

STAFF REPORT: 7-10-2019 MEETING
APPLICATION NUMBER: 19-6319
ADDRESS: 28 W. ADAMS
HISTORIC DISTRICT: BRUSH PARK
APPLICANT: JEFF HEFFENBLOWER
DATE OF STAFF VISIT: 7/6/2019

PREPARED BY: J. ROSS

PROPOSAL

As per the Detroit Historic Designation Advisory Board:

The building at 28 W. Adams, originally known as the Stroh Tower, is a twenty-story high-rise structure clad in buff brick with limited terra cotta trim. More extensive terra cotta trim was removed and replaced with buff brick when the building was remodeled in the 1950s. Its aluminum storefronts and plate glass windows date from the 1970s. The windows at floors 3 through 18 are double-hung 3-over-1 units. Floors 19 and 20 were added in the 1950s replacing a rooftop gazebo. These floors are clad in buff brick and aluminum panels in a simple utilitarian style. The windows are aluminum. The building faces south onto Adams. The first and second floors have a rectangular footprint measuring eighty feet four inches wide and one hundred feet deep. Floors 3 through 18 are L-shaped with a light well at the northwest quadrant. A penthouse at floors 19 and 20 is set back approximately two feet from the east, west, and south elevations and approximately twenty feet from the north elevation with a roof-top veranda at the 19th floor. The first and second floors have recently been renovated, and an awning from the 1970=s was removed. The windows on the second story are now seen as they were originally, grouped into four shallow bays with a center window flanked by two narrow windows. The center window contains a divided window. At the second story, on each of the five piers is a bronze vertical plaque containing a projecting lion's head. These are the remnants of the building=s architectural detail before the renovations removed the rest of it. The Elizabeth Street Annex, constructed in 1950, is ten stories in height and is comprised of six floors of office/service space above four floors of parking. It is said to be the first International Style building in Detroit. The annex has a rectangular footprint measuring 120 feet by ninety feet. It is clad in buff-colored brick with aluminum ribbon windows at the north and south elevations. The annex has a simple aluminum canopy at the entry to a small lobby at the northwest corner. The annex has no decorative trim. It is connected to the Stroh Tower the south across an alley by a bridge connecting floors from 2 through 10.

Please note that at their December 12, 2018 regular meeting, the Detroit Historic District Commission issued a Notice to Proceed for the demolition of 25 W. Elizabeth/the Elizabeth Street Annex Building, which (as noted above) was erected in 1950 and is attached to the rear/north elevation of 28 W. Adams. Specifically, please note that the Notice to Proceed allows for the complete demolition of 25 W. Elizabeth, to include the current bridge which is located at the building's rear/south elevation and extends over the alley to connect it to the rear/north elevation of 28 W. Adams. As the applicant notes, "currently the Grand Park Centre Building and the adjacent building to north -Annex Building at 25 Elizabeth -are connected by a 8 story tall bridge that connect levels 3 -10 of both buildings. This bridge and the Annex building are slated to be demolished in the future as part of a separate permit. Currently the second means of egress for the Grand Park Centre building runs through the bridge and down the Annex building stairwell." With the current proposal, the applicant is seeking to address the condition of the rear/north elevation of 28 W. Adams after the Elizabeth Street Annex Building and the connecting bridge are demolished. Specifically, the current application proposes the following

work items at the rear/north elevation of 28 W. Adams following the demo of the connector bridge:

- Repair and paint the existing fire escape (color not provided)
- Install the new steel fire escape between levels 3-10, connect to existing fire escape at level 11 and level 2. The submitted drawings indicate that the new stair will match the existing in type/appearance (color new stairs not provided)
- Cut in and install new fire rated egress doors at levels 3 -10 at the exterior wall of the Grand Park Centre building at new fire escape landing location. The new doors will be hollow metal (painted) with metal frames (color not provided)
- Patch portion of exterior wall area between levels 3-10 with salvaged brick and stucco (finish color of stucco not provided)
- Install new light fixtures (details not provided)

STAFF OBSERVATIONS

As noted above, it will be necessary to “patch” the exterior wall at the rear elevation of 28 W. Adams and extend the existing rear elevation fire escape once the 25 W. Elizabeth/Annex Building’s connector bridge is demolished. Please note that the new building that will be erected to replace 25 W. Elizabeth will rise 20 stories and will serve to conceal 28 W. Adams’s rear/north elevation. Therefore, the work proposed in the current scope will not be visible from the public-right-of-way.

ELEMENTS OF DESIGN

- (7) *Relationship of materials.* Building materials common to exterior surfaces in the district are limestone, brick, granite and terra-cotta. Window frames are of wood, cast iron, and/or steel. Modernizations tend to be in granite, glass and steel. The church and church house exhibit slate roofs, copper flashing, dormer roofs, and trim. Monuments and fountains feature bronze statues and plaques and marble platforms or pedestals, sometimes with a granite base.
- (8) *Relationship of textures.* The low relief pattern of mortar joints in brick, terra cotta or limestone juxtaposed with smooth masonry trim, where it exists, provides textural interest. Glazed brick, glazed terra cotta, polished granite and large glass surfaces are smooth in texture. Carved or molded repetitive ornamental detail in terra cotta or masonry contrasts with the surface material, providing a high degree of textural interest. Subdivided windows, parapets and cornices with repetitive detail, where they still exist, are often areas of textural interest. The church and church house have rock-faced ashlar surfaces that result in a rough, rustic appearance. Their slate roofs create a pattern complimentary to the facades. In general, the district is rich in textural relationships.
- (9) *Relationship of colors.* The majority of buildings in the Grand Circus Park Local Historic District are in a light color range. Within this range, many are clad in white or light beige terra cotta, while some are in light gray or beige limestone and others are in buff brick. Red brick also exists. Window frames tend to be painted in dark tones, such as black, brown or deep green, with a few in light

tones, such as light gray. The church and church house have green copper flashing and natural wood doors. Colorful stained glass windows provides artistic interest to the church. Monuments and fountains feature verdigris or bronze-color statues and plaques and white marble platforms or pedestals. The original colors of any building, as determined by professional analysis, are always acceptable, and may provide guidance for similar buildings.

RECOMMENDATION

It is staff's opinion that the proposed work is consistent with the building's historic character. Staff therefore recommends that the Commission issue a Certificate of Appropriateness (COA) for the work as proposed because it meets the Secretary of the Interior's Standards for Rehabilitation standard number 2) *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided* and 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.* However, staff does recommend that the Commission issue the COA for the work with the following conditions:

- All new brick shall match the existing/historic in dimension, mortar color, finish color, and texture
- The new stucco shall be painted/finished a color that matches/blends in with the adjacent historic brick
- Staff shall be afforded the opportunity to review and approve the final specs for the proposed exterior light fixtures, the final finish color of the fire escape, and the final finish color of the new exterior doors
- Staff shall be afforded the opportunity to review and approve any minor modifications to the project scope. If staff determines that any such scope revision does not meet the Secretary of the Interior's Standards, the work item(s) shall be forwarded to the Commission for review at a future meeting.
- Staff shall be afforded the opportunity to review and approve the final project CDs prior to the issuance of the permit





Grand Park Centre – Fire Escape Modifications

BLD2019-02777

28 W. Adams, Detroit

Historic District Commission - Project Review Request

Project Review Request Checklist

Photographs

- See attached pictures of all sides of the building

Detailed Photographs

- See attached detailed pictures of the work area and existing materials

Description of existing conditions

- Brick building, steel fire escape

Description of Project

- Currently the Grand Park Centre Building and the adjacent building to north – Annex Building at 25 Elizabeth – are connected by a 8 story tall bridge that connect levels 3 – 10 of both buildings. This bridge and the Annex building are slated to be demolished in the future as part of a separate permit. Currently the second means of egress for the Grand Park Centre building runs through the bridge and down the Annex building stairwell. The purpose of this permit is to extend the fire escape from level 11 to level 2 where it will connect to the existing level 2 fire escape landing and discharge. The existing fire escape will be repaired as required and repainted. The exterior wall will be patched where the existing bridge tied into the building.

Detailed Scope of Work

- Cut in and install new fire rated egress doors at levels 3 – 10 at the exterior wall of the Grand Park Centre building at new fire escape landing location.
- Demo the bridge (separate permit and contract)
- Install the new steel fire escape between levels 3-10, connect to existing fire escape at level 11 and level 2.
- Patch exterior wall with salvaged brick materials to match existing.
- Repair and paint existing fire escape

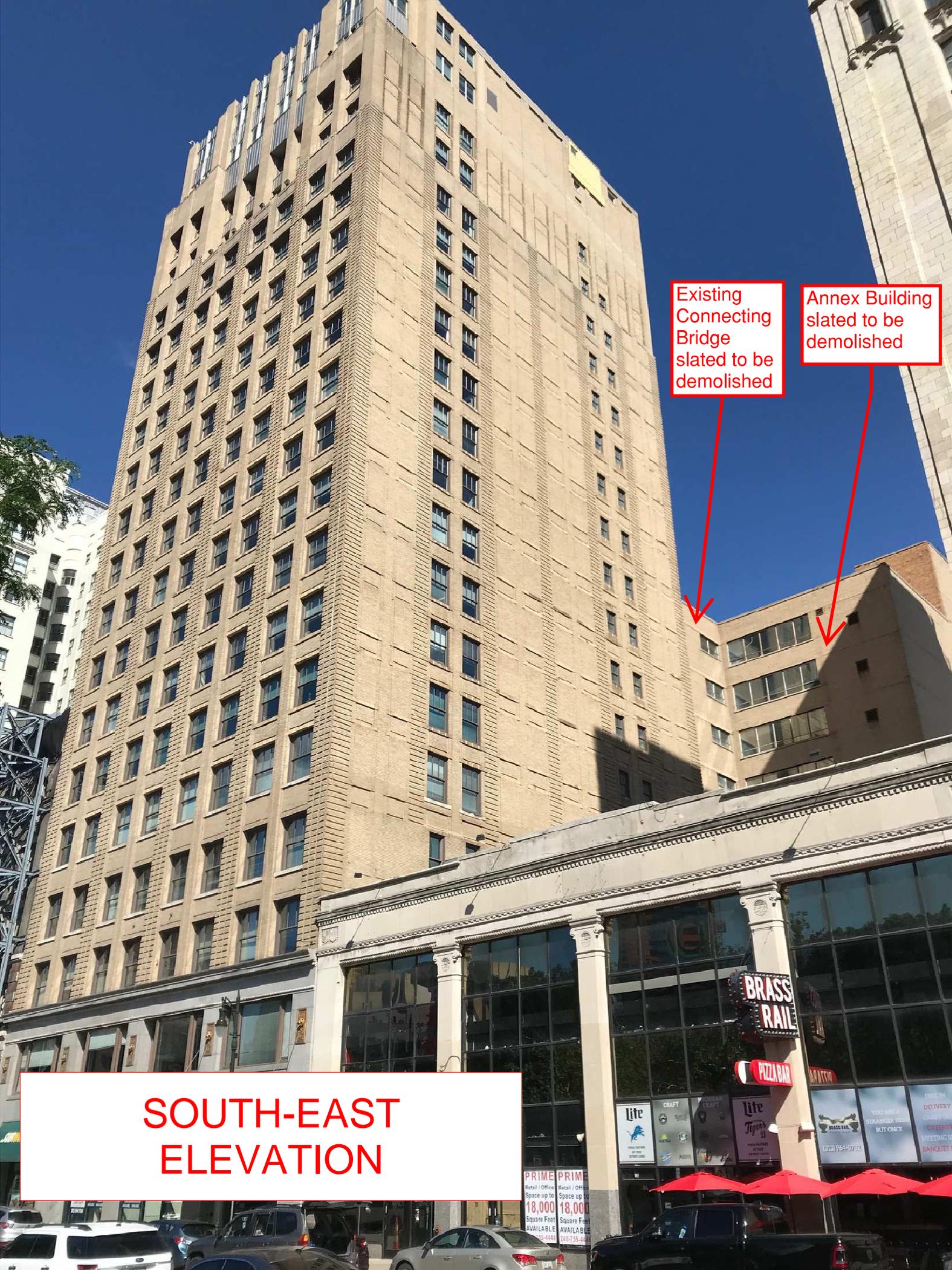
Brochure / cut sheets

- New fire escape shall meet current egress code requirements, and all fire escape will be repainted to match.
- Brick materials will be salvaged from demo to match existing for wall patches.
- The new fire escape is located in an alley and hidden from public view. The new fire escape is just an extension of the existing that is currently in place from levels 11-20.



Grand Park
Centre Building

**SOUTH ELEVATION -
main entrance off Adam St.**



Existing
Connecting
Bridge
slated to be
demolished

Annex Building
slated to be
demolished



**SOUTH-EAST
ELEVATION**

PRIME PRIME
Retail / Office Retail / Office
Space up to Space up to
18,000 18,000
Square Feet Square Feet
AVAILABLE AVAILABLE
753-4441 248-735-4200

Lite

Lite
Tiger's

BRASS
RAIL

PIZZA

YOU ARE A STRANGER HERE BUT ONCE
1813 964-0782

DELIVERY
CATERING
MEETING &
BANQUETS

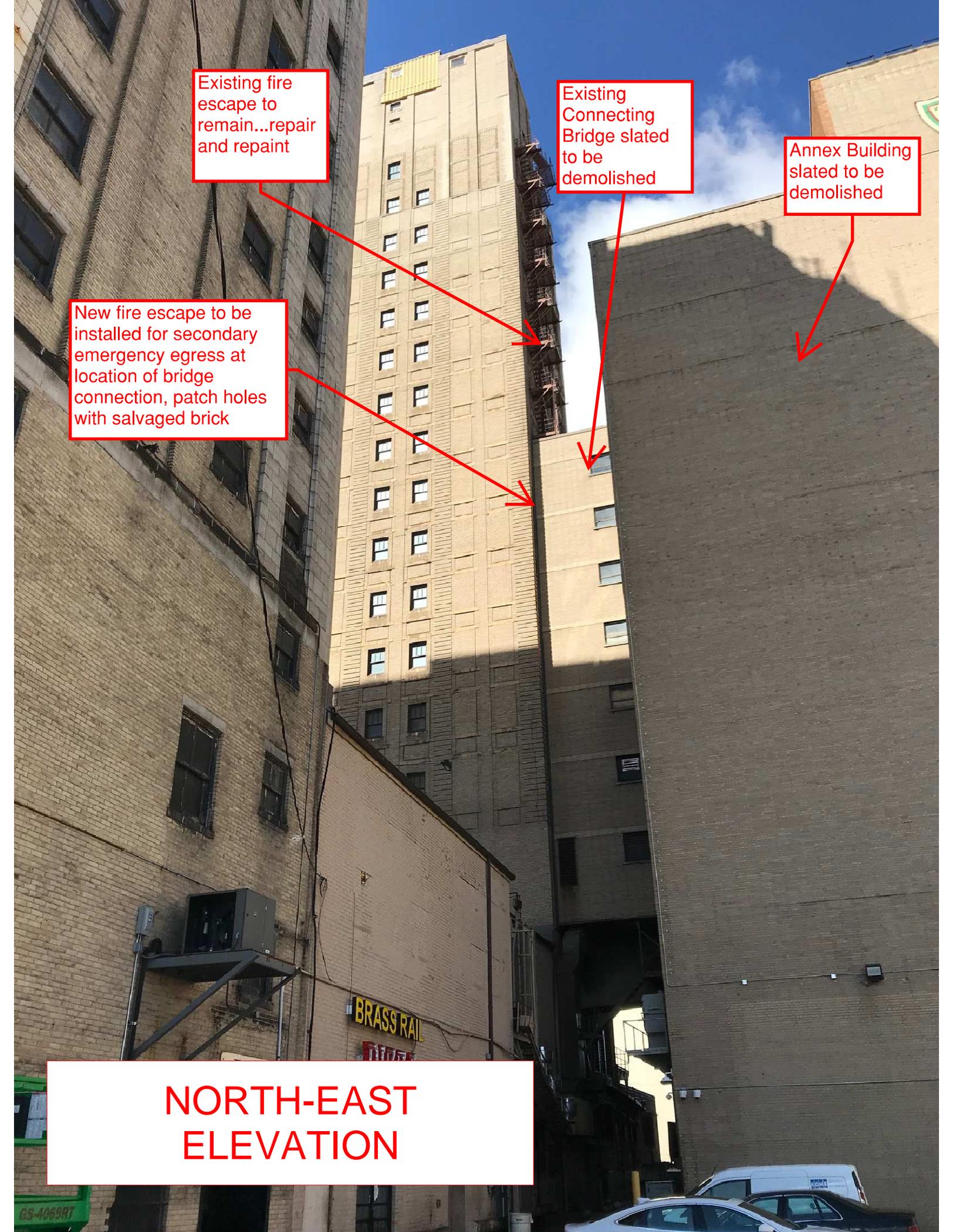
Existing fire escape to remain...repair and repaint

Existing Connecting Bridge slated to be demolished

Annex Building slated to be demolished

New fire escape to be installed for secondary emergency egress at location of bridge connection, patch holes with salvaged brick

NORTH-EAST ELEVATION



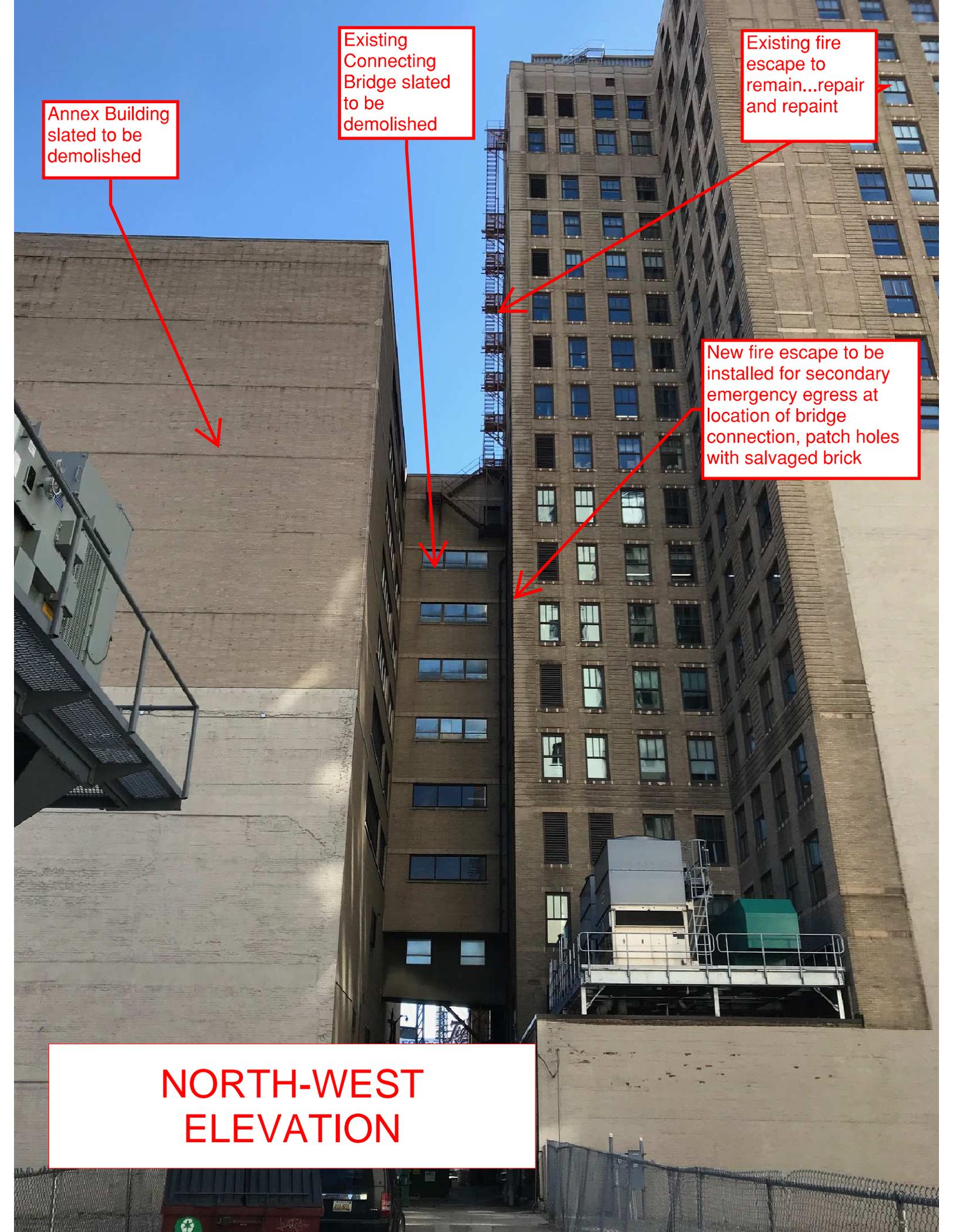
Annex Building slated to be demolished

Existing Connecting Bridge slated to be demolished

Existing fire escape to remain...repair and repaint

New fire escape to be installed for secondary emergency egress at location of bridge connection, patch holes with salvaged brick

NORTH-WEST ELEVATION

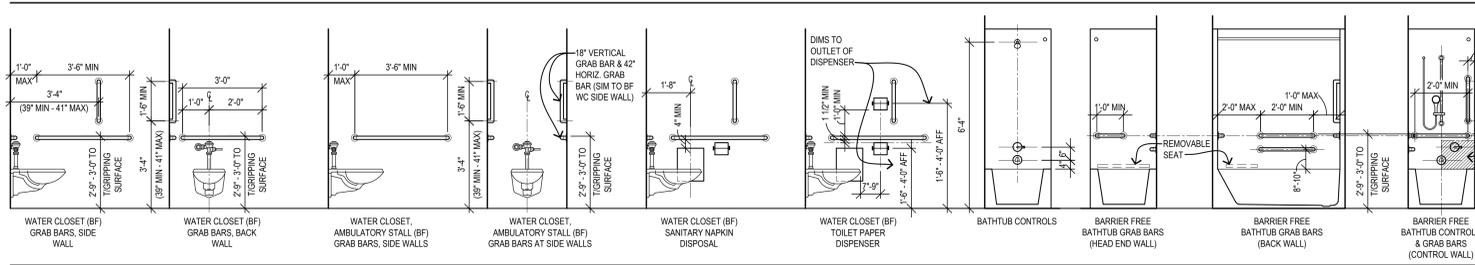
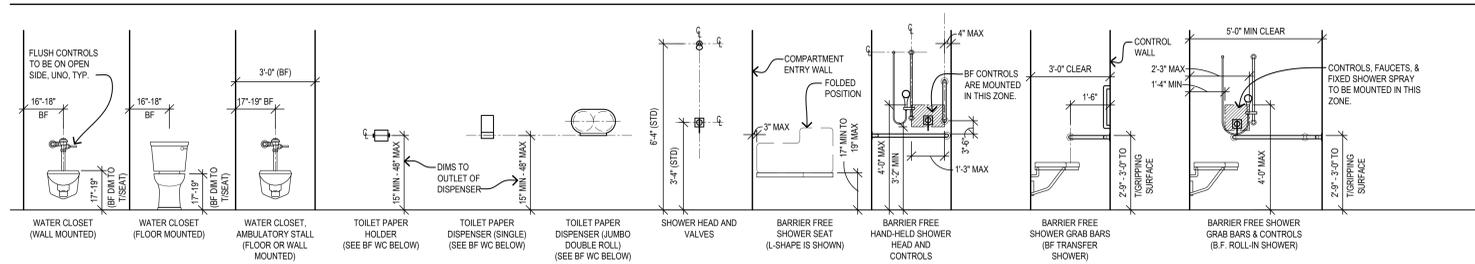
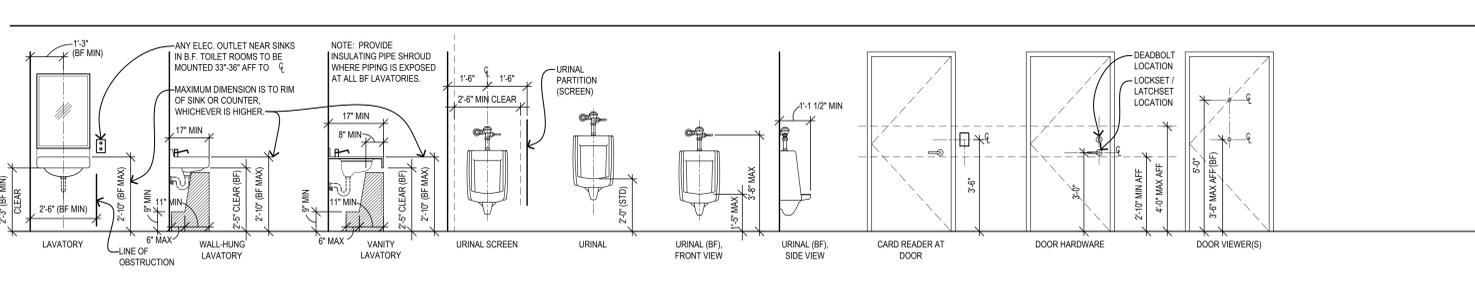
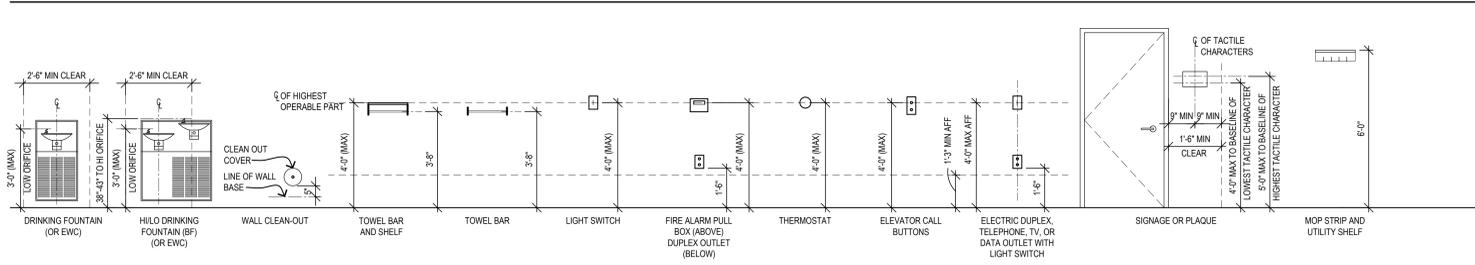
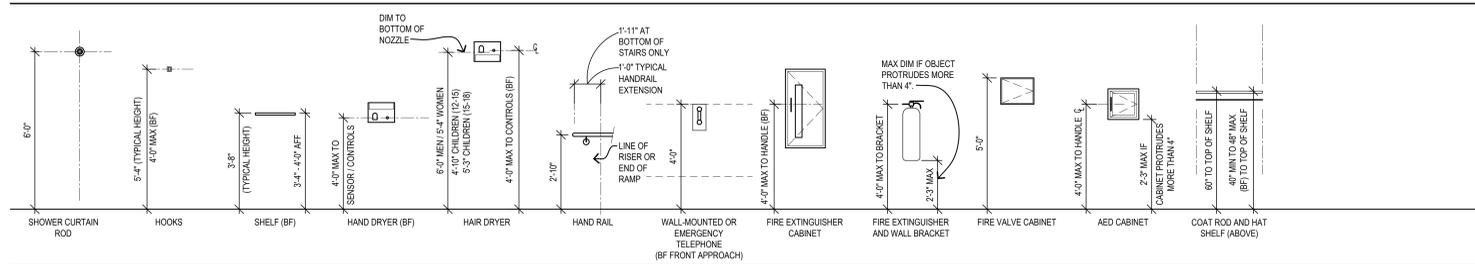
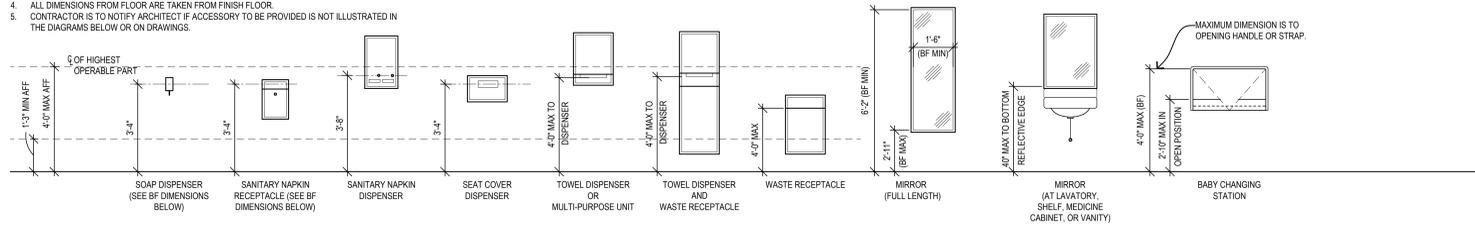


Picture of existing Grand Park Centre Building Brick to be salvaged and used for wall infill as needed to match



TYPICAL MOUNTING HEIGHT LEGEND

- GENERAL NOTES:
 1. MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS.
 2. PROVIDE IN-WALL BLOCKING FOR ALL WALL MOUNTED COMPONENTS.
 3. B.F. DENOTES BARRIER-FREE REQUIREMENTS.
 4. ALL DIMENSIONS FROM FLOOR ARE TAKEN FROM FINISH FLOOR.
 5. CONTRACTOR IS TO NOTIFY ARCHITECT IF ACCESSORY TO BE PROVIDED IS NOT ILLUSTRATED IN THE DIAGRAMS BELOW OR ON DRAWINGS.



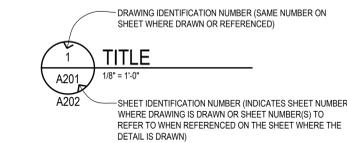
NOTE: DIAGRAM AND DIMENSIONS GIVEN ARE FOR A BATHTUB WITHOUT A PERMANENT SEAT. REQUIREMENTS SHOULD BE CONFIRMED FOR BATHTUBS WITH A PERMANENT SEAT.

STANDARD ABBREVIATIONS

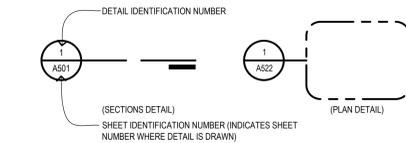
ACP - ACOUSTIC CEILING PANEL	CW - COLD WATER	FAB - FABRIC	IC - IMPACT ISOLATION CLASS	NIC - NOT IN CONTRACT	RF - RUBBER FLOORING	UND - UNLESS NOTED OTHERWISE
ADD - ADDENDUM	DCMU - DECORATIVE CONCRETE MASONRY UNIT	FD - FLOOR DRAIN	IN - INCH, INCHES	NTS - NOT TO SCALE	RO - ROUGH OPENING	UPH - UPHOLSTERY
AESS - ARCHITECTURALLY EXPOSED STRUCTURAL STEEL	DEFS - DIRECT-APPLIED EXTERIOR FINISH SYSTEM	FE - FIRE EXTINGUISHER	INCL - INCLUDING, INCLUSIVE	OC - ON CENTER	RP - RESIN PANEL	UR - URINAL
AFF - ABOVE FINISHED FLOOR	DEMO - DEMOLITION	FHC - FIRE HOSE CABINET	INSUL - INSULATION	OD - OUTSIDE DIAMETER	RTR - RESILIENT TREADS/RISERS	VCT - VINYL COMPOSITION TILE
ALT - ALTERNATE	DF - DRAPEY FABRIC	FRT - FIRE RETARDANT TREATED	JC - JANITOR'S CLOSET	OF - OWNER FURNISHED, CONTRACTOR INSTALLED	SF - SPORT FLOORING	VER - VERTICAL
ALUM - ALUMINUM	DIA - DIAMETER	FRP - FIBERGLASS REINFORCED PANEL	LAV - LAVATORY	OFPI - OWNER FURNISHED, OWNER INSTALLED	SIM - SIMILAR	VF - VERIFY IN FIELD
ANOD - ANODIZED	DM - DIMENSION	FRP - FIBERGLASS REINFORCED PANEL	LAV - LAVATORY	OPP - OPPOSITE	SPEC - SPECIFICATION	WC - WATER CLOSET
AP - ACRYLIC PANELS	DN - DOWN	FRP - FIBERGLASS REINFORCED PANEL	LF - LINEAL FOOT / FEET	OS - OUTSIDE SURFACE	SQ - SQUARE FEET	WD - WOOD
BD - BOARD	DS - DOWNSPOUT	FWP - FABRIC WRAPPED PANEL	LN - LONG LEG HORIZONTAL	P - PAINT	SS - STAINLESS STEEL	WDB - WOOD BASE
BF - BARRIER FREE	DS - DOWNSPOUT	FWP - FABRIC WRAPPED PANEL	LLV - LONG LEG VERTICAL	PPN - PRE-FINISHED	SSM - SOLID SURFACE MATERIAL	WDF - WOOD FLOORING
BLDG - BUILDING	DW - DRAINAGE	FWP - FABRIC WRAPPED PANEL	LTS - LUXURY VINYL TILE	PL - PLASTIC LAMINATE	STC - SOUND TRANSMISSION COEFFICIENT	WLC - WALL COVERING
BOS - BOTTOM OF STEEL	DW(S) - DRAWING(S)	FWP - FABRIC WRAPPED PANEL	LVT - LUXURY VINYL TILE	PSF - POUNDS PER SQUARE FOOT	ST - STONE	WPG - WATERPROOFING
BULL - BULLETIN	EAS - EACH	GA - GAUGE	MAT - ENTRANCE MAT	PSI - POUNDS PER SQUARE INCH	STN - STAIN	WP - WORK POINT
CB - CONCRETE BRICK	EAS - EACH	GALV - GALVANIZED	CB - GYPSUM BOARD	PVC - POLYVINYL CHLORIDE	T - TILE (CERAMIC, PORCELAIN)	WD - WOOD
CG - CORNER GUARD	EAS - EACH	GFR - GLASS FIBER REINFORCED CONCRETE	GL - GLASS	QBSM - QUARTZ SOLID SURFACING MATERIAL	TB - TILE BASE (CERAMIC, PORCELAIN)	
CJ - CONTROL JOINTS	EM - EXPANSION JOINT	GFR - GLASS FIBER REINFORCED CONCRETE	GLB - GLASS BLOCK	QT - QUARRY TILE	TBD - TO BE DETERMINED	
CL - CENTER LINE	EL - ELEVATION	GL - GLASS	GLT - GLASS TILE	MECH - MECHANICAL	TAG - TONGUE AND GROOVE	
CLO - CLOSET	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GT - GLASS TILE	MFR - MANUFACTURER	THK - THICKNESS	
CLO - CLOSET	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	MIN - MINIMUM	THOLD - THRESHOLD	
CMU - CONCRETE MASONRY UNIT	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	MISC - MISCELLANEOUS	TOS - TOP OF STEEL	
COL - COLUMN	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	MOV - MOVEMENT JOINT	TRNS - TRANSPARENT	
CONC - CONCRETE	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	MO - MASONRY OPENING	TYP - TYPICAL	
CONC-S - CONCRETE - SEALED	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	MTL - METAL	REF - REFRIGERATOR	
CPT - CARPET	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	REF - REINFORCED, REINFORCING	REQ - REQUIRED	
CPTB - CARPET BASE	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	REQ - REQUIRED	RES - RESILIENT FLOORING	
	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	RES - RESILIENT FLOORING	RD - ROOF DRAIN	
	EQ - EQUIPMENT	GMB - GLASS MARKER BOARD	GMB - GLASS MARKER BOARD	RD - ROOF DRAIN	UL - UNDERWRITERS LABORATORY	

REFERENCE SYMBOLS

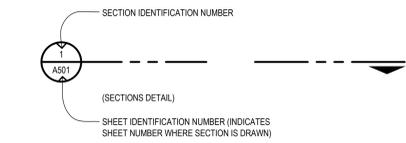
DRAWING (DETAIL, SECTION, ELEVATION, ETC.) IDENTIFICATION



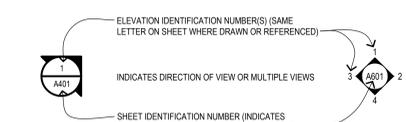
DETAIL LOCATION INDICATION



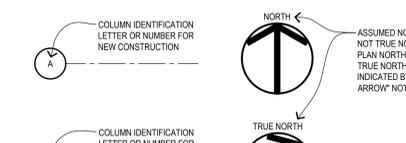
SECTION LOCATION INDICATION



ELEVATION INDICATION



COLUMN INDICATION



WALL TYPE INDICATION



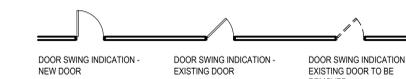
KEYED NOTE INDICATION



ROOM NAME & NUMBER



DOOR INDICATION



architecture
NEUMANN SMITH
 SOUTHFIELD • DETROIT
 400 Galleria Office Centre
 Suite 555
 Southfield, Michigan 48034
 phone 248.352.8310
 fax 248.352.1821
 www.neumannsmith.com

**Grand Park Centre
 Decoupling - Fire
 Escape Modifications**
 28 West Adams
 Detroit, Michigan 48226



10.09.2018 Issued For Bid & Permit

Drawn Preliminary
 Construction
 Checked Record

EDS Approved Do not scale
 EDS Use figured dimensions only
 Bidpak Number

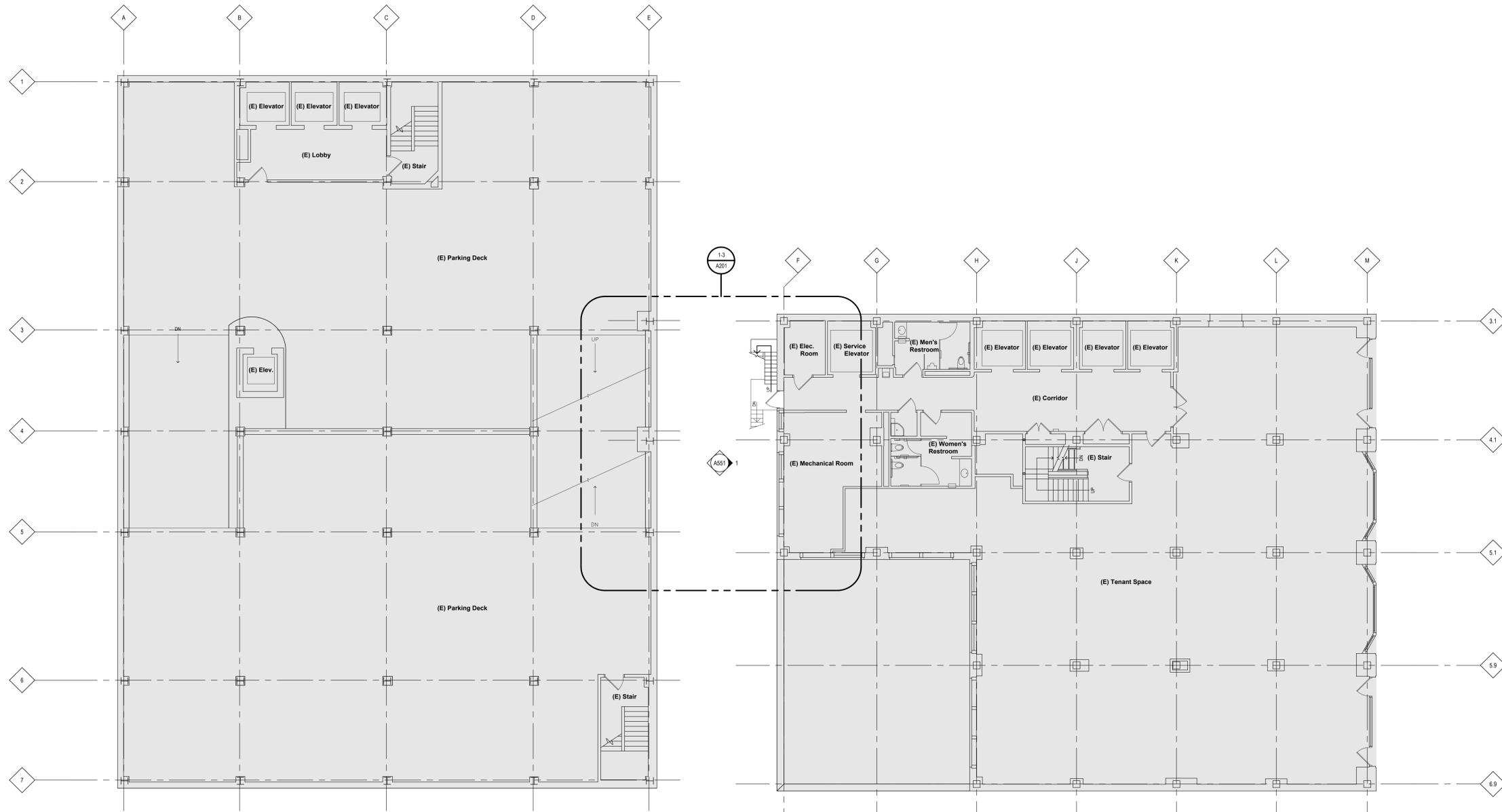
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2018073
 Title
Architectural Drawing Standards

Scale: N.T.S.
 Sheet
A011

FLOOR PLAN LEGEND	
	EXISTING STRUCTURE TO REMAIN
	NEW WALL INFILL
	SHADED AREA INDICATES SCOPE OF WORK NOT IN CONTRACT (N.I.C.)

**Grand Park Centre
 Decoupling - Fire
 Escape Modifications**

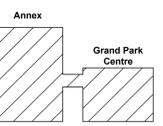
**28 West Adams
 Detroit, Michigan 48226**



**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

1 SECOND FLOOR PLAN
 NORTH
 1/8" = 1'-0"
 A200



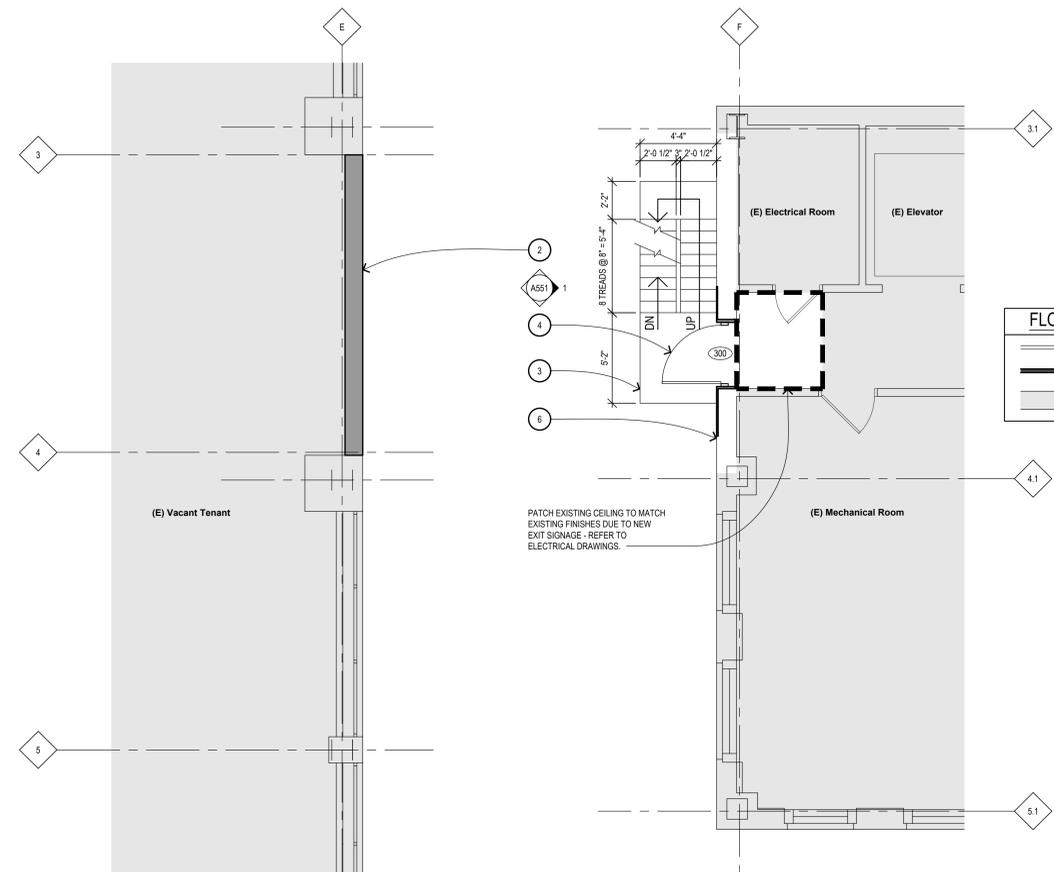
KEY MAP
 Issued for

10.09.2018 Issued For Bid & Permit

Drawn Preliminary
 MD Construction
 Checked Record
EDS
 Approved Do not scale
 Use figured dimensions only
 Bidpak Number

Job Number
2018073
 Title
Overall Second Floor Plan

Scale: 1/8" = 1'-0"
 Sheet
A200



- KEYNOTES:**
- 1 EXISTING CONSTRUCTION TO REMAIN.
 - 2 WALL INFILL BY OTHERS.
 - 3 NEW FIRE ESCAPE - PAINT WITH HIGH PERFORMANCE COATING (COLOR TO BE SELECTED BY OWNER) - REFER TO NOTES ON SHEET A001.
 - 4 NEW DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
 - 5 EXISTING FIRE ESCAPE TO REMAIN - PAINT WITH HIGH PERFORMANCE COATING (COLOR TO BE SELECTED BY OWNER).
 - 6 PORTLAND CEMENT STUCCO SYSTEM DIRECT APPLIED TO MASONRY WITH CONTINUOUS AIR AND MOISTURE BARRIER AND HIGH PERFORMANCE FINISH (COLOR TO BE SELECTED BY OWNER). BASIS OF DESIGN STD CORR- POWERWALL EXTRA SEAL CONSISTING OF EXTRA AIR AND MOISTURE BARRIER OVER PREPARED MASONRY SUBSTRATE WITH EXTRA SEAL SCRATCH COAT, ASTM C986 STUCCO BROWN COAT, PRIMER, AND STOUT FINE TEXTURED FINISH.

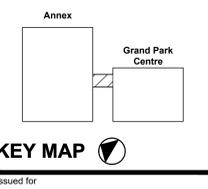
FLOOR PLAN LEGEND

	EXISTING STRUCTURE TO REMAIN
	NEW WALL INFILL
	SHADED AREA INDICATES SCOPE OF WORK NOT IN CONTRACT (N.I.C.)

**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

THIRD - ELEVENTH FLOOR PLAN
 1/4" = 1'-0"



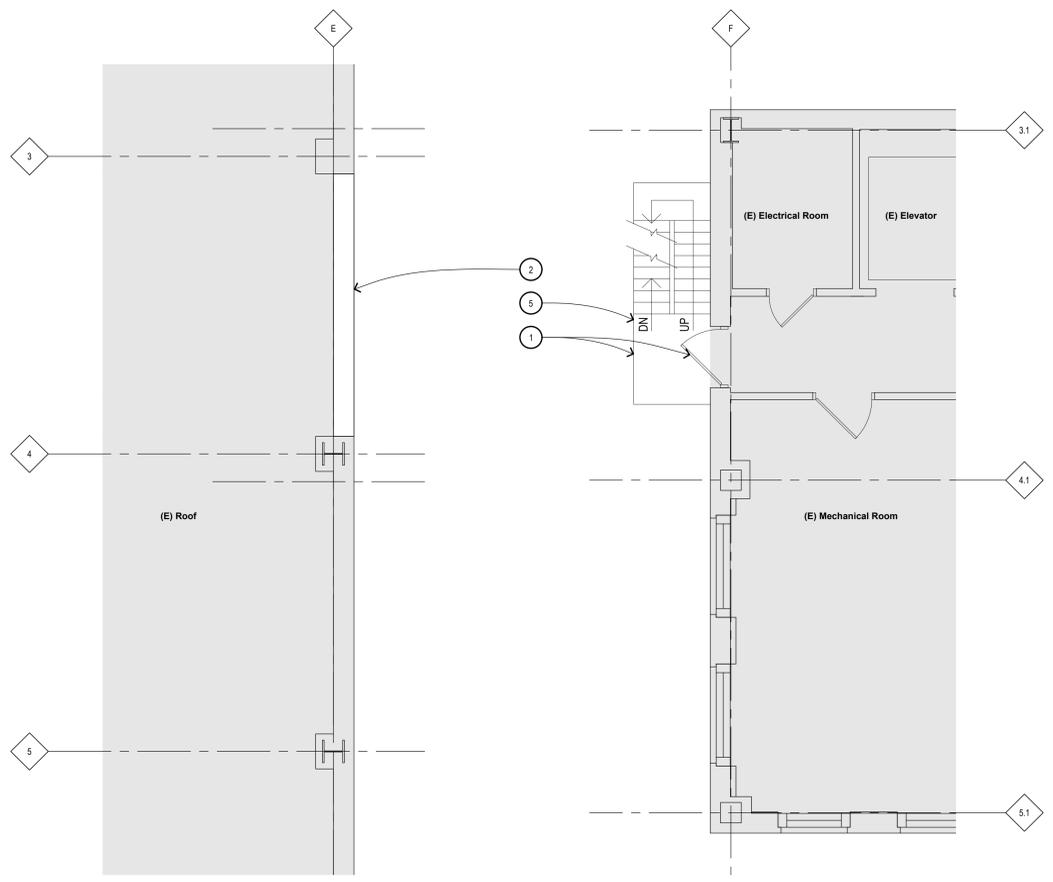
KEY MAP
 Issued for

10.09.2018 Issued For Bid & Permit

Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	
Approved	Do not scale
EDS	Use figured dimensions only
Bidpak Number	

Job Number
2018073
 Title
**Enlarged Second -
 Twelfth Floor Plans**

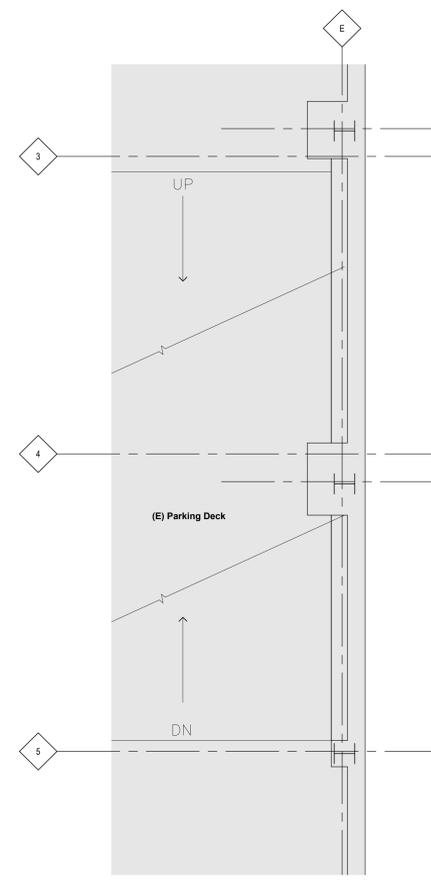
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 Sheet
A201



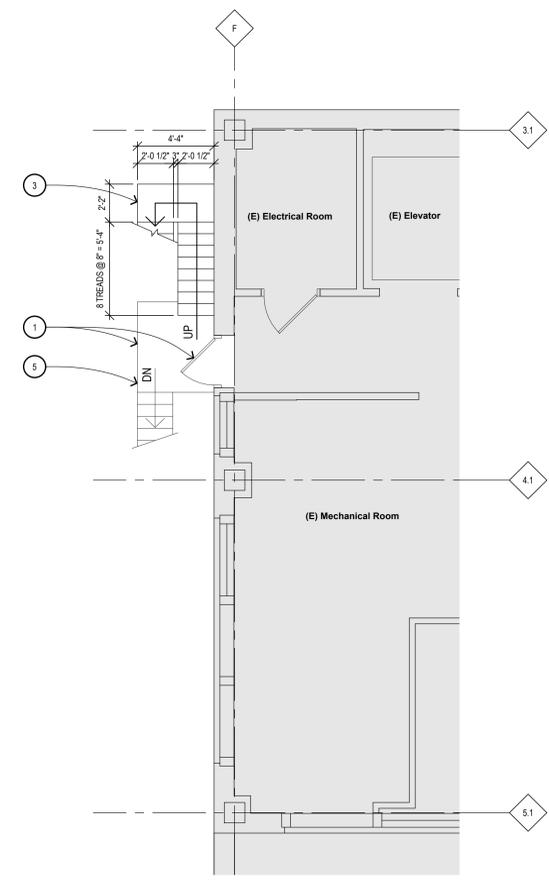
**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

TWELFTH FLOOR PLAN
 1/4" = 1'-0"



**Annex Building
 (25 Elizabeth St.)**



**Grand Park Centre
 (28 W. Adams)**

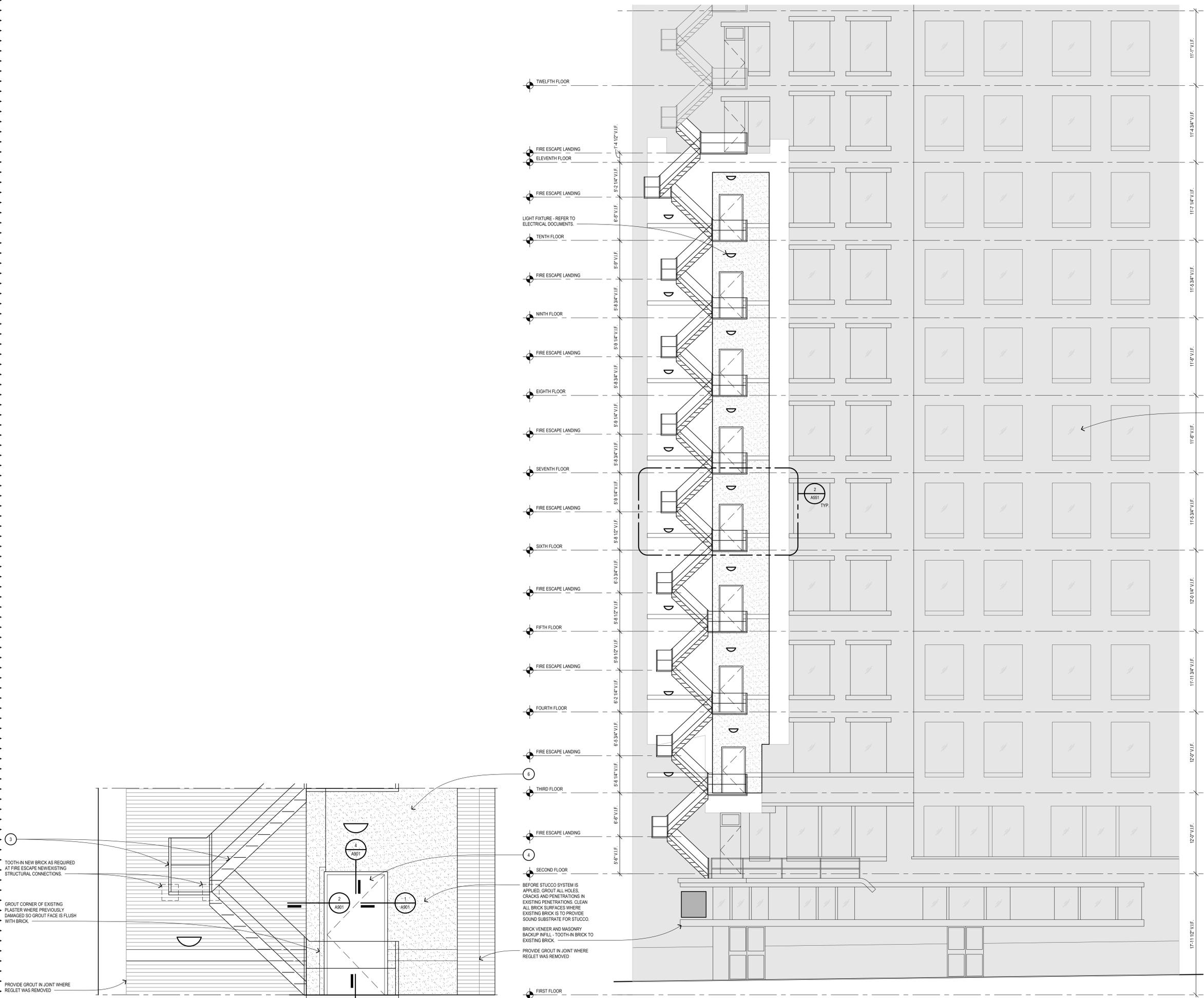
SECOND FLOOR PLAN
 1/4" = 1'-0"

- KEYNOTES:**
- EXISTING CONSTRUCTION TO REMAIN.
 - WALL INFILL BY OTHERS.
 - NEW FIRE ESCAPE - PAINT WITH HIGH PERFORMANCE COATING (COLOR TO BE SELECTED BY OWNER) - REFER TO NOTES ON SHEET A01.
 - NEW DOOR, FRAME AND HARDWARE. REFER TO DOOR SCHEDULE.
 - EXISTING FIRE ESCAPE TO REMAIN - PAINT WITH HIGH PERFORMANCE COATING (COLOR TO BE SELECTED BY OWNER).
 - PORTLAND CEMENT STUCCO SYSTEM DIRECT APPLIED TO MASONRY WITH CONTINUOUS AIR AND MOISTURE BARRIER AND HIGH PERFORMANCE FINISH (COLOR TO BE SELECTED BY OWNER) - BASIS OF DESIGN: STO CORP. POWERWALL EXTRA SEAL CONSISTING OF EXTRA AIR AND MOISTURE BARRIER OVER PREPARED MASONRY SUBSTRATE WITH EXTRA SEAL, SCRATCH COAT, ASTM C926 STUCCO BROWN COAT, PRIMER, AND STOUT FINE TEXTURED FINISH.

NOTE: REMOVE AND REPLACE ALL DAMAGED BRICK DUE TO EXISTING BRIDGE CONNECTION.

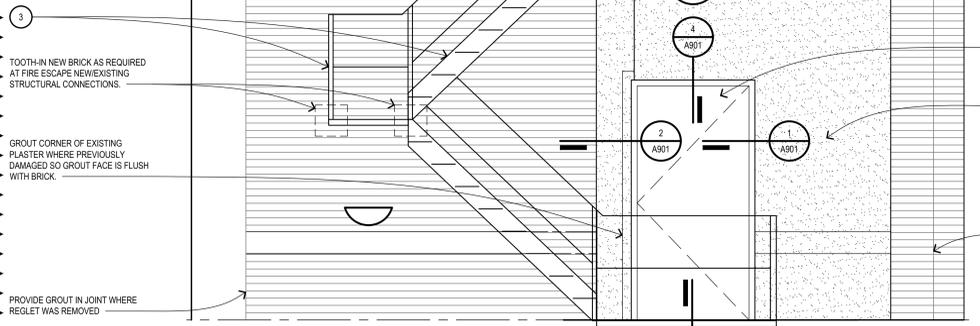
**Grand Park Centre
 Decoupling - Fire
 Escape Modifications**

28 West Adams
 Detroit, Michigan 48226



1 TYP. - SHOWN SHADED

2
 A551
 TYP.



3 TOOTH-IN NEW BRICK AS REQUIRED AT FIRE ESCAPE NEW/EXISTING STRUCTURAL CONNECTIONS.

4 GROUT CORNER OF EXISTING PLASTER WHERE PREVIOUSLY DAMAGED SO GROUT FACE IS FLUSH WITH BRICK.

5 PROVIDE GROUT IN JOINT WHERE REGLET WAS REMOVED.

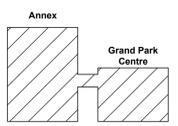
6 BEFORE STUCCO SYSTEM IS APPLIED, GROUT ALL HOLES, CRACKS AND PENETRATIONS IN EXISTING PENETRATIONS. CLEAN ALL BRICK SURFACES WHERE EXISTING BRICK IS TO PROVIDE SOUND SUBSTRATE FOR STUCCO.

7 BRICK VENEER AND MASONRY BACKUP INFILL - TOOTH-IN BRICK TO EXISTING BRICK.

8 PROVIDE GROUT IN JOINT WHERE REGLET WAS REMOVED.

TYPICAL ELEVATION
 AT NEW FIRE ESCAPE
 1/2" = 1'-0"

1 NORTH BUILDING ELEVATION
 A200 3/16" = 1'-0"



KEY MAP

Issued for

10.09.2018 Issued For Bid & Permit

Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	
Approved	Do not scale
EDS	Use figured dimensions only
Bidpak Number	

Job Number
2018073
 Title
**Interior Elevations &
 Plan Details**

Scale: As Noted
 Sheet
A551



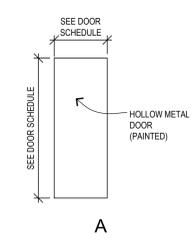
DOOR SCHEDULE												
FLR	DOOR #	DOOR SIZE	DOOR			FRAME			DETAILS			REMARKS
			TYPE	MAT.	FINISH	TYPE	MAT.	FINISH	HEAD	JAMB	THRES.	
FLOORS THROUGH TO	300	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	400	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	500	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	600	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	700	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	800	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	900	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3
	1000	3'-4" X 7'-0"	A	H.M.	P2/P3	1	H.M.	P2/P3	4/A901	1-2/A901	3/A901	3/4 HR. 3 1.3

HWS 3(FIRE ESCAPE DOOR)					
3	EA	HINGES	58B1-NRP	613	IVE
1	EA	FIRE EXIT DEVICE	98L-F	710	VON
1	EA	CYLINDER	FSIC	710	SCH
1	EA	CLOSER	4040XP	695	LCN
1	SET	SMOKE/WEATHER SEALS	5050B	BRN	NGP
1	EA	THRESHOLD	425EDKB	DK8	NGP
1	EA	OH STOP	90H	US10	GLY

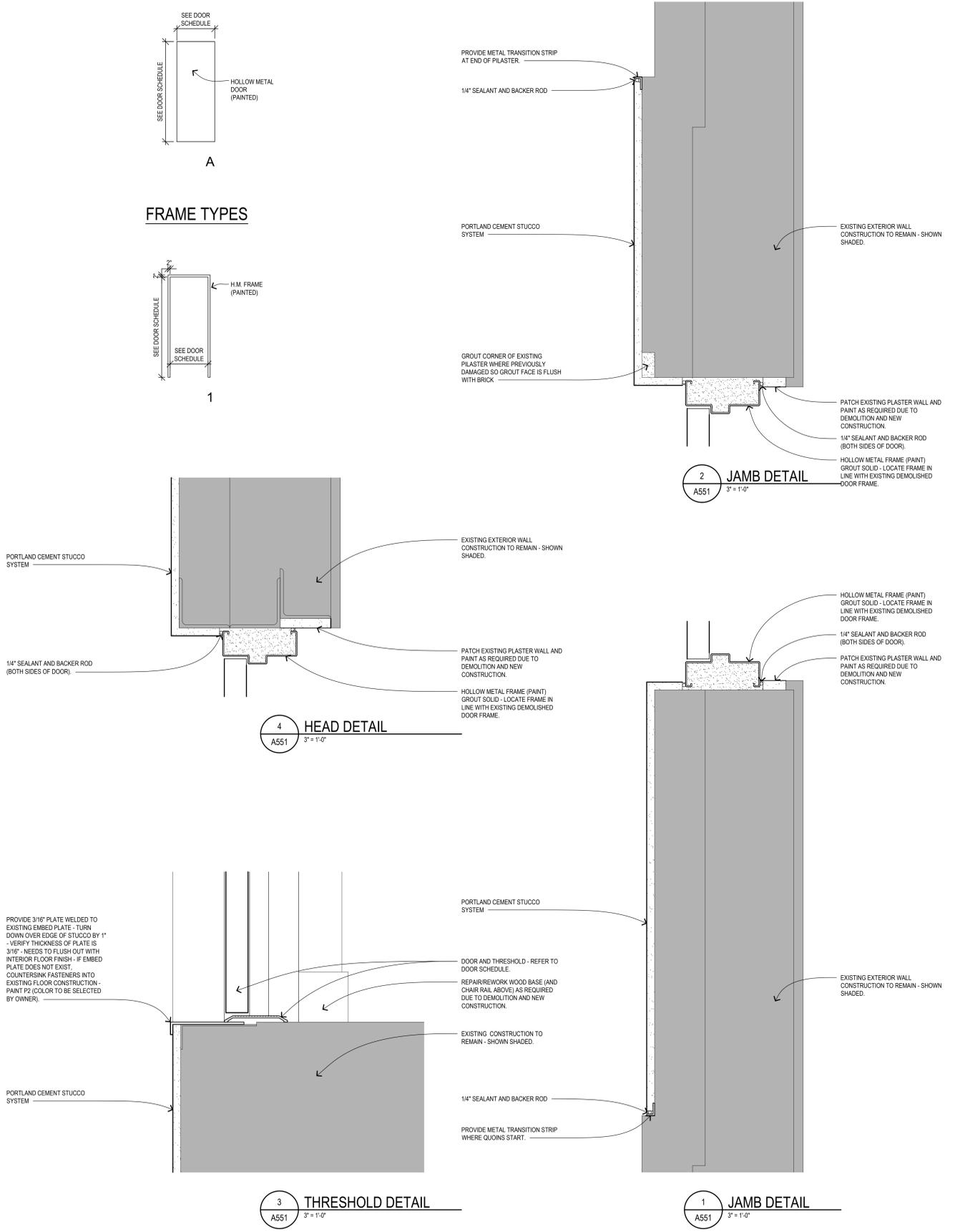
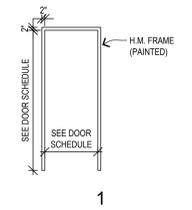
GENERAL NOTES

1. PANIC HARDWARE.
2. PAINT COLOR P2 AND P3 TO BE SELECTED BY OWNER. P2 TO BE EXTERIOR PAINT COLOR. P3 TO BE THE INTERIOR PAINT COLOR.
3. FIELD VERIFY EXISTING DOOR OPENING PRIOR TO ORDERING DOORS.

DOOR TYPES



FRAME TYPES



Issued for

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Drawn Preliminary
MD Construction
 Checked Record
EDS
 Approved Do not scale
EDS Use figured dimensions only
 Bidpak Number

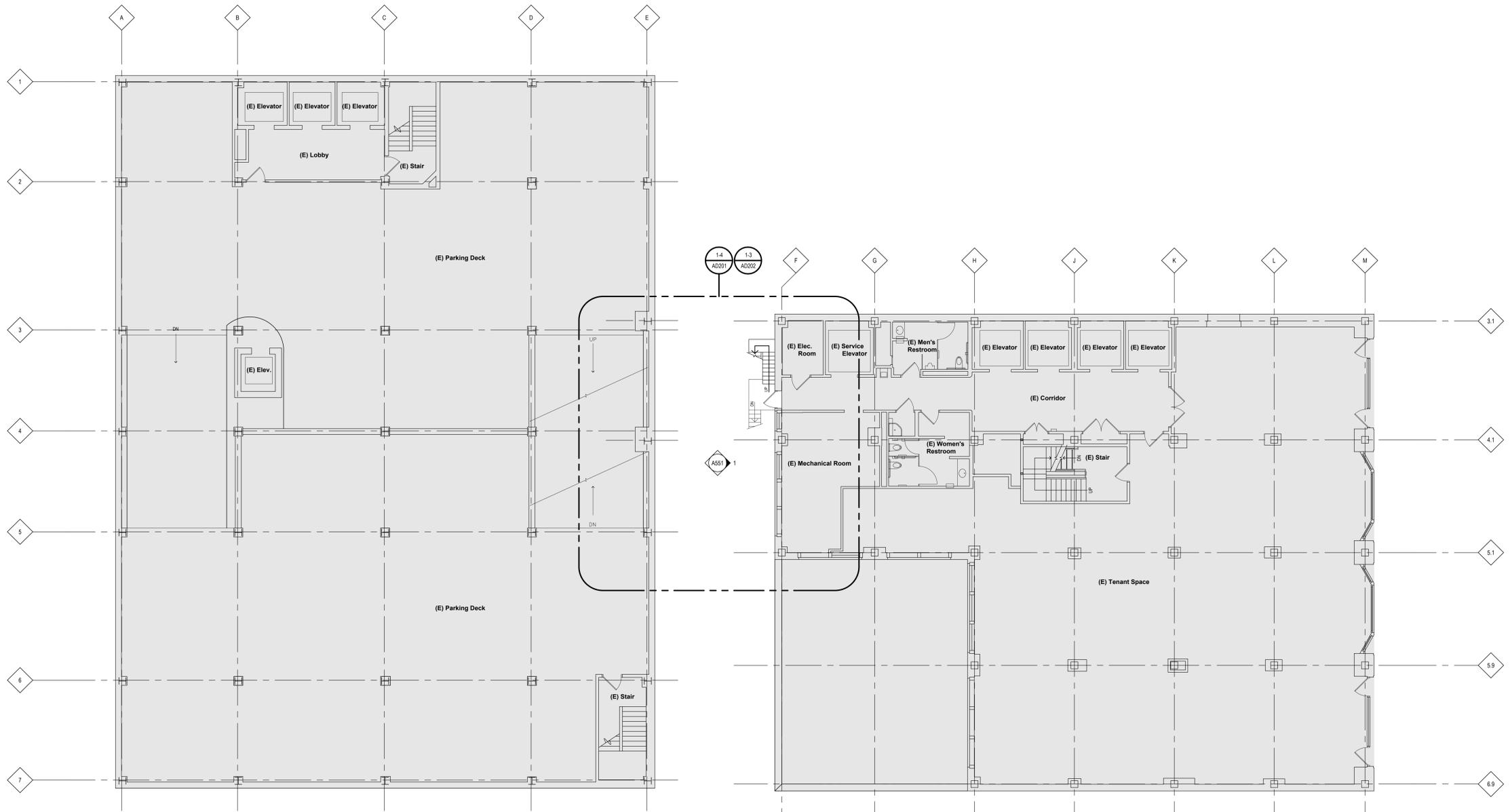
Job Number
2018073
 Title
Door Schedule & Details

Scale: **N.T.S.**
 Sheet
A901

FLOOR PLAN DEMOLITION LEGEND:	
	SHADED AREA INDICATES SCOPE OF WORK NOT IN CONTRACT (N.I.C.)
	EXISTING CONSTRUCTION TO BE REMOVED

**Grand Park Centre
Decoupling - Fire
Escape Modifications**

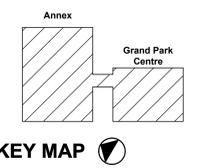
28 West Adams
Detroit, Michigan 48226



**Annex Building
(25 Elizabeth St.)**

**Grand Park Centre
(28 W. Adams)**

NORTH
1
AD200
18" = 1'-0"
SECOND FLOOR DEMOLITION PLAN



10.09.2018 Issued For Bid & Permit

Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	<input type="checkbox"/> Approved
Do not scale Use figured dimensions only	

Job Number
2018073
Title
**Overall Basement
Floor Demolition Plan**

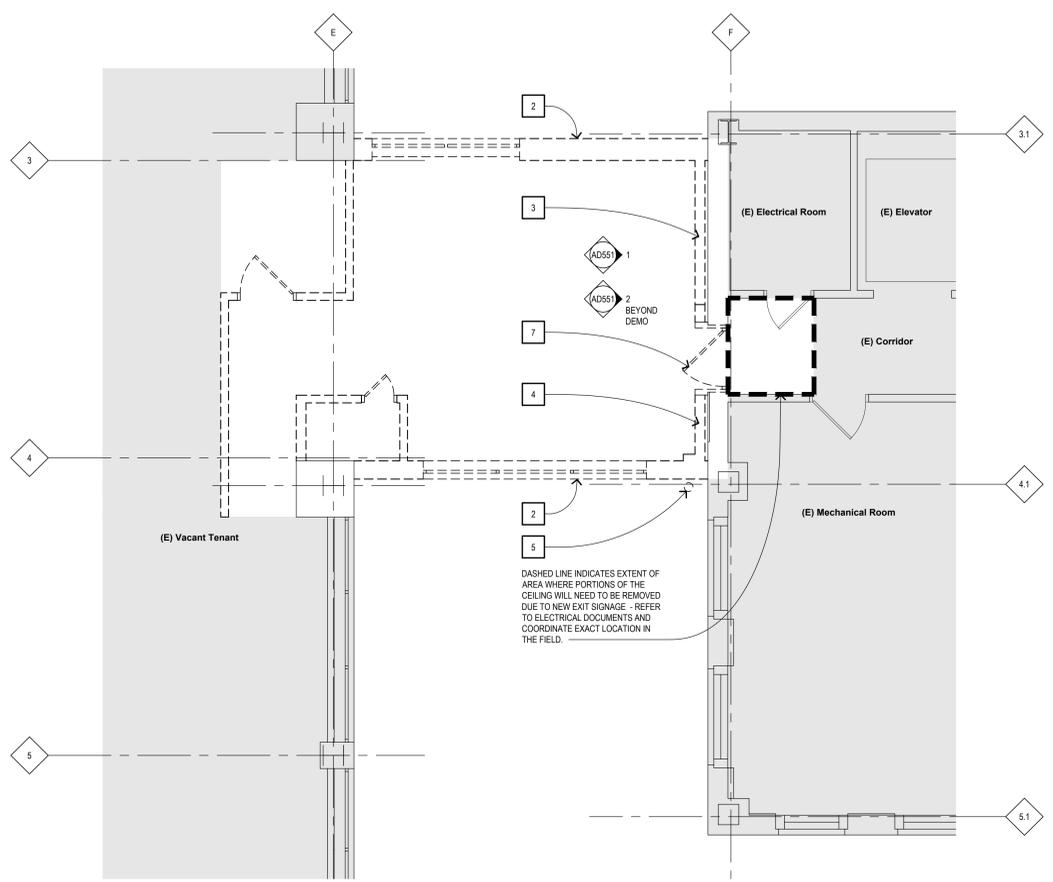
Scale: 1/8" = 1'-0"
Sheet
AD200

**Grand Park Centre
 Decoupling - Fire
 Escape Modifications**
 28 West Adams
 Detroit, Michigan 48226

- DEMOLITION KEYNOTES:**
- 1 EXISTING CONSTRUCTION TO REMAIN.
 - 2 REMOVAL OF BRIDGE BY OTHERS UNDER SEPARATE PERMIT.
 - 3 REMOVE EXISTING CLAY MASONRY WALL COMPLETE. EXISTING BRICK WALL BEHIND TO REMAIN.
 - 4 REMOVE EXISTING PLASTER WALL AND SUPPORTS COMPLETE. EXISTING BRICK WALL BEHIND TO REMAIN.
 - 5 REMOVE EXISTING EXTERIOR ABANDONED STANDPIPE CONSTRUCTION AND BRACKETS COMPLETE.
 - 6 REMOVE EXISTING FIRE ESCAPE CONSTRUCTION COMPLETE. STEEL SUPPORTS COMING OUT OF EXISTING WALL SURFACE TO REMAIN.
 - 7 REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
 - 8 SAND BLAST EXISTING FIRE ESCAPE DOWN TO STEEL. PREPARE SURFACE FOR PAINT - REFER TO NOTES ON A001.
 - 9 REMOVE EXISTING PERIMETER STEEL FRAME.

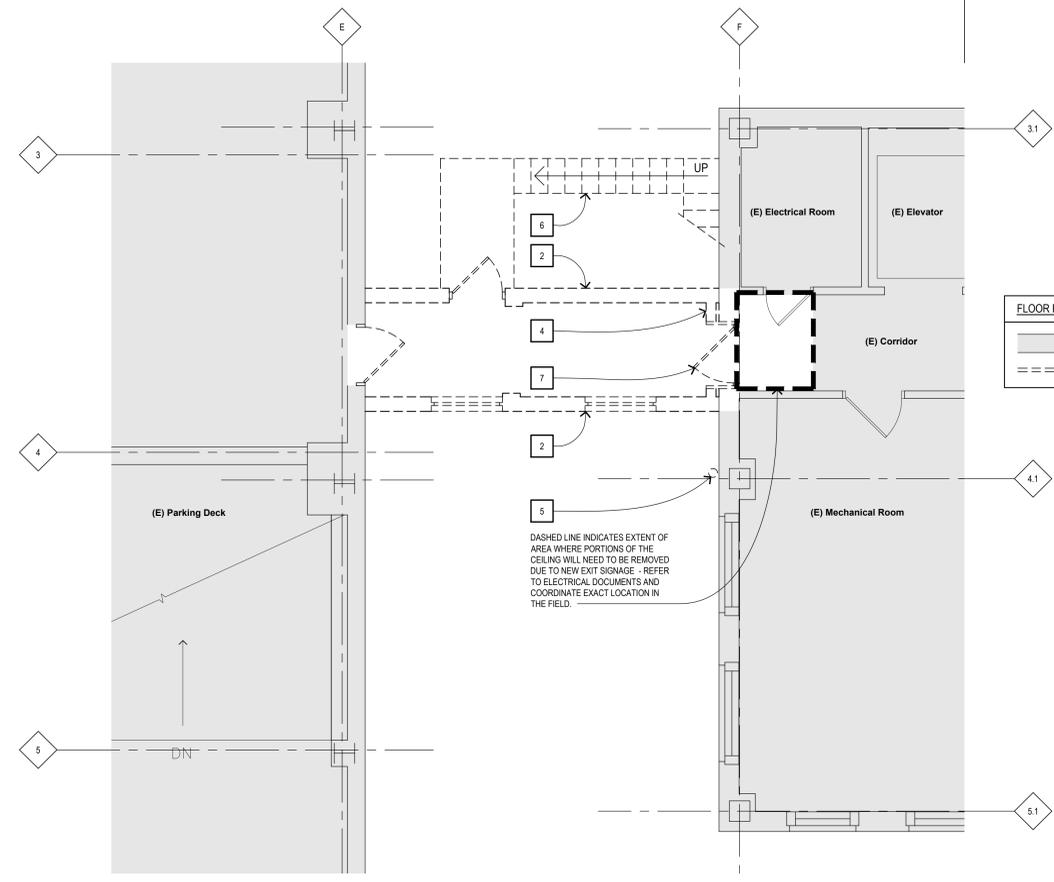
FLOOR PLAN DEMOLITION LEGEND:

	SHADED AREA INDICATES SCOPE OF WORK NOT IN CONTRACT (N.I.C.)
	EXISTING CONSTRUCTION TO BE REMOVED



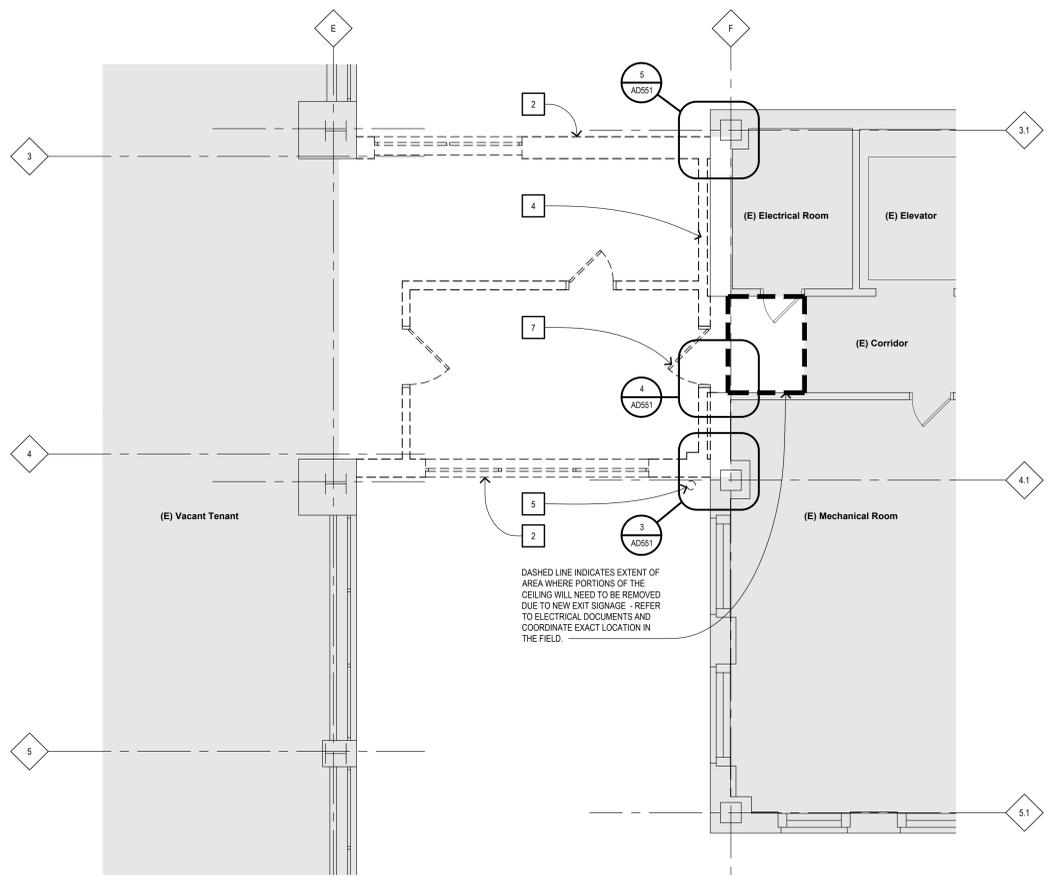
**Annex Building
 (25 Elizabeth St.)** **Grand Park Centre
 (28 W. Adams)**

SIXTH - NINTH FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



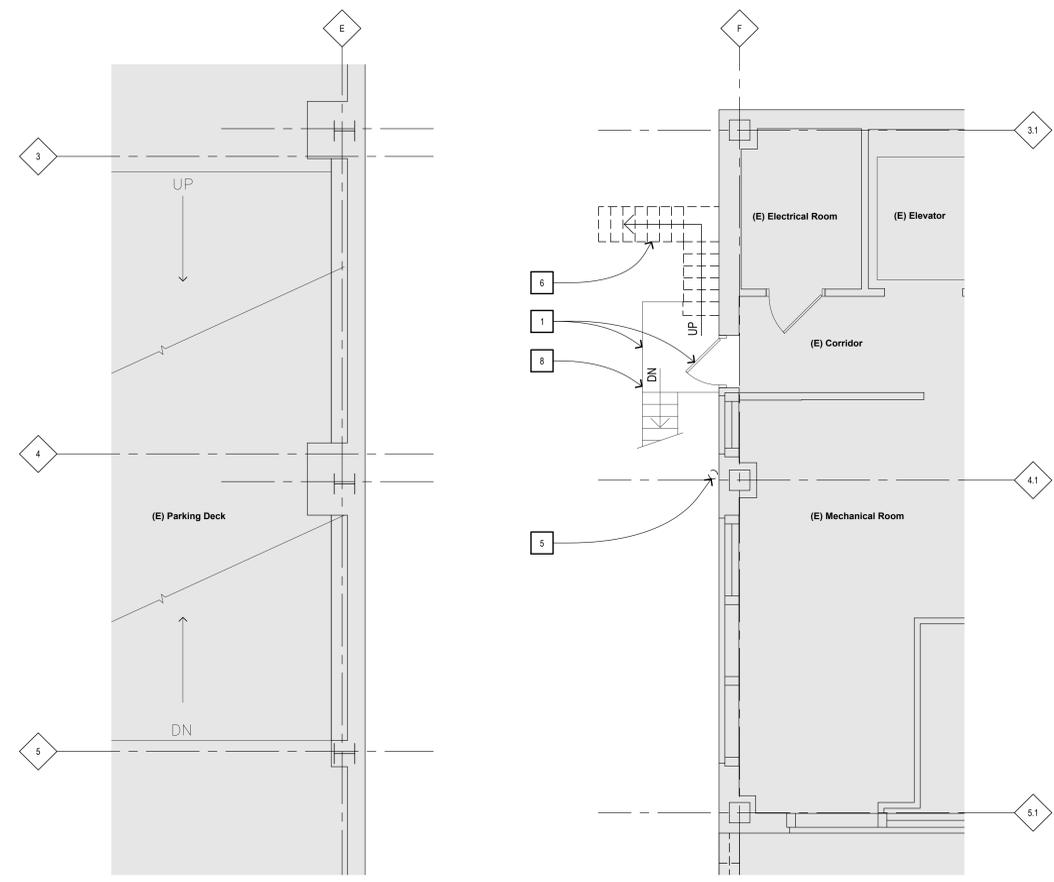
**Annex Building
 (25 Elizabeth St.)** **Grand Park Centre
 (28 W. Adams)**

THIRD FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



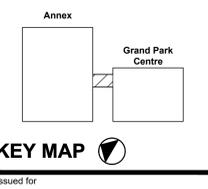
**Annex Building
 (25 Elizabeth St.)** **Grand Park Centre
 (28 W. Adams)**

FOURTH - FIFTH FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



**Annex Building
 (25 Elizabeth St.)** **Grand Park Centre
 (28 W. Adams)**

SECOND FLOOR DEMOLITION PLAN
 1/4" = 1'-0"



10.09.2018 Issued For Bid & Permit

Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	
Approved	Do not scale
EDS	Use figured dimensions only
Bidpak Number	

Job Number
2018073

Title
**Enlarged Second -
 Ninth Floor Demolition
 Plans**

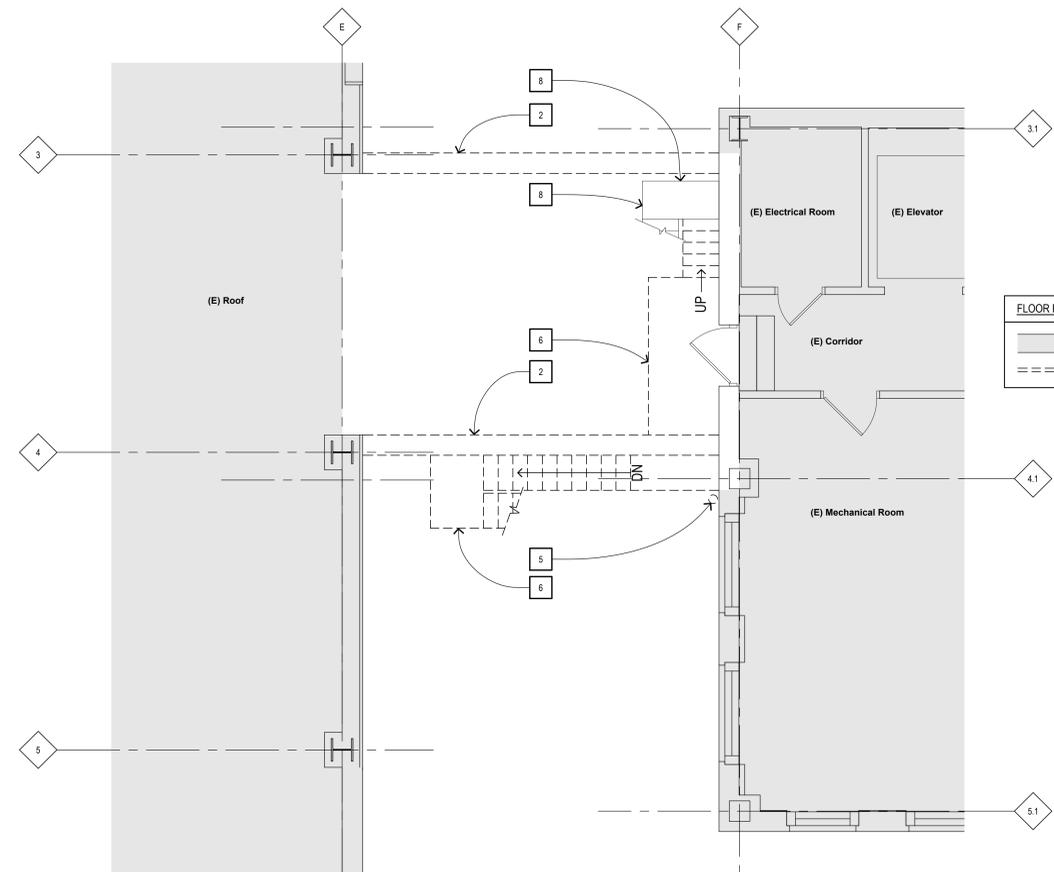
Scale: 1/4" = 1'-0"
 Sheet
AD201

**Grand Park Centre
 Decoupling - Fire
 Escape Modifications**
 28 West Adams
 Detroit, Michigan 48226

- DEMOLITION KEYNOTES:**
- 1 EXISTING CONSTRUCTION TO REMAIN.
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 - 3 REMOVE EXISTING CLAY MASONRY WALL COMPLETE. EXISTING BRICK WALL BEHIND TO REMAIN.
 - 4 REMOVE EXISTING PLASTER WALL AND SUPPORTS COMPLETE. EXISTING BRICK WALL BEHIND TO REMAIN.
 - 5 REMOVE EXISTING EXTERIOR ABANDONED STANDPIPE CONSTRUCTION AND BRACKETS COMPLETE.
 - 6 REMOVE EXISTING FIRE ESCAPE CONSTRUCTION COMPLETE. STEEL SUPPORTS COMING OUT OF EXISTING WALL SURFACE TO REMAIN.
 - 7 REMOVE EXISTING DOOR, FRAME AND HARDWARE COMPLETE.
 - 8 SAND BLAST EXISTING FIRE ESCAPE DOWN TO STEEL. PREPARE SURFACE FOR PAINT - REFER TO NOTES ON A001.
 - 9 REMOVE EXISTING PERIMETER STEEL FRAME.

FLOOR PLAN DEMOLITION LEGEND:

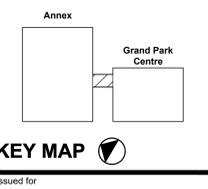
	SHADED AREA INDICATES SCOPE OF WORK NOT IN CONTRACT (N.I.C.)
	EXISTING CONSTRUCTION TO BE REMOVED



**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

ELEVENTH FLOOR DEMOLITION PLAN
 NORTH
 2
 AD200 1/4" = 1'-0"

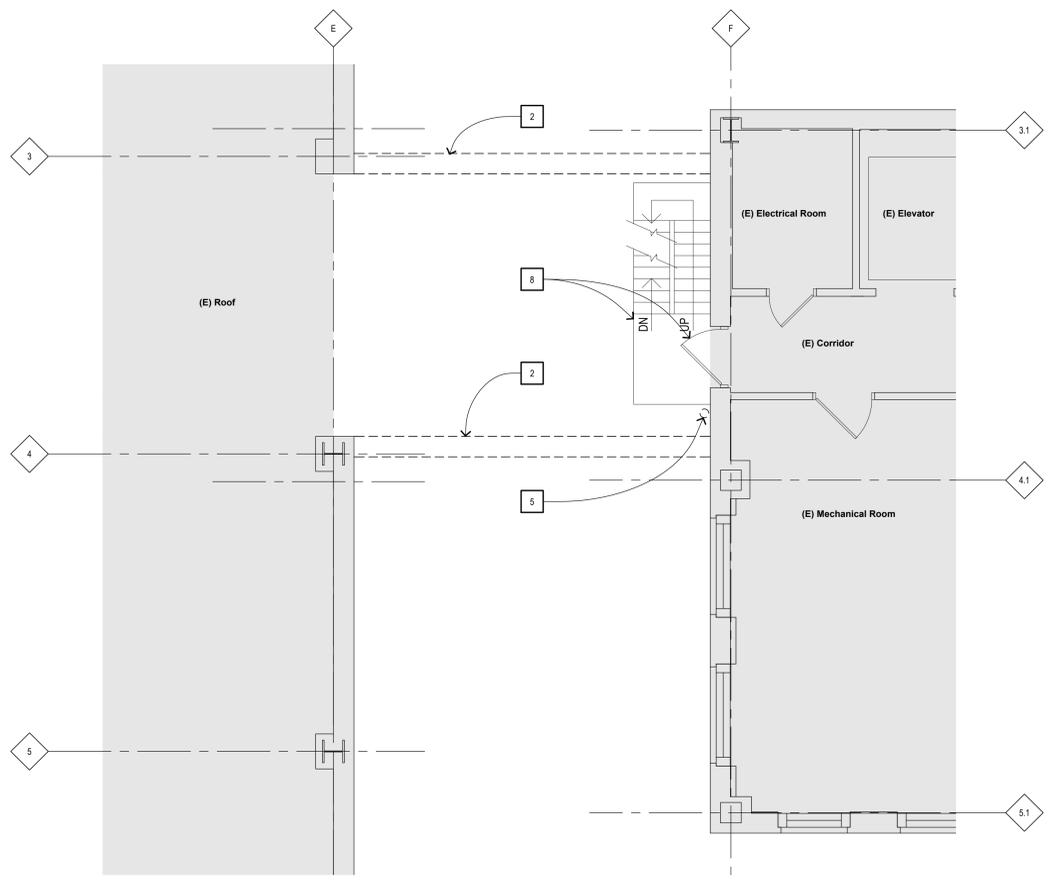


10.09.2018 Issued For Bid & Permit

Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	
Approved	Do not scale
EDS	Use figured dimensions only
Bidpak Number	

Job Number
2018073
 Title
**Enlarged Tenth,
 Eleventh & Twelfth
 Floor Demolition Plans**

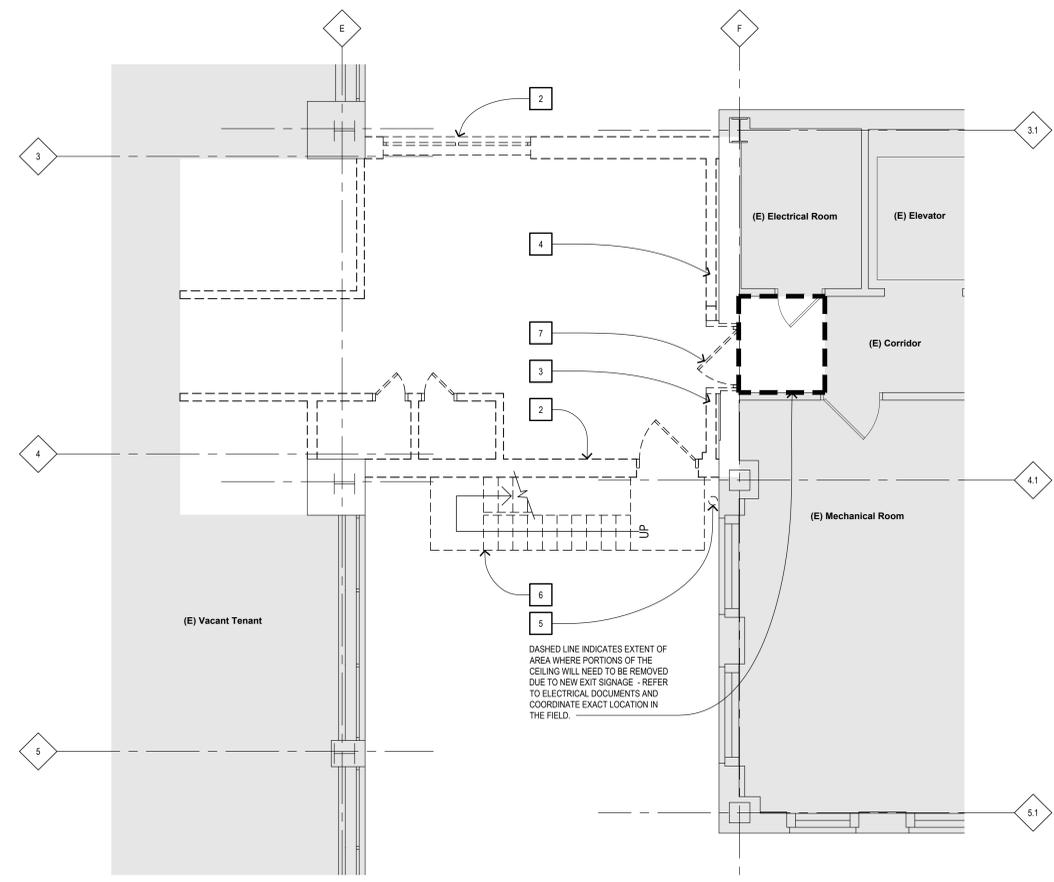
Scale: 1/4" = 1'-0"
 Sheet
AD202



**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

TWELFTH FLOOR DEMOLITION PLAN
 NORTH
 3
 AD200 1/4" = 1'-0"

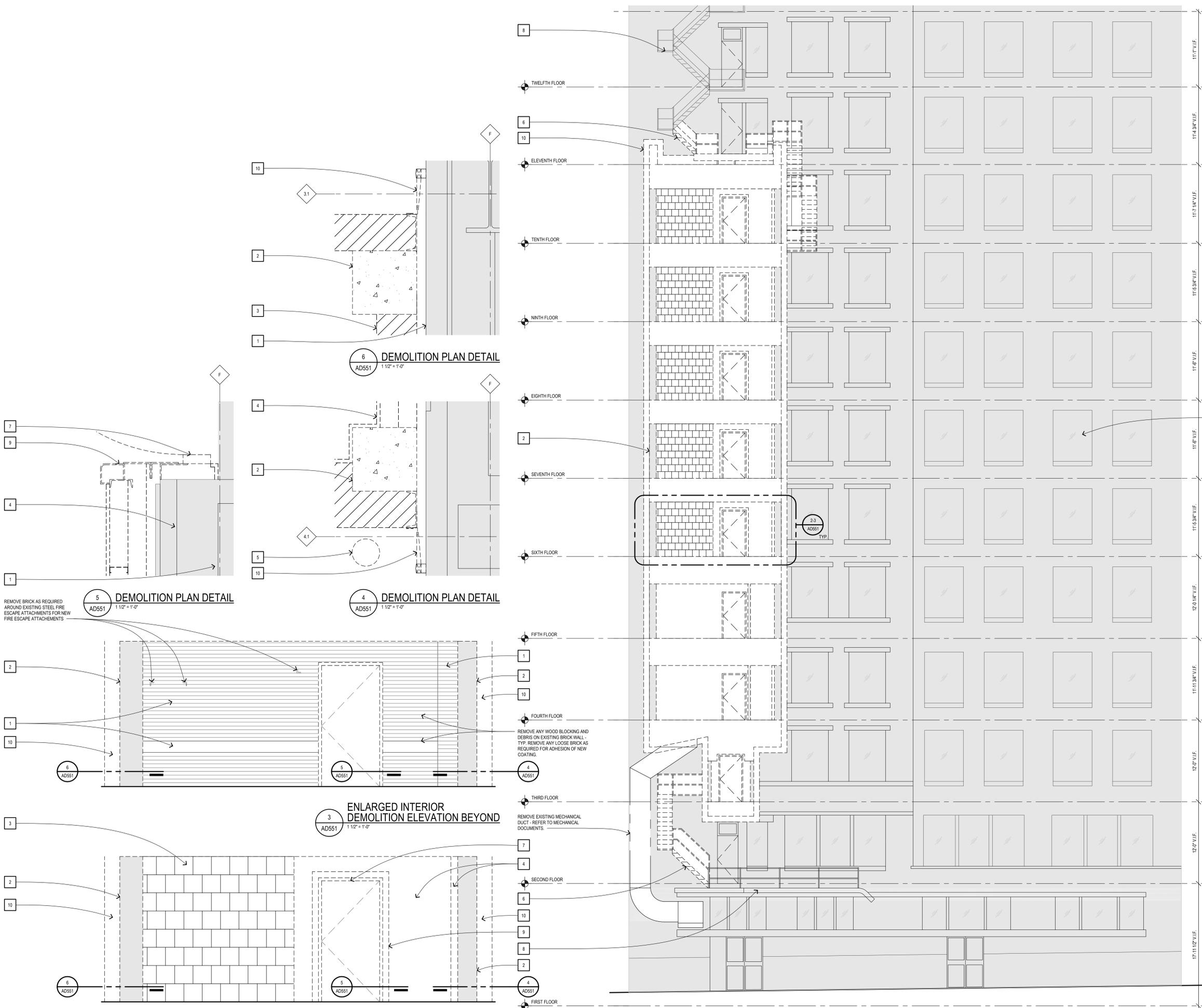


**Annex Building
 (25 Elizabeth St.)**

**Grand Park Centre
 (28 W. Adams)**

TENTH FLOOR DEMOLITION PLAN
 NORTH
 1
 AD200 1/4" = 1'-0"

- DEMOLITION KEYNOTES:**
- 1 EXISTING CONSTRUCTION TO REMAIN.
 - 2 REMOVAL OF BRIDGE BY OTHERS UNDER SEPARATE PERMIT.
 - 3 REMOVE EXISTING CLAY MASONRY WALL COMPLETE. EXISTING BRICK WALL BEHIND TO REMAIN.
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 - 7 REMOVE EXISTING DOOR FRAME AND HARDWARE COMPLETE.
 - 8 SAND BLAST EXISTING FIRE ESCAPE DOWN TO STEEL. PREPARE SURFACE FOR PAINT - REFER TO NOTES ON A001.
 - 9 REMOVE EXISTING PERIMETER STEEL FRAME.
 - 10 REMOVE EXISTING METAL EXPANSION COVER AND ALL ASSOCIATED SEALANT AT REGLET JOINT.



Issued for

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Drawn	<input type="checkbox"/> Preliminary
MD	<input checked="" type="checkbox"/> Construction
Checked	<input type="checkbox"/> Record
EDS	<input type="checkbox"/> Approved
EDS	<input type="checkbox"/> Approved
Bidpak Number	

Do not scale
Use figured dimensions only

Job Number
2018073
 Title
**Interior Demolition
 Elevations & Plan
 Details**

Scale: As Noted
 Sheet
AD551

1 NORTH BUILDING DEMOLITION ELEVATION
 3/16" = 1'-0"

2 ENLARGED INTERIOR DEMOLITION ELEVATION
 1/12" = 1'-0"

3 ENLARGED INTERIOR DEMOLITION ELEVATION BEYOND
 1/12" = 1'-0"

4 DEMOLITION PLAN DETAIL
 AD551 1/12" = 1'-0"

6 DEMOLITION PLAN DETAIL
 AD551 1/12" = 1'-0"

5 DEMOLITION PLAN DETAIL
 AD551 1/12" = 1'-0"

REMOVE BRICK AS REQUIRED AROUND EXISTING STEEL FIRE ESCAPE ATTACHMENTS FOR NEW FIRE ESCAPE ATTACHMENTS

REMOVE ANY WOOD BLOCKING AND DEBRIS ON EXISTING BRICK WALL - TYP. REMOVE ANY LOOSE BRICK AS REQUIRED FOR ADHESION OF NEW COATING

REMOVE EXISTING MECHANICAL DUCTS - REFER TO MECHANICAL DOCUMENTS