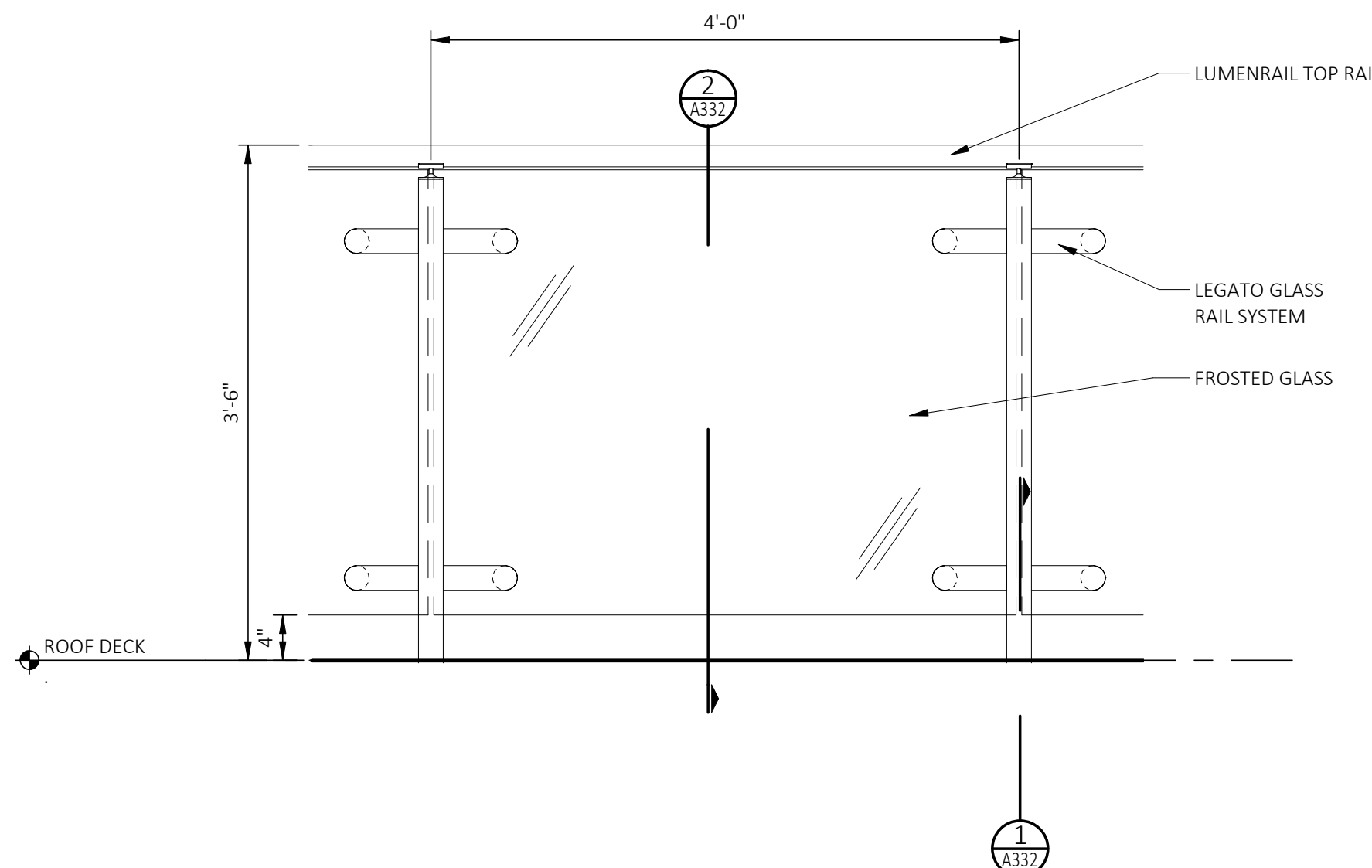
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A211 SCALE: 1/2" = 1'-0"  
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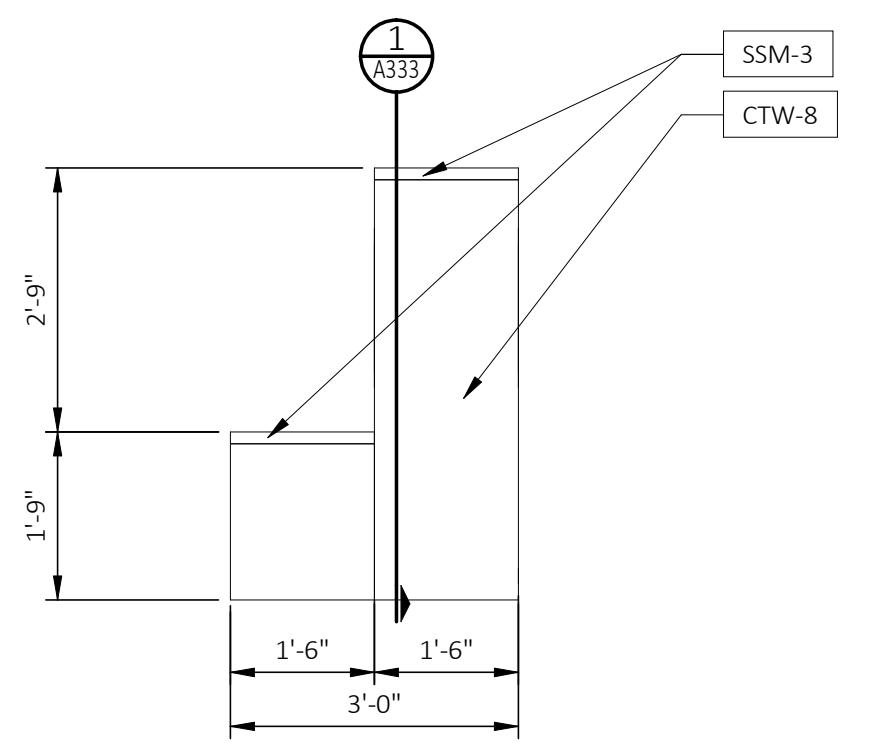
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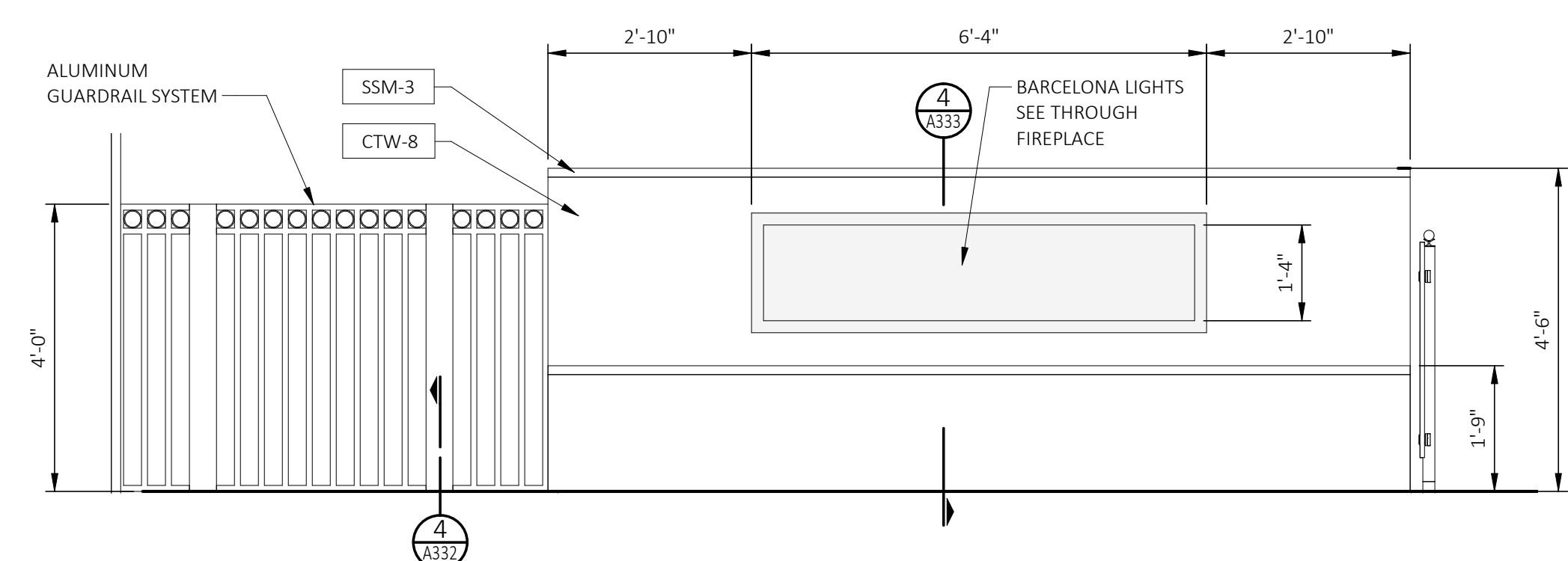
**5 POOL MECH**  
A211 SCALE: 1/4" = 1'-0"  
REFERENCE LOCATIONS: A402



**12 ROOF DECK RAILING**  
A211 SCALE: 1" = 1'-0"  
REFERENCE LOCATIONS: A402



**11 FIREPLACE**  
A211 SCALE: 1/2" = 1'-0"  
REFERENCE LOCATIONS: A211



**10 FIREPLACE**  
A211 SCALE: 1/2" = 1'-0"  
REFERENCE LOCATIONS: A211

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Architect

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Consultant

**PYRAMID DEVELOPMENT CO. LLC**  
1092 WOODWARD AVENUE  
DETROIT, MI 48226

**321 W LAFAYETTE RESIDENTIAL BUILD OUT**  
321 WEST LAFAYETTE STREET  
DETROIT, MI 48226

Project

Seal

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Revision	Date

BULLETIN 4 06-21-19

Date 06/21/19

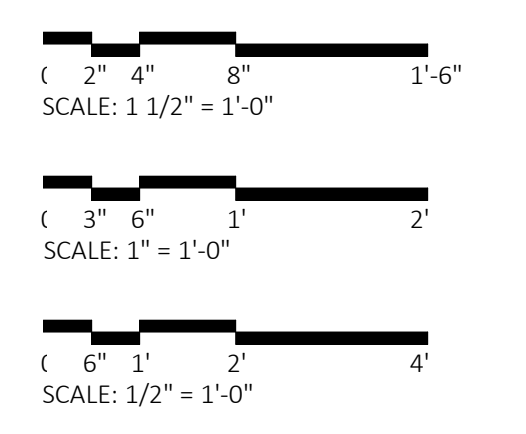
Project Number 2018024

Sheet Title

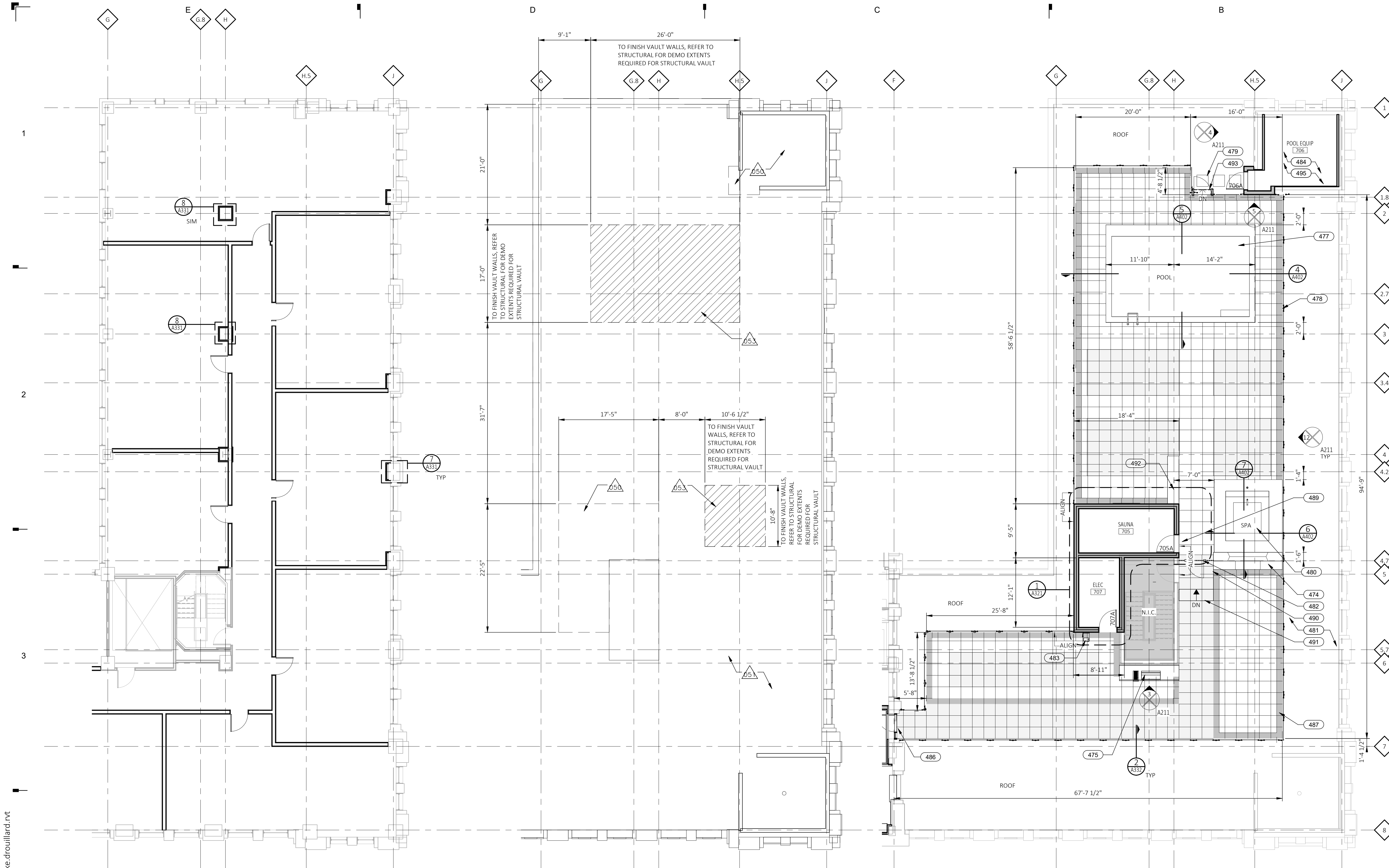
**ENLARGED EXTERIOR ELEVATIONS**

Sheet Number

**A211**







**ENLARGED PLAN GENERAL NOTES**

- A. SEE OVERALL FLOOR PLANS FOR ADDITIONAL INFORMATION.
- B. WHERE NEW OR INFILL PARTITION ABUTS EXISTING PARTITION, FACE OF PARTITIONS SHALL ALIGN, UNLESS NOTED OTHERWISE.
- C. DIMENSIONS FOR NEW GYP BD PARTITIONS ARE TO FINISHED FACE OF PARTITION, UNLESS NOTED OTHERWISE.
- D. AT WALL HUNG EQUIPMENT, MILLWORK AND ACCESSORIES PROVIDE WALL REINFORCING. CONTRACTOR'S OPTION: NON-COMBUSTIBLE WOOD BLOCKING OR 1/2" GALV. STRAPPING. REFER TO INDIVIDUAL ELEVATIONS FOR LOCATION ABOVE FLOOR.
- E. FIRESTOPPING: PROVIDE FIRESTOPPING ASSEMBLIES AT ALL PENETRATIONS AND INTERRUPTIONS TO FIRE RATED ASSEMBLIES WHICH PROVIDE THE SPECIFIED FIRE RATING OR PARTITION OR FLOOR. SEE SPECIFICATIONS.
- F. ALL FURNITURE TO BE OF/OF UNLESS OTHERWISE NOTED.
- G. ALL PARTITIONS SHALL BE TYPE "A" UNLESS OTHERWISE NOTED.

**ENLARGED PLAN KEYNOTES** ###

- 474 FIRE PLACE
- 475 OUTDOOR KITCHEN.
- 477 POOL
- 478 LEGATO GLASS RAIL SYSTEM
- 479 ROOF PAD
- 480 SPA
- 481 EXIST ROOF AND ROOF DRAINS BELOW TO REMAIN. RE-SLOPE AS REQUIRED TO MAINTAIN DRAINAGE AROUND POOL, SPA, SAUNA, AND ELEC CLOSET WHERE ELEMENTS MEET EXIST ROOF SURFACE.
- 482 ALUMINUM GUARDRAIL SYSTEM
- 483 DRINKING FOUNTAIN
- 484 EXIST FLOOR TO REMAIN. LEVEL AS REQUIRED WITH CONCRETE TOPPING BEFORE INSTALLING EQUIPMENT.
- 486 ROOF PAVEMENT ELEVATION @ HIGH ROOF DECK TO ALIGN W/ EXIST DOOR SILL ELEVATION.
- 487 HALF-TILE BOARDER TYP
- 489 ROOF PAVEMENT ELEVATION @ LOW ROOF DECK TO ALIGN WITH EXIST DOOR SILL ELEVATION.
- 490 PROVIDE TRIM PIECE WHERE TILE EDGES ARE AT THE SAME LEVEL.
- 491 RAMP ROOF PAVEMENT SYSTEM FROM HIGH ROOF DECK LEVEL TO LOW ROOF DECK LEVEL.
- 492 STORAGE CUBBY.
- 493 STEP ROOF PAVEMENT SYSTEM AS REQUIRED TO REACH ROOF MEMBRANE.
- 495 FLUID-APPLIED VAPOR BARRIER ON FACE OF BRICK AND LIMESTONE WHERE BRICK AND LIMESTONE REMAINS EXPOSED.

**DEMO PLAN KEYNOTES** ###

- 050 REMOVE EXIST INSULATION AND ROOF MEMBRAN DOWN TO CONCRETE TOPPING. PROVIDE LEVEL CONCRETE SURFACE AS REQUIRED.
- 051 EXIST ROOF MEMBRANE, SLOPE AND DRAINS TO REMAIN, REMOVE AND REPLACE AS REQUIRED FOR NEW POSTS AND STRUCTURE.
- 052 REMOVE METAL PANEL AND INSULATION DOWN TO GYP BD OF STAIR WALL. MAINTAIN 2 HR RATING.
- 053 AREA TO BE DEMOLISHED FOR POOL/SPA.
- 054 REMOVE EXIST SLAB. SEE PARKING AND STRUCTURAL DRAWINGS.
- 055 REMOVE EXIST CAT WALK AND MEZZANINE. REFER TO STRUCTURAL FOR VAULT WALL SUPPORT.
- 056 REMOVE EXIST SUB BASEMENT SLAB FOR LIFT PIT. EXIST COLUMNS AND ASSOCIATED FOOTINGS TO REMAIN. SEE PARKING AND STRUCTURAL DRAWINGS.
- 057 REMOVE EXIST WALL.

**FINISH LEGEND**

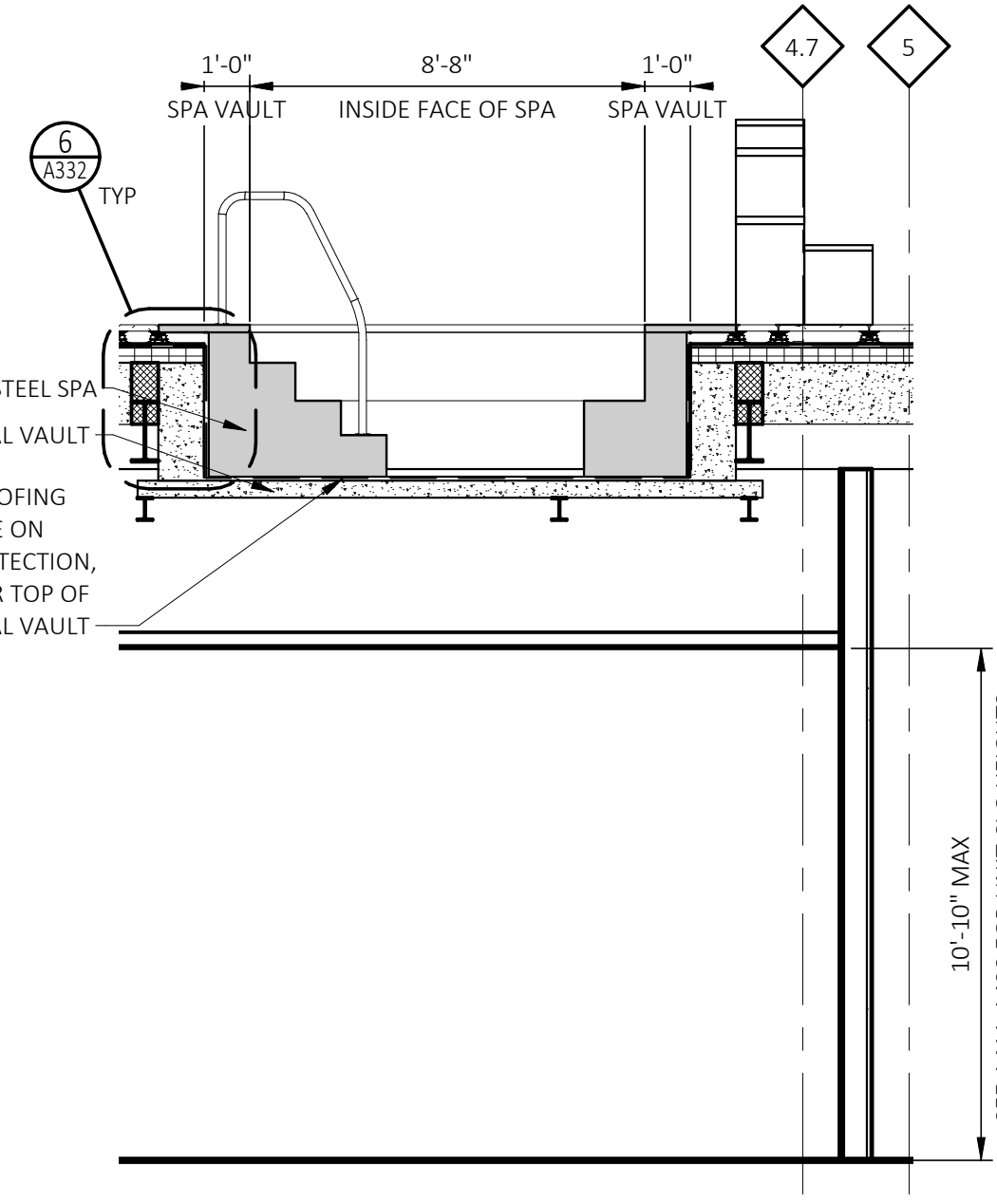
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[Pattern]	PORCELAIN PAVER (COLOR: PT-24-02 HEATHER GREY)
[Pattern]	HARDWOOD DECKING TILE
[Pattern]	PORCELAIN PAVER (COLOR: PT-24-01 CHARCOAL GREY)
[Pattern]	RESILIENT/PORCELAIN TILE, HERRINGBONE PATTERN
[Pattern]	RESILIENT/PORCELAIN TILE, RUNNING BOND, 1/3 OFFSET
[Pattern]	CERAMIC TILE FLOOR
[Pattern]	PORCELAIN TILE FLOOR

**3 6TH FLOOR PLAN**  
A402 SCALE: 1/8" = 1'-0"

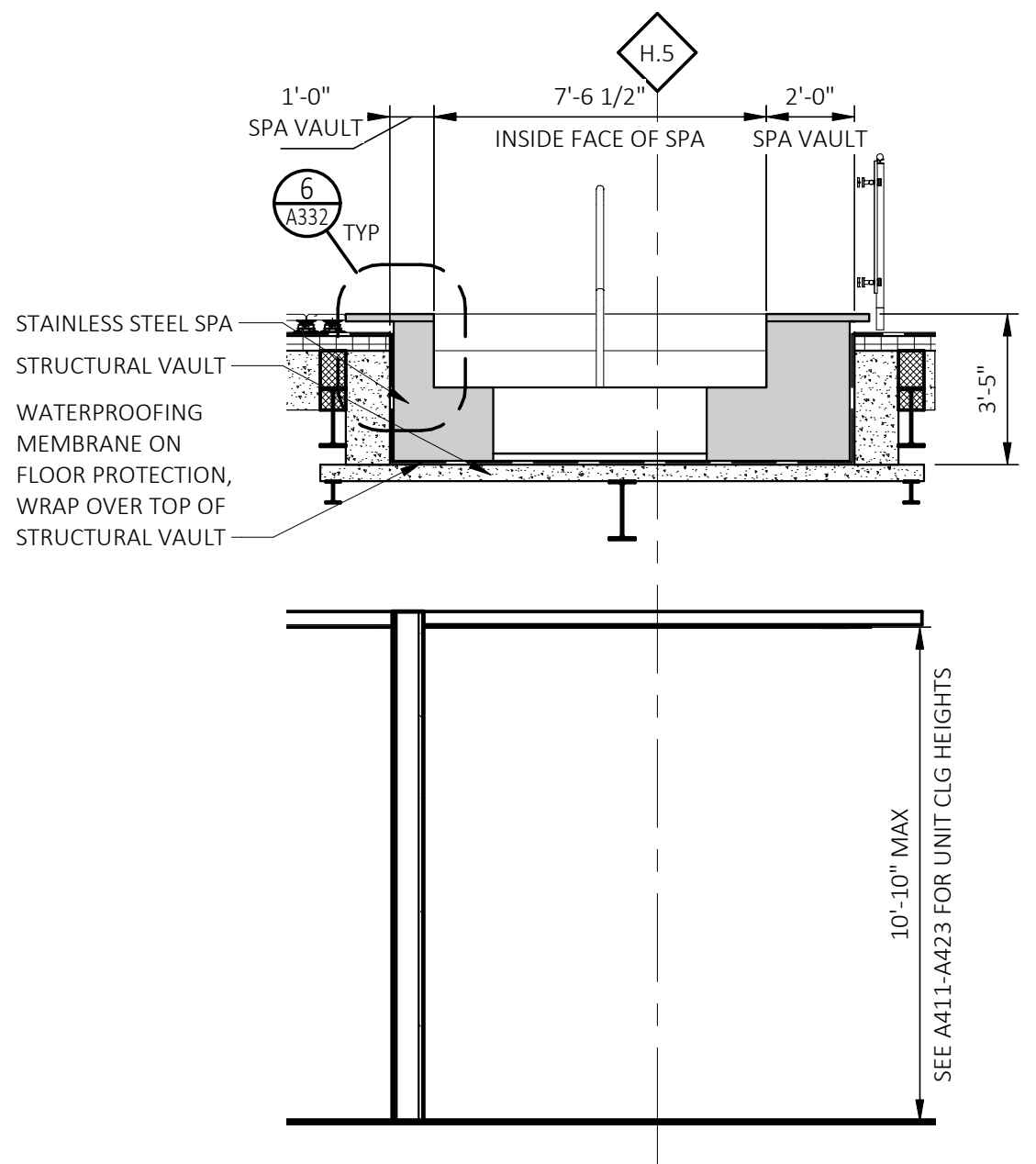
\*REFER TO A102 FOR DEMISING WALL DIMENSIONS AND UNIT TYPES

**2 DEMO ROOF DECK PLAN**  
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REFERENCE LOCATIONS: A103

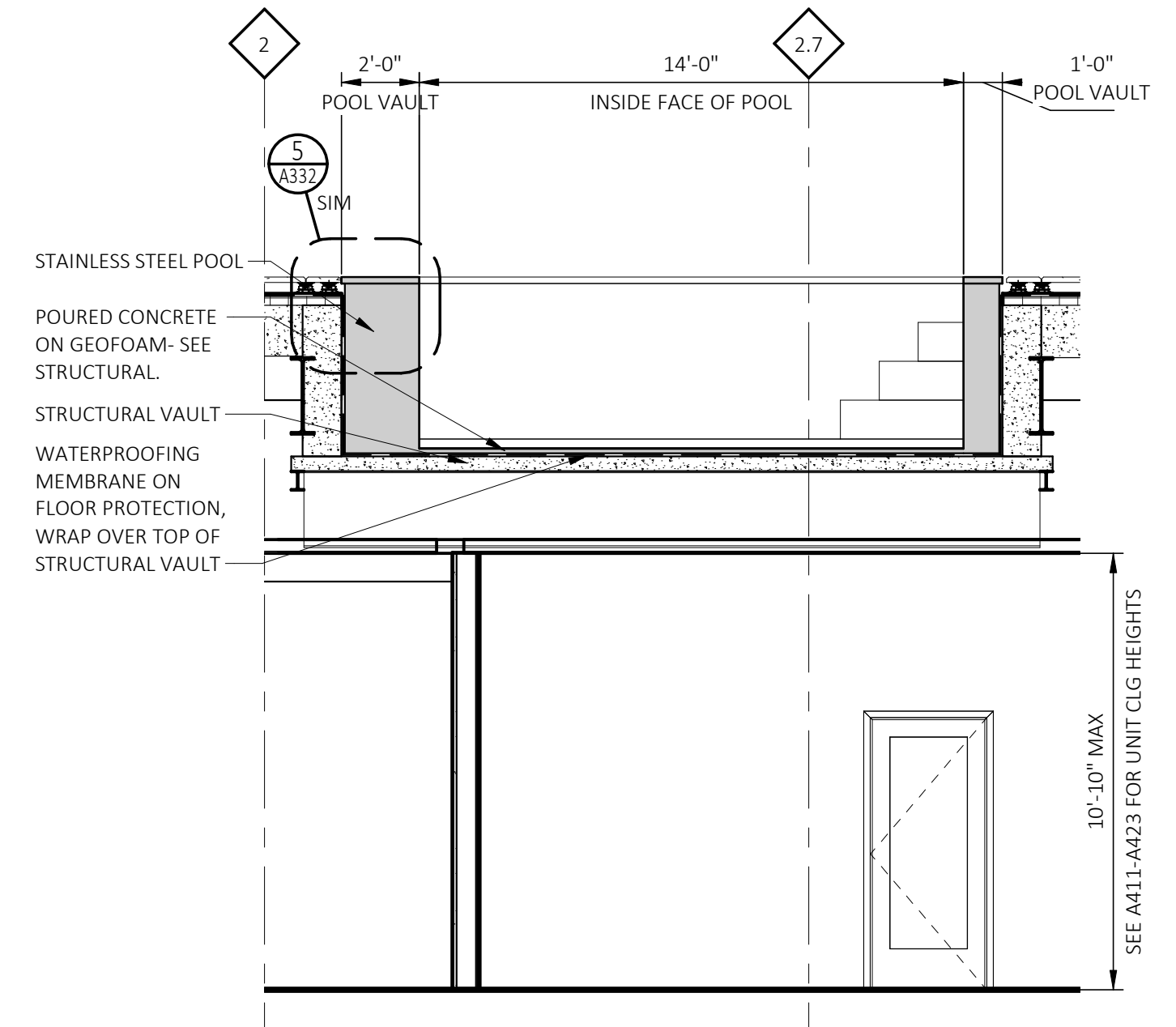
**1 ROOF DECK PLAN**  
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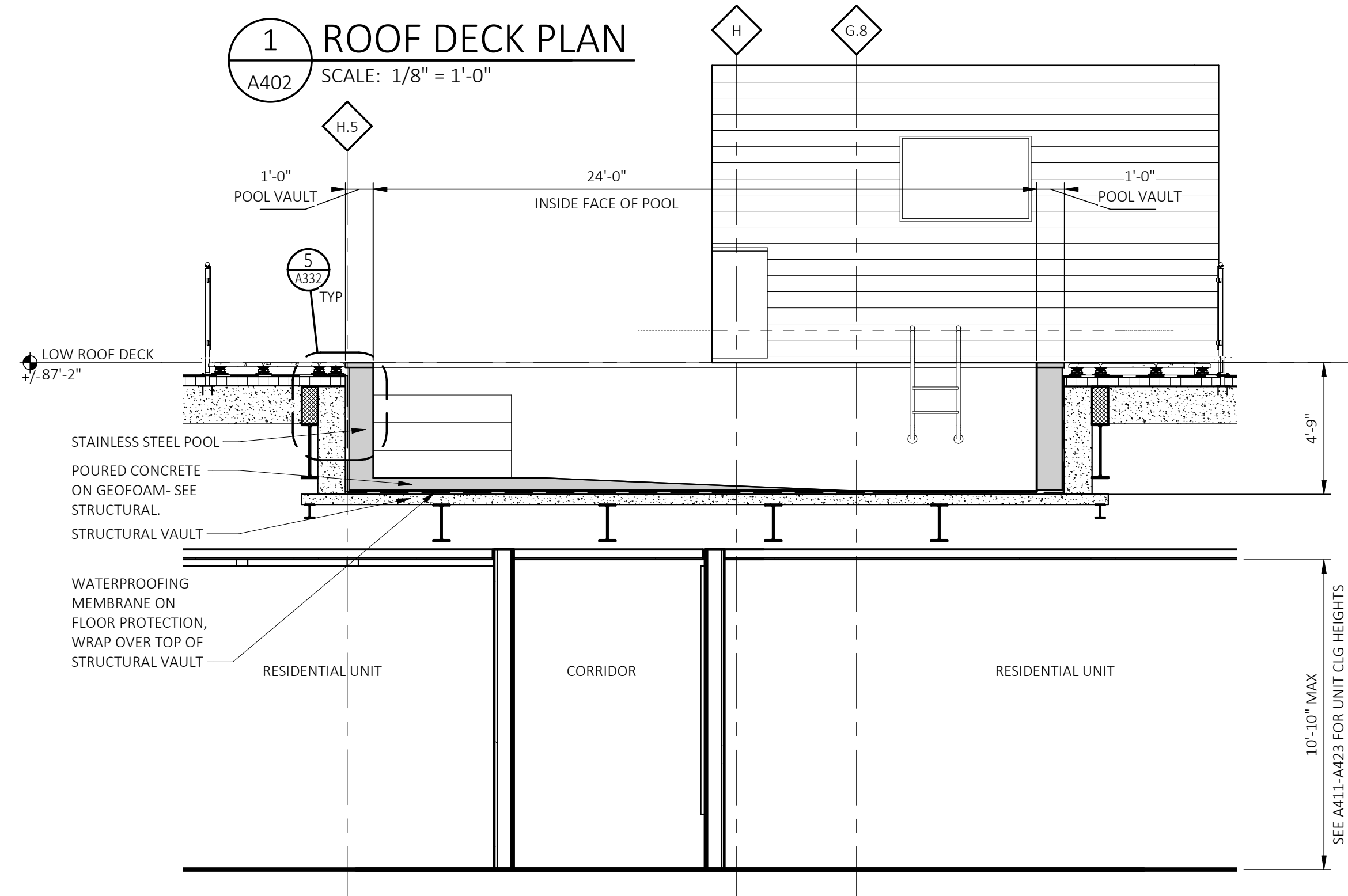
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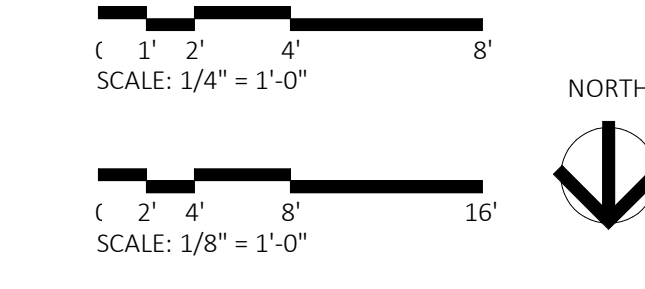
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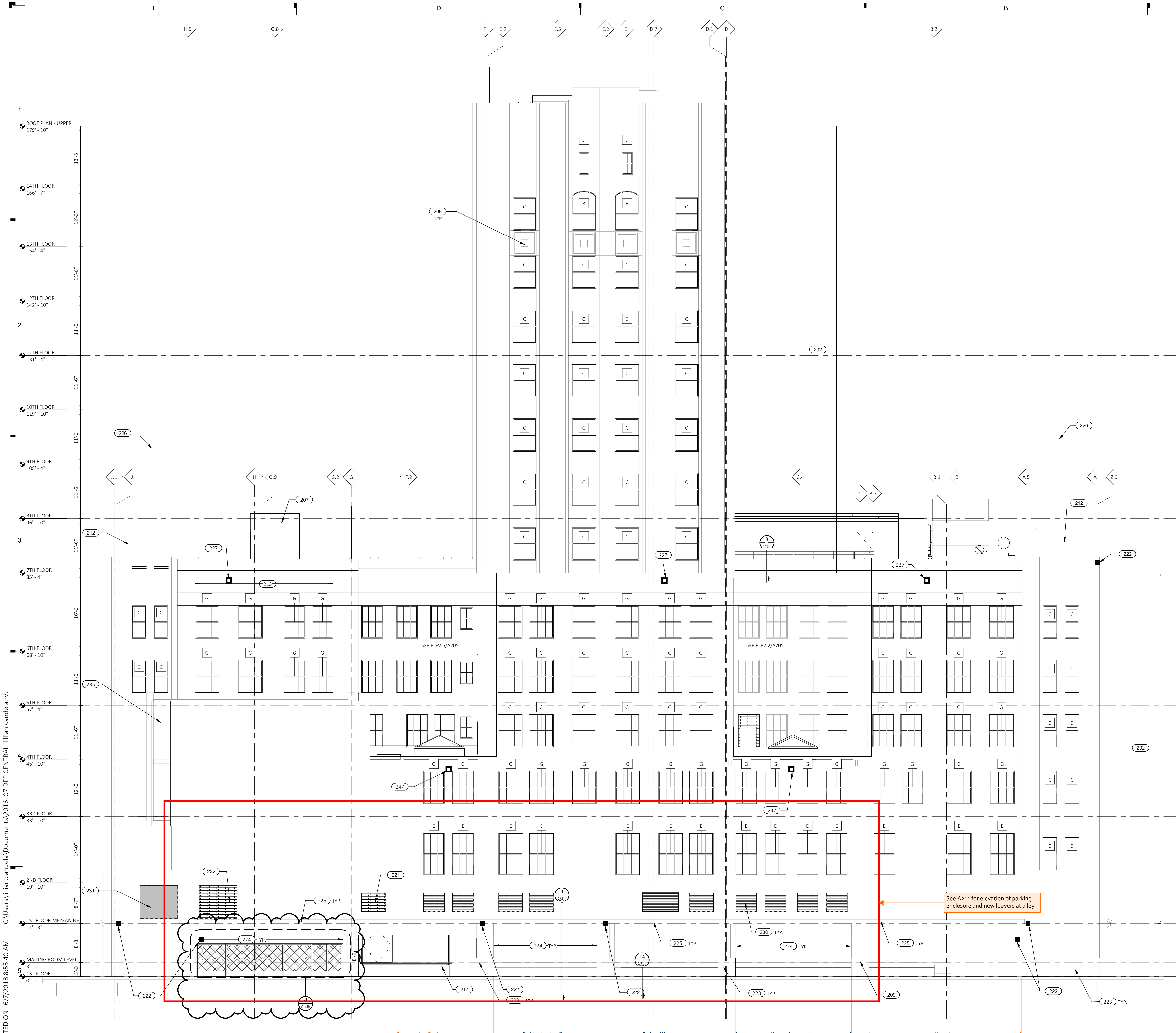
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**4 POOL SECTION**  
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REFERENCE LOCATIONS: A402



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**SOUTH FACADE - ALLEY**  
SCALE: 1/8" = 1'-0"

**RESTORATION GENERAL NOTES**

- A. ALL ELEVATIONS SHALL UNDERGO COMPLETE BRICK, STONE, AND TERRA COTTA CLEANING FROM PARAPET TO GRADE. SEE MASONRY CLEANING SPECIFICATION SECTIONS FOR DETAILS ON APPROVED CLEANING PROCEDURES, PRODUCTS, AND MANUFACTURERS.
- B. CLEAN FACADE USING GENTLEST MEANS POSSIBLE TO ACHIEVE SATISFACTORY RESULTS WITHOUT CHANGING THE SURFACE OF THE MASONRY. PAY SPECIAL ATTENTION TO AREAS OF EXCESSIVE SOILING. CONTRACTOR SHALL CONDUCT TEST PATCHES TO ENSURE THE BEST AND MOST ECONOMICAL MEANS OF CLEANING. ALL MASONRY AND TERRA COTTA CLEANING SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- C. CLEAN ALL STONE THAT IS TO REMAIN & LET WEATHER FOR TWO WEEKS BEFORE ANY REPLACEMENT OR PATCHING IS TO OCCUR - REPLACEMENT STONE & PATCHED AREAS TO MATCH EXIST 'CLEANED' COLOR
- D. RESTORATION CONTRACTOR SHALL INSPECT ALL EXISTING MASONRY, INCLUDING BOTH SIDES OF PARAPET FULL HEIGHT, FOR STRUCTURAL STABILITY PRIOR TO BID. REINSPECT AFTER INITIAL CLEANING OF MASONRY.
- E. REPLACE/RESET LOOSE MASONRY UNITS AND REPOINT DAMAGED MORTAR JOINTS AS REQUIRED. IF NECESSARY, RECOMMEND FURTHER REHABILITATION TO ENSURE STABILITY OF EXTERIOR WALL AND PARAPET CONSTRUCTION. SEE MASONRY RESTORATION SPECIFICATIONS FOR DETAILS ON APPROVED RESTORATION PROCEDURES, PRODUCTS, AND MANUFACTURERS. ALL MASONRY RESTORATION WORK SHALL MEET THE SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION AS WELL AS ALL APPLICABLE NATIONAL PARK SERVICE TECHNICAL BRIEFS.
- F. EXISTING LIMESTONE FACADE TO BE CLEANED AND REPAIRED. PATCH AND REPAIR MINOR DAMAGE TO MATCH EXISTING. CLEAN LIMESTONE TO LIGHTEN OR ELIMINATE STAINING.
- G. REPAIR AND CLEAN BRICK AND MORTAR AT REAR FACADES.
- H. REMOVE AND REPLACE ALL FAILED SEALANTS. CLEAN JOINTS AND FURNISH NEW SEALANTS.

**CONSTRUCTION KEYNOTES**

- 201. EXIST STOREFRONT FRAMING SYSTEM TO BE REMOVED DOWN TO STRUCTURE, INCLUDING EXIST REMAINING DECORATIVE CAST IRON DETAILS. SAVE PORTIONS OF ORNAMENT FOR REPRODUCTION. REPLACE W/ NEW STOREFRONT TO MATCH EXIST. SEE A603 and A613.
- 202. REMOVE EXIST WINDOWS. REPAIR OR REPLACE STEEL ANGLES AT HEADERS AS NEEDED, COORDINATE WITH STRUCTURAL. REPLACE FAILED LIMESTONE HEADERS AS NEEDED TO MATCH EXIST.
- 204. NEW SKYLIGHT AT EXIST OPENING.
- 205. ROOF DECK RAILING BEYOND.
- 206. MECHANICAL EQUIPMENT.
- 207. NEW STAIR PENTHOUSE.
- 208. CLEAN AND RESTORE METAL PANELS AS REQUIRED. PAINT TO MATCH NEW WINDOWS.
- 209. EXIST COLUMN GUARDS TO REMAIN. SCRAPE CLEAN FOR NEW FINISH.
- 211. REMOVE EXIST PENTHOUSE DOWN TO CURB, INCLUDING INFILL FLOOR AND PARAPET TO REMAIN.
- 213. PROVIDE WATER CURTAIN IN ACCORDANCE WITH MBC 705.8.2 AT EXIST 5TH AND 6TH FLOOR WINDOWS TO PROVIDE 3/4 HR PROTECTIVE IN ACCORDANCE WITH MBC 706.6.1. PROVIDE 1/4" TEMPERED GLASS W/ RUBBER GASKETS IN NON-OPERABLE FRAMES AT THIS LOCATION.
- 214. EXIST STEEL W/ SCRAP TO REMAIN. PAINT TO MATCH ADJACENT PER STRUCTURAL ASSESSMENT.
- 215. REMOVE ROOFING AND REMOVE CAP AT EXIST OPENING.
- 217. NEW LOADING DOCK.
- 218. EXIST TALL COLUMN GRANITE BASE TO REMAIN. CLEAN, PATCH AND REPAIR AS REQUIRED.
- 219. NEW GRANITE BASE TO MATCH COLOR, HEIGHT, TEXTURE, AND FINISH OF EXIST.
- 220. EXIST PENTHOUSE TO REMAIN.
- 221. INFILL EXIST WINDOW OPENING WITH NEW BRICK TO MATCH ADJACENT. HOLD FACE OF BRICK BACK 1" FROM FACE OF ADJACENT - DO NOT TOOTH IN NEW BRICK. SEE 7/A205 FOR DETAILS.
- 222. SECURITY CAMERA LOCATION.
- 223. PAINT EXISTING METAL COLUMN PROTECTION PLATES TO MATCH WINDOWS.
- 224. PAINT SIDES AND INSIDE FACE OF CONCRETE COLUMNS TO MATCH WINDOWS. DO NOT PAINT EXTERIOR FACE OR PROJECTING PART OF COLUMNS.
- 225. EXISTING CONCRETE BEAM - PATCH AND REPAIR, DO NOT PAINT.
- 226. EXIST FLAGPOLE.
- 227. OVERFLOW DRAIN SCUPPER, SEE PLUMBING.
- 228. HORIZONTAL EXIT.
- 229. NEW DOOR IN EXIST WINDOW OPENING. INFILL REMAINING OPENING W/ NEW BRICK TO MATCH ADJACENT AS REQUIRED. HOLD NEW BRICK BACK 1" FROM FACE OF ADJACENT, DO NOT TOOTH IN. SEE 7/A205.
- 230. NEW LOUVERS IN EXIST WINDOW OPENINGS.
- 231. NEW STONE TO MATCH EXIST.
- 232. NEW BRICK TO MATCH EXIST. TOOTH IN BRICK AT EDGES AND SET FLUSH W/ WALL.
- 235. EXIST BRIDGE, NOT IN CONTRACT.

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Owner

**Project**  
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BULLETIN 1	01-30-18
PERMIT/BID SET	11-15-17
100% OWNER REVIEW	10-24-17
75% OWNER REVIEW	10-03-17
DD OWNER REVIEW	08-24-17
WINDOW BID	04-11-17
CORE AND SHELL	03-21-17

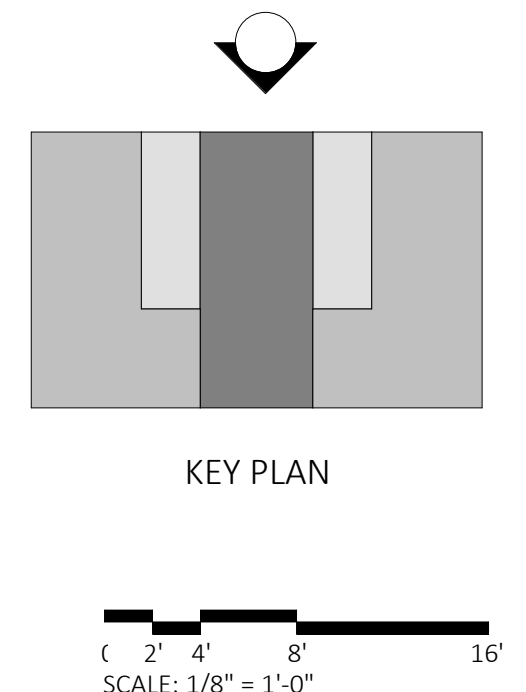
Revision	Date
	06-07-2018

Project Number 2016107

Sheet Title  
**EXTERIOR ELEVATION - ALLEY**

Sheet Number

**A203**



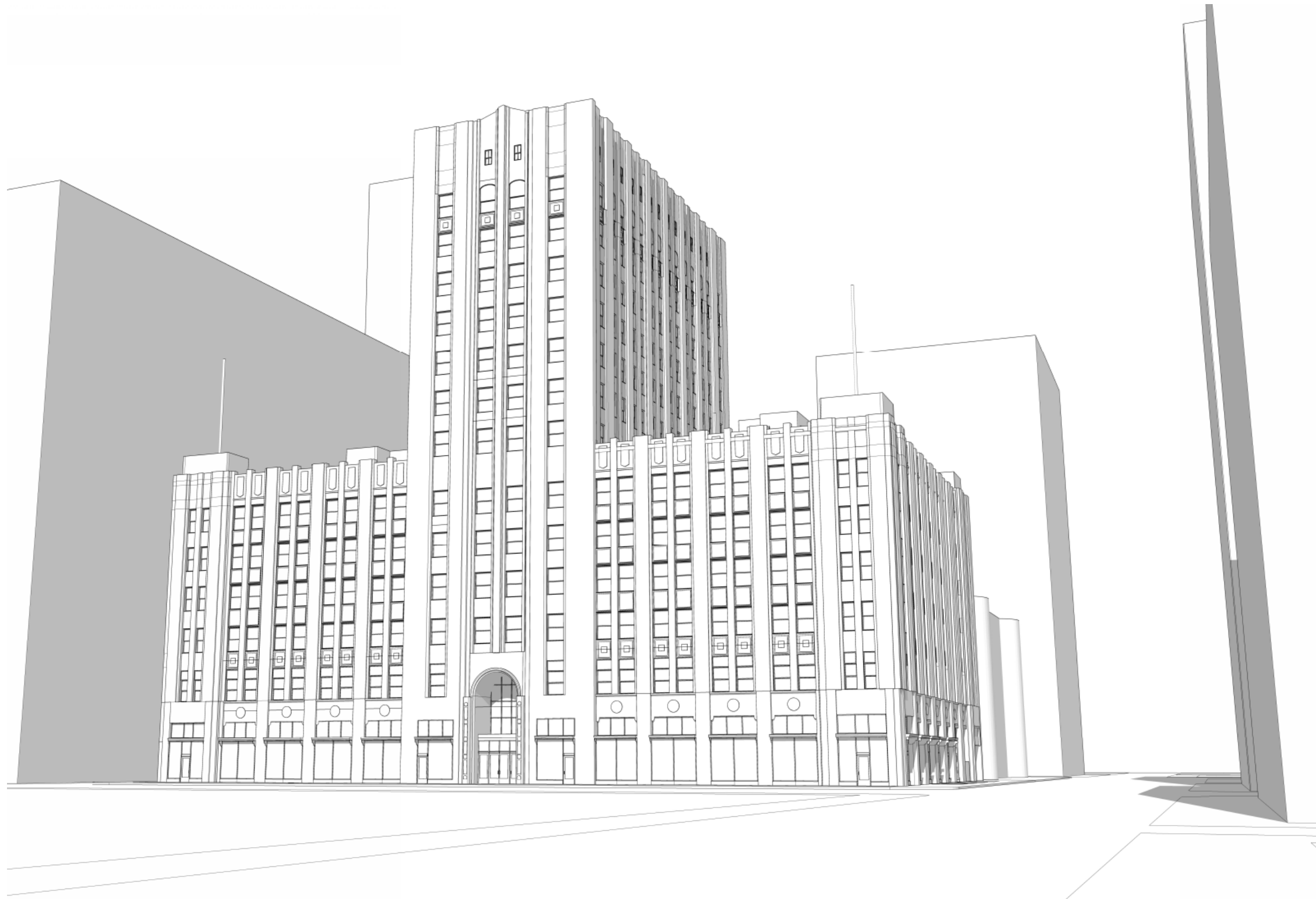
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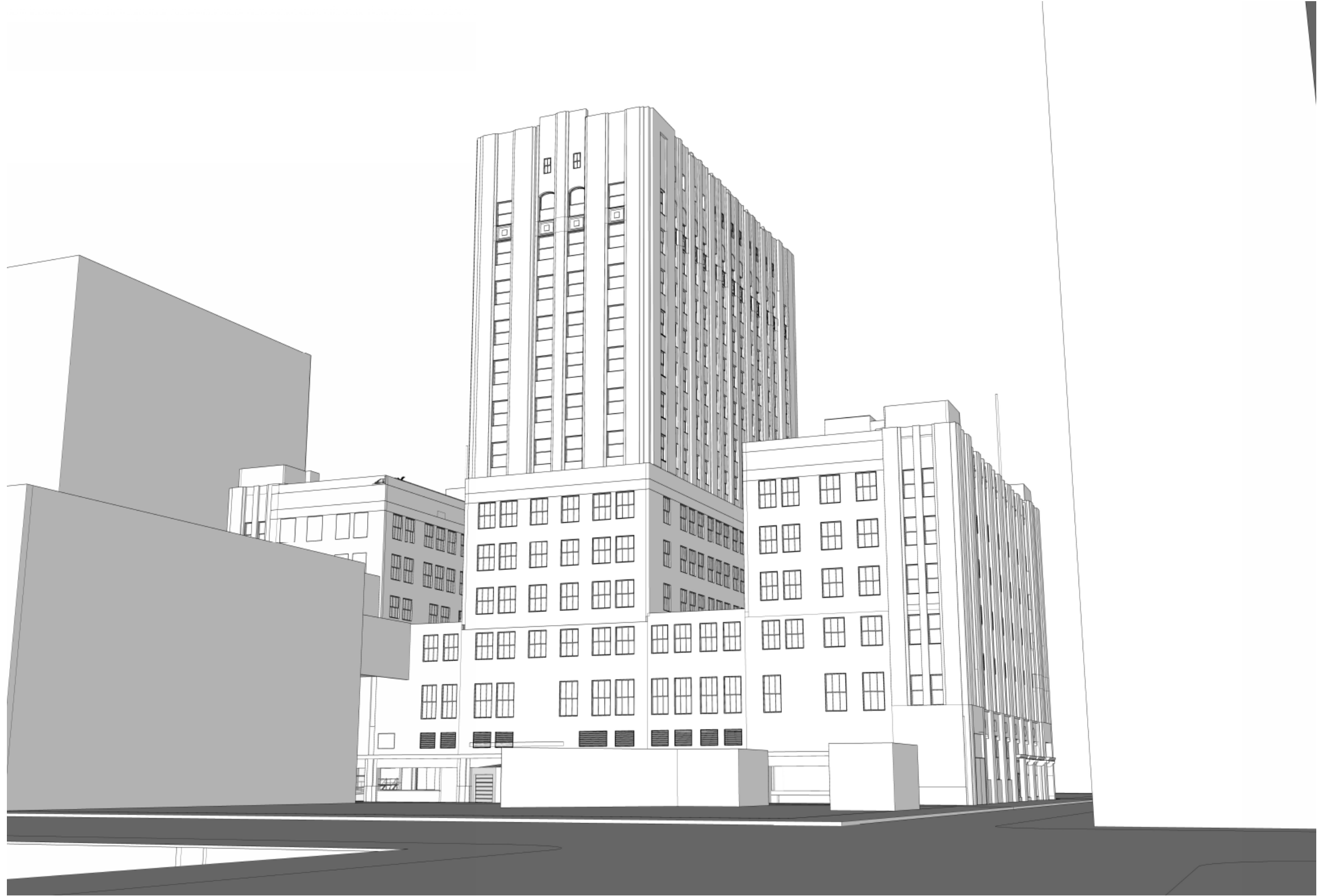


Sightline Study - North East View





Sightline Study - North West View



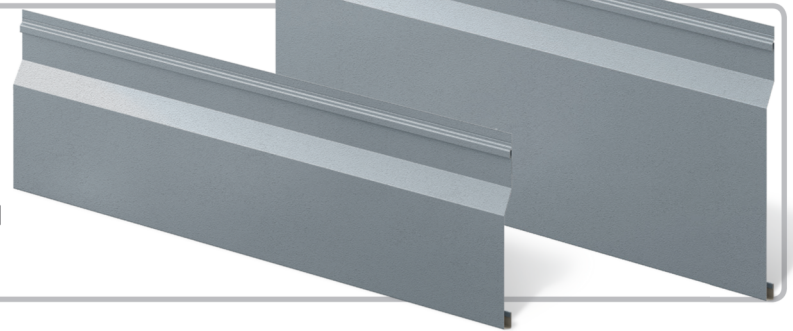
Sightline Study - South East View

# Berridge HS-8 and HS-12 Panels

## WALL, SOFFIT, CEILING AND FASCIA PANEL SYSTEM



The Berridge HS-8 and HS-12 metal wall panels are designed for horizontal and vertical wall applications. Both panels interlock with each other and with the Berridge HR-16 wall panels to provide endless design opportunities. The panels provide a wide rib appearance and can be used on open framing or solid sheathing applications.



### Materials

24 and 22 Gauge Steel  
0.032 and 0.040 Aluminum

### Specifications

Uses: Wall, Soffit, Ceiling, Fascia, Screen Wall, Berridge Fencing System

Coverage: HS-8 • 8"  
HS-12 • 12"

Finishes: Standard stucco embossing, optional smooth\*

Fasteners: Concealed

Applications: Vertical on Fencing; horizontal or vertical over open framing or solid sheathing for other uses

Pattern: HS-8 •  $\frac{7}{8}$ " height and  $5 \frac{5}{8}$ " rib with 2" reveal

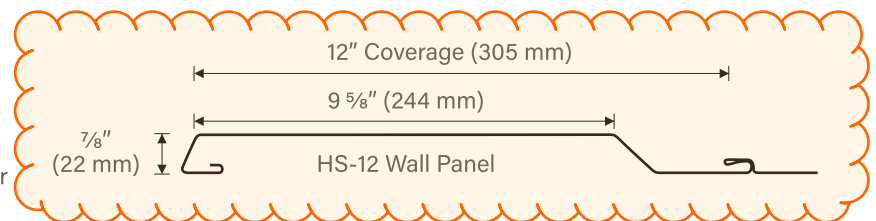
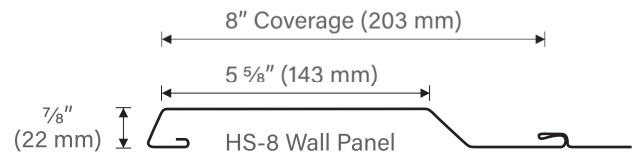
HS-12 •  $\frac{7}{8}$ " height and  $9 \frac{5}{8}$ " rib with 2" reveal

### Installation

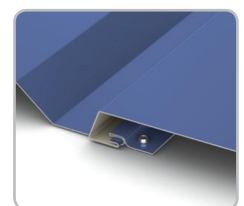
- Panel is available from the factory in continuous lengths to a maximum of 30' for embossed panels
- Interlocks with each other or HR-16
- Use siding starter strip to start panel at bottom of soffit or sill
- Use channel closure at inside and outside corners with or without rubber closures
- Use standard channel at jambs without rubber closures
- Use special channel at jambs without rubber closures
- Use HS rubber closures against air infiltration

All information subject to change without notice. See website for details, specifications and Watertightness Warranty requirements.

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\* Contact BMC for limited material availability.  
Smooth finish is not available for all applications.



Detail of HS-12 & HS-8 panel interlock

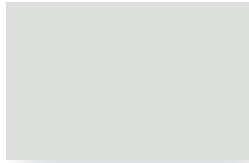
*Pictured Above*  
Project: Lone Star College Creekside Center  
Architect: PBK Architecture  
General Contractor: Durotech  
Installing Contractor: Pyramid Waterproofing Co.  
Color: Zinc Grey





Pool Equipment Room  
 Finish

**Standard Colors**



Shasta White



Parchment



Almond



Sierra Tan



Buckskin



Medium Bronze



Aged Bronze



Copper Brown



Dark Bronze



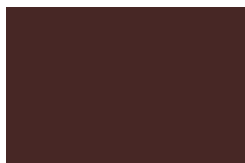
Terra-Cotta



Deep Red



Colonial Red



Burgundy



Bristol Blue



Royal Blue



Patina Green



Hemlock Green



Teal Green



Forest Green



Evergreen



Hartford Green



Cityscape



Zinc Grey



Charcoal Grey



Matte Black

**Premium Colors**

Berridge premium colors require a nominal surcharge.

**Metallic Colors**

Berridge metallic colors are premium finishes which require a nominal surcharge.

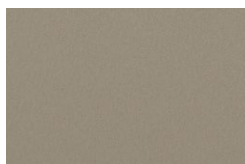
Sauna, Stair (Existing),  
 Electrical Room Finish



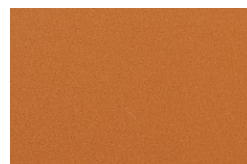
Natural White



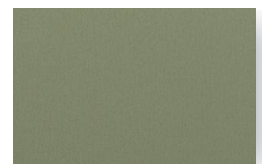
Award Blue



Champagne



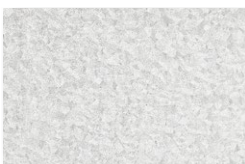
Copper-Cote™



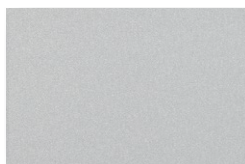
Antique  
 Copper-Cote

**Natural Metal Finish**

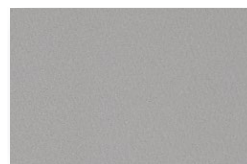
Berridge Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of GALVALUME® steel sheet with a clear, organic resin applied to the top side and bottom side of GALVALUME® substrate.



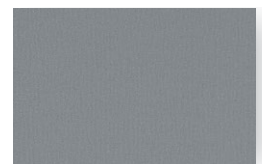
Acrylic-Coated  
 Galvalume®



Zinc-Cote™



Lead-Cote™



Prewathered  
 Galvalume®

# Bison 2CM Paver™



## PT-24-02 Heather Grey

Dimensions 23.6" x 23.6"  
600mm x 600mm

## PT-24-03 Sand Stone

Dimensions 23.6" x 23.6"  
600mm x 600mm

## PT-24-01 Charcoal Grey

Dimensions 23.6" x 23.6"  
600mm x 600mm

Bison 2CM Pavers™ meet or exceed the following standards:

Environmentally Responsible	Greenleaf Certified Product Certification	
Recycled Content	Intertek ECP	14.5%
Slip Resistance	ASTM C1028 ANSI A137	SCOF Dry .86 & Wet .76 DCOF .61
Freeze Thaw Resistance	ASTM C1026-10	Passed
Solar Reflectance	ASTM E 1980-11 ASTM C1549-09	51 average .453 SRI
Hemispherical Emittance	ASTM C1371-04a	.874
Stain Resistance	ASTM C1378	Class A
Chemical Resistance	ASTM C650	Class A
Deep Abrasion Resistance	ISO10545-6	Passed
Thermal Shock Resistance	ASTM C484	Passed
Water Absorption	ASTM C373	.33%
Compressive Strength	ASTM C67	9,000 LBS FoS:3
Concentrated Load on Pedestals	ASTM E2322	200 lbs/psf FoS:3 / 12 kPa FoS:3
Uniform Load on Pedestals	ASTM E2322	1000 lbs/psf FoS:3
Wind Uplift on Pedestals	FBC TAS-108	Aerodynamic Multiplier
Installation Temperature	NRCA Standard	40° F and above



While Bison 2CM Pavers™ are durable because of the product's thickness and density, they can be damaged by mishandling or careless treatment. Please note that if tools, furnishings or equipment are forcefully dropped on the pedestal/paver system, chips, scratches, surface damage and/or cracking and breakage can occur, especially in cold temperatures. Before, during and after installation, always protect the installed pavers by using sheet(s) of plywood to cover the work area and protect the pavers from chipping and breakage. Please refer to product specifications for more information.



## 2' x 2' Ipê Wood Tile - Smooth

**Model:** WT-IPE-24-SMOOTH

Bison 2' x 2' smooth Ipê wood tiles are commercial grade, constructed from responsibly harvested hardwoods, and available with standard or FSC® certified species. Bison wood tiles weather over time, developing a silvery-gray patina. If maintaining the natural wood color is desired, wood tiles can be periodically cleaned and sealed.

*Note: Wood is a natural product and actual tile colors may differ from photo.*

Categories: [Wood Tiles](#), [Stock Wood Tiles](#)

### Product Information

### Downloads

### Product Information

<b>Species</b>	Ipê
<b>Surface</b>	Smooth
<b>Color</b>	Brown
<b>Planks</b>	6, 7 or 8 Plank (Determined by availability at time of order)
<b>Dimensions L x W x H</b>	23.875" x 23.875" x 1.69" (606 x 606 x 43 mm)
<b>Weight</b>	24 lbs (10.9 kg)
<b>Weight PSF</b>	6 PSF (29.3 kg/m <sup>2</sup> )
<b>Janka Hardness</b>	3,680 lbf (16.4 kN)
<b>Fire Rating</b>	Class A (Meets and exceeds ASTM E108-07a Class A Spread of Flame Test)
<b>WARNING</b>	Cancer and Reproductive Harm - <a href="http://www.P65Warnings.ca.gov">http://www.P65Warnings.ca.gov</a>

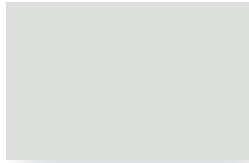
You may also like...





Pool Equipment Room  
 Finish

**Standard Colors**



Shasta White



Parchment



Almond



Sierra Tan



Buckskin



Medium Bronze



Aged Bronze



Copper Brown



Dark Bronze



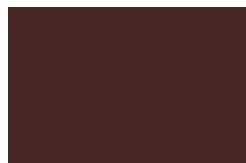
Terra-Cotta



Deep Red



Colonial Red



Burgundy



Bristol Blue



Royal Blue



Patina Green



Hemlock Green



Teal Green



Forest Green



Evergreen



Hartford Green



Cityscape



Zinc Grey



Charcoal Grey



Matte Black

**Premium Colors**

Berridge premium colors require a nominal surcharge.

**Metallic Colors**

Berridge metallic colors are premium finishes which require a nominal surcharge.

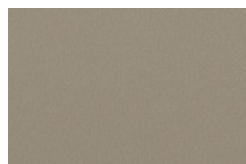
Sauna, Stair (Existing),  
 Electrical Room Finish



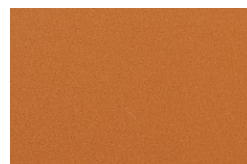
Natural White



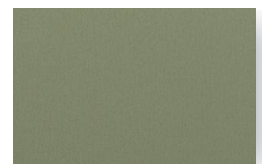
Award Blue



Champagne



Copper-Cote™



Antique  
 Copper-Cote

**Natural Metal Finish**

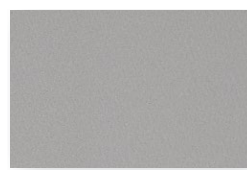
Berridge Acrylic-Coated Galvalume® is a coated sheet product that combines the corrosion resistance of GALVALUME® steel sheet with a clear, organic resin applied to the top side and bottom side of GALVALUME® substrate.



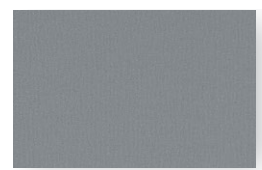
Acrylic-Coated  
 Galvalume®



Zinc-Cote™



Lead-Cote™



Prewathered  
 Galvalume®

# CRENSHAW

Modified to match scale & aesthetics of preexisting fixture, no longer in existence, w/ simplified components.

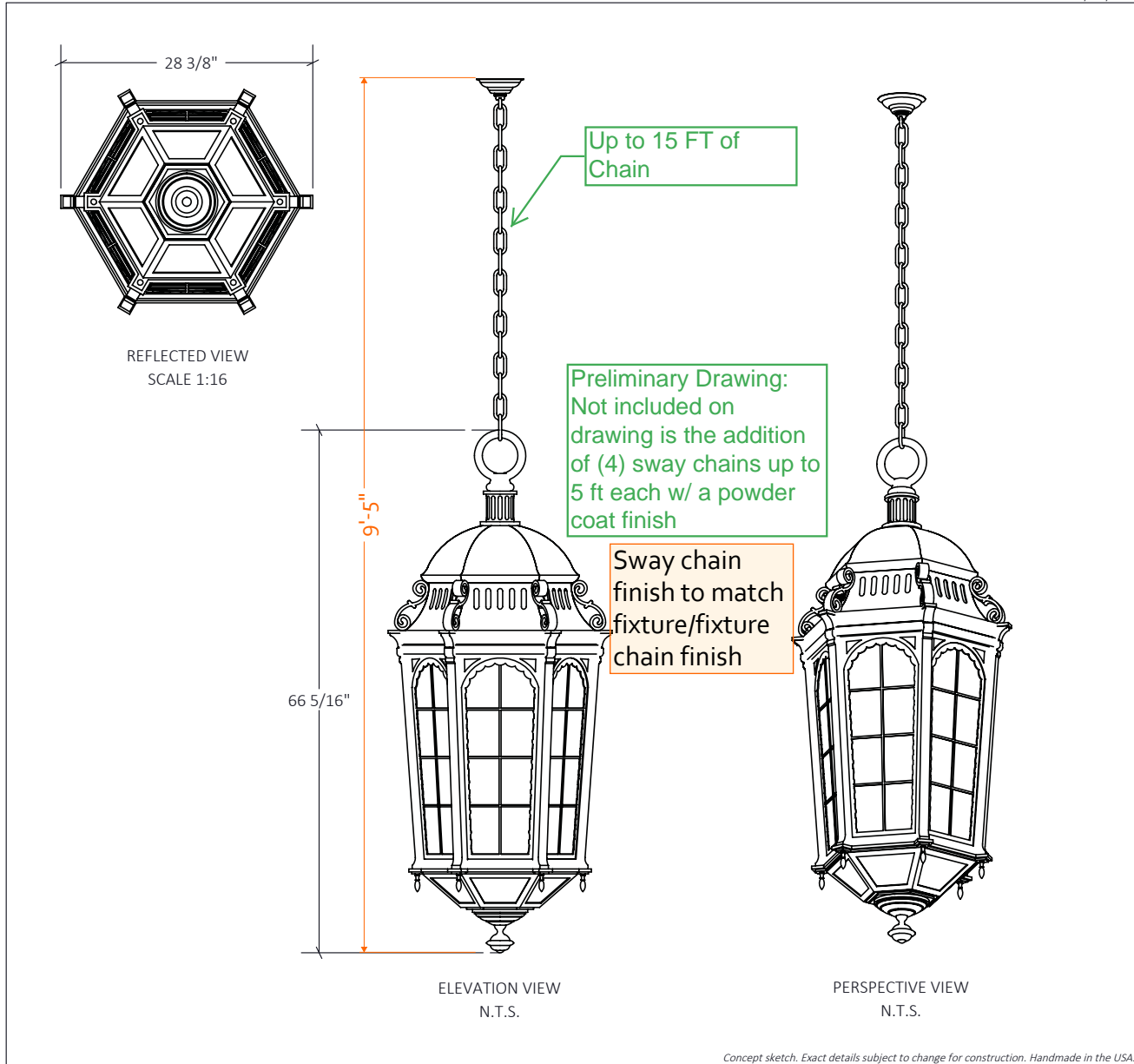
Project: FREE PRESS BUILDING - DETROIT, MI

Fixture: # 18825-PEC-NA-PWD-OG

Width: 28 3/8"  
Height: 66 5/16"  
Crown/Extension:  
Finish: POWDER COAT PER SPECIFICATION  
Lens: WHITE OPAL GLASS  
Lamping: (6) 15W A19 MEDIUM BASE LAMPS FOR EQUIVALENT LED REPLACEMENT  
Suspension: CHAIN  
UL/CSA: WET  
Notes:

All Crenshaw fixtures UL or CSA listed unless otherwise noted. All fixtures lab tested and certified to comply with ballast, driver, and component manufacturer warranty requirements

WWW.CRENSHAWLIGHTING.COM



Concept sketch. Exact details subject to change for construction. Handmade in the USA.

Designs are the sole property of Crenshaw Lighting and may not be conveyed to third parties without express written consent. Copyright © 2018 Crenshaw Lighting. All Rights Reserved.



Submitted by Resource Lighting Group  
**Job Name:**  
DETROIT FREE PRESS BUILDING FACADE ARCHITECT INTEGRATED DESIGN SOLUTIONS (Troy)  
Lighting Designer: INTEGRATED DESIGN

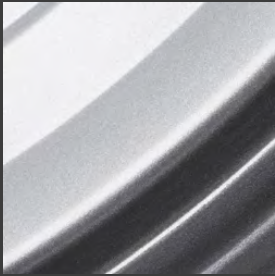
**Catalog Number:**  
18825-PEC-NA-PWD-OG  
**Notes:** Less lamps. Requires 6x15W Max A19 LED. Rated for Enclosed Fixtures

**Type:**  
**FC1**  
RL-MICH18-152508

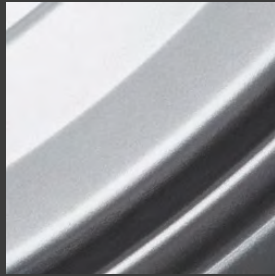
# CRENSHAW

## Finishes

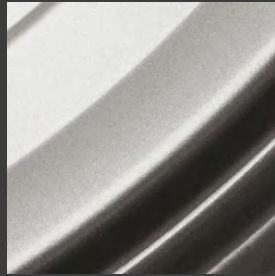
Standard Painted



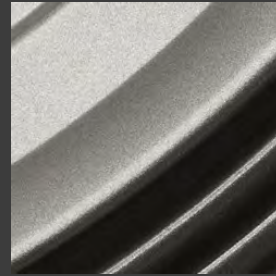
Aluminum (PT)



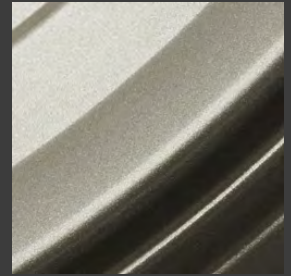
Satin Chrome (PT)



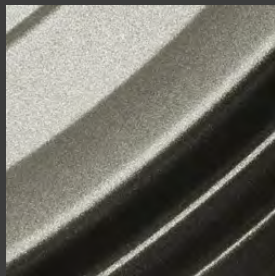
Satin Nickel (PT)



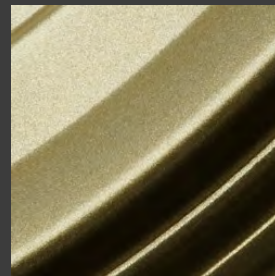
Stainless Steel (PT)



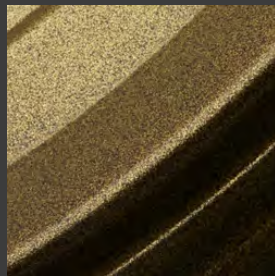
Fine Silver (PT)



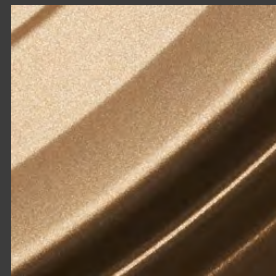
Pewter (PT)



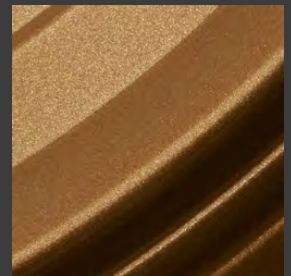
Bright Brass (PT)



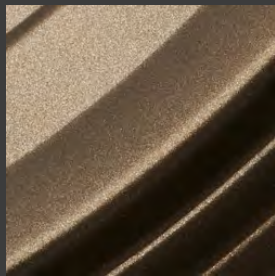
Antique Brass (PT)



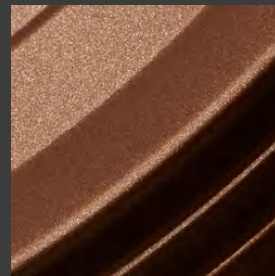
Natural Bronze (PT)



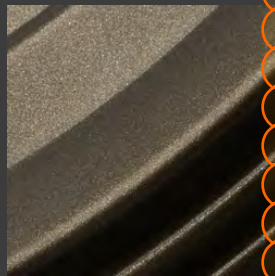
Roman Gold (PT)



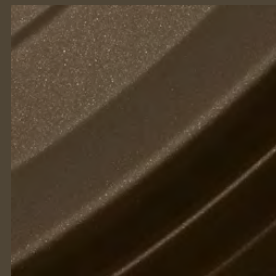
Roman Bronze (PT)



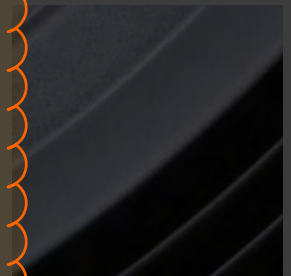
Copper Bronze (PT)



Rubbed Bronze (PT)



Statuary Bronze (PT)



Flat Black (PT)





**Specification Sheet**

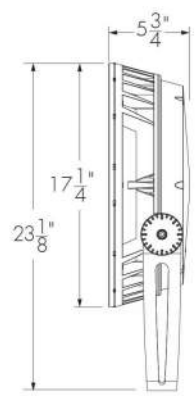
**lumenbeam**  
LBX  
COLOR CHANGING

Project Name \_\_\_\_\_ Qty \_\_\_\_\_

Type \_\_\_\_\_ Catalog / Part Number \_\_\_\_\_



Front view



Side view

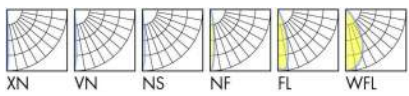
**Photometric Summary**

Based on HO RGBW color mix, full output

	Delivered output (lm)	Intensity (peak cd)
<b>XN</b>	7,099	543,230
<b>VN</b>	6,842	352,034
<b>NS</b>	6,880	220,415
<b>NF</b>	6,408	41,297
<b>FL</b>	6,521*	16,875*
<b>WFL</b>	6,098*	5,768*

Photometric performance is measured in compliance with IESNA LM-79-08.  
\*Estimated. Consult website for the latest IES and LDT files.

**Optics**



**Control**



**Rating**



**Description**

The Lumenbeam LBX Color Changing is a high-performance, 140W or 205W luminaire for applying dynamic color to multi-story facades and tall structures. Unique for its slim form factor and 120,000-hour lifetime, the luminaire offers a number of options including two outputs RO (140W) and HO (205W); a choice of optics for flood or accent lighting; RGB, RGBW or RGBA color mixing; various mounting options, accessories, spread lenses and controls.

**Features**

<b>Color and Color Temperature</b>	Additive RGB, Additive RGB + white 4000K, Additive RGB + amber
<b>Optics (nominal distribution)</b>	5°, 6°, 10°, 20°, 40°, 60°
<b>Optical Option</b>	Linear spread lens horizontal distribution, Linear spread lens vertical distribution
<b>Options</b>	Short Yoke, 3G ANSI C136.31 Vibration Rating for bridge applications, Corrosion-resistant coating for hostile environments
<b>Power Consumption</b>	140 W (RO version), 205 W (HO version)
<b>Warranty</b>	5-year limited warranty

**Performance**

<b>Delivered Output</b>	4,714 lm (RGB HO full output, XN optic), 7,099 lm (RGBW HO full output, XN optic), 6,034 lm (RGBA HO full output, XN optic)
<b>Delivered Intensity</b>	241,490 cd at nadir (RGB HO full output, XN optic), 543,230 cd at nadir (RGBW HO full output, XN optic), 461,745 cd at nadir (RGBA HO full output, XN optic)
<b>Color Consistency</b>	2 SDCM
<b>Lumen Maintenance</b>	L70 60,000 hrs [Ta @ 25°C] (HO RGBW), L70 120,000 hrs [Ta @ 25°C] (RO RGB, HO RGB, RO RGBW)



Project 17-79185-39  
 Detroit Free Press Building  
 Submitted By  
 GASSER BUSH ASSOCIATES

Catalog Number  
 LBX HO RGBW 120 VN CC LT UL SY 3FT LT  
 Notes

Type  
**FX-VN**

## Specification Sheet

## lumenbeam

**LBX**  
 COLOR CHANGING

### Physical

<b>Housing Material</b>	Low copper content high pressure die-cast aluminum
<b>Yoke Material</b>	Steel (standard yoke included)
<b>Lens Material</b>	Clear tempered glass
<b>Hardware Material</b>	Stainless steel
<b>Gasket Material</b>	Silicone
<b>Surface Finish</b>	Electrostatically applied polyester powder coat
<b>Weight</b>	38 lbs
<b>EPA</b>	Front = 2.75 sq ft, Side = 1.17 sq ft

### Electrical and control

<b>Voltage</b>	100 to 277 volts
<b>Fixture Cable</b>	Power and data in 1 cable, 3 ft cord standard (#16-5), other lengths available
<b>Resolution (DMX/RDM)</b>	Per board or fixture (configured with LumenID V3 software), 8-bit or 16-bit, 3 channels (RGB) or 4 channels (RGBW, RGBA)
<b>RGB Color Mixing</b>	108 LEDs (12x Red, 12x Green, 12x Blue per board)
<b>RGBW Color Mixing</b>	72 LEDs (6x Red, 6x Green, 6x Blue, 6x White 4000K per board)
<b>RGBA Color Mixing</b>	72 LEDs (6x Red, 6x Green, 6x Blue, 6x Amber per board)
<b>Control</b>	Lumentalk, DMX/RDM enabled

### Environmental

<b>Operating Temperature</b>	-13 °F to 122 °F
<b>IP Rating</b>	IP66
<b>IK Rating</b>	IK09

### Accessories (order separately)

<b>Control Boxes</b>	Power and control box - daisy chain configuration, Power and control box - star configuration
<b>Control Systems</b>	Lumentouch 2.0™, Lumencue, Lumentone
<b>Diagnostic and Addressing Tools</b>	LumenID, LumentalkID

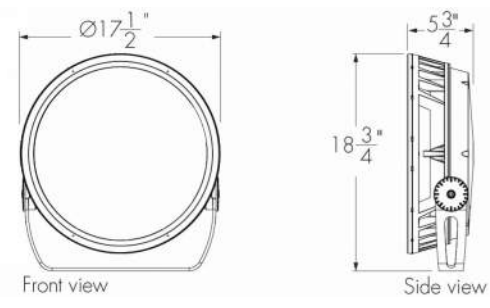
## Specification Sheet

## lumenbeam

**LBX**  
 COLOR CHANGING

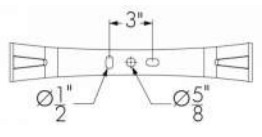
### Mounting options

SY - Short yoke

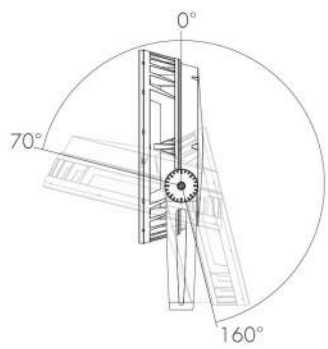


### Mounting details

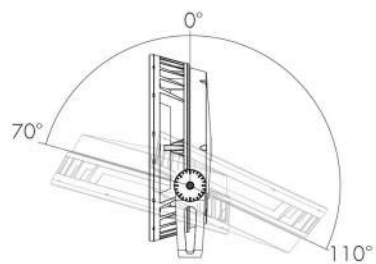
Mounting hole pattern - standard and short yoke



Adjustable pivot limits (adjustable in 6 degree increments)



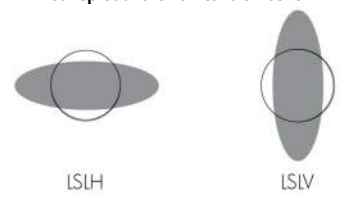
Standard yoke



Short yoke

### Optical options

LSLH - Linear spread lens horizontal distribution  
 LSLV - Linear spread lens vertical distribution



	Beam angle with LSLH/LSLV
<b>XN</b>	5° x 57°
<b>VN</b>	8° x 60°
<b>NS</b>	9° x 60°
<b>NF</b>	18° x 65°
<b>FL</b>	32° x 72°

Factory installed, not adjustable on site. Not available for WFL optic.  
 See 'Optical Accessories' section for field adjustable spread lens (LSLA).



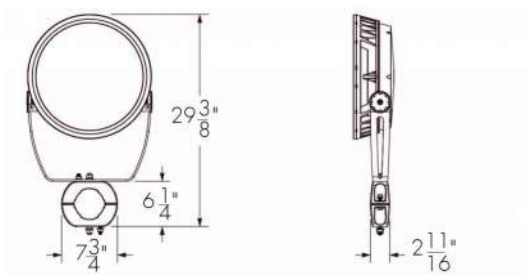
## Specification Sheet

## lumenbeam

LBX  
 COLOR CHANGING

### Mounting accessories (order separately)

#### Round pole mounting accessory



PM4 model shown.  
 Consult factory for square pole section.



**PM4-1, PM4.5-1, PM5-1** - Round pole mounting accessory - single fixture

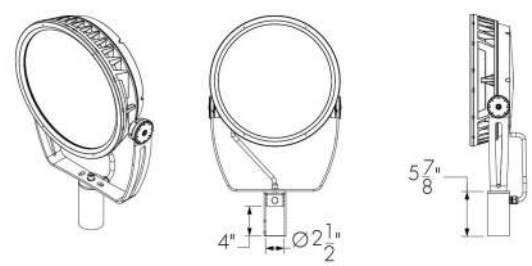


**PM4-2, PM4.5-2, PM5-2** - Round pole mounting accessory - twin fixtures  
 \*One bracket assembly is supplied per 2 fixtures unless otherwise specified.

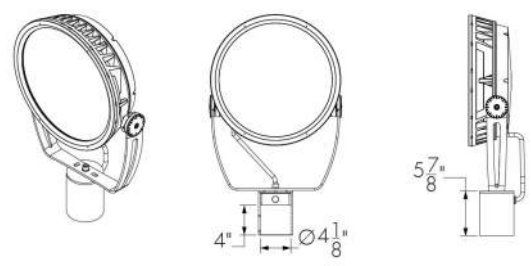
	PM4	PM4.5	PM5
For pole Ø	4" ± 1/16"	4.5" ± 1/16"	5" ± 1/16"

Consult factory for other pole diameters.

#### Tenon adapter



**TN2** - Tenon adapter to fit on 2 3/8 in O.D. tenon



**TN4** - Tenon adapter to fit on 4 in O.D. tenon

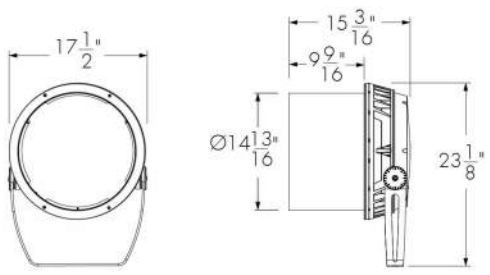
## Specification Sheet

**lumenbeam**  
 LBX  
 COLOR CHANGING

### Optical accessories (order separately)

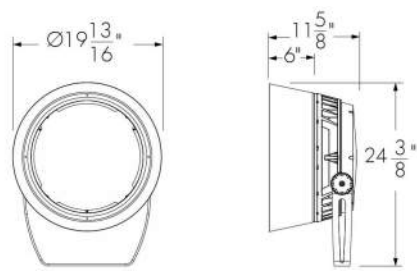
Installed optical accessories will affect the maximum pivot limits for each mounting option, consult factory for details.

#### SN - Snoot



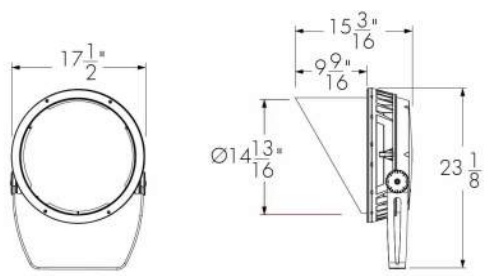
LBXSN-FINISH-BK  
 Interior surface painted black. Please specify desired exterior FINISH from list of available finishes.

#### SNW - Snoot wide



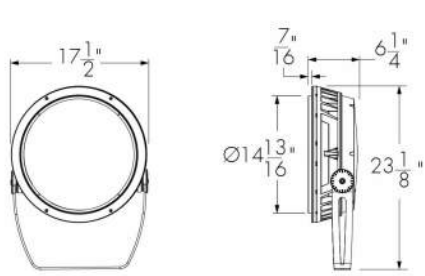
LBXSNW-FINISH-BK  
 Interior surface painted black. Please specify desired exterior FINISH from list of available finishes.

#### VS - Visor



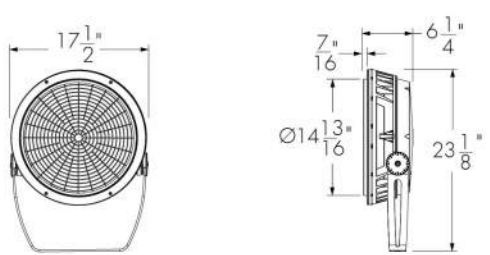
LBXVS-FINISH-BK  
 Interior surface painted black. Please specify desired exterior FINISH from list of available finishes.

#### LSLA - Linear spread lens adjustable



LBXLSLA-FINISH  
 Please specify desired exterior FINISH from list of available finishes.

#### WG - Wire guard



LBXWG-FINISH  
 Please specify desired exterior FINISH from list of available finishes.

#### Accessory combinations

	+	Snoot	Snoot wide	Visor
Linear spread lens adjustable		YES	NO*	YES
Wire guard		YES	NO	YES

Accessory combinations must be ordered together on a single line  
 Ex: A snoot + wire guard combination order code is LBXSNWG-BK-BK.  
 \*Consult factory for a linear spread lens adjustable + snoot wide combination.



Project 17-79185-39  
Detroit Free Press Building

Submitted By  
GASSER BUSH ASSOCIATES

Catalog Number  
LBX HO RGBW 120 VN CC LT UL SY 3FT LT

Notes

Type  
**FX-VN**

### Specification Sheet

### lumenbeam

**LBX**  
COLOR CHANGING

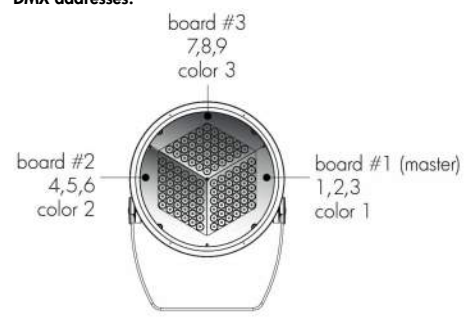
#### Available exterior finishes for optical accessories

- BK** - Black Sandtex®
- BRZ** - Bronze Sandtex®
- SI** - Silver Sandtex®
- WH** - Smooth white
- BKTX** - Textured black
- BRZTX** - Textured bronze, non-metallic
- GRATX** - Textured medium gray
- GRNTX** - Textured green
- WHTX** - Textured white
- CC** - Custom color and finish (please specify RAL color)\*

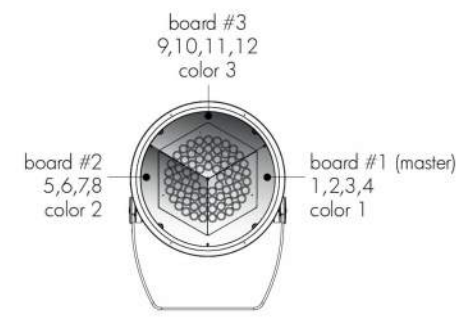
\*Lumenpulse offers a wide selection of RAL CLASSIC (K7) colors with a smooth texture and high-gloss finish. Please consult factory for a list of available K7 colors, other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.

#### Resolution details

**Resolution per board: each board is addressed independently**  
DMX addresses:



RGB color mixing option



RGBW, RGBA color mixing options

**Resolution per fixture: each fixture is addressed independently**  
DMX addresses:



RGB color mixing option



RGBW, RGBA color mixing options

Fixture resolution can be configured on-site within the LumenID V3 software. A DMX/RDM enabled CBX is required.





Project 17-79185-39  
 Detroit Free Press Building  
 Submitted By  
 GASSER BUSH ASSOCIATES

Catalog Number  
 LBX HO RGBW 120 VN CC LT UL SY 3FT LT  
 Notes

Type  
**FX-VN**

## Specification Sheet

**lumenbeam**

**LBX**  
 COLOR CHANGING

### How to order

1	2	3	4	5	6	7	8
LBXHO	RGBW	120	VN				CC
9	10	11	12				
LT	SY	UL	3FT				

### 1 . Housing

LBX RO	Lumenbeam™ XLarge, Regular Output, 140W
LBX HO	Lumenbeam™ XLarge, High Output, 205W

### 2 . Voltage

100	100 volts
120	120 volts
208	208 volts
220	220 volts
240	240 volts
277	277 volts

### 3 . Color and Color Temperature <sup>(1)</sup>

RGB	Additive RGB
RGBW	Additive RGB + white 4000K
RGBA	Additive RGB + amber

### 4 . Optic1

XN	Extra Narrow 5°
VN	Very Narrow 6°
NS	Narrow Spot 10°
NF	Narrow Flood 20°
FL	Flood 40°
WFL	Wide Flood 60° <sup>(2)</sup>

### 5 . Optic2

XN	Extra Narrow 5°
VN	Very Narrow 6°
NS	Narrow Spot 10°
NF	Narrow Flood 20°
FL	Flood 40°
WFL	Wide Flood 60° <sup>(2)</sup>

### 6 . Optic3

XN	Extra Narrow 5°
VN	Very Narrow 6°
NS	Narrow Spot 10°
NF	Narrow Flood 20°
FL	Flood 40°
WFL	Wide Flood 60° <sup>(2)</sup>

### 7 . Optical Option

LSLH	Linear spread lens horizontal distribution <sup>(3)</sup>
LSLV	Linear spread lens vertical distribution <sup>(3)</sup>

### 8 . Finish

BK	Black Sandtex®
BRZ	Bronze Sandtex®
SI	Silver Sandtex®
WH	Smooth white
BKTX	Textured black
BRZTX	Textured bronze non-metallic
GRATX	Textured medium gray
GRNTX	Textured green
WHTX	Textured white
CC	Custom color and finish (please specify RAL color) <sup>(4)</sup>

**RAL 1015**



Project 17-79185-39  
Detroit Free Press Building

Submitted By  
GASSER BUSH ASSOCIATES

Catalog Number  
LBX HO RGBW 120 VN CC LT UL SY ~~3~~FT LT  
**10ft**

Notes

Type  
**FX-VN**

## Specification Sheet

## lumenbeam

**LBX**  
COLOR CHANGING

### 9 . Control

<b>LT</b>	Lumentalk <sup>(5)</sup>
<b>DMX/RDM</b>	DMX/RDM enabled

### 11 . Certification

<b>UL</b>	UL compliant
<b>CE</b>	CE compliant

### 10 . Options

<b>SY</b>	Short Yoke
<b>3GV</b>	3G ANSI C136.31 Vibration Rating for bridge applications
<b>CRC</b>	Corrosion-resistant coating for hostile environments <sup>(6)</sup>

### 12 . Cable Length <sup>(7)</sup>

<b>3FT</b>	3 ft <sup>(7)</sup> <sup>(8)</sup>
<b>10FT</b>	10 ft
<b>20FT</b>	20 ft
<b>30FT</b>	30 ft
<b>50FT</b>	50 ft
<b>70FT</b>	70 ft
<b>100FT</b>	100 ft

**Notes:**

- <sup>(1)</sup> Consult factory for color mix with Royal Blue, 3000K or other white color temperature LEDs.
- <sup>(2)</sup> Cannot be combined with other optics.
- <sup>(3)</sup> Factory installed, not available for 60° optic. Field adjustable spread lens optical accessory available, order separately.
- <sup>(4)</sup> Lumenpulse offers a wide selection of RAL CLASSIC (K7) colors with a smooth texture and high-gloss finish. Please consult factory for a list of available K7 colors, other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.
- <sup>(5)</sup> A Lumentranslator and LumentalkID (LIDLIT) must be specified for Lumentalk applications. Consult Lumentranslator and Lumentalk pages and specification sheets for details.
- <sup>(6)</sup> Use only when exposed to salt spray and harsh chemicals. This option is not required for normal outdoor exposure.
- <sup>(7)</sup> 3 ft cable length is standard unless otherwise specified.
- <sup>(8)</sup> Maximum of 3 ft cable length for daisy chain DMX applications with CBX-DS.

Rev: 2019/04/24

**OW2201 – Plā™**  
 No Accent Plates

Type:  Project:  [VisaLighting.com/products/PLā](http://VisaLighting.com/products/PLā)

Fill in shaded boxes using information listed below

Order Code: **OW2201** NONE L40K - **MVOLT** NON MED ADVISE

MODEL SOURCE VOLTAGE OPTIC Canopy & Housing

**A** Uplight **B** Downlight **C** Uplight **D** Downlight **E** FINISH

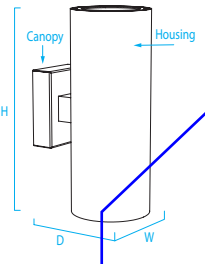


From the welcoming glow for the entry to the functional façade lighting, in a durable, attractive wall mounted fixture yielding both dramatic accent lighting and functional area lighting without sacrificing efficiency

**DIMENSIONS**  
 Depth is measured from wall to front of fixture

W = Width	H = Height	D = Depth
-----------	------------	-----------

W 7" (178 mm)  
 H 18" (457 mm)  
 D 10-1/8" (257 mm)



IDS/BAT to confirm finish **OBRZ** Old Bronze

**A B SOURCE (Select one) and VOLTAGE D E OPTICAL DISTRIBUTION (Select one)**

MVOLT fixture accepts 120 through 277 input voltage  
 White LED Sources are dimmable 0-10V to 10% (not available with pencil beam optic)  
 White LED Sources are 93CRI, within 3-step MacAdam  
 White Pencil Beam Sources are 82CRI within 3-step MacAdam

A B Source	Voltage	C D Optic	CCT	per direction (up/down)		
				Delivered Lumens	Power (Watts)	
				MED	NRW	
L30K		MED (50° Beam)	3000K			
L35K	MVOLT	NRW (23° Beam)	3500K	2200	1600	29
L40K			4000K			

AMB	BLU	GRN	RED	L30K	L35K	L40K	P	
							Delivered Lumens	Power (Watts)
							670	12
							230	
							530	
							400	
							730	
							750	
							790	

**NONE** If an uplight or downlight source is not needed, choose none

**E FINISHES (Select one)** See page 2 for color chart

Powder Coat Painted Finishes (Standard) ADVISE

AG7038 Agate Grey	CVBL Cove Blue	GW9002 Grey White	PB1035 Pearl Beige
BMAT Bronze Matte	CW9001 Cream	HTHR Heather	RUST Rust
BRNZ Bronze	GLIM Glimmer	JB9005 Jet Black	SUNG Sungold
BSIL Blade Silver	GSIL Graphite Silver	<b>OBRZ Old Bronze</b>	TW9016 Traffic White

**ACCESSORIES - Order Separately**

Remote emergency line voltage inverter – Surface or cabinet mount

PS-EMVL	Can supply a single fixture up to 20W at 120V or 277V for 90 minutes
PS-EMVM	Can supply multiple fixtures up to a combined 125W at 120V or 277V for 90 minutes
PS-EMVH	Can supply multiple fixtures up to a combined 375W at 120V or 277V for 90 minutes



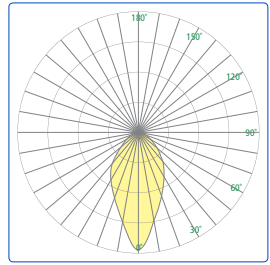


Rev: 2019/04/24

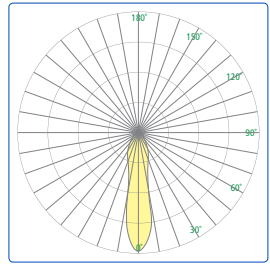
**OW2201 – Plā**  
 No Accent Plates



**Photometrics (per direction - up/down)**



MED 50° Beam

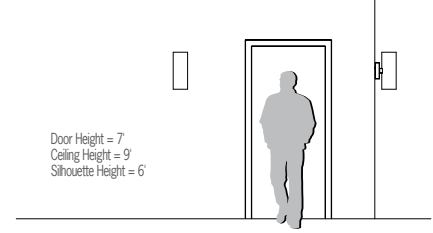


NRW 23° Beam

**Technical Information**

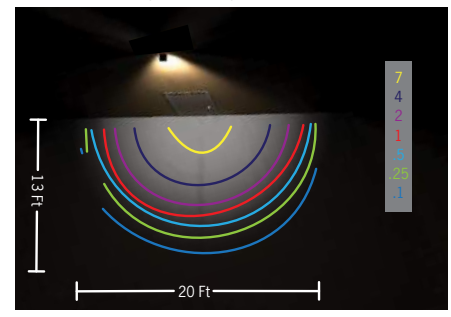
- Integral high power factor electronic power supply with MVOLT operation in wall bracket canopy
- Modular design for replacement of LED source and power supply
- IP65 rated
- Bracket mounting system simplifies installation and maintenance
- Mounts over 4" junction box
- Tamper resistant fasteners
- Meets seismic guidelines for weight
- Cast and fabricated aluminum
- No VOC powder coat paint finish

**Relative Scale Drawing**



**Path of Egress**

L35K, 50 degree beam spread, downlight only, mounted 16' above grade, .70 light loss factor used



Specify color code when ordering. For accurate color matching, individual paint and finish samples are [available upon request](#). For additional information see [VisaLighting.com/materials-finishes](http://VisaLighting.com/materials-finishes)

**Painted Finishes (Standard)**

<b>TW9016</b> Traffic White (RAL9016)	<b>CW9001</b> Cream (RAL9001)	<b>GW9002</b> Grey White (RAL9002)	<b>JB9005</b> Jet Black (RAL9005)	<b>AG7038</b> Agate Grey (RAL7038)	<b>HTHR</b> Heather	<b>CVBL</b> Cove Blue
<b>BSIL</b> Blade Silver	<b>GSIL</b> Graphite Silver	<b>GLIM</b> Glimmer	<b>SUNG</b> Sungold	<b>BRNZ</b> Bronze		
<b>OBRZ</b> Old Bronze	<b>BMAT</b> Bronze Matte	<b>PB1035</b> Pearl Beige (RAL1035)	<b>RUST</b> Rust			

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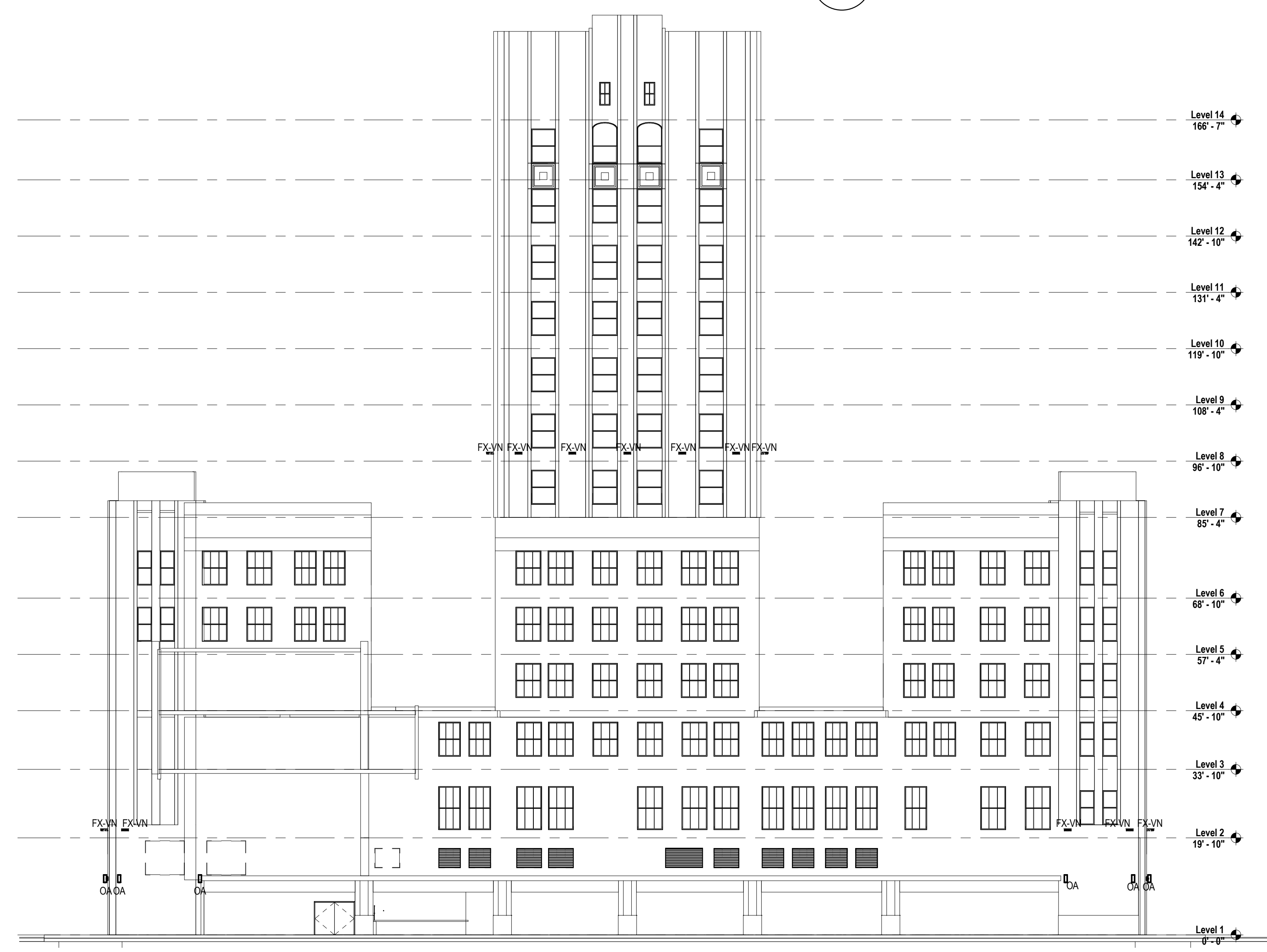
### GENERAL NOTES

1. MOUNT TYPE 'OA' LIGHT FIXTURE WITH CENTERLINE EVEN WITH FRONT EDGE OF STOREFRONT 'EYE-BROW'. ANY VARIATIONS IN THIS HEIGHT MUST BE CONSISTENT ACROSS ENTIRE BUILDING AND MUST BE APPROVED BY ARCHITECT/ENGINEER PRIOR TO ROUGH-IN.

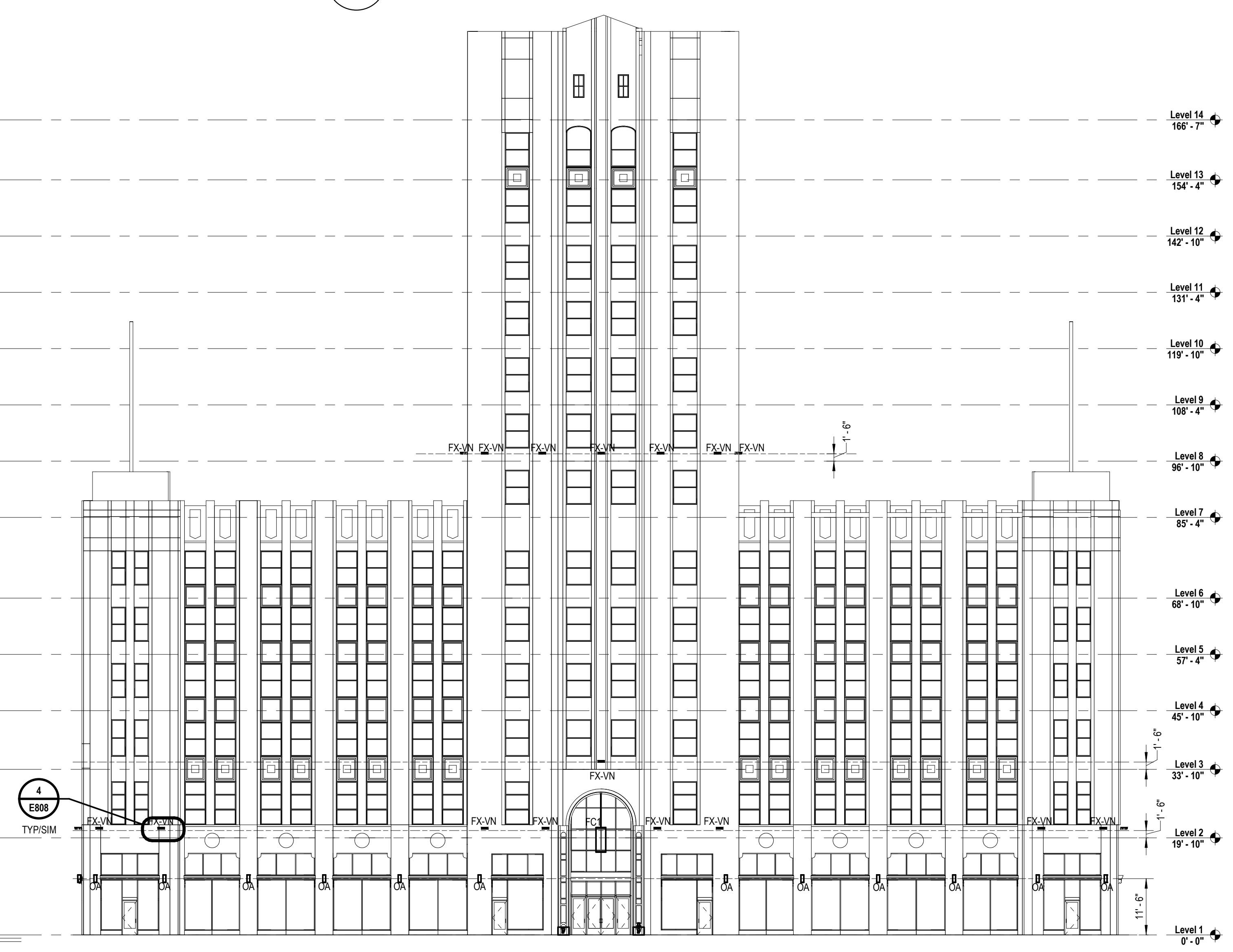


4 FACADE LIGHTING - EAST ELEVATION  
E200B 1/16" = 1'-0"

3 FACADE LIGHTING - WEST ELEVATION  
E201 1/16" = 1'-0"



2 FACADE LIGHTING - SOUTH ELEVATION  
E200B 1/16" = 1'-0"



1 FACADE LIGHTING - NORTH ELEVATION  
E201 1/16" = 1'-0"

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Project

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Project Number	17160-1000
Sheet Title	FACADE LIGHTING EXTERIOR ELEVATIONS
Sheet Number	E901





