

**Environmental Assessment
Determinations and Compliance Findings
for HUD-assisted Projects
24 CFR Part 58**

Project Information

Project Name: Buersmeyer-Manor

HEROS Number: 900000010402129

Responsible Entity (RE): DETROIT, PLANNING AND DEVELOPMENT DEPARTMENT
DETROIT MI, 48226

RE Preparer: Kim Siegel

State / Local Identifier: Michigan / Detroit

Certifying Officer: Julie Schneider

Grant Recipient (if different than Responsible Entity):

Point of Contact:

Consultant (if applicable): ASTI Environmental

Point of Contact: Christopher Yelonek

Project Location: 8500 Wyoming St, Detroit, MI 48204

Additional Location Information:

8500-8600 Wyoming Avenue, Detroit, Michigan 48204

Direct Comments to: Penny Dwoinen, Environmental Review Officer, City of Detroit
dwoinenp@detroitmi.gov

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project include acquisition and seeks to rehabilitate an apartment complex at 8500, 8508, 8520, 8534, 8550, 8564, 8580, and 8600 Wyoming Avenue, Detroit, Wayne County, Michigan 48204 (Subject Property). The Subject Property currently consists of six apartment buildings and one community building, which contain affordable units. The single-story buildings at 8500 and 8520 Wyoming Avenue are 4,035 square feet each. Buildings 8534, 8580, and 8600 Wyoming Avenue are two story buildings consisting of 5,452 square feet each. The buildings at 8550 and 8560 Wyoming Avenue are two story buildings with 5,904 square feet each. The rent concessions for the affordable units allow residents to only pay 30 percent of their income for rent. The exterior portion of the proposed rehabilitation is to consist of the milling and capping of the parking lot, replacement of the decorative fence, landscaping, replacement of parking bollards, replacement of the dumpster enclosure, alley curb replacement, masonry repair, soffit replacement as needed, building cleaning, repair of damaged trim, seal coat all exterior concrete floors, replacement of fabric canopies, roof replacements, building gutter replacement, install new windows, replacement of exterior exhaust vents, door replacements, install new light fixtures, replacement of air conditioning units, and install new wayfinding signage. The Subject Property will retain its on-site parking of 47 parking spaces. The 7 apartment buildings in total contain 35 apartments. Of the 35 apartments, there are 4 studio, 10 one-bedroom, 9 two-bedroom, and 12 three-bedroom apartments. The interior portions of the proposed project are to occur in all apartment buildings. The rehabilitation work to occur in the interior of the apartment buildings constituents installation of new window blinds, install vinyl plank floors with wood trim, replacement of all stairwell handrails, install energy star kitchen appliances, install new cabinetry along with plastic laminate countertops, replacement of all bathroom accessories, install a new intercom system, replacement of all laundry equipment, complete all new corridor finishes including new flooring, install new bathroom plumbing, install new kitchen sinks with garbage disposals, install new kitchen exhaust hoods, replace all lighting with LED fixtures, replacement of all furnaces, replacement of water heaters, repair all plumbing fixtures as needed, repair bath tubs as needed, replacement of bathroom exhaust vents, repair bowing basement stair wall, and repair cracks of the basement stair wall. As part of the rehabilitation the community building on the Subject Property is to undergo the installation of new flooring, replacement of all furniture, repair existing tile as needed, repaint the community building interiors, install new energy star appliances in the common kitchen, install new cabinetry with laminate countertops, replace the mailboxes, and replace all acoustic ceiling tiles. This review is for \$1,500,000.00 in HOME funding and this review is valid for five years.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

The Subject Property was last renovated in 2004 but has undergone general wear of the apartment units. The Subject Property is originally a 9 percent LIHTC development. However, the Subject Property's 9 percent LIHTC contract is expiring. The median income within a one-mile radius of the Subject Property is \$17,631.00

annually, which has led to a housing burden. The proposed project seeks to retain the affordable apartment units for current residents. Additionally, the proposed project seeks to improve the quality of life for its residents through the rehabilitation, allowing the apartments to extend the lifespan of the apartment units.

Existing Conditions and Trends [24 CFR 58.40(a)]:

Through the Great Recession and predatory lending practices, the City of Detroit went from a majority owner household city to a majority renter household city. The increase of renter households and homeowner evictions has significantly increased the demand for affordable rental properties. The rise of speculative real estate investment and the decline in housing stock within the City of Detroit has further increased demand for housing. Additionally, the City of Detroit has not experienced a significant growth in the median income of its residents. Overall, the Detroit housing market has been unstable for residents who are often included in Area Median Incomes that include nearby higher median income suburban cities, creating unfavorable rents for Detroit residents. Thus, housing burdens and dwindling housing stock have led to an affordable housing crisis within the City of Detroit. The Subject Property is located in the Barton-McFarland neighborhood, which is largely characterized as an owner-occupied properties neighborhood. The urban layout of the Barton-McFarland neighborhood is suburban, with its large swathes of single-family dwellings, leaving few options for affordable housing in the neighborhood. Most of the nearby public facilities in the Barton-McFarland neighborhood are centered around the local public schools, placing most reinvestment on residents.

Maps, photographs, and other documentation of project location and description:

- [B8-COTS19056 Renovation of 8600 WYOMING.pdf](#)
- [B7-COTS19056 Renovation of 8580 WYOMING.pdf](#)
- [B6-COTS19056 Renovation of 8560 WYOMING.pdf](#)
- [B5-COTS19056 Renovation of 8550 WYOMING.pdf](#)
- [B4-COTS19056 Renovation of 8534 WYOMING.pdf](#)
- [B3-COTS19056 Renovation of 8520 WYOMING.pdf](#)
- [B2-COTS19056 Renovation of 8500 WYOMING.pdf](#)
- [B1-SOW 230417 Buersmeyer.pdf](#)
- [B9-COTS Buersmeyer Ex07 Market Study.pdf](#)
- [A2-12757-SFM.pdf](#)
- [A1-12757 SLM.pdf](#)

Determination:

✓	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
	Finding of Significant Impact

Approval Documents:

[Sig Page - Buersmeyer Manor.pdf](#)

7015.15 certified by Certifying Officer on:

7015.16 certified by Authorizing Officer on:

Funding Information

Grant / Project Identification Number	HUD Program	Program Name	Funding Amount
M23MC260202	Community Planning and Development (CPD)	HOME Program	\$1,500,000.00

Estimated Total HUD Funded, Assisted or Insured Amount: \$1,500,000.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$11,234,322.00

Compliance with 24 CFR §50.4, §58.5 and §58.6 Laws and Authorities

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §50.4, §58.5, and §58.6	Are formal compliance steps or mitigation required?	Compliance determination (See Appendix A for source determinations)
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.6		
Airport Hazards Clear Zones and Accident Potential Zones; 24 CFR Part 51 Subpart D	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	There are three airports within a 15-mile radius of the Subject Property. Coleman A. Young International Airport is approximately 7.88 miles away, Windsor International Airport is approximately 11.21 miles away, and the Detroit Metropolitan Wayne County Airport is approximately 12.72 miles from the Subject Property. The Subject Property is outside of all airport clear, runway protection, and accident

		potential zones. The proposed project is in compliance with this regulation. See Appendix P for the airport location map.
<p>Coastal Barrier Resources Act Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>The Subject Property is located in Detroit, Wayne County, Michigan. There is only one coastal barrier resource in Wayne County, known as MI-04, which is located along the County's southern coastline. The City of Detroit is located on the northern portion of Wayne County and the Subject Property is an inland property of Detroit. The proposed project is in compliance with this statute. See Appendix Q for the John H. Chafee Coastal Barrier Resources System map of Michigan.</p>
<p>Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5154a]</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>The Subject Property is located in Zone X, the area of minimal flood hazard, as seen in FEMA map 26163C0260E, effective February 2, 2012. The proposed project is not anticipated to be adverse impacted by the potential of flooding and does not require flood insurance. The proposed project is in compliance with this statute. See Appendix D for the FIRMette Map of the Subject Property.</p>
<p>STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR §50.4 & § 58.5</p>		
<p>Air Quality Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<p>The Subject Property is located in Detroit, Wayne County, Michigan. Wayne County has been designated as an ozone attainment/maintenance zone and the southeastern portion of the county has been designated as a sulfur dioxide nonattainment zone. The Subject Property is located outside of the sulfur dioxide nonattainment zone of Wayne County which is anticipated to begin in June 2024 and last for 12 months. Due to Wayne County's ozone maintenance designation, the proposed project was submitted to Environment, Great Lakes, and Energy (EGLE): Air Quality Division for review. Through their review, EGLE has determined that</p>

		<p>the proposed project is not anticipated to exceed de minimis levels for air quality. The proposed project is not anticipated to have an adverse impact on air quality and is in compliance with this statute. See Appendix J for air quality documentation.</p>
<p>Coastal Zone Management Act Coastal Zone Management Act, sections 307(c) & (d)</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The Subject Property is located in Detroit, Wayne County, Michigan. The Subject Property is located in an inland portion of Wayne County and outside of the County's coastal management zone area. The proposed project is in compliance with this statute. See Appendix F for the northern Wayne County coastal management zone map.</p>
<p>Contamination and Toxic Substances 24 CFR 50.3(i) & 58.5(i)(2)]</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>The Subject Property is located in Wayne County, Michigan. Wayne County has been designated as a Zone 3 area for radon by the EPA. EGLE has found that 17 percent of homes have tested equal to or above the 4 pCi/L guideline. Due to the overall low radon levels in Wayne County, a radon test was not conducted for the Subject Property. See Appendix N. Limited Phase II ESA ASTI was retained to conduct a Limited Phase II ESA (Tab Attachment 2) of the Subject Property. The Limited Phase II ESA was prepared to delineate the REC identified in the Phase I ESA, dated May 19, 2023. Five soil borings were advanced to depths ranging 8 to 12 feet below ground surface (bgs) and three sub-slab soil vapor pins were installed in the Subject Property building at 8500 Wyoming Avenue. Two soil samples were collected from each soil boring, for a total of 10 samples collected. The soil samples were submitted for laboratory analysis for Volatile Organic Compounds (VOCs). Three soil gas samples and two duplicate samples were collected to be analyzed for VOCs. Perched water was encountered in three soil borings at the</p>

		<p>depths of 2 to 4.5 feet bgs. There was no groundwater in sufficient quantities to sample. Based on laboratory results, no exceedances of the EGLE Part 201 GRCC or residential VIAP SLs were reported for the soil and soil gas samples collected at the Subject Property. It is ASTI's opinion through the laboratory results, that the Subject Property is not a facility. ASTI recommends no additional sampling at this time. ASTI conducted a Lead-Based Paint (LBP) Inspection and Risk Assessment (Tab Attachment 3) of the Subject Property. ASTI personnel collected 320 lead dust wipe samples, including 19 field banks. Each sample was submitted to a NLLAP-certified Laboratory. Review of the lead dust wipe sample results revealed that eight of the samples exceeded the State of Michigan clearance levels along with HUD and EPA standards. Intact LBP was observed on the exterior of building #8534. The intact LBP is a potential hazard. ASTI was retained to conduct an asbestos-containing materials (ACM) inspection (Tab Attachment 4) of the Subject Property. Based on the inspection conducted by ASTI between November 20-21, 2023, none of the materials sampled were identified as ACM. The following assumed ACMs were identified during the site inspection: * Vibration Dampeners, throughout complex, not quantified * Bathtub undercoating, throughout complex, 35 * Roofing, throughout complex, 25,000 feet squared</p>
<p>Endangered Species Act Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The Indiana Bat, Northern Long-eared Bat, Rufa Red Knot Bird, Eastern Massasauga Snake, and Eastern Prairie Fringed Orchid are listed on the Threatened and Endangered Species list of Michigan, known to have critical habitats in Wayne County. The Subject</p>

		<p>Property is an occupied apartment complex in a highly urbanized area of the City of Detroit. There are no known habitats suitable for wildlife to thrive on or near the Subject Property. Additionally, no tree removal is part of the proposed project. The proposed project is in compliance with this statute. See Appendix H for the 2023 Threatened and Endangered Species list of Michigan.</p>
<p>Explosive and Flammable Hazards Above-Ground Tanks)[24 CFR Part 51 Subpart C</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Based on the EDR Radius Map Report of the Subject Property, dated, April 11, 2023, there are no above-ground explosive and flammable hazards within a one mile radius of the Subject Property. The proposed project is in compliance with this regulation. See Appendix O for the Acceptable Separation Distance map.</p>
<p>Farmlands Protection Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The Subject Property is located within a highly urbanized area of the City of Detroit. The soil present at the Subject Property is Kibbie-Urban land, which is classified as not prime farmland. No farmland is anticipated to be adversely impacted through the proposed project. See Appendix K for the USDA soil survey.</p>
<p>Floodplain Management Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The Subject Property is located in Zone X, the area of minimal flood hazard, as seen in FEMA map 26163C0260E, effective February 2, 2012. The proposed project is not anticipated to be adverse impacted by the potential of flooding. The proposed project is in compliance with this executive order. See Appendix D for the FIRMette Map of the Subject Property.</p>
<p>Historic Preservation National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>Due to the exterior components of the proposed project's scope of work, the project underwent a Section 106 review by the City of Detroit: Housing and Revitalization Department (HRD) under the programmatic agreement with the Michigan State Historic Preservation</p>

		<p>Office. Through their analysis, HRD has found that the proposed project to have no impact on historical properties for there are "no historic properties present" in the proposed project's area of potential effects. The proposed project is not anticipated to have an adverse impact on cultural resources and is in compliance with this statute. See Appendix C for the Section 106 application and HRD approval letter.</p>
<p>Noise Abatement and Control Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p>A noise assessment was performed on the Subject Property, which found the noise levels to be in the Normally Unacceptable range at 69 decibels (dB) at the northernmost building with the address of 8600 Wyoming Avenue. Due to the Normally Unacceptable noise levels, the proposed project underwent a Sound Transmission Classification Assessment Tool (STraCAT). Based on the building materials currently present at the Subject Property and the proposed windows to be installed, the STraCAT found the proposed project combined building materials to have a Sound Transmission Class (STC) rating of 35.9 and is required to meet a STC of 27 due to the noise levels found in the noise assessment. Since the northernmost building of the Subject Property was found to surpass the minimum required STC rating, the remainder of the buildings at the Subject Property will surpass the minimum STC rating needed to bring interior noise levels to at least 45 dB. The proposed project will need to incorporate the proposed windows into the Subject Property as a mitigation measure. See Appendix M.</p>
<p>Sole Source Aquifers Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p>The Subject Property is located in Detroit, Wayne County, Michigan. There are no sole source aquifers within the State of Michigan. The proposed project is in compliance with this statute. See</p>

		Appendix G for the Region 5 Sole Source Aquifers map.
Wetlands Protection Executive Order 11990, particularly sections 2 and 5	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	There are no wetlands present on or near the Subject Property. There are no anticipated adverse impacts to wetlands through the proposed project. The proposed project is in compliance with this executive order. See Appendix E for the National Wetlands Inventory map.
Wild and Scenic Rivers Act Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The Subject Property is located in Detroit, Wayne County, Michigan. Wayne County is within Michigan's Southeast region. There are no designated Wild and Scenic Rivers in Southeast Michigan. Based on the Nationwide Rivers Inventory database, there are no designated Inventory Rivers on or nearby the Subject Property. The proposed Project is in compliance with this statute. See Appendix I.
HUD HOUSING ENVIRONMENTAL STANDARDS		
ENVIRONMENTAL JUSTICE		
Environmental Justice Executive Order 12898	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	The pollution levels within a one mile radius of the Subject Property exceed the State of Michigan average of the selected variables by the EPA, except for superfund proximity and wastewater discharge, which are below the state average. The average life expectancy within a one mile radius is 72 years of age. The population surrounding the Subject Property consists of 72 percent of persons are low income, 68 percent are people of color, 22 percent hold less than a high school education, 6 percent are limited English speaking households, 51 percent are women, 16 percent are unemployed, 58 percent of homes are owner occupied, 23 percent are persons with disabilities, 22 percent have a low life expectancy, 7 percent are under 5 years of age, 14 percent are over 64 years of age, 28 percent have broadband internet, and 7 percent lack

		<p>health insurance. Out of the 6 percent limited English speaking households, the majority of non-English speakers speak Arabic, followed by Spanish. A food desert is not present in the area, but a housing burden does exist. The housing burden is present due to the per capita income of \$17,631.00 annually. No permanent displacement is anticipated to occur through the proposed project. During the daytime hours, residents are to be temporary relocated while construction activities are occurring, and residents are allowed to return during the evening hours. Each building with second floors has six second floor units. Residents on the second floors are to be temporarily relocated to vacant apartment units when work is to occur on stairways in the apartment buildings. See Appendix L for the EJ Screen report.</p>
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Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27]

Impact Codes: An impact code from the following list has been used to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement.

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
LAND DEVELOPMENT			
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	The Subject Property is zoned R2: Two Family Residential. The proposed project will not alter the zoning of the Subject Property or its use. One of the City of Detroit's planning goals is to increase the amount of affordable housing. Additionally, the City of Detroit seeks to increase urban density in an effort to create more walkable neighborhoods in the city. The	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>proposed project is to rehabilitate the multifamily housing stock and to provide more affordable housing. The proposed project will not alter the land use, scale, or urban design of the Subject Property. The proposed project is anticipated to help the City of Detroit reach its goal of providing affordable housing in a dense urban environment.</p>	
<p>Soil Suitability / Slope/ Erosion / Drainage and Storm Water Runoff</p>	<p>2</p>	<p>The Subject Property and the surrounding area are developed as a highly urbanized area. The soil present at the Subject Property is Kibbie-Urban land with 0 to 4 percent slopes. The soil has a Drainage Class of "somewhat poorly drained" and a medium classification for water runoff. Due to the previous development and the proposed basement waterproofing components of the proposed project, no adverse impacts are anticipated through erosion on the proposed project.</p>	
<p>Hazards and Nuisances including Site Safety and Site-Generated Noise</p>	<p>1</p>	<p>The proposed project is a multifamily residential rehabilitation project, which is not anticipated to create hazards, nuisances, or noise generators. There are no known hazards or nuisances on the Subject Property. The proposed project is planning to replace all exterior lighting on the buildings. Additionally, the proposed project is planning to replace all doors and hardware to help secure resident safety.</p>	
<p>SOCIOECONOMIC</p>			
<p>Employment and Income Patterns</p>	<p>1</p>	<p>The proposed project is anticipated to create a temporary increase in construction jobs. There is an anticipated increase of employment after the construction portion of the proposed project is completed. COTS is planning to create an additional supportive service position to provide more support services to residents. The proposed project is an affordable housing project, which by itself is not anticipated to alter income patterns. The proposed project</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		may help reduce the housing burden on some Detroit residents.	
Demographic Character Changes / Displacement	2	The proposed project is a rehabilitation project of an existing apartment complex and seeking to maintain the complex's affordable apartment units. The proposed project is not anticipated to significant alter the neighborhood demographics or community character. Residents at the Subject Property are to be temporary relocated during the day while their apartment is to undergo renovations and are to be allowed to return to their apartment, at night. No displacement is anticipated through the proposed project.	
Environmental Justice EA Factor	2	The pollution levels within a one mile radius of the Subject Property exceed the State of Michigan average of the selected variables by the EPA, except for superfund proximity and wastewater discharge, which are below the state average. The average life expectancy within a one mile radius is 72 years of age. The population surrounding the Subject Property consists of 72 percent of persons are low income, 68 percent are people of color, 22 percent hold less than a high school education, 6 percent are limited English speaking households, 51 percent are women, 16 percent are unemployed, 58 percent of homes are owner occupied, 23 percent are persons with disabilities, 22 percent have a low life expectancy, 7 percent are under 5 years of age, 14 percent are over 64 years of age, 28 percent have broadband internet, and 7 percent lack health insurance. Out of the 6 percent limited English speaking households, the majority of non-English speakers speak Arabic, followed by Spanish. A food desert is not present in the area, but a housing burden does exist. The housing burden is present due to the per capita income of \$17,631.00 annually. No permanent displacement is	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>anticipated to occur through the proposed project. During the daytime hours, residents are to be temporary relocated while construction activities are occurring, and residents are allowed to return during the evening hours. Each building with second floors has six second floor units. Residents on the second floors are to be temporarily relocated to vacant apartment units when work is to occur on stairways in the apartment buildings. See Appendix L for the EJ Screen report.</p>	
COMMUNITY FACILITIES AND SERVICES			
<p>Educational and Cultural Facilities (Access and Capacity)</p>	<p>2</p>	<p>Education services near the Subject Property are provided by the Detroit Public Schools Community District. Mackenzie Elementary-Middle School at 10147 West Chicago provides education services for grades Pre-K to the Eighth grades and is approximately 2,373 feet from the Subject Property. Cody High School at 18445 Cathedral Street provides educational services for grades Ninth through Twelve and is approximately 3.20 miles from the Subject Property. Students of the Detroit Public Community District who live at least 3/4 mile from their neighborhood school are offered free bus transit for school children kindergarten to eighth grade and offers free Detroit Department of Transportation (DDOT) bus passes for students in the ninth to twelfth grade. The nearest campus of Wayne County Community College to the Subject Property is the Curtis L. Ivery Central Educational Complex at 1001 West Fort Street, which is approximately 5.61 miles from the Subject Property. The proposed project is not anticipated to have an adverse impact on education facilities or services. See Appendix R. There are several cultural facilities nearby the Subject Property, allowing residents to experience cultural engagement. The Ford-Wyoming Drive-In</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>Theater at 10400 Ford Road, Dearborn, is approximately 1.63 miles from the Subject Property. The Edison Branch of the Detroit Public Library at 18400 Joy Road, is the nearest library branch to the Subject Property, which is approximately 3.19 miles distant. The Ford Community and Performing Arts Center at 15801 Michigan Avenue, Dearborn, is approximately 3.54 miles from the Subject Property. Greenfield Village is a living history museum of relocated historic buildings, located at 20900 Oakwood Boulevard, Dearborn is approximately 4.72 miles from the Subject Property. The Henry Ford Museum at 20900 Oakwood Boulevard, Dearborn is approximately 5.27 miles from the Subject Property. The proposed project is not anticipated to have an adverse impact on cultural facilities. See Appendix R.</p>	
<p>Commercial Facilities (Access and Proximity)</p>	<p>2</p>	<p>The nearest commercial corridor to the Subject Property is located on Joy Road, from Wisconsin Street to Oakman Boulevard, is approximately 137 feet from the Subject Property. The Joy Road commercial corridor features a pharmacy, Hometown Supermarket, retail, and an auto dealership. The next nearest commercial corridor to the Subject Property is located on Wyoming Avenue from Tireman Avenue to Castle Street, is approximately 1,519 feet from the Subject Property. The Wyoming Avenue commercial corridor features the Eastborn Fruit Market, restaurants, and retail. The proposed project is an affordable housing rehabilitation project, which may help relief the housing burden for some Detroit residents. The proposed project is not anticipated to have an adverse impact on commercial facilities.</p>	
<p>Health Care / Social Services (Access and Capacity)</p>	<p>2</p>	<p>The nearest hospital to the Subject Property is Detroit Medical Center: Sinai Grace Hospital at 6071 Outer Drive West, is</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>approximately 4.30 miles distant. The nearest doctors' office to the Subject Property is Detroit Community Health Connection: Dr. Feleta Wilson Health Center at 6550 West Warren Avenue, offering adult medicine, pediatric care, and dental services, which is approximately 1.38 miles from the Subject Property. Jefferson Pharmacy located within the Hometown Supermarket at 8901 Joy Road is the nearest pharmacy to the Subject Property, which is approximately 141 feet from the Subject Property. The proposed project is not anticipated to have an adverse impact on health care facilities. See Appendix R. The nearest social services provider to the Subject Property is Michigan Department of Health and Human Services office at 8655 Greenfield Road, which is approximately 2.07 miles distant. The proposed project is a rehabilitation project with an affordable housing component. The proposed project may help prevent an increase of demand on social services through the maintenance of affordable housing units. The proposed project is not anticipated to have an adverse impact on social services. See Appendix R.</p>	
<p>Solid Waste Disposal and Recycling (Feasibility and Capacity)</p>	<p>2</p>	<p>Solid waste disposal services are contracted through the private contractor Signature Dumpster Rental. The City of Detroit does offer recycling services to multifamily properties through its commercial recycling program on an application basis. Additionally, the City of Detroit offers free drop off recycling services at their recycling facility at 5960 Lincoln Street, which is approximately 3.82 miles from the Subject Property. The proposed project is not anticipated to have an adverse impact on solid waste disposal and recycling services.</p>	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
Waste Water and Sanitary Sewers (Feasibility and Capacity)	2	The waste water/sanitary sewers are serviced by the City of Detroit: Water and Sewerage Department. The proposed project seeks to replace the plumbing in all buildings as needed. No major alterations to the Subject Property plumbing are planned, thus, no adverse impacts to the waste water/sanitary sewers are anticipated.	
Water Supply (Feasibility and Capacity)	2	The water supply is provided by the City of Detroit: Water and Sewerage Department. The proposed project seeks to replace the plumbing in all buildings as needed. No adverse impacts to the water supply are anticipated.	
Public Safety - Police, Fire and Emergency Medical	2	The Subject Property is served by the Detroit Police Department: Second Precinct at 13530 Lesure Street, which is approximately 2.19 miles from the Subject Property. The Detroit Fire Department provides fire protection and emergency medical services to Detroit residents. The nearest fire station to the Subject Property is Engine 42, located at 6324 West Chicago, which is approximately 1.09 miles from the Subject Property. Police, fire, and emergency medical services are not anticipated to be adversely impacted by the proposed project. See Appendix R.	
Parks, Open Space and Recreation (Access and Capacity)	2	There are several locations surrounding the Subject Property for recreation opportunities. The nearest park to the Subject Property is Harold G. Cross Junior Park at 8134 Manor, featuring fitness equipment, a picnic area, a play area, a soccer field, and a walking path, which is approximately 2,280 feet distant. Tireman-Littlefield/Civic Park at 8051 Littlefield Street features a walking path and is approximately 2,859 feet from the Subject Property. Laker Park at 7520 Central, features a basketball court, horseshoe pits, a picnic area, a play area, and a soccer field, which is approximately 4,180 feet	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		<p>from the Subject Property. Phelps Park at 9982 Sorrento Avenue features a basketball court, a picnic area, a play area, and a walking path, which is approximately 1.03 miles from the Subject Property. Anthony Park at 14250 Diversity Street, Dearborn, features a football field, a running track, and a baseball field, which is approximately 1.35 miles from the Subject Property. The proposed project is not anticipated to have an adverse impact on parks and recreation opportunities. See Appendix R.</p>	
<p>Transportation and Accessibility (Access and Capacity)</p>	<p>2</p>	<p>Public transportation near the Subject Property is provided by the Detroit Department of Transportation (DDOT). The Subject Property is serviced by Route 54, with stop #2216 approximately 146 feet distant. Additionally, DDOT Route 27 runs along Joy Road, near the Subject Property, where stop #2224 approximately 254 feet distant. DDOT Route 54 intersect with the SMART bus routes 415, 420, and 851. DDOT Route 27 does intersect with SMART bus routes 200, 210, and 261. The residents at the Subject Property are on Wyoming Avenue which connects to Ford Road/M-153 and I-94 to the south. Joy Road is a major route in the Metro Detroit area, which is off of Wyoming Avenue to the north. Joy Road directly connects to the Southfield Freeway/M-39 to the west and indirectly connects to I-96 to the northeast via Livernois. Ford Road/M-153, I-94, Southfield Freeway/M-39, and I-96 create connects for residents to the rest of the State of Michigan. The proposed project is anticipated to maintain the present population and is not anticipated to have an adverse impact on transportation. See Appendix R.</p>	
<p>NATURAL FEATURES</p>			

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
Unique Natural Features /Water Resources	2	There are no unique natural features or water resources present on the Subject Property. The proposed project is not anticipated to have an adverse impact on unique natural features or water resources.	
Vegetation / Wildlife (Introduction, Modification, Removal, Disruption, etc.)	2	The only known vegetation present at the Subject Property are six trees and maintained grass lawns. The proposed project plans to make minor alterations to the grass lawn. There are no known wildlife present at the Subject Property. The Subject Property is located within a highly urbanized area of the City of Detroit. No adverse impacts on vegetation and wildlife through the proposed project is not anticipated.	
Other Factors 1			
Other Factors 2			
CLIMATE AND ENERGY			
Climate Change	2	The Subject Property is located in Detroit, Wayne County, Michigan. Wayne County is classified as a relatively high risk index by FEMA from climate related disasters. The relatively high risk index classification is due to the relatively high expected annual loss, the very high social vulnerability, and the relatively moderate community resilience ratings for Wayne County. The climate related disasters with a high risk rating for Wayne County are cold wave, heat wave, lightning, riverine flooding, strong wind, tornado, and winter weather. The average daily maximum temperature in 2054 is predicted to be at 65.1 degrees Fahrenheit with higher emissions and 63.8 degrees with lower emissions, when compared to the 1961-1990 observed average of 58.6 degrees. A sea level rise of 10 feet is not anticipated to adversely impact the Subject Property. The proposed project is not anticipated to adversely impacted by climate change impacts. Additionally, the proposed project is	

Environmental Assessment Factor	Impact Code	Impact Evaluation	Mitigation
		anticipated to protect residents from most climate related disasters. See Appendix R.	
Energy Efficiency	1	The proposed project has no plans to increase urban density than that present at the Subject Property. The proposed project is seeking a Silver Certification through the National Green Building Standard. The HVAC and water heaters in each apartment are to be upgraded to more energy efficient units. Additionally, all light fixtures are to be replaced with LED fixtures. The Subject Property is serviced by DDOT routes which allows residents to live a lower carbon footprint lifestyle. The proposed project is not anticipated to have an adverse impact on energy efficiency.	

Supporting documentation

[R9-NOAA SEA Level Rise.pdf](#)

[R8-Climate Map.pdf](#)

[R7-Climate Graph.pdf](#)

[R6-Community Report - Wayne County Michigan National Risk Index.pdf](#)

[R5-MI Dearborn 20230706 TM_geo \(2\).pdf](#)

[R4-SMART Map.pdf](#)

[R3-DDOT-SystemMap.pdf](#)

[R2-1-12757 EA Factors.pdf](#)

[K-USDA Soil Report\(1\).pdf](#)

[R1-zmap 55 tireman central.pdf](#)

[L-EJScreen Community Report\(1\).pdf](#)

Additional Studies Performed:

Noise Assessment: Buersmeyer Manor: 8520 Wyoming Avenue, Detroit, Michigan. COTS. ASTI Environmental. April 19, 2023. Phase I Environmental Site Assessment: Buersmeyer Manor: 8520 Wyoming Avenue, Detroit, Michigan. COTS. ASTI Environmental. May 19, 2023. Limited Phase II Environmental Site Assessment: 8500 and 8520 Wyoming Avenue, Detroit, Michigan. COTS. ASTI Environmental. December 19, 2023. Lead-Based Paint Inspection and Risk Assessment: Buersmeyer Manor, 8500-8600 Wyoming Avenue, Detroit, Michigan. COTS. ASTI Environmental. January 10, 2024. Asbestos-Containing Materials Inspection: Buersmeyer Manor, 8500-8600 Wyoming Avenue, Detroit, Michigan. COTS. ASTI Environmental. January 15, 2024.

Field Inspection [Optional]: Date and completed by:

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:
See attached sources document.

[Buersmeyer Manor EA Sources-Revised.pdf](#)

List of Permits Obtained:

Public Outreach [24 CFR 58.43]:

The Environmental Assessment will be posted on the City of Detroit's Public Notice page.

Cumulative Impact Analysis [24 CFR 58.32]:

The proposed project is a rehabilitation project of an existing apartment complex with affordable housing units. The Subject Property is serviced by public transportation and is located in an area where a housing burden is known to exist on its residents. The proposed project is anticipated to maintain the existing affordable housing units to help prevent the exacerbation of the current housing burden on households in the area. Additionally, the proposed project is anticipated to help the City of Detroit achieve its long-term goal of increasing, not decreasing affordable housing, while improving the quality of life of its residents.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

Only the no action alternative was considered.

No Action Alternative [24 CFR 58.40(e)]

The no action alternative is not desirable for the proposed project. A housing burden is known to exist on several households within a one-mile radius of the Subject Property. A reduction of affordable housing units in the area, will exacerbate the current housing burden in the area and could increase demand on social services. Additionally, the proposed project seeks to update the apartment units for greater quality of life and energy efficiency.

Summary of Findings and Conclusions:

The proposed project is a rehabilitation project of an existing apartment complex with affordable units. The proposed project seeks to maintain the existing affordable units and extend the lifespan of the Subject Property apartment buildings. The City of

Detroit seeks to maintain its housing stock, particularly its affordable housing stock and seeks to expand housing stock through the city, where possible. The proposed project is anticipated to maintain the affordable housing stock at the Subject Property and help the City of Detroit reach its goal to maintain the City's housing stock.

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition	Comments on Completed Measures	Mitigation Plan	Complete
Noise Abatement and Control	Incorporation of building materials to bring interior noise levels down to an acceptable range.	N/A	Buildings specs	
Contamination and Toxic Substances	Address lead-dust hazards through EPA/HUD approved HEPA-wash-HEPA cleaning methods and EPA Lead-Safe Certified Firm or a State of Michigan licensed lead abatement firm. Following cleaning, collect clearance samples in accordance with HUD or local requirements.	N/A	Lead Based Paint Closure Report	
Contamination and Toxic Substances	All LBP hazards are to undergo one of the following: * The removal and replacement of complete component system. * Individual component removal and on- or off-site LBP removal via wet scrapping or chemical stripping. * Enclosure. * Encapsulation.	N/A	Lead Based Paint Closure Report	
Contamination and Toxic Substances	Removal of presumed ACMs prior to all work, if the presumed are planned to be disturbed.	N/A	Asbestos Containing Materials Closure	

			Report, if applicable.	
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Project Mitigation Plan

The lead based paint hazards and the asbestos containing materials are to be removed prior to the start of general construction activities. The lead based paint hazards and the asbestos containing materials are to be followed by closure reports after the removal activities are completed. The noise abatement is to incorporate the building materials needed to bring interior noise levels down to an acceptable range.

[Buersmeyer_Manor_HRD Model Mitigation Plan-Revised.pdf](#)

Supporting documentation on completed measures

APPENDIX A: Related Federal Laws and Authorities

Airport Hazards

General policy	Legislation	Regulation
It is HUD’s policy to apply standards to prevent incompatible development around civil airports and military airfields.		24 CFR Part 51 Subpart D

1. To ensure compatible land use development, you must determine your site’s proximity to civil and military airports. Is your project within 15,000 feet of a military airport or 2,500 feet of a civilian airport?

✓ **No**

Based on the response, the review is in compliance with this section. Document and upload the map showing that the site is not within the applicable distances to a military or civilian airport below

Yes

Screen Summary

Compliance Determination

There are three airports within a 15-mile radius of the Subject Property. Coleman A. Young International Airport is approximately 7.88 miles away, Windsor International Airport is approximately 11.21 miles away, and the Detroit Metropolitan Wayne County Airport is approximately 12.72 miles from the Subject Property. The Subject Property is outside of all airport clear, runway protection, and accident potential zones. The proposed project is in compliance with this regulation. See Appendix P for the airport location map.

Supporting documentation

[P-1-12757_ALM.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ **No**

Coastal Barrier Resources

General requirements	Legislation	Regulation
HUD financial assistance may not be used for most activities in units of the Coastal Barrier Resources System (CBRS). See 16 USC 3504 for limitations on federal expenditures affecting the CBRS.	Coastal Barrier Resources Act (CBRA) of 1982, as amended by the Coastal Barrier Improvement Act of 1990 (16 USC 3501)	

1. Is the project located in a CBRS Unit?

No

Document and upload map and documentation below.

Yes

Compliance Determination

The Subject Property is located in Detroit, Wayne County, Michigan. There is only one coastal barrier resource in Wayne County, known as MI-04, which is located along the County's southern coastline. The City of Detroit is located on the northern portion of Wayne County and the Subject Property is an inland property of Detroit. The proposed project is in compliance with this statute. See Appendix Q for the John H. Chafee Coastal Barrier Resources System map of Michigan.

Supporting documentation

[Q-Coastal Barrier Resource Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Flood Insurance

General requirements	Legislation	Regulation
Certain types of federal financial assistance may not be used in floodplains unless the community participates in National Flood Insurance Program and flood insurance is both obtained and maintained.	Flood Disaster Protection Act of 1973 as amended (42 USC 4001-4128)	24 CFR 50.4(b)(1) and 24 CFR 58.6(a) and (b); 24 CFR 55.1(b).

1. Does this project involve financial assistance for construction, rehabilitation, or acquisition of a mobile home, building, or insurable personal property?

No. This project does not require flood insurance or is excepted from flood insurance.

Yes

2. Upload a FEMA/FIRM map showing the site here:

[D-FIRMETTE 8520 Wyoming Ave.pdf](#)

The Federal Emergency Management Agency (FEMA) designates floodplains. The [FEMA Map Service Center](#) provides this information in the form of FEMA Flood Insurance Rate Maps (FIRMs). For projects in areas not mapped by FEMA, use the best available information to determine floodplain information. Include documentation, including a discussion of why this is the best available information for the site. Provide FEMA/FIRM floodplain zone designation, panel number, and date within your documentation.

Is the structure, part of the structure, or insurable property located in a FEMA-designated Special Flood Hazard Area?

No

Based on the response, the review is in compliance with this section.

Yes

4. While flood insurance is not mandatory for this project, HUD strongly recommends that all insurable structures maintain flood insurance under the National Flood Insurance Program (NFIP). Will flood insurance be required as a mitigation measure or condition?

Yes

✓ No

Screen Summary**Compliance Determination**

The Subject Property is located in Zone X, the area of minimal flood hazard, as seen in FEMA map 26163C0260E, effective February 2, 2012. The proposed project is not anticipated to be adversely impacted by the potential of flooding and does not require flood insurance. The proposed project is in compliance with this statute. See Appendix D for the FIRMETTE Map of the Subject Property.

Supporting documentation

[D-FIRMETTE 8520 Wyoming Ave\(1\).pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Air Quality

General requirements	Legislation	Regulation
The Clean Air Act is administered by the U.S. Environmental Protection Agency (EPA), which sets national standards on ambient pollutants. In addition, the Clean Air Act is administered by States, which must develop State Implementation Plans (SIPs) to regulate their state air quality. Projects funded by HUD must demonstrate that they conform to the appropriate SIP.	Clean Air Act (42 USC 7401 et seq.) as amended particularly Section 176(c) and (d) (42 USC 7506(c) and (d))	40 CFR Parts 6, 51 and 93

1. Does your project include new construction or conversion of land use facilitating the development of public, commercial, or industrial facilities OR five or more dwelling units?

Yes

No

Air Quality Attainment Status of Project’s County or Air Quality Management District

2. Is your project’s air quality management district or county in non-attainment or maintenance status for any criteria pollutants?

No, project’s county or air quality management district is in attainment status for all criteria pollutants.

Yes, project’s management district or county is in non-attainment or maintenance status for the following criteria pollutants (check all that apply):

Carbon Monoxide

Lead

Nitrogen dioxide

Sulfur dioxide

- ✓ Ozone
- Particulate Matter, <2.5 microns
- Particulate Matter, <10 microns

3. What are the *de minimis* emissions levels (40 CFR 93.153) or screening levels for the non-attainment or maintenance level pollutants indicated above

Ozone 0.07 ppb (parts per million)

Provide your source used to determine levels here:

EPA. "Fact Sheet: EPA to Finalize 2015 Ozone Standard Clean Data Determination for the Detroit Metro Area." Accessed May 31, 2024. <https://www.epa.gov/mi/fact-sheet-epa-finalize-2015-ozone-standard-clean-data-determination-detroit-metro-area#:~:text=On%20October%201%2C%202015%2C%20EPA,Detroit%20area%20has%20declined%20significantly.>

4. Determine the estimated emissions levels of your project. Will your project exceed any of the *de minimis* or threshold emissions levels of non-attainment and maintenance level pollutants or exceed the screening levels established by the state or air quality management district?

- ✓ No, the project will not exceed *de minimis* or threshold emissions levels or screening levels.

Enter the estimate emission levels:

Ozone 0.07 ppb (parts per million)

Based on the response, the review is in compliance with this section.

Yes, the project exceeds *de minimis* emissions levels or screening levels.

Screen Summary

Compliance Determination

The Subject Property is located in Detroit, Wayne County, Michigan. Wayne County has been designated as an ozone attainment/maintenance zone and the southeastern portion of the county has been designated as a sulfur dioxide nonattainment zone. The Subject Property is located outside of the sulfur dioxide nonattainment zone of

Wayne County which is anticipated to begin in June 2024 and last for 12 months. Due to Wayne County's ozone maintenance designation, the proposed project was submitted to Environment, Great Lakes, and Energy (EGLE): Air Quality Division for review. Through their review, EGLE has determined that the proposed project is not anticipated to exceed de minimis levels for air quality. The proposed project is not anticipated to have an adverse impact on air quality and is in compliance with this statute. See Appendix J for air quality documentation.

Supporting documentation

[J2-Gen Conformity Letter Buersmeyer Manor 0124.pdf](#)

[J1-2023 naaqs-ambient-status-map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Coastal Zone Management Act

General requirements	Legislation	Regulation
Federal assistance to applicant agencies for activities affecting any coastal use or resource is granted only when such activities are consistent with federally approved State Coastal Zone Management Act Plans.	Coastal Zone Management Act (16 USC 1451-1464), particularly section 307(c) and (d) (16 USC 1456(c) and (d))	15 CFR Part 930

1. Is the project located in, or does it affect, a Coastal Zone as defined in your state Coastal Management Plan?

Yes

No

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

The Subject Property is located in Detroit, Wayne County, Michigan. The Subject Property is located in an inland portion of Wayne County and outside of the County's coastal management zone area. The proposed project is in compliance with this statute. See Appendix F for the northern Wayne County coastal management zone map.

Supporting documentation

[F-2020_Wayne_County-Grosse_Point_Coastal_Management_Zone.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Contamination and Toxic Substances

General Requirements	Legislation	Regulations
It is HUD policy that all properties that are being proposed for use in HUD programs be free of hazardous materials, contamination, toxic chemicals and gases, and radioactive substances, where a hazard could affect the health and safety of the occupants or conflict with the intended utilization of the property.		24 CFR 58.5(i)(2) 24 CFR 50.3(i)
Reference		
https://www.onecpd.info/environmental-review/site-contamination		

1. How was site contamination evaluated?* Select all that apply.

- ✓ ASTM Phase I ESA
- ✓ ASTM Phase II ESA

Remediation or clean-up plan

ASTM Vapor Encroachment Screening.

None of the above

* HUD regulations at 24 CFR § 58.5(i)(2)(ii) require that the environmental review for multifamily housing with five or more dwelling units or non-residential property include the evaluation of previous uses of the site or other evidence of contamination on or near the site.

For acquisition and new construction of multifamily and nonresidential properties HUD strongly advises the review include an ASTM Phase I Environmental Site Assessment (ESA) to meet real estate transaction standards of due diligence and to help ensure compliance with HUD’s toxic policy at 24 CFR §58.5(i) and 24 CFR §50.3(i). Also note that some HUD programs require an ASTM Phase I ESA.

2. Were any on-site or nearby toxic, hazardous, or radioactive substances* (excluding radon) found that could affect the health and safety of project occupants or conflict with the intended use of the property? (Were any recognized environmental conditions or RECs identified in a Phase I ESA and confirmed in a Phase II ESA?)

Provide a map or other documentation of absence or presence of contamination** and explain evaluation of site contamination in the Screen Summary at the bottom of this screen.

✓ No

Explain:

No RECs were confirmed in the Limited Phase II ESA.

Yes

* This question covers the presence of radioactive substances excluding radon. Radon is addressed in the Radon Exempt Question.

** Utilize EPA's Enviromapper, NEPAassist, or state/tribal databases to identify nearby dumps, junk yards, landfills, hazardous waste sites, and industrial sites, including EPA National Priorities List Sites (Superfund sites), CERCLA or state-equivalent sites, RCRA Corrective Action sites with release(s) or suspected release(s) requiring clean-up action and/or further investigation. Additional supporting documentation may include other inspections and reports.

3. Evaluate the building(s) for radon. Do all buildings meet any of the exemptions* from having to consider radon in the contamination analysis listed in CPD Notice [CPD-23-103](#)?

✓ Yes

Explain:

Due to the overall low radon levels in Wayne County, a radon test was not conducted for the Subject Property.

No

* Notes:

- Buildings with no enclosed areas having ground contact.
- Buildings containing crawlspaces, utility tunnels, or parking garages would not be exempt, however buildings built on piers would be exempt, provided that there is open air between the lowest floor of the building and the ground.
- Buildings that are not residential and will not be occupied for more than 4 hours per day.
- Buildings with existing radon mitigation systems - document radon levels are below 4 pCi/L with test results dated within two years of submitting the application for HUD assistance and document the system includes an ongoing maintenance plan that includes periodic testing to ensure the system continues to meet the current EPA recommended levels. If the project does not require an application, document test results dated within two years of the date the environmental review is certified. Refer to program office guidance to ensure compliance with program requirements.
- Buildings tested within five years of the submission of application for HUD assistance: test results document indoor radon levels are below current the EPA's recommended action

levels of 4.0 pCi/L. For buildings with test data older than five years, any new environmental review must include a consideration of radon using one of the methods in Section A below.

Screen Summary

Compliance Determination

The Subject Property is located in Wayne County, Michigan. Wayne County has been designated as a Zone 3 area for radon by the EPA. EGLE has found that 17 percent of homes have tested equal to or above the 4 pCi/L guideline. Due to the overall low radon levels in Wayne County, a radon test was not conducted for the Subject Property. See Appendix N. Limited Phase II ESA ASTI was retained to conduct a Limited Phase II ESA (Tab Attachment 2) of the Subject Property. The Limited Phase II ESA was prepared to delineate the REC identified in the Phase I ESA, dated May 19, 2023. Five soil borings were advanced to depths ranging 8 to 12 feet below ground surface (bgs) and three sub-slab soil vapor pins were installed in the Subject Property building at 8500 Wyoming Avenue. Two soil samples were collected from each soil boring, for a total of 10 samples collected. The soil samples were submitted for laboratory analysis for Volatile Organic Compounds (VOCs). Three soil gas samples and two duplicate samples were collected to be analyzed for VOCs. Perched water was encountered in three soil borings at the depths of 2 to 4.5 feet bgs. There was no groundwater in sufficient quantities to sample. Based on laboratory results, no exceedances of the EGLE Part 201 GRCC or residential VIAP SLs were reported for the soil and soil gas samples collected at the Subject Property. It is ASTI's opinion through the laboratory results, that the Subject Property is not a facility. ASTI recommends no additional sampling at this time. ASTI conducted a Lead-Based Paint (LBP) Inspection and Risk Assessment (Tab Attachment 3) of the Subject Property. ASTI personnel collected 320 lead dust wipe samples, including 19 field banks. Each sample was submitted to a NLLAP-certified Laboratory. Review of the lead dust wipe sample results revealed that eight of the samples exceeded the State of Michigan clearance levels along with HUD and EPA standards. Intact LBP was observed on the exterior of building #8534. The intact LBP is a potential hazard. ASTI was retained to conduct an asbestos-containing materials (ACM) inspection (Tab Attachment 4) of the Subject Property. Based on the inspection conducted by ASTI between November 20-21, 2023, none of the materials sampled were identified as ACM. The following assumed ACMs were identified during the site inspection: * Vibration Dampeners, throughout complex, not quantified * Bathtub undercoating, throughout complex, 35 * Roofing, throughout complex, 25,000 feet squared

Supporting documentation

[N-2022_Michigan_Radon_Maps_Combined.pdf](#)

[T4-2-12757_Buersmeyer_Manor-ACM_Report_FINAL.pdf](#)

[T3-2-12757_Buersmeyer_Manor_LIRA_Report.pdf](#)

[T2-4-12757_LPII_ESA_FINAL_REPORT_\(MSHDA\).pdf](#)

[T1-Buersmeyer Manor MSHDA P1ESA 2023 May 19.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Endangered Species

General requirements	ESA Legislation	Regulations
Section 7 of the Endangered Species Act (ESA) mandates that federal agencies ensure that actions that they authorize, fund, or carry out shall not jeopardize the continued existence of federally listed plants and animals or result in the adverse modification or destruction of designated critical habitat. Where their actions may affect resources protected by the ESA, agencies must consult with the Fish and Wildlife Service and/or the National Marine Fisheries Service (“FWS” and “NMFS” or “the Services”).	The Endangered Species Act of 1973 (16 U.S.C. 1531 <i>et seq.</i>); particularly section 7 (16 USC 1536).	50 CFR Part 402

1. Does the project involve any activities that have the potential to affect species or habitats?

- ✓ No, the project will have No Effect due to the nature of the activities involved in the project.

This selection is only appropriate if none of the activities involved in the project have potential to affect species or habitats. Examples of actions without potential to affect listed species may include: purchasing existing buildings, completing interior renovations to existing buildings, and replacing exterior paint or siding on existing buildings.

Based on the response, the review is in compliance with this section.

No, the project will have No Effect based on a letter of understanding, memorandum of agreement, programmatic agreement, or checklist provided by local HUD office

Yes, the activities involved in the project have the potential to affect species and/or habitats.

Screen Summary

Compliance Determination

The Indiana Bat, Northern Long-eared Bat, Rufa Red Knot Bird, Eastern Massasauga Snake, and Eastern Prairie Fringed Orchid are listed on the Threatened and Endangered Species list of Michigan, known to have critical habitats in Wayne County. The Subject Property is an occupied apartment complex in a highly urbanized area of the City of Detroit. There are no known habitats suitable for wildlife to thrive on or

near the Subject Property. Additionally, no tree removal is part of the proposed project. The proposed project is in compliance with this statute. See Appendix H for the 2023 Threatened and Endangered Species list of Michigan.

Supporting documentation

[B1-SOW_230417_Buersmeyer\(1\).pdf](#)
[H-2023_Endangered_Species_List.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Explosive and Flammable Hazards

General requirements	Legislation	Regulation
HUD-assisted projects must meet Acceptable Separation Distance (ASD) requirements to protect them from explosive and flammable hazards.	N/A	24 CFR Part 51 Subpart C

1. Is the proposed HUD-assisted project itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals such as bulk fuel storage facilities and refineries)?

No

Yes

2. Does this project include any of the following activities: development, construction, rehabilitation that will increase residential densities, or conversion?

No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

Based on the EDR Radius Map Report of the Subject Property, dated, April 11, 2023, there are no above-ground explosive and flammable hazards within a one mile radius of the Subject Property. The proposed project is in compliance with this regulation. See Appendix O for the Acceptable Separation Distance map.

Supporting documentation

[O-1-12757 ASD.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Farmlands Protection

General requirements	Legislation	Regulation
The Farmland Protection Policy Act (FPPA) discourages federal activities that would convert farmland to nonagricultural purposes.	Farmland Protection Policy Act of 1981 (7 U.S.C. 4201 et seq.)	7 CFR Part 658

1. Does your project include any activities, including new construction, acquisition of undeveloped land or conversion, that could convert agricultural land to a non-agricultural use?

Yes

No

If your project includes new construction, acquisition of undeveloped land or conversion, explain how you determined that agricultural land would not be converted:

The proposed project is a rehabilitation project of an existing apartment complex.

Based on the response, the review is in compliance with this section. Document and upload all documents used to make your determination below.

Screen Summary

Compliance Determination

The Subject Property is located within a highly urbanized area of the City of Detroit. The soil present at the Subject Property is Kibbie-Urban land, which is classified as not prime farmland. No farmland is anticipated to be adversely impacted through the proposed project. See Appendix K for the USDA soil survey.

Supporting documentation

[K-USDA Soil Report.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Floodplain Management

General Requirements	Legislation	Regulation
Executive Order 11988, Floodplain Management, requires Federal activities to avoid impacts to floodplains and to avoid direct and indirect support of floodplain development to the extent practicable.	Executive Order 11988 * Executive Order 13690 * 42 USC 4001-4128 * 42 USC 5154a * only applies to screen 2047 and not 2046	24 CFR 55

1. Does this project meet an exemption at 24 CFR 55.12 from compliance with HUD’s floodplain management regulations in Part 55?

Yes

(a) HUD-assisted activities described in 24 CFR 58.34 and 58.35(b).

(b) HUD-assisted activities described in 24 CFR 50.19, except as otherwise indicated in § 50.19.

(c) The approval of financial assistance for restoring and preserving the natural and beneficial functions and values of floodplains and wetlands, including through acquisition of such floodplain and wetland property, where a permanent covenant or comparable restriction is place on the property’s continued use for flood control, wetland projection, open space, or park land, but only if:

(1) The property is cleared of all existing buildings and walled structures; and

(2) The property is cleared of related improvements except those which:

(i) Are directly related to flood control, wetland protection, open space, or park land (including playgrounds and recreation areas);

(ii) Do not modify existing wetland areas or involve fill, paving, or other ground disturbance beyond minimal trails or paths; and

(iii) Are designed to be compatible with the beneficial floodplain or wetland function of the property.

(d) An action involving a repossession, receivership, foreclosure, or similar acquisition of property to protect or enforce HUD's financial interests under previously approved loans, grants, mortgage insurance,

or other HUD assistance.

(e) Policy-level actions described at 24 CFR 50.16 that do not involve site-based decisions.

(f) A minor amendment to a previously approved action with no additional adverse impact on or from a floodplain or wetland.

(g) HUD's or the responsible entity's approval of a project site, an incidental portion of which is situated in the FFRMS floodplain (not including the floodway, LiMWA, or coastal high hazard area) but only if: (1) The proposed project site does not include any existing or proposed buildings or improvements that modify or occupy the FFRMS floodplain except de minimis improvements such as recreation areas and trails; and (2) the proposed project will not result in any new construction in or modifications of a wetland .

(h) Issuance or use of Housing Vouchers, or other forms of rental subsidy where HUD, the awarding community, or the public housing agency that administers the contract awards rental subsidies that are not project-based (i.e., do not involve site-specific subsidies).

(i) Special projects directed to the removal of material and architectural barriers that restrict the mobility of and accessibility to elderly and persons with disabilities.

Describe:

No

Screen Summary

Compliance Determination

The Subject Property is located in Zone X, the area of minimal flood hazard, as seen in FEMA map 26163C0260E, effective February 2, 2012. The proposed project is not anticipated to be adversely impacted by the potential of flooding. The proposed project is in compliance with this executive order. See Appendix D for the FIRMette Map of the Subject Property.

Supporting documentation

[D-FIRMETTE 8520 Wyoming Ave\(2\).pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Historic Preservation

General requirements	Legislation	Regulation
Regulations under Section 106 of the National Historic Preservation Act (NHPA) require a consultative process to identify historic properties, assess project impacts on them, and avoid, minimize, or mitigate adverse effects	Section 106 of the National Historic Preservation Act (16 U.S.C. 470f)	36 CFR 800 “Protection of Historic Properties” https://www.govinfo.gov/content/pkg/CFR-2012-title36-vol3/pdf/CFR-2012-title36-vol3-part800.pdf

Threshold

Is Section 106 review required for your project?

No, because the project consists solely of activities listed as exempt in a Programmatic Agreement (PA). (See the PA Database to find applicable PAs.)

No, because the project consists solely of activities included in a No Potential to Cause Effects memo or other determination [36 CFR 800.3(a)(1)].

- ✓ Yes, because the project includes activities with potential to cause effects (direct or indirect).

Step 1 – Initiate Consultation

Select all consulting parties below (check all that apply):

- ✓ State Historic Preservation Offer (SHPO) Completed

- ✓ Indian Tribes, including Tribal Historic Preservation Officers (THPOs) or Native Hawaiian Organizations (NHOs)

- ✓ Forest County Potawatomi Community of Wisconsin Completed

✓ Hannahville Indian Community of Michigan	Completed
✓ Lac Vieux Desert Band of Lake Superior Chippewa	Completed
✓ Little Traverse Bay Bands of Odawa Indians	Completed
✓ Menominee Indian Tribe	Completed
✓ Miami Tribe of Oklahoma	Completed
✓ Pokagon Band of Potawatomi Indians	Completed
✓ Sault Saint Marie Tribe of Chippewa Indians	Completed
✓ Seneca-Cayuga Nation	Completed

✓ Other Consulting Parties

✓ City of Detroit	Completed
✓ Government of Wayne County	Not Required

Describe the process of selecting consulting parties and initiating consultation here:

The section of consulting parties was determined through the TDAT database and jurisdiction over the Subject Property.

Document and upload all correspondence, notices and notes (including comments and objections received below).

Was the Section 106 Lender Delegation Memo used for Section 106 consultation?

Yes

No

Step 2 – Identify and Evaluate Historic Properties

- 1. Define the Area of Potential Effect (APE), either by entering the address(es) or**

uploading a map depicting the APE below:

The direct APE consists of the buildings at the Subject Property. The indirect APE features 8357, 8360, 8501, 8511, 8519, 8531, 8539, 8549, 8559, 8569, 8583, 8593, 8603, 8613, and 8641 Wyoming Avenue; 8901 Joy Road; and 8365, 8503, 8511, 8519, 8527, 8535, 8541, 8549, 8555, 8569, 8575, 8579, 8585, 8595, 8603, and 8623 Kentucky Street.

In the chart below, list historic properties identified and evaluated in the APE. Every historic property that may be affected by the project should be included in the chart.

Upload the documentation (survey forms, Register nominations, concurrence(s) and/or objection(s), notes, and photos) that justify your National Register Status determination below.

Address / Location / District	National Register Status	SHPO Concurrence	Sensitive Information
-------------------------------	--------------------------	------------------	-----------------------

Additional Notes:

2. Was a survey of historic buildings and/or archeological sites done as part of the project?

Yes

Document and upload surveys and report(s) below.
For Archeological surveys, refer to HP Fact Sheet #6, Guidance on Archeological Investigations in HUD Projects.

Additional Notes:

No

Step 3 –Assess Effects of the Project on Historic Properties

Only properties that are listed on or eligible for the National Register of Historic Places receive further consideration under Section 106. Assess the effect(s) of the project by applying the Criteria of Adverse Effect. (36 CFR 800.5)] Consider direct and indirect effects as applicable as

per guidance on direct and indirect effects.

Choose one of the findings below - No Historic Properties Affected, No Adverse Effect, or Adverse Effect; and seek concurrence from consulting parties.

No Historic Properties Affected

Based on the response, the review is in compliance with this section. Document and upload concurrence(s) or objection(s) below.

Document reason for finding:

No historic properties present.

Historic properties present, but project will have no effect upon them.

No Adverse Effect

Adverse Effect

Screen Summary

Compliance Determination

Due to the exterior components of the proposed project's scope of work, the project underwent a Section 106 review by the City of Detroit: Housing and Revitalization Department (HRD) under the programmatic agreement with the Michigan State Historic Preservation Office. Through their analysis, HRD has found that the proposed project to have no impact on historical properties for there are "no historic properties present" in the proposed project's area of potential effects. The proposed project is not anticipated to have an adverse impact on cultural resources and is in compliance with this statute. See Appendix C for the Section 106 application and HRD approval letter.

Supporting documentation

[C2-Buersmeyer Manor NHPA Sec106 Review Letter 51624.pdf](#)

[C1-Buersmeyer Manor mishpo-section-106-application-2023-FINAL-Revised.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Noise Abatement and Control

General requirements	Legislation	Regulation
HUD’s noise regulations protect residential properties from excessive noise exposure. HUD encourages mitigation as appropriate.	Noise Control Act of 1972 General Services Administration Federal Management Circular 75-2: “Compatible Land Uses at Federal Airfields”	Title 24 CFR 51 Subpart B

1. What activities does your project involve? Check all that apply:

New construction for residential use

Rehabilitation of an existing residential property

NOTE: For major or substantial rehabilitation in Normally Unacceptable zones, HUD encourages mitigation to reduce levels to acceptable compliance standards. For major rehabilitation in Unacceptable zones, HUD strongly encourages mitigation to reduce levels to acceptable compliance standards. See 24 CFR 51 Subpart B for further details.

A research demonstration project which does not result in new construction or reconstruction

An interstate land sales registration

Any timely emergency assistance under disaster assistance provision or appropriations which are provided to save lives, protect property, protect public health and safety, remove debris and wreckage, or assistance that has the effect of restoring facilities substantially as they existed prior to the disaster
None of the above

4. Complete the Preliminary Screening to identify potential noise generators in the vicinity (1000’ from a major road, 3000’ from a railroad, or 15 miles from an airport).

Indicate the findings of the Preliminary Screening below:

There are no noise generators found within the threshold distances above.

- ✓ Noise generators were found within the threshold distances.

5. **Complete the Preliminary Screening to identify potential noise generators in the**

Acceptable: (65 decibels or less; the ceiling may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

- ✓ Normally Unacceptable: (Above 65 decibels but not exceeding 75 decibels; the floor may be shifted to 70 decibels in circumstances described in §24 CFR 51.105(a))

Indicate noise level here: 69

Document and upload noise analysis, including noise level and data used to complete the analysis below.

Unacceptable: (Above 75 decibels)

HUD strongly encourages conversion of noise-exposed sites to land uses compatible with high noise levels.

Check here to affirm that you have considered converting this property to a non-residential use compatible with high noise levels.

Indicate noise level here: 69

Document and upload noise analysis, including noise level and data used to complete the analysis below.

6. **HUD strongly encourages mitigation be used to eliminate adverse noise impacts. Explain in detail the exact measures that must be implemented to mitigate for the impact or effect, including the timeline for implementation. This information will be automatically included in the Mitigation summary for the environmental review.**

✓ Mitigation as follows will be implemented:

Incorporation of building materials to bring interior noise levels down to an acceptable range.

Based on the response, the review is in compliance with this section. Document and upload drawings, specifications, and other materials as needed to describe the project's noise mitigation measures below.

No mitigation is necessary.

Screen Summary

Compliance Determination

A noise assessment was performed on the Subject Property, which found the noise levels to be in the Normally Unacceptable range at 69 decibels (dB) at the northernmost building with the address of 8600 Wyoming Avenue. Due to the Normally Unacceptable noise levels, the proposed project underwent a Sound Transmission Classification Assessment Tool (STraCAT). Based on the building materials currently present at the Subject Property and the proposed windows to be installed, the STraCAT found the proposed project combined building materials to have a Sound Transmission Class (STC) rating of 35.9 and is required to meet a STC of 27 due to the noise levels found in the noise assessment. Since the northernmost building of the Subject Property was found to surpass the minimum required STC rating, the remainder of the buildings at the Subject Property will surpass the minimum STC rating needed to bring interior noise levels to at least 45 dB. The proposed project will need to incorporate the proposed windows into the Subject Property as a mitigation measure. See Appendix M.

Supporting documentation

[M2-STraCAT - HUD Exchange.pdf](#)

[M1-Noise Assessment-FINAL.pdf](#)

Are formal compliance steps or mitigation required?

✓ Yes

No

Sole Source Aquifers

General requirements	Legislation	Regulation
<p>The Safe Drinking Water Act of 1974 protects drinking water systems which are the sole or principal drinking water source for an area and which, if contaminated, would create a significant hazard to public health.</p>	<p>Safe Drinking Water Act of 1974 (42 U.S.C. 201, 300f et seq., and 21 U.S.C. 349)</p>	<p>40 CFR Part 149</p>

1. Does the project consist solely of acquisition, leasing, or rehabilitation of an existing building(s)?

Yes

Based on the response, the review is in compliance with this section.

No

Screen Summary

Compliance Determination

The Subject Property is located in Detroit, Wayne County, Michigan. There are no sole source aquifers within the State of Michigan. The proposed project is in compliance with this statute. See Appendix G for the Region 5 Sole Source Aquifers map.

Supporting documentation

[B1-SOW_230417 Buersmeyer\(2\).pdf](#)

[G-Sole Source Aquifers Map.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Wetlands Protection

General requirements	Legislation	Regulation
<p>Executive Order 11990 discourages direct or indirect support of new construction impacting wetlands wherever there is a practicable alternative. The Fish and Wildlife Service’s National Wetlands Inventory can be used as a primary screening tool, but observed or known wetlands not indicated on NWI maps must also be processed Off-site impacts that result in draining, impounding, or destroying wetlands must also be processed.</p>	<p>Executive Order 11990</p>	<p>24 CFR 55.20 can be used for general guidance regarding the 8 Step Process.</p>

1. Does this project involve new construction as defined in Executive Order 11990, expansion of a building’s footprint, or ground disturbance? The term "new construction" shall include draining, dredging, channelizing, filling, diking, impounding, and related activities and any structures or facilities begun or authorized after the effective date of the Order

✓ No

Based on the response, the review is in compliance with this section.

Yes

Screen Summary

Compliance Determination

There are no wetlands present on or near the Subject Property. There are no anticipated adverse impacts to wetlands through the proposed project. The proposed project is in compliance with this executive order. See Appendix E for the National Wetlands Inventory map.

Supporting documentation

[B1-SOW_230417 Buersmeyer\(3\).pdf](#)
[E-NWI.pdf](#)

Are formal compliance steps or mitigation required?

Yes

✓ No

Wild and Scenic Rivers Act

General requirements	Legislation	Regulation
The Wild and Scenic Rivers Act provides federal protection for certain free-flowing, wild, scenic and recreational rivers designated as components or potential components of the National Wild and Scenic Rivers System (NWSRS) from the effects of construction or development.	The Wild and Scenic Rivers Act (16 U.S.C. 1271-1287), particularly section 7(b) and (c) (16 U.S.C. 1278(b) and (c))	36 CFR Part 297

1. Is your project within proximity of a NWSRS river?

No

Yes, the project is in proximity of a Designated Wild and Scenic River or Study Wild and Scenic River.

Yes, the project is in proximity of a Nationwide Rivers Inventory (NRI) River.

Screen Summary

Compliance Determination

The Subject Property is located in Detroit, Wayne County, Michigan. Wayne County is within Michigan's Southeast region. There are no designated Wild and Scenic Rivers in Southeast Michigan. Based on the Nationwide Rivers Inventory database, there are no designated Inventory Rivers on or nearby the Subject Property. The proposed Project is in compliance with this statute. See Appendix I.

Supporting documentation

[I2-Inventory Rivers.pdf](#)

[I1-2022 Wild and Scenic Rivers MI Combined Maps.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

Environmental Justice

General requirements	Legislation	Regulation
Determine if the project creates adverse environmental impacts upon a low-income or minority community. If it does, engage the community in meaningful participation about mitigating the impacts or move the project.	Executive Order 12898	

HUD strongly encourages starting the Environmental Justice analysis only after all other laws and authorities, including Environmental Assessment factors if necessary, have been completed.

1. Were any adverse environmental impacts identified in any other compliance review portion of this project’s total environmental review?

Yes

No

Based on the response, the review is in compliance with this section.

Screen Summary

Compliance Determination

The pollution levels within a one mile radius of the Subject Property exceed the State of Michigan average of the selected variables by the EPA, except for superfund proximity and wastewater discharge, which are below the state average. The average life expectancy within a one mile radius is 72 years of age. The population surrounding the Subject Property consists of 72 percent of persons are low income, 68 percent are people of color, 22 percent hold less than a high school education, 6 percent are limited English speaking households, 51 percent are women, 16 percent are unemployed, 58 percent of homes are owner occupied, 23 percent are persons with disabilities, 22 percent have a low life expectancy, 7 percent are under 5 years of age, 14 percent are over 64 years of age, 28 percent have broadband internet, and 7 percent lack health insurance. Out of the 6 percent limited English speaking households, the majority of non-English speakers speak Arabic, followed by Spanish. A food desert is not present in the area, but a housing burden does exist. The housing burden is present due to the per capita income of \$17,631.00 annually. No permanent displacement is anticipated to occur through the proposed project. During the daytime hours, residents are to be temporary relocated while construction activities

are occurring, and residents are allowed to return during the evening hours. Each building with second floors has six second floor units. Residents on the second floors are to be temporarily relocated to vacant apartment units when work is to occur on stairways in the apartment buildings. See Appendix L for the EJ Screen report.

Supporting documentation

[L-EJScreen Community Report.pdf](#)

Are formal compliance steps or mitigation required?

Yes

No

**Buersmeyer Manor
ASTI Environmental
May 31, 2024**

Response Activity or Continuing Obligation	Required Activities	Party Responsible for Completing Activity	Timing of Activity	Required Follow-up or Reporting
Lead-Based Paint	<p>Prior to construction activities, all LBP hazards are to undergo one of the following:</p> <ul style="list-style-type: none"> • The removal and replacement of complete component system. • Individual component removal and on- or off-site LBP removal via wet scrapping or chemical stripping. • Enclosure. • Encapsulation. 	Lead Abatement Contractor	Prior to Construction	Lead-Based Paint Closure Report forwarded to the HRD Environmental Specialist
Lead Dust Hazards	Address lead-dust hazards through EPA/HUD approved HEPA-wash-HEPA cleaning methods and EPA Lead-Safe Certified Firm or a State of Michigan licensed lead abatement firm. Following cleaning, collect clearance samples in accordance with HUD or local requirements.	Lead Abatement Contractor	Prior to Reoccupancy	Lead-Based Paint Closure Report forwarded to the HRD Environmental Specialist
Assumed Asbestos Containing Materials (ACMs)	<p>Removal or testing/inspection of assumed ACMs prior to all work, if the presumed are planned to be disturbed, which include:</p> <ul style="list-style-type: none"> • Vibration Dampeners, throughout complex, not quantified • Bathtub undercoating, throughout complex, 35 • Roofing, throughout complex, 25,000 feet squared 	Asbestos Abatement Contractor	Prior to Construction	If applicable, an ACM Closure Report
Noise Analysis – Unacceptable Noise	<p>Appropriate construction materials will be incorporated in the building to mitigate noise levels within the acceptable range. The appropriate construction materials are described in the construction plans and the STraCAT calculations. The construction materials include:</p> <ul style="list-style-type: none"> • 3 5/8 inch masonry brick with 7/8 inch thermal/air layer 	Architect, Construction, Crew, Foremen, Developer,	During Construction	Building specs

Buersmeyer Manor
ASTI Environmental
May 31, 2024

	<ul style="list-style-type: none">• ½ inch plywood• 3 ½ inch wood studs• ½ inch gypsum wall board• Windows with an STC of 28			
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**U.S. Department of Housing and Urban
Development**
451 Seventh Street, SW
Washington, DC 20410
www.hud.gov
espanol.hud.gov

Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Project Information

Project Name: Buersmeyer-Manor

HEROS Number: 900000010402129

Project Location: 8500 Wyoming St, Detroit, MI 48204

Additional Location Information:

8500-8600 Wyoming Avenue, Detroit, Michigan 48204

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The proposed project include acquisition and seeks to rehabilitate an apartment complex at 8500, 8508, 8520, 8534, 8550, 8564, 8580, and 8600 Wyoming Avenue, Detroit, Wayne County, Michigan 48204 (Subject Property). The Subject Property currently consists of six apartment buildings and one community building, which contain affordable units. The single-story buildings at 8500 and 8520 Wyoming Avenue are 4,035 square feet each. Buildings 8534, 8580, and 8600 Wyoming Avenue are two story buildings consisting of 5,452 square feet each. The buildings at 8550 and 8560 Wyoming Avenue are two story buildings with 5,904 square feet each. The rent concessions for the affordable units allow residents to only pay 30 percent of their income for rent. The exterior portion of the proposed rehabilitation is to consist of the milling and capping of the parking lot, replacement of the decorative fence, landscaping, replacement of parking bollards, replacement of the dumpster enclosure, alley curb replacement, masonry repair, soffit replacement as needed, building cleaning, repair of damaged trim, seal coat all exterior concrete floors, replacement of fabric canopies, roof replacements, building gutter replacement, install new windows, replacement of exterior exhaust vents, door replacements, install new light fixtures, replacement of air conditioning units, and install new wayfinding signage. The Subject Property will retain its on-site parking of 47 parking spaces. The 7 apartment buildings in total contain 35 apartments. Of the 35 apartments, there are 4 studio, 10 one-bedroom, 9 two-bedroom, and 12 three-bedroom apartments. The interior portions of the proposed project are to occur in all apartment buildings. The rehabilitation work to occur in the interior of the apartment buildings constituents installation of new window blinds, install vinyl plank floors with wood trim, replacement of all stairwell handrails, install energy star kitchen appliances, install new cabinetry along with plastic laminate countertops, replacement of all bathroom accessories, install a new intercom system, replacement of all laundry equipment, complete all new corridor finishes including new flooring, install new bathroom plumbing, install new kitchen sinks with garbage disposals, install new kitchen exhaust hoods, replace all lighting with LED fixtures, replacement of all furnaces, replacement of water heaters, repair all plumbing fixtures as needed, repair bath tubs as needed, replacement of bathroom exhaust vents, repair bowing basement stair wall, and repair cracks of the basement stair wall. As part of the rehabilitation the

Buersmeyer-Manor

Detroit, MI

900000010402129

community building on the Subject Property is to undergo the installation of new flooring, replacement of all furniture, repair existing tile as needed, repaint the community building interiors, install new energy star appliances in the common kitchen, install new cabinetry with laminate countertops, replace the mailboxes, and replace all acoustic ceiling tiles. This review is for \$1,500,000.00 in HOME funding and this review is valid for five years.

Funding Information

Grant Number	HUD Program	Program Name	
M23MC260202	Community Planning and Development (CPD)	HOME Program	\$1,500,000.00

Estimated Total HUD Funded Amount: \$1,500,000.00

Estimated Total Project Cost [24 CFR 58.2 (a) (5)]: \$11,234,322.00

Mitigation Measures and Conditions [CFR 1505.2(c)]:

Summarized below are all mitigation measures adopted by the Responsible Entity to reduce, avoid or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure or Condition
Noise Abatement and Control	Incorporation of building materials to bring interior noise levels down to an acceptable range.
Contamination and Toxic Substances	Address lead-dust hazards through EPA/HUD approved HEPA-wash-HEPA cleaning methods and EPA Lead-Safe Certified Firm or a State of Michigan licensed lead abatement firm. Following cleaning, collect clearance samples in accordance with HUD or local requirements.
Contamination and Toxic Substances	All LBP hazards are to undergo one of the following: * The removal and replacement of complete component system. * Individual component removal and on- or off-site LBP removal via wet scrapping or chemical stripping. * Enclosure. * Encapsulation.
Contamination and Toxic Substances	Removal of presumed ACMs prior to all work, if the presumed are planned to be disturbed.

Project Mitigation Plan

The lead based paint hazards and the asbestos containing materials are to be removed prior to the start of general construction activities. The lead based paint hazards and the asbestos containing materials are to be followed by closure reports after the removal activities are completed. The noise abatement is to incorporate the building materials needed to bring interior noise levels down to an acceptable range.

[Buersmeyer Manor HRD Model Mitigation Plan-Revised.pdf](#)

Buersmeyer-Manor

Detroit, MI

900000010402129

Determination:

<input checked="" type="checkbox"/>	Finding of No Significant Impact [24 CFR 58.40(g)(1); 40 CFR 1508.13] The project will not result in a significant impact on the quality of human environment
<input type="checkbox"/>	Finding of Significant Impact

Preparer Signature: *Kim Siegel* DocuSigned by: Kim Siegel Date: 7/31/2024
9396B097C5434FC...

Name / Title/ Organization: Kim Siegel / / DETROIT
DocuSigned by: Kim Siegel

Certifying Officer Signature: *Julie M. Schneider* Date: 8/1/2024
E17830313DAF4C9...

Name/ Title: Julie Schneider, Director, Housing and Revitalization Department

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environment Review Record (ERR) for the activity / project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

EXHIBIT 7
MARKET STUDY

**EXHIBIT 7 – MARKET STUDY
COTS BUERSMEYER MANOR**

Market Study for the Project has been ordered and is expected to be received by May 22, 2023. Please see below, evidence of request for Market Study.



Omar Uddin <omar@uddindc.com>

Buersmeyer Manor Market Study Request

Alan Fehsenfeld <afehsenfeld@ethosdp.com>

Mon, Apr 3, 2023 at 4:11 PM

To: "sykesl@michigan.gov" <sykesl@michigan.gov>

Cc: "omar@uddindc.com" <omar@uddindc.com>, Joseph Heaphy <jheaphy@ethosdp.com>, Andrew Gilroy <agilroy@cotsdetroit.org>

Hi Lori,

Attached please find a market study request for Buersmeyer Manor. This project is applying under the PSH NOFA that was recently issued. A wire to cover the cost of \$6500 was sent by COTS. Please let us know if you have any questions.

Thanks,

[Alan Fehsenfeld](#)

Development Manager

616-826-1630 | afehsenfeld@ethosdp.com



882 Oakman Boulevard, Suite G | Detroit, MI 48238

www.ethosdp.com

11 attachments

0 - Buersmeyer Manor - Market Study Initiation Form.pdf
1825K






1 - Buersmeyer Manor - Proforma.xlsm
1663K

3 - Buersmeyer Manor - Project Narrative.pdf
181K

4 - Buersmeyer Manor - Site Map.pdf
217K

5 - Buersmeyer Manor - Site Plan.pdf
219K

6 - Buersmeyer Manor - Lot List.pdf
79K

-  **7 - Buersmeyer Manor - Scope of Rehab.pdf**
281K
-  **8 - Buersmeyer Manor - Current Rents.pdf**
60K
-  **9 - Buersmeyer Manor - Rent Roll with Tenant Incomes.pdf**
75K
-  **10 - Buersmeyer Manor - Historical Vacancy Rate.pdf**
76K
-  **11 - Buersmeyer Manor - Rent Subsidies Contract.pdf**
250K

Michigan State Housing Development Authority Market Study Initiation Request

Date:

Sponsor Contact Information:

Name and Title

Organization

Address, City,
State, ZIP

Phone

Fax

Project Contact

E-mail

Type of Funding :

Lending/NOFA 4%

4% / 9% Funding

Type of Tenancy :

Family

Family/Senior

Senior

Project Information:

Project Name

Project Address,

City, State, ZIP

Type of Study:

Full Market Analysis
with site visit (\$6,500)

Reduced
Scope Study
(\$3,150)

Rent Reasonableness
Test (\$1,500)

Market Study
Update (\$1,575)

Instructions: MSHDA contracts for market studies that assess the viability of proposals for Direct Lending. Please complete this form and return it to the following:

**via email to sykesl@michigan.gov and
MSHDA-MarketStudies@michigan.gov**

Market studies will be assigned to one of the approved analysts once the fee - via wire transfer (please see below information regarding WIRING INSTRUCTIONS) - and all applicable information is received.

Michigan State Housing Development Authority

Receiving Bank: JP Morgan Chase Bank

ABA #072000326

For credit: Michigan State Housing Development Authority

Account #0363053

Market Analyst Veto:	Baker Tilly	Shaw Research
	Bowen	Novogradac
	MAP	VSI
	RPRG	No Veto Needed

Market Study Information Checklist:

Please provide the following information about your project. Market studies will not be assigned until all of the information is given to MSHDA:

- | | |
|-------------------------------------|---|
| General Studies: | Proforma showing proposed rents, unit types and income targeting |
| | Amenities (See amenities worksheet) |
| | Project narrative |
| | Site map, with subject property clearly noted |
| | Site plan |
| | Lot list for scattered-site developments |
| Rehab/ Preservation Projects | All of the general study information, plus: |
| | Scope of rehab |
| | Current rents |
| | Rent roll with tenant incomes |
| | Historical vacancy rates over last three years |
| | Copy of HAP contract or other document that describes the nature of the current rent subsidies and their duration |

What is the project's current occupancy rate?

Number of subsidized units with type of subsidy

Shelter Plus Care are allocable by COTS to any of their properties

% of Units covered by subsidy

Expiration date of subsidy

% proposed rent increase by unit type

Current rent concessions:

Amenities Checklist

Unit Amenities:	Ceiling Fan Coat Closet Dishwasher Stainless Appliances Exterior Storage Frost Free Refrigerator Garbage Disposal Individual Entry Mini-blinds Patio/Balcony Self-Clean Oven Walk-in Closet Counter Types Microwave	Development Amenities:	Basketball Court Playground Clubhouse Community Room Computer / Business Center Elevator Exercise Room On-site Management Picnic Area Notable Views Common Outdoor spaces
			Other:
Laundry Type:			Air Conditioning:
Security Type:	Intercom Lighting Other	Covered Parking:	None Carport, Fee = \$ # Spots Attached Garage, Fee = \$ # Spots Detached Garage, Fee = \$ # Spots
Types of Parking:			Number of Parking Spots per Unit:
Senior Amenities Checklist:	Congregate 24-hr On-Site Management Activities Emergency Pullcord Healthcare Services Housekeeping Dry Cleaning Activities Director High or Vaulted Ceilings Floor Coverings Bath Fixtures/Cabinets		Library Movie Theater Transportation Services Convenience Shop Beauty/Barber Shop Meals Provided Other Pets allowed, Fee = \$
			Building Type:

RENOVATION OF 8600 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

MICHIGAN

SUMMARY TABLE

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNIAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

SITE DATA

SITE AREA	1.29 ACRES (56,009 SF)
ZONING (EXISTING & PROPOSED)	R2
BUILDING SETBACKS	
FRONT SETBACKS (EXISTING)	= 20'-0"
REAR SETBACK (EXISTING)	= 30'-0"
SIDE SETBACK (EXISTING)	= 10'-0"
PARKING	
PARKING SPACES	EXISTING 44 SPACES
BARRIER FREE SPACES	EXISTING 3 SPACES TOTAL: 47 SPACES
BUILDING HEIGHTS	
ALLOWABLE	40 FEET MAXIMUM
BLDG #	HEIGHT
BLDG #8600	17'-6"

BUILDING DATA

GROSS BUILDING(S) SQUARE FOOTAGE	AREA	BUILDING TYPE
BLDG #	BLDG #8600	3,452 SF
BLDG #8600		TWO STORY

CODE DATA

BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3) EXISTING TOWNHOUSES - LEVEL 1 EXISTING COMMUNITY BUILDING - LEVEL 1 EXISTING LEARNING CENTER - LEVEL 1
MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3

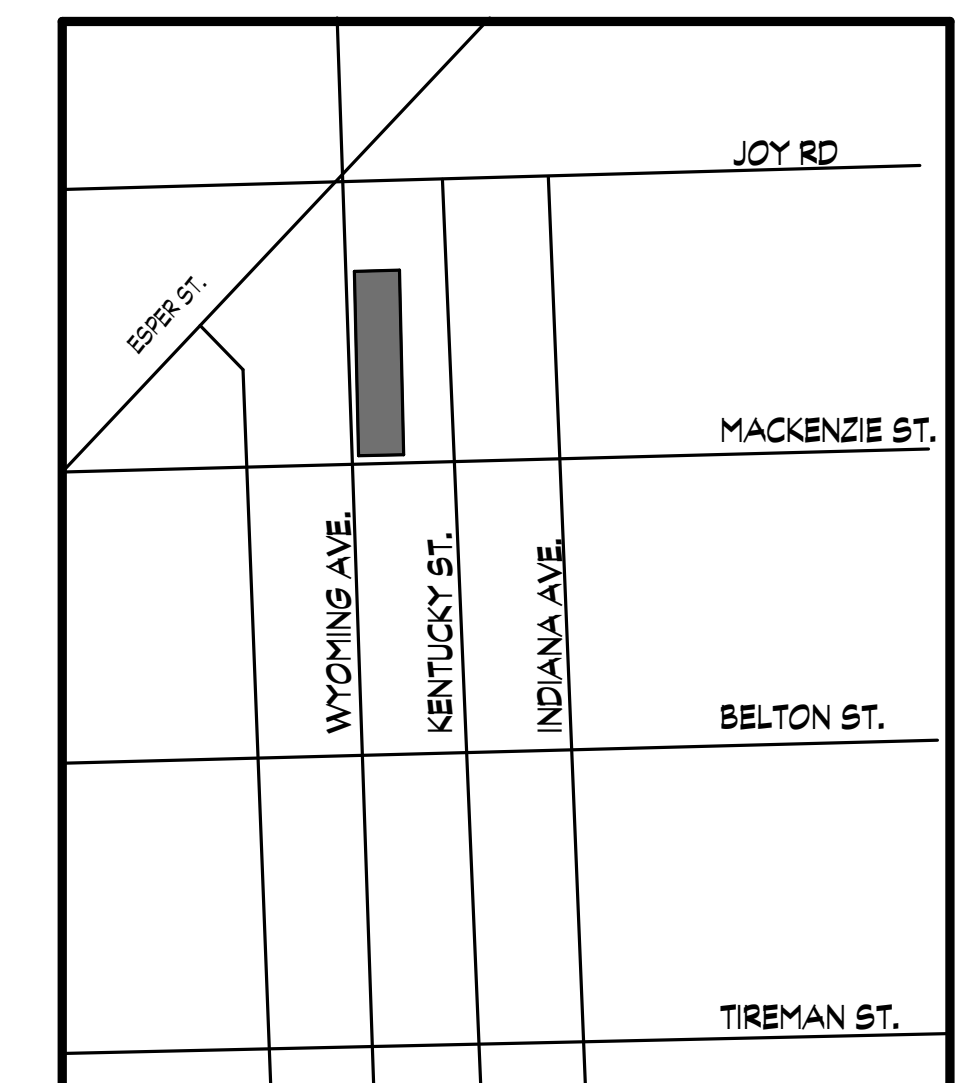
DATE ISSUE

10.09.2023	OWNER'S REVIEW

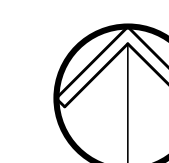
SIGNATURE BLOCK

SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		

MSHDA #: 2355-2



PRELIMINARY
NOT FOR CONSTRUCTION



LOCATION MAP



FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

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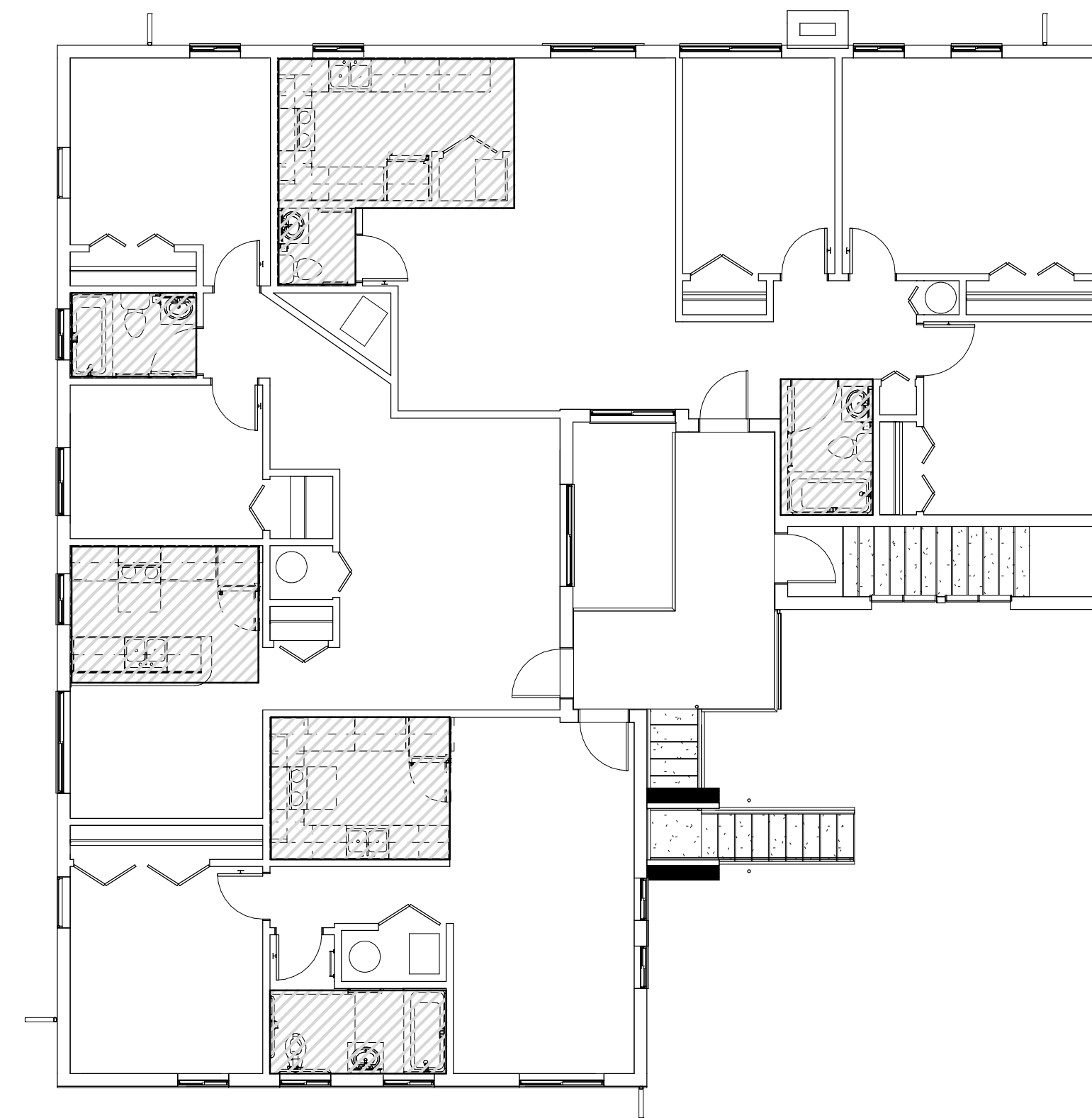
CODE INFORMATION	
PROJECT SCOPE:	PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.
EXISTING CONSTRUCTION:	DWELLINGS UNITS RENOVATED 2004
APPLICABLE CODES:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS ALTERATIONS-LEVEL 1
BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS ALTERATIONS-LEVEL 1
EXISTING UNITS:	ALTERATIONS-LEVEL 1
USE GROUPS:	EXISTING UNITS: R-2 RESIDENTIAL ECOMMUNITY SPACE: A-3, B & S-1
CONSTRUCTION TYPE:	EXISTING UNITS 5B (NON-SPRINKLED)
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE W/ PART 8 MICHIGAN AMENDMENTS
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)
FIRE SUPPRESSION:	NON-SPRINKLED
ACCESSIBILITY:	2009 ICC/ANSI A117.1 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
MSHDA:	REHAB STANDARDS OF DESIGN 2017 2017 MSHDA GREEN
ALLOWABLE BUILDING HEIGHT:	40 FEET MAX.
BUILDING 8500 ONE STORY - EXISTING HEIGHT:	8'-6"
BUILDING 8520 ONE STORY - EXISTING HEIGHT:	8'-6"
BUILDING 8534 TWO STORY - EXISTING HEIGHT:	15'-7"
BUILDING 8550 TWO STORY - EXISTING HEIGHT:	17'-0"
BUILDING 8560 TWO STORY - EXISTING HEIGHT:	16'-6"
BUILDING 8580 TWO STORY - EXISTING HEIGHT:	17'-6"
BUILDING 8600 TWO STORY - EXISTING HEIGHT:	17'-6"
ALLOWABLE NUMBER OF STORIES:	2
EXISTING ONE UNITS:	1 (FLOOR SLAB ON GRADE)
EXISTING TWO STORY UNITS:	2 STORIES WITH BASEMENT
ALLOWABLE AREA:	R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
EXISTING ONE STORY UNITS:	RANGES FROM:
EXISTING TWO STORY UNITS:	RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS	
MBC CONSTRUCTION TYPE: 5B	
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR (MBC TABLE 503)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR (MBC TABLE 503)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR (MBC TABLE 503)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

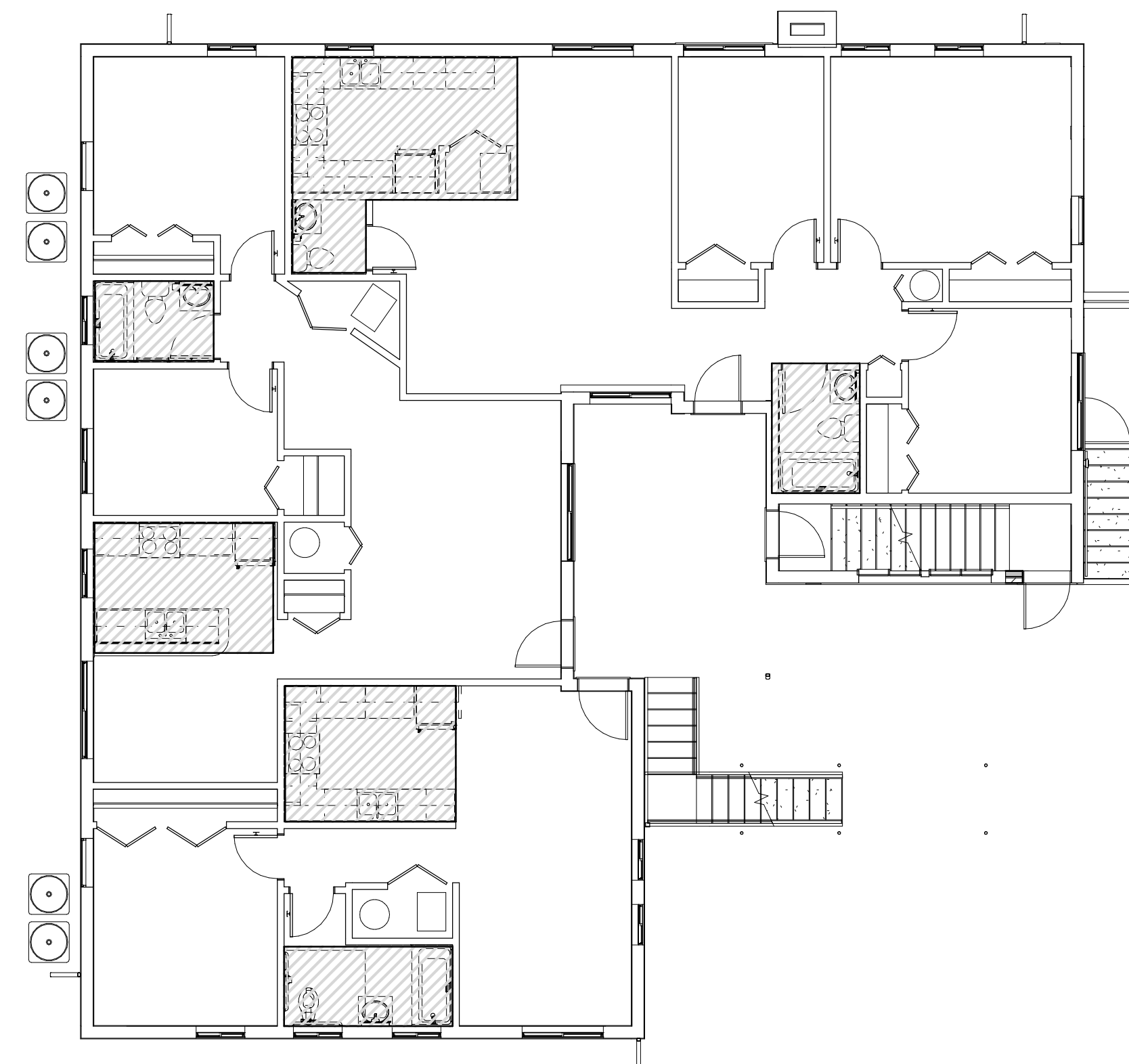
LIFE SAFETY LEGEND	
	AREA OF NO WORK
	AREA OF MRCEB LEVEL 1 RENOVATION
	AREA OF MRCEB LEVEL 2 RENOVATION
	AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
	EXIT
	BUILDING ENT

PRELIMINARY
NOT FOR CONSTRUCTION



**BUILDING 8600 SECOND FLOOR
CODE STUDY**

12
A.C.001 SCALE: 1/8" = 1'-0"



**BUILDING 8600 FIRST FLOOR
CODE STUDY**

11
A.C.001 SCALE: 1/8" = 1'-0"

RENOVATION OF
8600 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

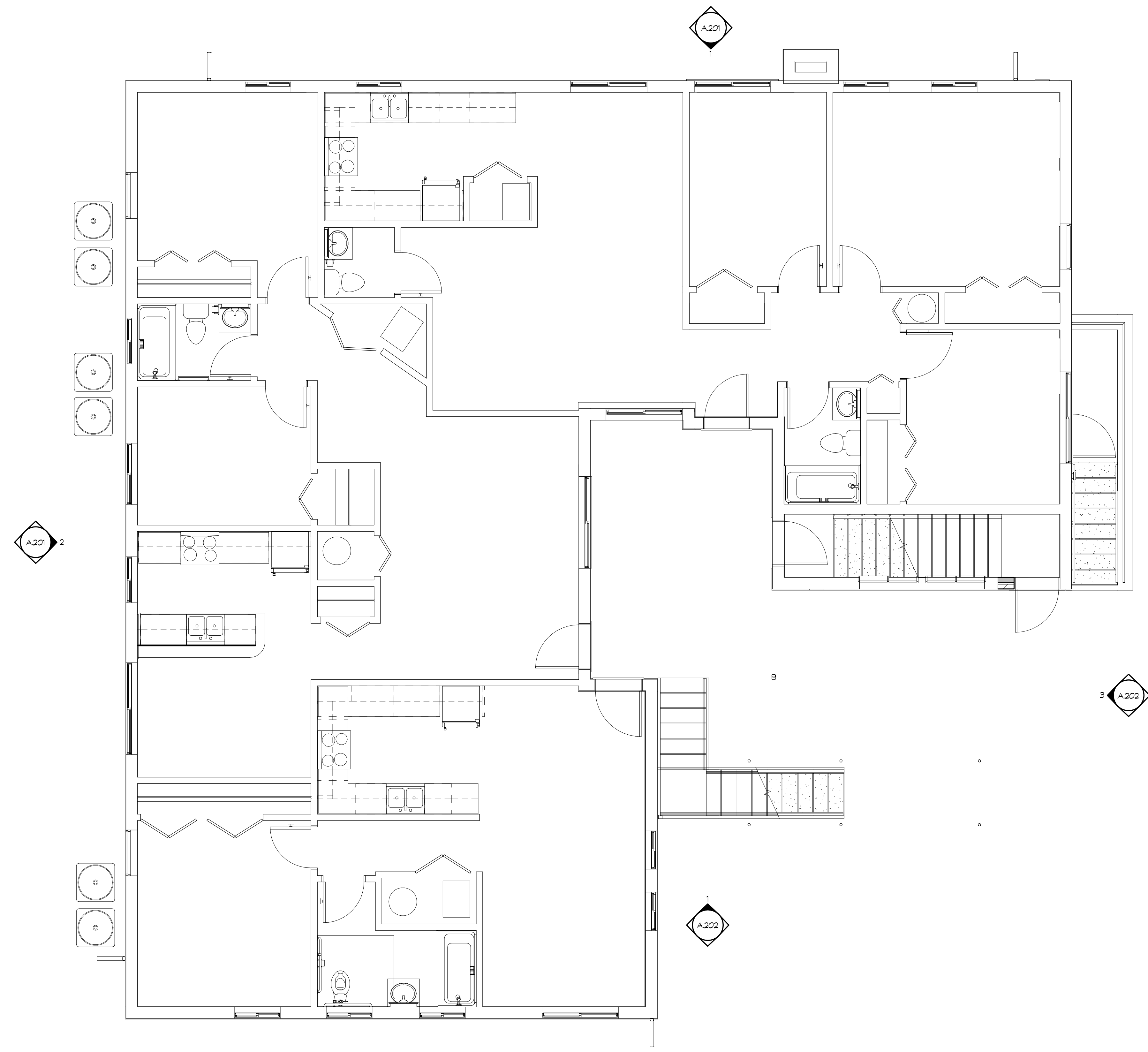
FIRST FLOOR PLAN

DRAWING NUMBER

A.101

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE PULISHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOOLES, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR:**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK, GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS)
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING).
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - PROVIDE NEW BASE AND WALL CABINERY WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



01-FIRST FLOOR 8600
A.101 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF
8600 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

SECOND FLOOR PLAN

DRAWING NUMBER

A.102

GENERAL PLAN NOTES:

- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED. IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
- OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
- EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
- NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
- ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
- KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
- VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
- COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
- UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
- SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
- SEE SHEET A.711 FOR DOOR SCHEDULE.
- SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
- SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

GENERAL OVERALL BUILDING PLAN NOTES:

- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOODS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK, GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING).
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANTYIES, LAVATORRES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



1 SECOND FLOOR PLAN 8600
A.102 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

- GENERAL ROOF NOTES:**
- ROOF PLAN DEMOLITION NOTES:**
- REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
 - REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
 - PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).
- ROOF PLAN NOTES:**
- PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
 - PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
 - CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACE MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
 - COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
 - NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
 - ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
 - PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
 - PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
 - PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
 - PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - FRONT OF RESIDENT UNIT BUILDINGS:
 - AT LEARNING CENTER: REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING: REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
 - PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSEES.**
 - NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING, VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
 - NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A/407.
 - PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
 - ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

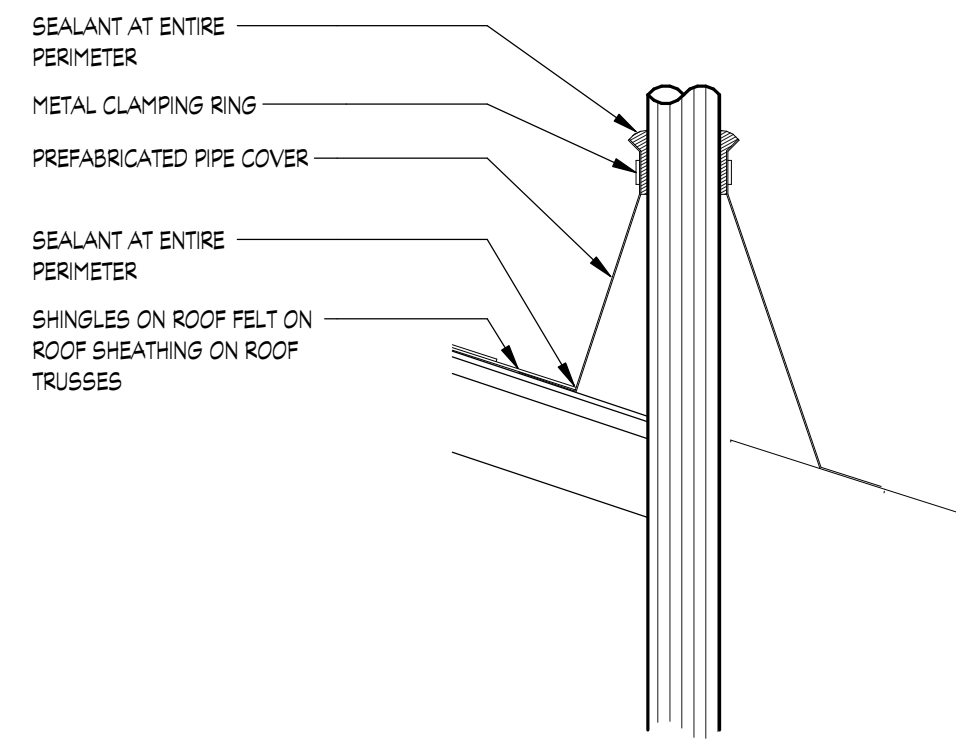
ROOF PLAN LEGEND:

	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE OF EXTERIOR WALL
	SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

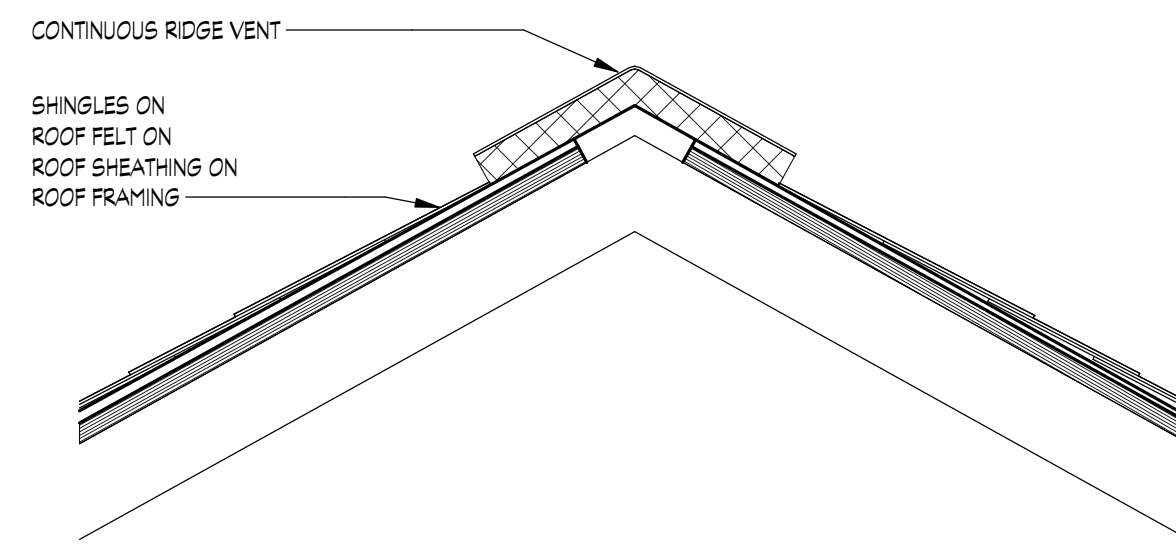
NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, CUTS, PENETRATIONS MUST BE FIRESTOPPED.

PROVIDE UNIT PRICE FOR INSTALL OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS BEING INSTALLED, OR TO PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL, INCLUDING ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CONSIDER ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING THE PATCH, REPAIR AND PREPARING AREA IN THE UNIT PRICE FOR A FINISH INSTALLATION. UNIT PRICE IS AN AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BASED ON THE NUMBER OF ATTIC SEPARATION WALL REQUIRED TO THE PROJECT.

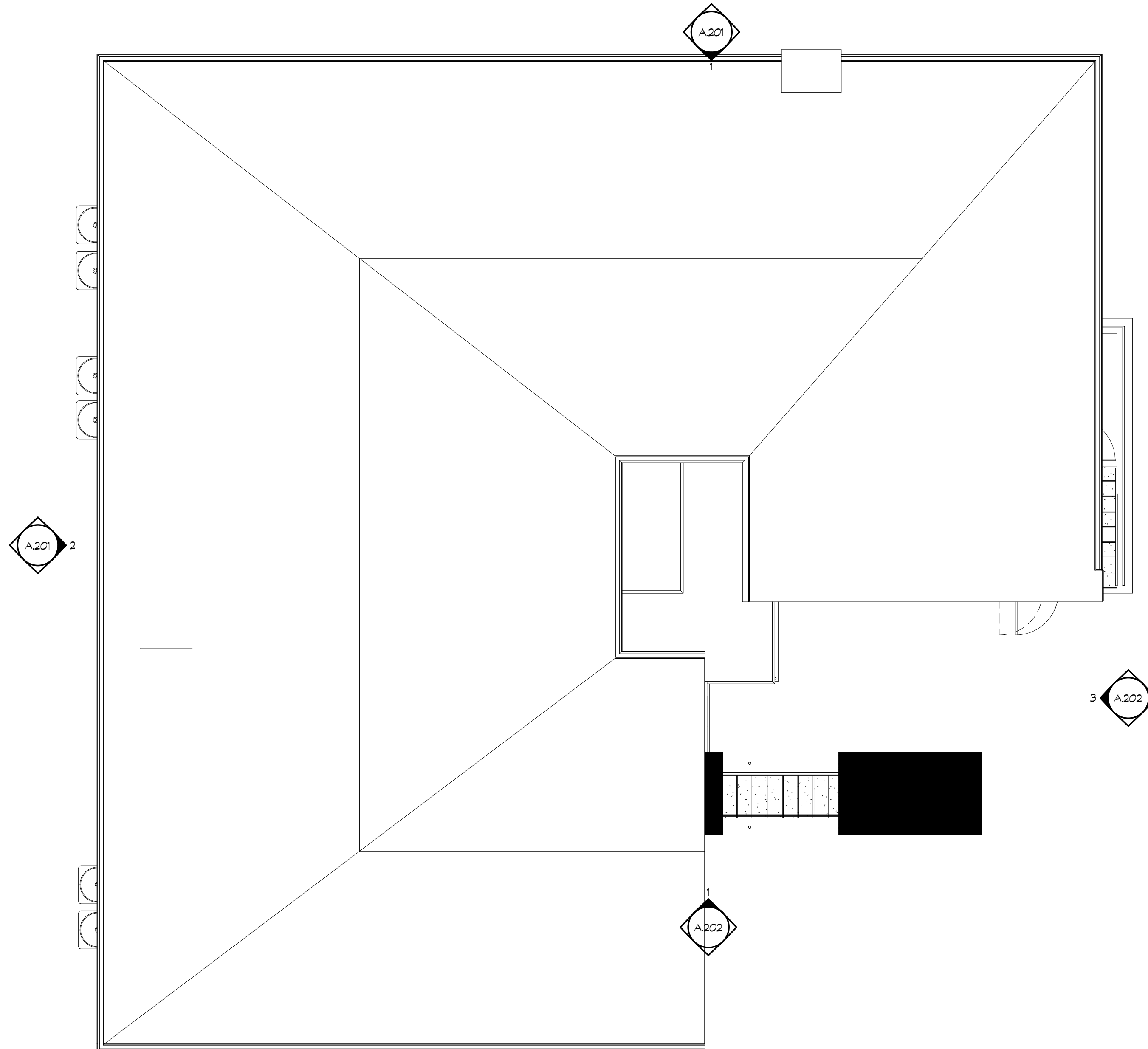
NOTE: EXISTING RATED MASONRY PARTITION TO REMAIN. PARTITION EXTENDS TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE FIRESTOPPED.



2 PIPE PENETRATION SECTION
SCALE: 1 1/2" = 1'-0"



1 RIDGE VENT SECTION
SCALE: 1 1/2" = 1'-0"



3 OVERALL ROOF PLAN 8600
SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOF PLAN

DRAWING NUMBER

A.109

RENOVATION OF
8600 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

EXTERIOR ELEVATIONS

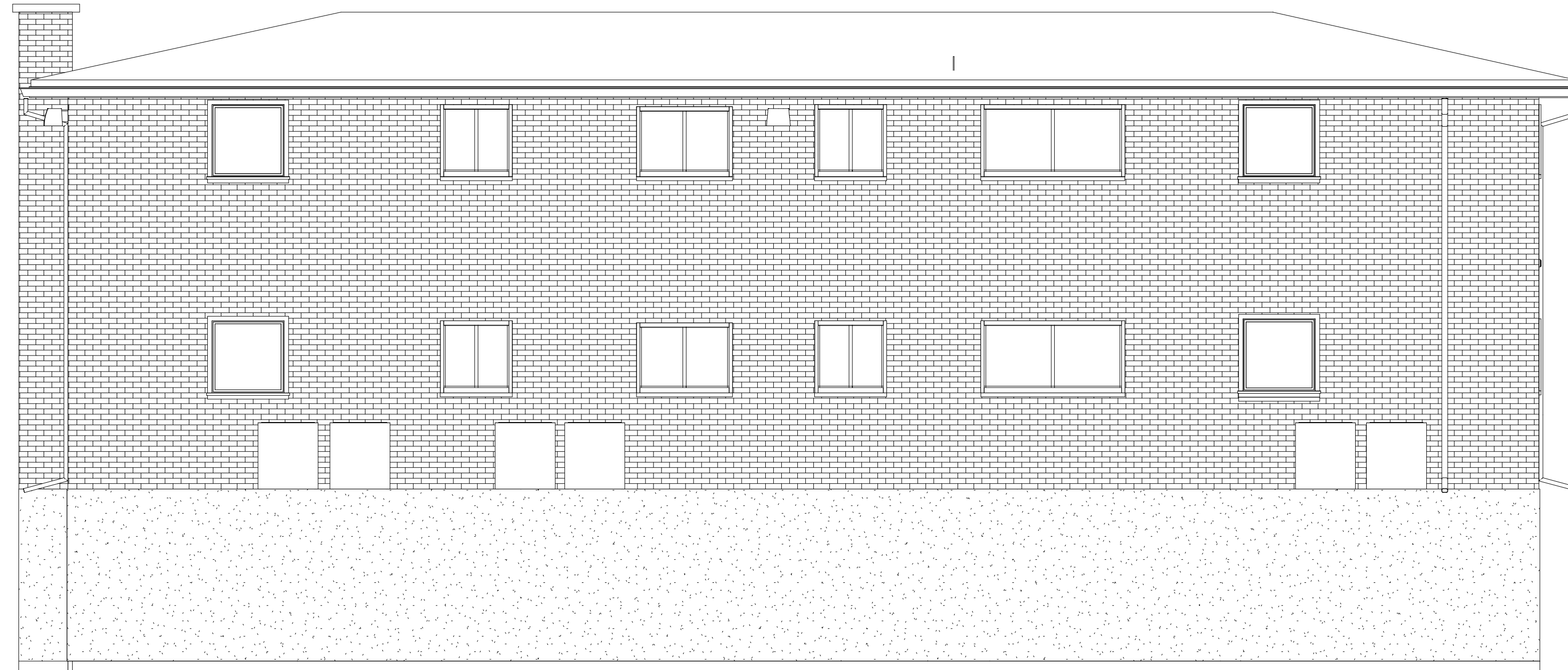
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A.201

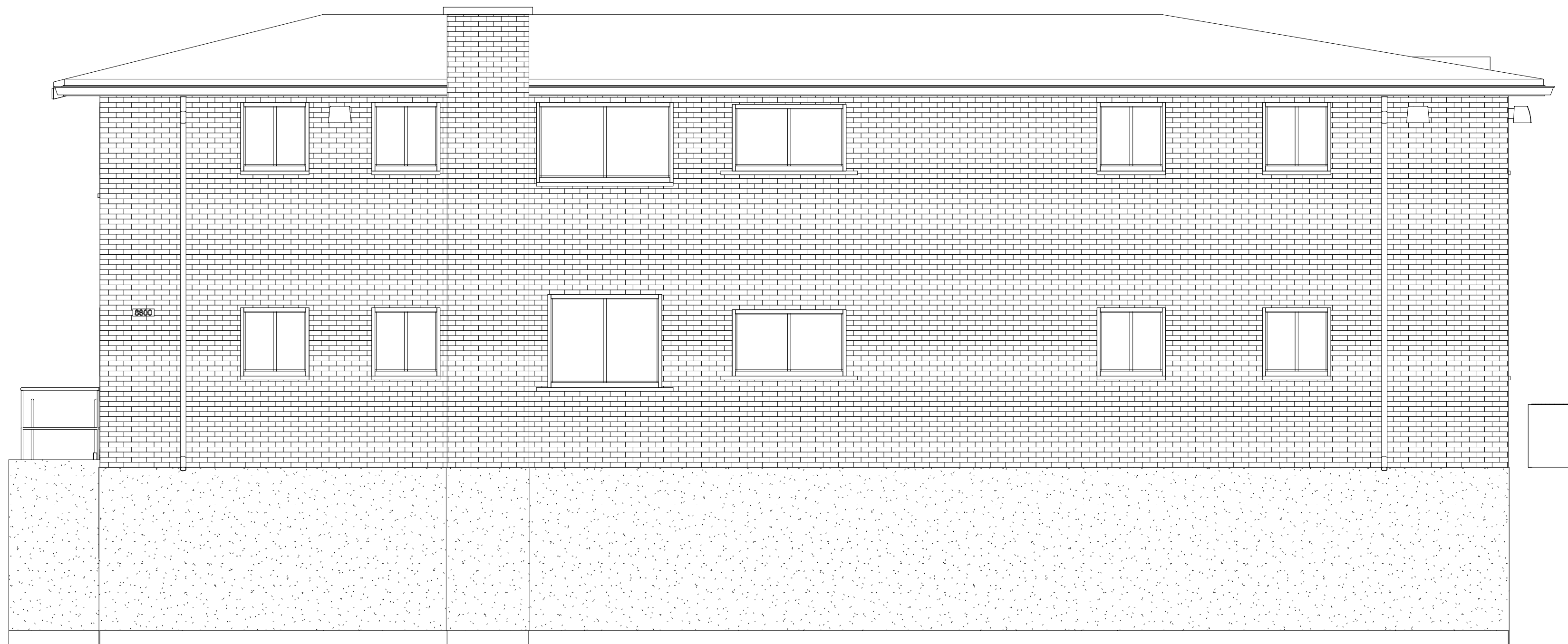
EXTERIOR ELEVATION FINISH SCHEDULE: #

1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER FOR ADDITIONAL INFORMATION.
2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED. REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS. REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. **REAR ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
 - B. **FRONT ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.

SIDING:
CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
7. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSING. (ESTIMATE 5% PER BUILDING).
 - B. TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - D. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
8. **THRESHOLD AND SILL:**
 - A. EXISTING THRESHOLD AND SILL TO REMAIN AND BE CLEANED. RESET AND SECURE ALL LOOSE STONE.
 - B. ALL DAMAGED SILLS AND PRECAST WORK MUST BE REPAIRED AND/OR REPLACED TO MATCH EXISTING.
9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. **STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. **DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
10. **BASEMENT WINDOWS:** EXISTING BASEMENT WINDOW TO REMAIN.
11. **FRONT ENTRY:**
 - A. **PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL).
14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING. REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)

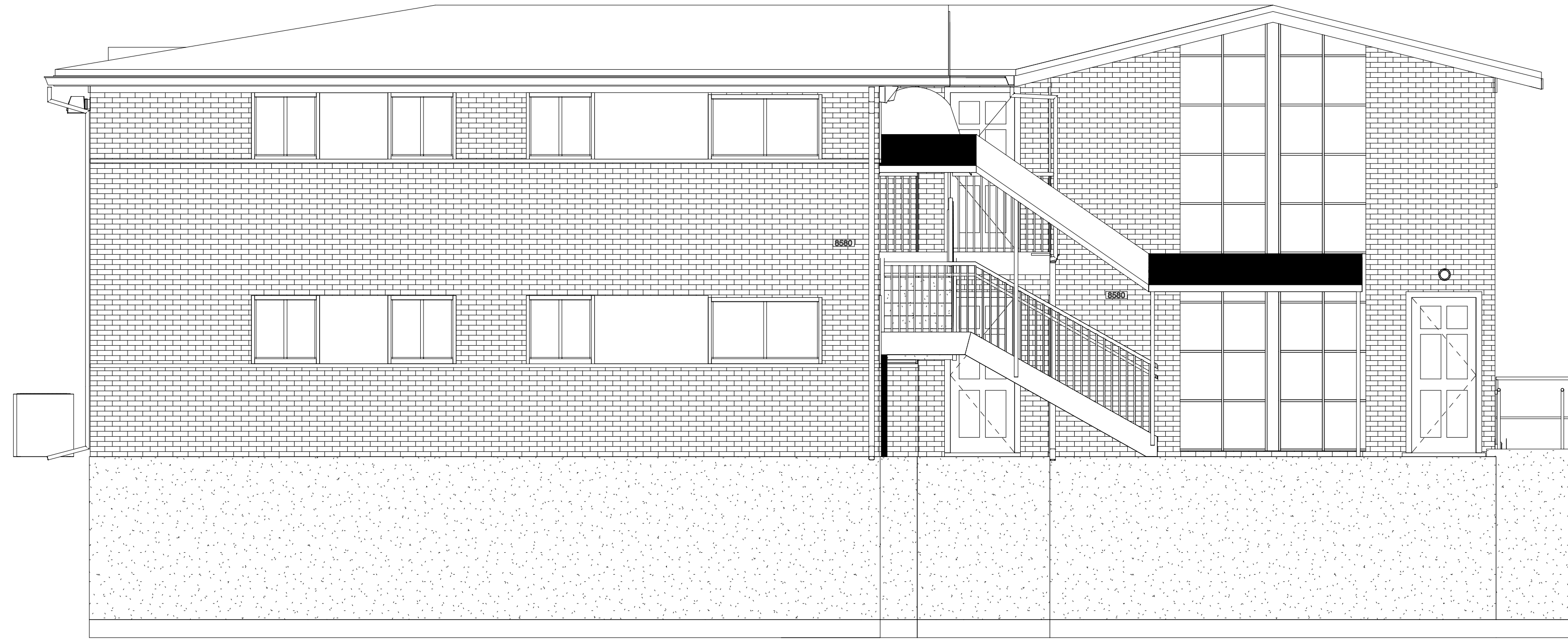


2
A.201
Elevation 42 - a
SCALE: 1/4" = 1'-0"

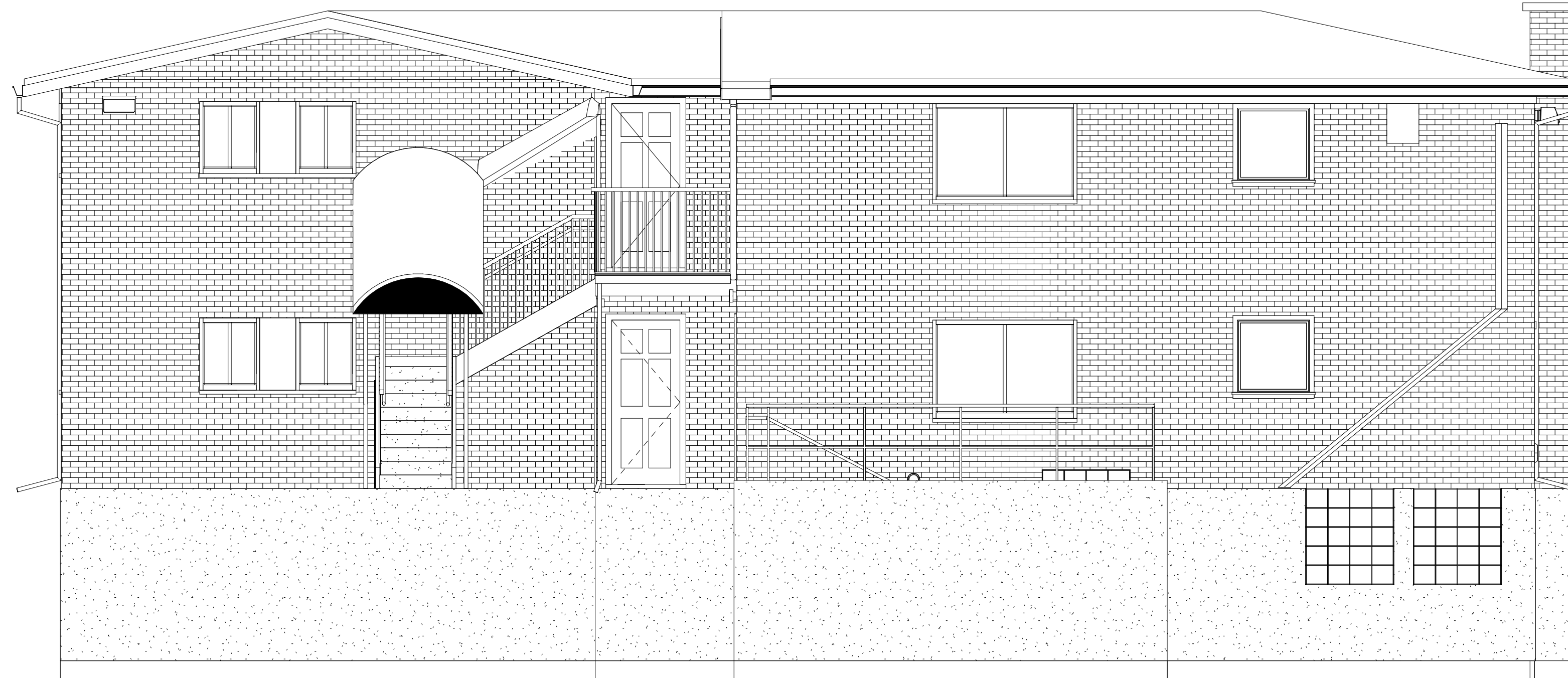


1
A.201
Elevation 41 - a
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



1
A.202
Elevation 39 - a
SCALE: 1/4" = 1'-0"



3
A.202
Elevation 40 - a
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION FINISH SCHEDULE: #

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PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF 8580 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

MICHIGAN

SUMMARY TABLE

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNIAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

SITE DATA

SITE AREA	1.29 ACRES (56,009 SF)
ZONING (EXISTING & PROPOSED)	R2
BUILDING SETBACKS	
FRONT SETBACKS (EXISTING)	= 20'-0"
REAR SETBACK (EXISTING)	= 30'-0"
SIDE SETBACK (EXISTING)	= 10'-0"
PARKING	
PARKING SPACES	EXISTING 44 SPACES
BARRIER FREE SPACES	EXISTING 3 SPACES TOTAL: 47 SPACES
BUILDING HEIGHTS	
ALLOWABLE BLDG #	40 FEET MAXIMUM HEIGHT
BLDG #8580	17'-6"

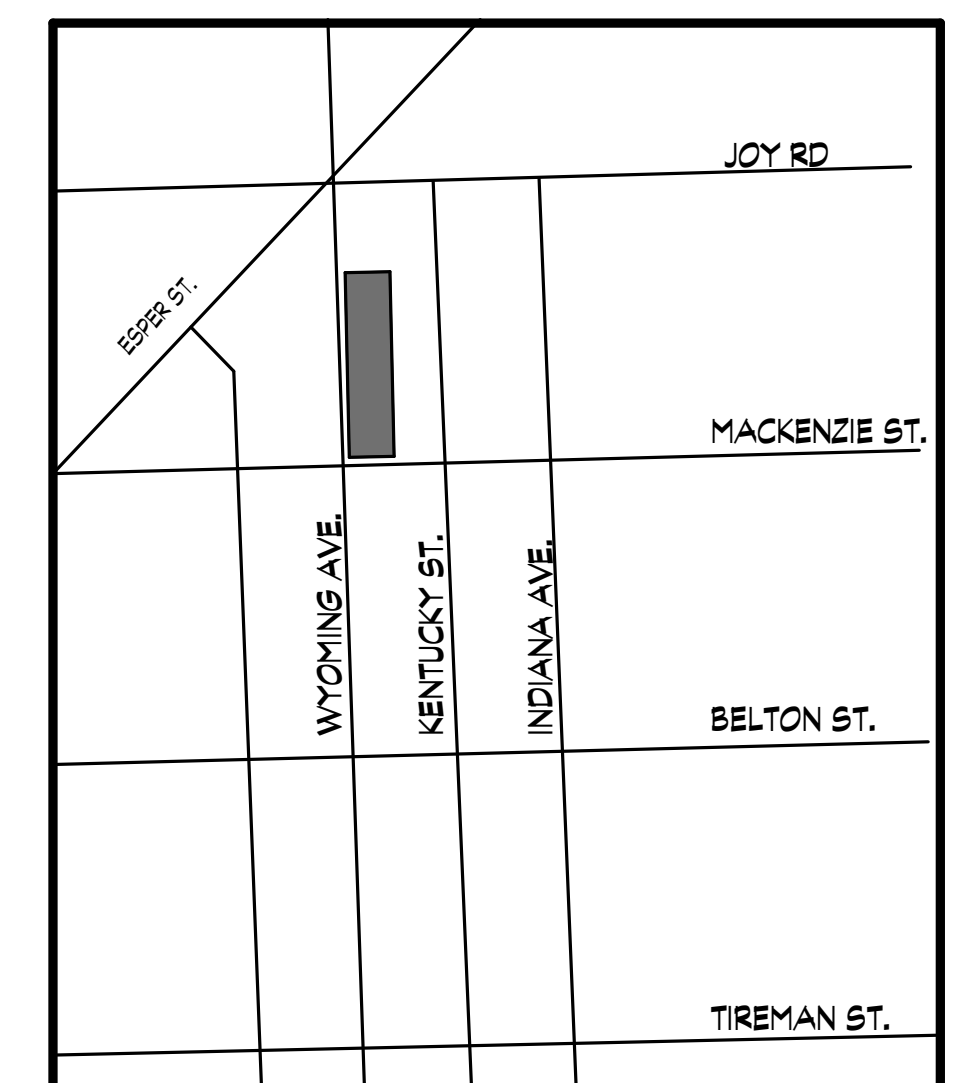
BUILDING DATA

GROSS BUILDING(S) SQUARE FOOTAGE	AREA	BUILDING TYPE
BLDG #	5,452 SF	TWO STORY
BLDG #8580		

CODE DATA

BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3) EXISTING TOWNHOUSES - LEVEL 1 EXISTING COMMUNITY BUILDING - LEVEL 1 EXISTING LEARNING CENTER - LEVEL 1
MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3

MSHDA #: 2355-2



DATE ISSUE

10.09.2023	OWNER'S REVIEW

SIGNATURE BLOCK

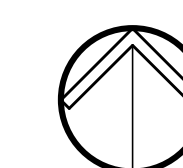
SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		



FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

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LOCATION MAP

CODE INFORMATION

PROJECT SCOPE: PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.

EXISTING CONSTRUCTION: DWELLING UNITS
RENOVATED 2004

APPLICABLE CODES:
BUILDING CODE: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
EXISTING UNITS: ALTERATIONS-LEVEL 1

USE GROUPS: EXISTING UNITS: R-2 RESIDENTIAL
ECOMMUNITY SPACE: A-3, B & S-1

CONSTRUCTION TYPE: EXISTING UNITS 5B (NON-SPRINKLED)

PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE

MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE W/ PART 6 MICHIGAN AMENDMENTS

ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/
MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)

FIRE SUPPRESSION: NON-SPRINKLED

ACCESSIBILITY: 2009 ICC/ANSI A117.1
1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

MSHDA: REHAB STANDARDS OF DESIGN 2017
2017 MSHDA GREEN

- ALLOWABLE BUILDING HEIGHT:
BUILDING 8500 ONE STORY - EXISTING HEIGHT 8'-6"
BUILDING 8520 ONE STORY - EXISTING HEIGHT 8'-6"
BUILDING 8534 TWO STORY - EXISTING HEIGHT 15'-7"
BUILDING 8550 TWO STORY - EXISTING HEIGHT 17'-0"
BUILDING 8560 TWO STORY - EXISTING HEIGHT 16'-6"
BUILDING 8580 TWO STORY - EXISTING HEIGHT 17'-6"
BUILDING 8600 TWO STORY - EXISTING HEIGHT 17'-6"
- ALLOWABLE NUMBER OF STORIES:
EXISTING ONE UNITS: 1 (FLOOR SLAB ON GRADE)
EXISTING 2 STORY UNITS: 2 STORIES WITH BASEMENT
- ALLOWABLE AREA:
EXISTING ONE STORY UNITS: R-2 = 7,000 SF
EXISTING TWO STORY UNITS: RANGES FROM: A-3, B & S-1 = 6,000 SF

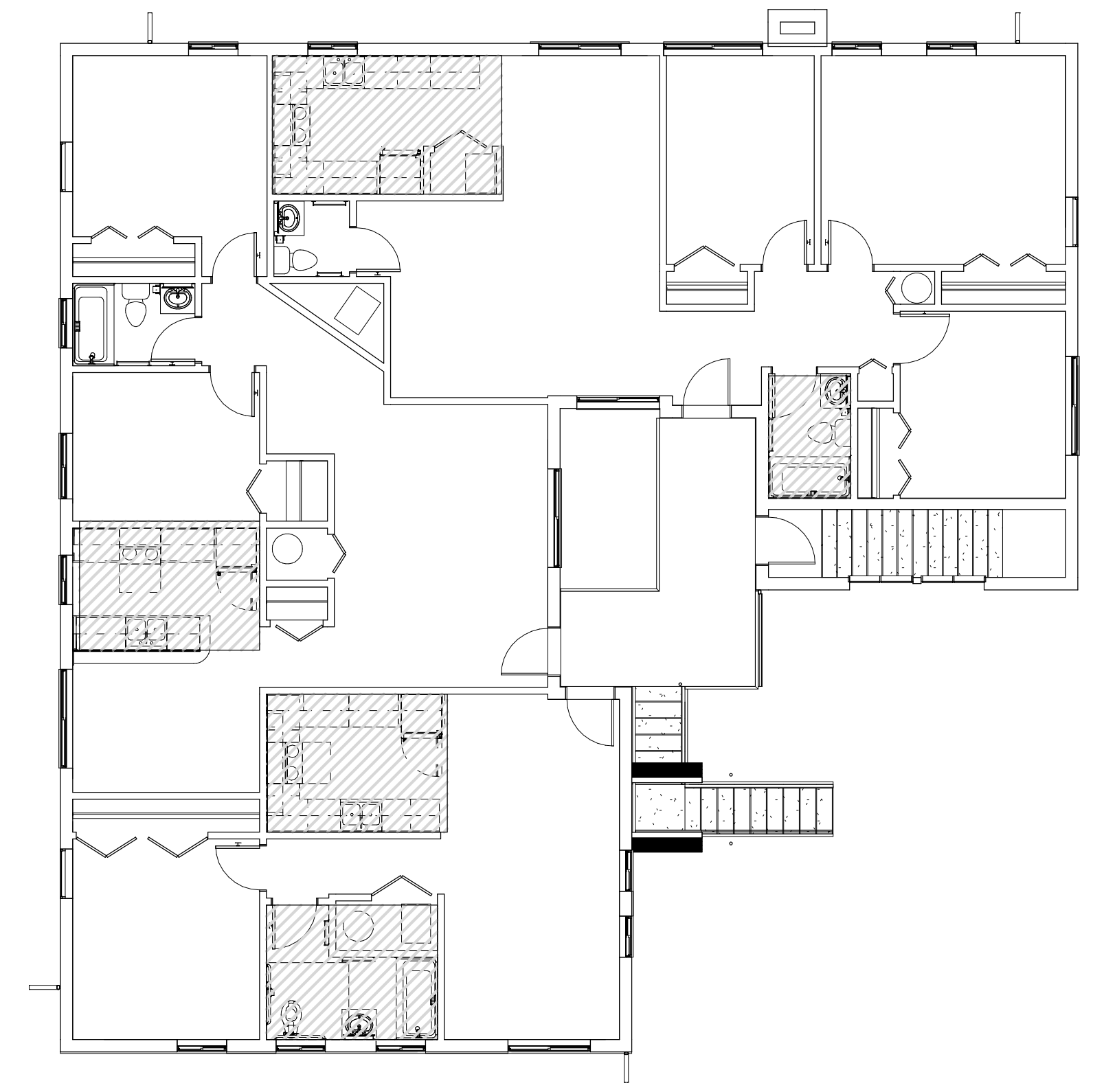
FIRE RESISTANCE RATING REQUIREMENTS

MBC CONSTRUCTION TYPE: 5B	FIRE RATINGS (MBC TABLE 601/602)
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 509)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 509)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 509)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

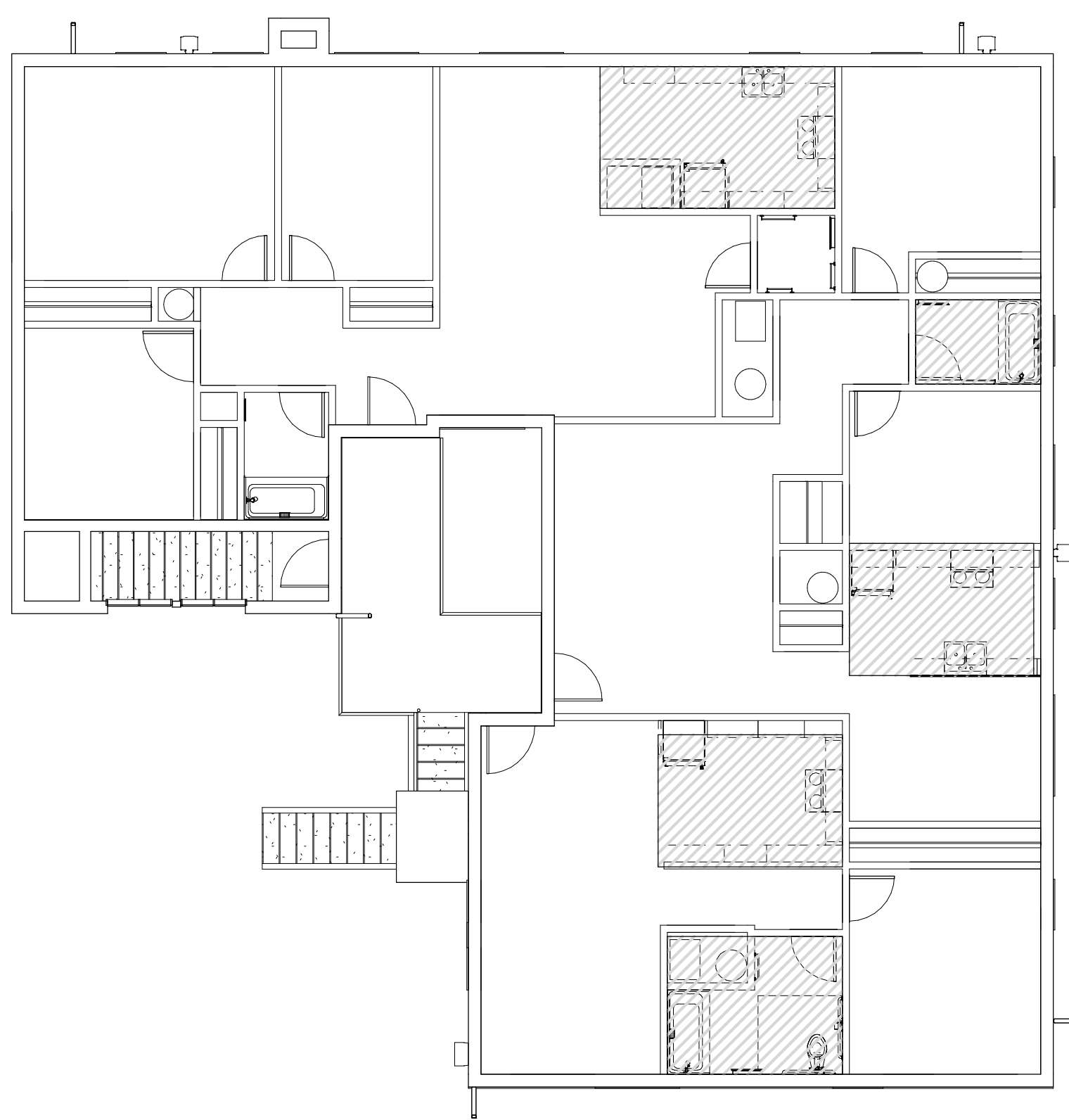
* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

LIFE SAFETY LEGEND

- AREA OF NO WORK
- AREA OF MRCEB LEVEL 1 RENOVATION
- AREA OF MRCEB LEVEL 2 RENOVATION
- AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
- EXIT
- BUILDING EXIT



2 SECOND FLOOR CODE STUDY
A.C.001 SCALE: 1/8" = 1'-0"



1 FIRST FLOOR CODE STUDY
A.C.001 SCALE: 1/8" = 1'-0"

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NOT FOR CONSTRUCTION

PRELIMINARY
NOT FOR CONSTRUCTION

NOTES REGARDING MOLD AND MILDEW:

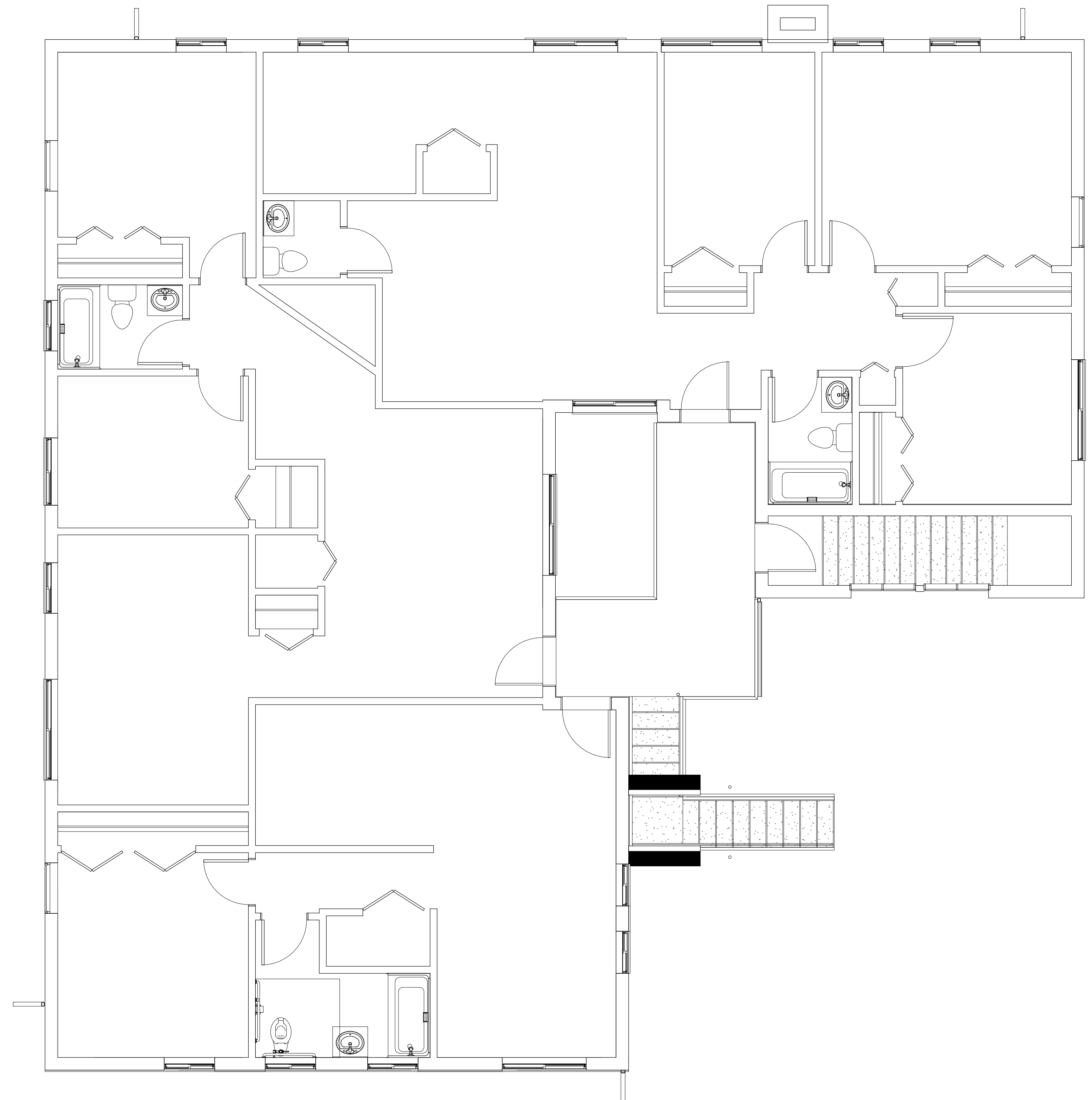
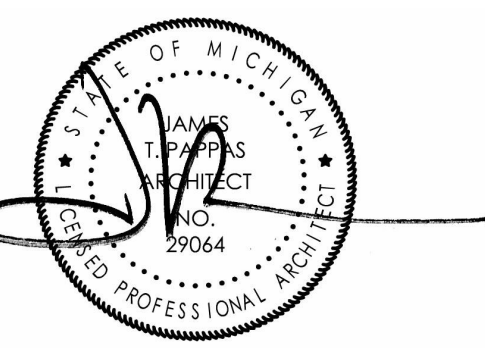
1. THE FOLLOWING REQUIREMENTS MUST APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
3. CONCURRENTLY, THE CONTRACTOR WILL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR WILL BE RESPONSIBLE TO OBTAIN A MINIMUM OF TWO (2) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
4. ONCE DISCOVERY OR SUSPICION OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR MUST TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS MUST REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS MUST NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.
5. THE CONTRACTOR MUST MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION MUST BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
6. THE CONTRACTOR MUST COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
7. ALL PENETRATIONS MUST BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
8. ALL CONDENSATE DRAIN PANS MUST BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL AND WHEN THE FACILITY IS TURNED OVER TO THE OWNER OR TENANT. ENSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. ENSURE THAT ALL 'COLD' SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. ('COLD' SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.)
9. ENSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. RETURN AIR PATHS AND PLENUMS MUST BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS MUST BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.

EXISTING CONSTRUCTION NOTES:

1. BIDDERS SHALL CAREFULLY STUDY AND FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS. BIDDERS SHALL VISIT THE SITE AND COMPLETELY FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, FINISHES, AND EXTENT OF WORK INCLUDED IN THE PROJECT. BIDDERS SHALL CORRELATE THEIR FIELD OBSERVATIONS WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS SO THAT HIS BID REPRESENTS A THOROUGH AND COMPLETE KNOWLEDGE AND UNDERSTANDING OF THE WORK REQUIRED TO BE PERFORMED.
2. CONTRACTOR MUST VISIT THE SITE AND VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTION OR EXISTING CONDITIONS PRIOR TO PRECEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
3. CONTINUOUSLY MAINTAIN TEMPORARY MEANS OF EGRESS.
4. CONTRACTOR TO COORDINATE WITH ARCHITECT AND G.C. MAINTAIN EGRESS AT ALL TIMES. PROVIDE AND MAINTAIN TEMPORARY MEANS OF EGRESS AS REQUIRED. PROVIDE TEMPORARY SIGNAGE AS REQUIRED, AND PROVIDE PANIC HARDWARE ON ANY DOORS, E.G. TO COORDINATE WITH ARCHITECT AND OWNER.
5. PROTECT EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION.
6. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRIERS AND PROTECTIVE ENCLOSURES AS REQUIRED TO ALLOW FOR THE OWNER'S SAFE AND NORMAL USE OF THE PROPERTY.
7. VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK; OBTAIN AND VERIFY ALL DIMENSIONS AND ELEVATIONS TO ENSURE THE PROPER STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK; REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. ALL DISCREPANCIES SHALL BE FULLY RESOLVED PRIOR TO COMMENCING WORK.
8. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH CONSTRUCTION IS DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, IT MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
9. WHERE EXISTING CONSTRUCTION IS TO REMAIN BUT REQUIRES REMOVAL IN ORDER TO PERFORM THE NEW WORK, IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO REMOVE THE CONSTRUCTION AND REPAIR OR REPLACE IT TO THE EXISTING CONDITION OR THE CONDITION THAT MATCHES THE NEW WORK.
10. WHERE EXISTING EQUIPMENT IS TO REMAIN DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION. IF THE EQUIPMENT IS DAMAGED DURING CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL CHARGE TO THE OWNER.
11. WHERE EXISTING EQUIPMENT OR CONSTRUCTION IS REMOVED, THE REMAINING SURFACES, IF NOT SCHEDULED TO RECEIVE A NEW FINISH SHALL BE PATCHED OR REPAIRED TO MATCH ADJACENT SURFACES.
12. WHERE THE EXISTING CONSTRUCTION IS TO BE ALTERED, OR OTHERWISE DISTURBED, PROVIDE TEMPORARY AND/OR PERMANENT BRACINGS AND SHORINGS BEFORE AND DURING OPERATIONS AND UNTIL THE WORK IS SAFELY COMPLETED AND NO LONGER NEEDS SHORING.
13. EACH CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY AND/OR PERMANENT) FOR BOTH NEW AND EXISTING CONSTRUCTION FOR THE SAFE INSTALLATION OF THE NEW CONSTRUCTION AND EQUIPMENT.
14. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS SEQUENCES AND PROCEDURES OF CONSTRUCTION.
15. PROVIDE FIRE WATCH DURING FIELD CUTTING AND WELDING OPERATIONS, MEETING THE OWNER'S REQUIREMENTS.
16. CONTRACTOR TO COORDINATE ALL REPAIR, REPLACEMENT, AND/OR CLEANING OF ALL EXISTING MASONRY, OR STONE, WITH STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAINTAIN A CLEAR PASSAGE AND MEANS OF EGRESS DURING THE CONSTRUCTION TO BOTH THE OWNER OCCUPIED AND CONSTRUCTION OCCUPIED AREAS. TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE GENERAL PUBLIC AND THE WORKERS.

GENERAL DEMOLITION NOTES:

1. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS AND DISPOSE OF OFF SITE IN A SAFE LEGAL MANNER.
2. COORDINATE DUMPSTER LOCATION WITH OWNER AND PROTECT THE EXISTING PAVING/LAWN ETC. FROM DAMAGE, REPAIR DAMAGE AS REQUIRED.
3. REFER TO MECHANICAL, ELECTRICAL DRAWINGS FOR EXTENTS OF DEMOLITION. SOME AREAS HAVE FLOORS SAWCUT AND WALLS CUT FOR NEW WORK WHICH ARE NOT SHOWN ON THIS DRAWING. ELEMENTS THAT REQUIRE DEMOLITION IN ORDER TO CONSTRUCT THE NEW WORK AND ARE NOT SPECIFICALLY SHOWN ON THE DEMOLITION PLANS ARE TO BE INCLUDED WITHIN THE SCOPE OF WORK INCLUDED IN THE PROJECT AND THE CONTRACTORS BID.
4. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
5. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
6. REFER TO THE DEMOLITION SECTION IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
7. COORDINATE ALL TEMPORARY UTILITY SHUT DOWNS WITH THE OWNER PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE OWNER BEFORE ANY UTILITY SHUT DOWN.
8. PROVIDE WEATHERTIGHT AND VANDAL RESISTANT TEMPORARY PROTECTION AT ALL EXISTING EXTERIOR ENVELOPE OPENINGS SUCH AS WINDOW, DOOR, WALL, AND ROOF OPENINGS. MAINTAIN SUCH PROTECTION FOR THE DURATION OF THE CONSTRUCTION PROCESS.
9. PROVIDE ALL DEMOLITION WORK REQUIRED ON THE EXISTING BUILDING AS CALLED FOR ON THE DRAWINGS TO ACCOMMODATE THE RENOVATION WORK. ALL EXISTING CONSTRUCTION OF REMAIN U.N.O.
10. PATCH AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS AND CEILING WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND/OR ELECTRICAL ITEMS ARE REMOVED AS RESULT OF THE DEMOLITION OPERATIONS.
11. VERIFY HEIGHTS, CLEARANCES AND LOCATIONS OF NEW CONSTRUCTION SUCH AS EQUIPMENT AND CEILING BEFORE INSTALLATION OF VARIOUS COMPONENTS AND EQUIPMENT, IF SPACE CONFLICTS ARE FOUND, REPORT THEM IMMEDIATELY TO THE ARCHITECT FOR RESOLUTION.
12. CARRY OUT ALL DEMOLITION WORK IN CLOSE COORDINATION AND COOPERATION WITH STRUCTURAL TRADES FOR PROPER SEQUENCING OF THE WORK TO ENSURE THE COMPLETE SAFETY AND STRUCTURAL INTEGRITY OF THE BUILDING AND ITS ELEMENTS AT ALL TIMES. PROVIDE TEMPORARY COLLUMNS, JACKS, BEAMS, ETC., WHERE REQUIRED TO SUPPORT EXISTING ELEMENTS OF CONSTRUCTION TO REMAIN IN SAFE, COMPETENT MANNER, IN CONFORMANCE WITH ALL LAWS, CODES ORDINANCES, RULES AND REGULATIONS BEARING ON THE WORK.
13. VERIFY DIMENSIONS, FIELD MEASUREMENTS, AND CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
14. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO OWNERS APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK OR VIBRATION TO PORTIONS OF EXISTING STRUCTURE TO REMAIN. DAMAGE CAUSED DURING DEMOLITION SHALL BE REPAIRED BY THE SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
15. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF EXISTING SEWERS, DRAINS, ETC. IN DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT FOR RESOLUTION.
16. SAW CUT/CORE AND REMOVE EXISTING CONCRETE SLAB FOR PLACEMENT OF PLUMBING WORK, FOUNDATIONS, STRUCTURAL STEEL, NECESSARY CAPPING OF EXISTING LINES AND FOUNDATION WORK, ETC. COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
17. ALL EXISTING WALLS, FLOORS AND CEILING THAT WILL REMAIN SHALL BE PREPARED TO RECEIVE NEW FINISHES, UNLESS NOTED OTHERWISE.
18. REMOVE EXISTING INTERIOR SIGNAGE, REPLACE WITH NEW INTERIOR SIGNAGE. REFER TO A.C.003 (DOCUMENT EXISTING SIGNAGE).
19. WHERE MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS ARE INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED FASTENERS, ANCHORS, HANGERS ETC. PATCH AND REPAIR DAMAGED CONSTRUCTION TO MATCH EXISTING AFTER REMOVAL WORK IS COMPLETE.
20. REMOVE ANY ABANDONED MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS FOUND IN CONCEALED SPACES DISTURBED BY DEMOLITION ACTIVITIES.
21. RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE SUPPRESSION SYSTEM SHALL BE DONE BY A CERTIFIED FIRE SUPPRESSION CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE SUPPRESSION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
22. RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE ALARM SYSTEM SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
23. RENOVATION, RELOCATION AND/OR DEMOLITION OF ANY SMOKE DETECTORS SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM/SMOKE DETECTION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
24. DEMOLITION SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL DEMOLITION AREAS HAVE BEEN PREPPED FOR NEW FINISHES.
25. REFER TO SEPARATE HISTORIC RESTORATION NOTE FOR INFORMATION ON WORKING WITHIN AREAS INDICATED AS HISTORIC. DO NOT REMOVE OR DAMAGE ANY BUILDING COMPONENT IN AREAS INDICATED AS HISTORIC UNLESS EXPLICITLY CALLED FOR.



**SECOND FLOOR DEMOLITION
PLAN - BUILDING 8580**

1
A.D.102 SCALE: 1/4" = 1'-0"

**RENOVATION OF
8580 WYOMING APARTMENTS**

MICHIGAN

DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

SECOND FLOOR DEMOLITION PLAN

DRAWING NUMBER

A.D.102

**PRELIMINARY
NOT FOR CONSTRUCTION**

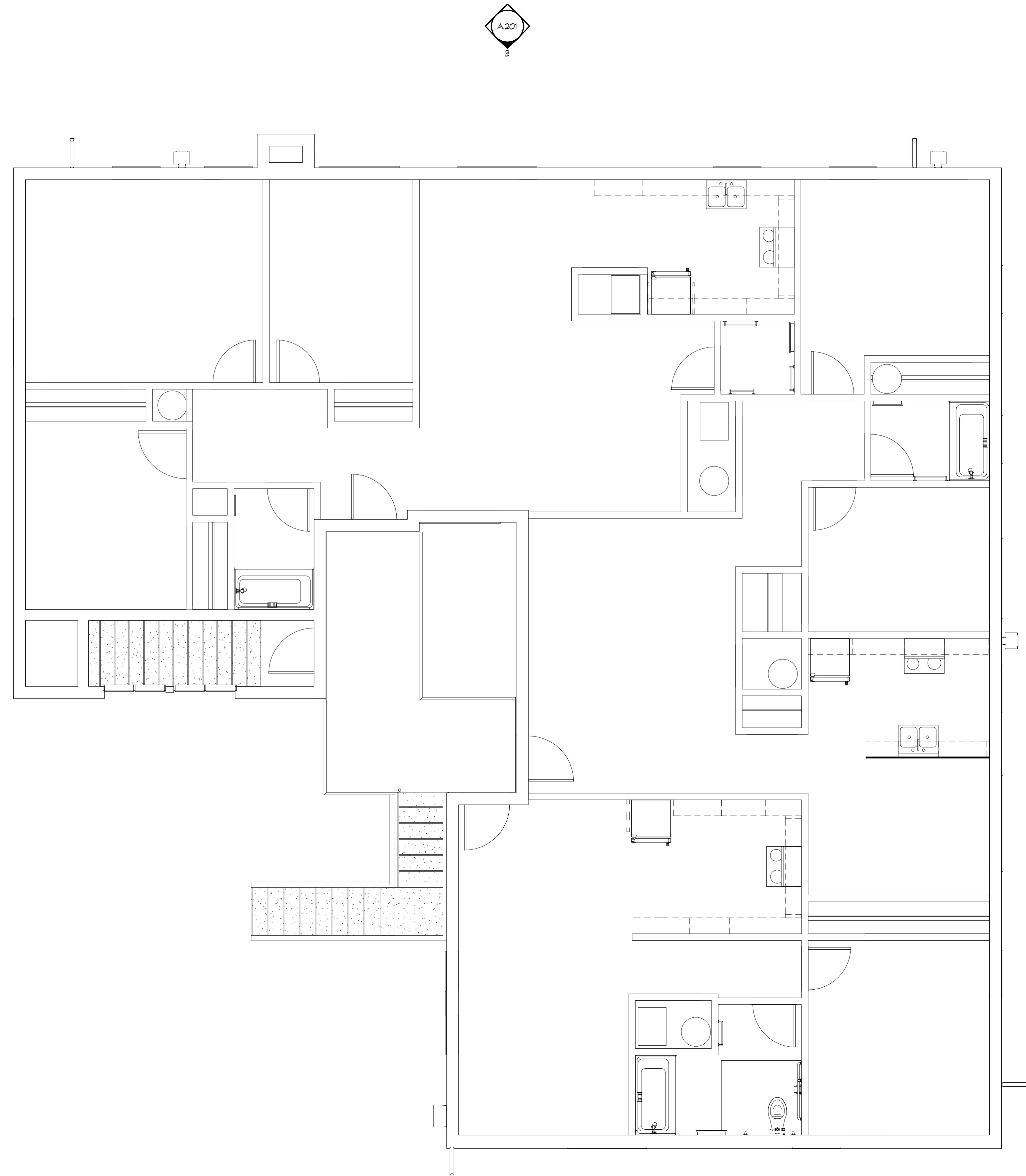
RENOVATION OF
8580 WYOMING APARTMENTS

GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED. IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
2. OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
3. **EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
4. **NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
5. ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
6. **KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - A. KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - B. KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
7. VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
8. COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
9. COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
10. UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
11. SEE SHEET A.101 FOR ROOM FINISH AND WINDOW SCHEDULES.
12. SEE SHEET A.711 FOR DOOR SCHEDULE.
13. SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
14. SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

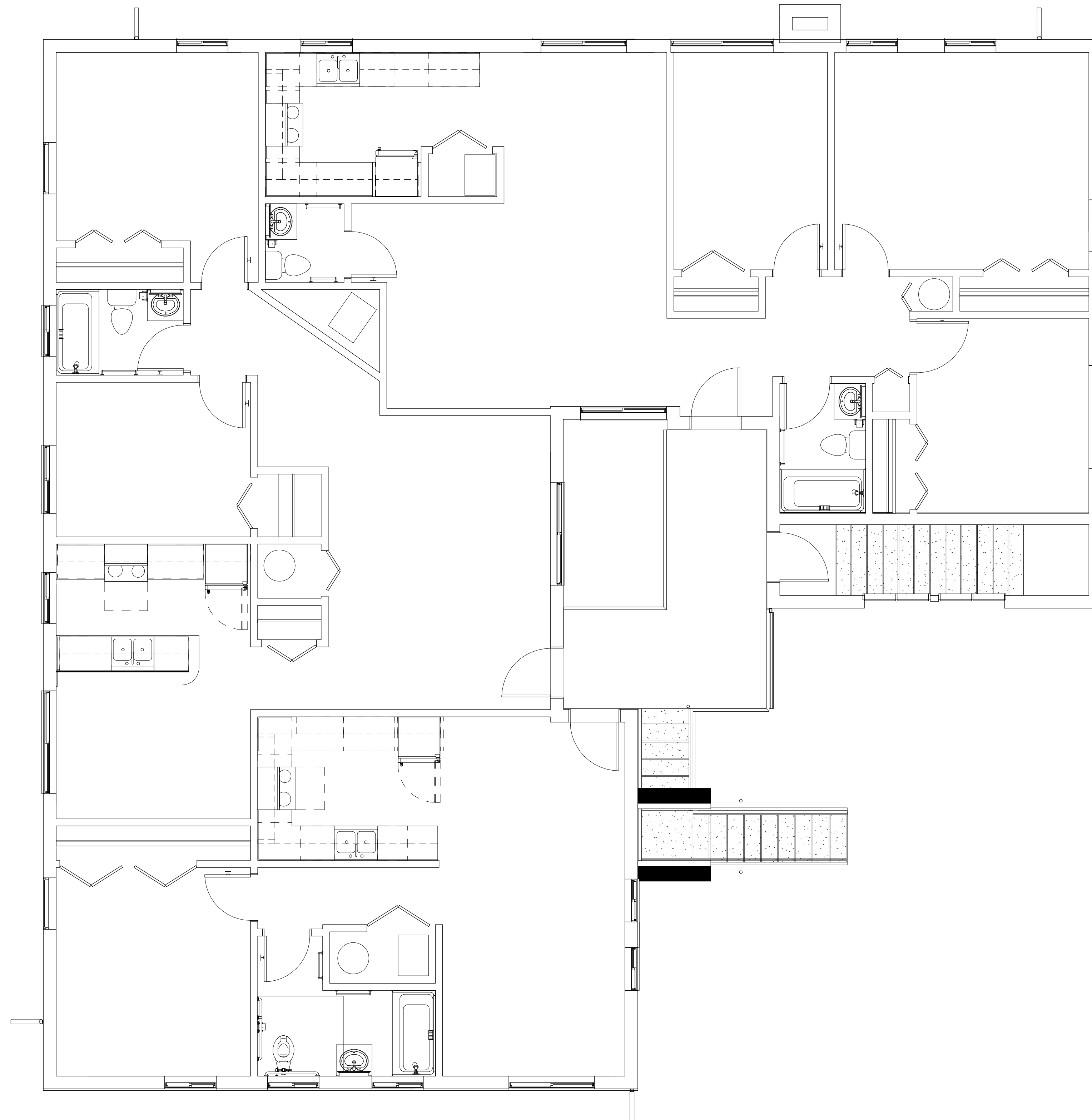
GENERAL OVERALL BUILDING PLAN NOTES:

- BUILDING EXTERIOR**
1. **ENTRY WALK (SIDEWALK):**
 - A. EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - B. REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY. MATCH EXISTING FOR SIZE AND FINISH.
 - C. ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - D. REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 2. **SPLASH BLOCKS:**
 - A. REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - B. LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - C. PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS. COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 3. **AIR CONDITIONER UNITS**
 - A. REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - B. EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 4. **MECHANICAL UNITS:**
 - A. REPLACE EXISTING FURNACE
 - B. REPLACE EXISTING WATER HEATER
 - C. METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 5. **LIGHTING:**
 - A. PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - B. PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 6. **EXTERIOR DOORS:**
 - A. PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 7. **WINDOWS:**
 - A. PROVIDE AND INSTALL NEW WINDOWS, STOOLS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 8. **STAIRS:**
 - A. REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - B. SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 9. **CANOPIES:**
 - A. REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR**
10. **KITCHEN:**
 - A. PROVIDE AND INSTALL NEW SINK. GARBAGE DISPOSAL
 - B. PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - C. PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING.
 - D. PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - E. PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 11. **BATHROOMS:**
 - A. PROVIDE AND INSTALL NEW VANTYIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - B. WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - C. EXISTING BATH-TUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - D. PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - E. PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



FIRST FLOOR PLAN 8580
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
2. OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
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5. ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
6. **KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - A. KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - B. KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
7. VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
8. COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
9. COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
10. UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
11. SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
12. SEE SHEET A.711 FOR DOOR SCHEDULE.
13. SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
14. SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

GENERAL OVERALL BUILDING PLAN NOTES:

- BUILDING EXTERIOR**
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 - A. EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - B. REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - C. ACCESSIBLE WALKS AT PH UNITS TO BE FINISHED WITH UNITS FINISH FLOOR.
 - D. REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 2. **SPLASH BLOCKS:**
 - A. REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - B. LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - C. PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 3. **AIR CONDITIONER UNITS**
 - A. REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - B. EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 4. **MECHANICAL UNITS:**
 - A. REPLACE EXISTING FURNACE
 - B. REPLACE EXISTING WATER HEATER
 - C. METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
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 - A. PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - B. PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 6. **EXTERIOR DOORS:**
 - A. PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 7. **WINDOWS:**
 - A. PROVIDE AND INSTAL NEW WINDOWS, STOOLS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 8. **STAIRS:**
 - A. REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - B. SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 9. **CANOPIES:**
 - A. REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR**
10. **KITCHEN:**
 - A. PROVIDE AND INSTALL NEW SINK GARBAGE DISPOSAL
 - B. PROVIDE AND INSTAL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - C. PROVIDE AND INSTAL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING).
 - D. PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS - TBD).
 - E. PROVIDE NEW BASE AND WALL CABINETRY WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 11. **BATHROOMS:**
 - A. PROVIDE AND INSTAL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - B. WATER CLOSETS TO REMAIN. PROVIDE AND INSTAL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - C. EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - D. PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - E. PROVIDE AND REPLACE EXHAUST FANS AND VENTS.

1 SECOND FLOOR PLAN 8580
A.102 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

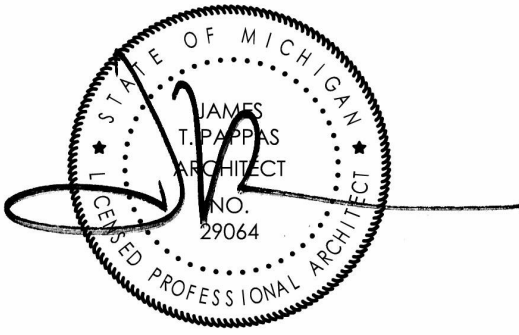
FSP PROJECT NO.
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DRAWING TITLE

SECOND FLOOR PLAN

DRAWING NUMBER

A.102



MICHIGAN

**RENOVATION OF
8580 WYOMING APARTMENTS**

DETROIT

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
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DRAWING TITLE

BUILDING 8580 & 8580 ROOF PLANS

DRAWING NUMBER

A.109

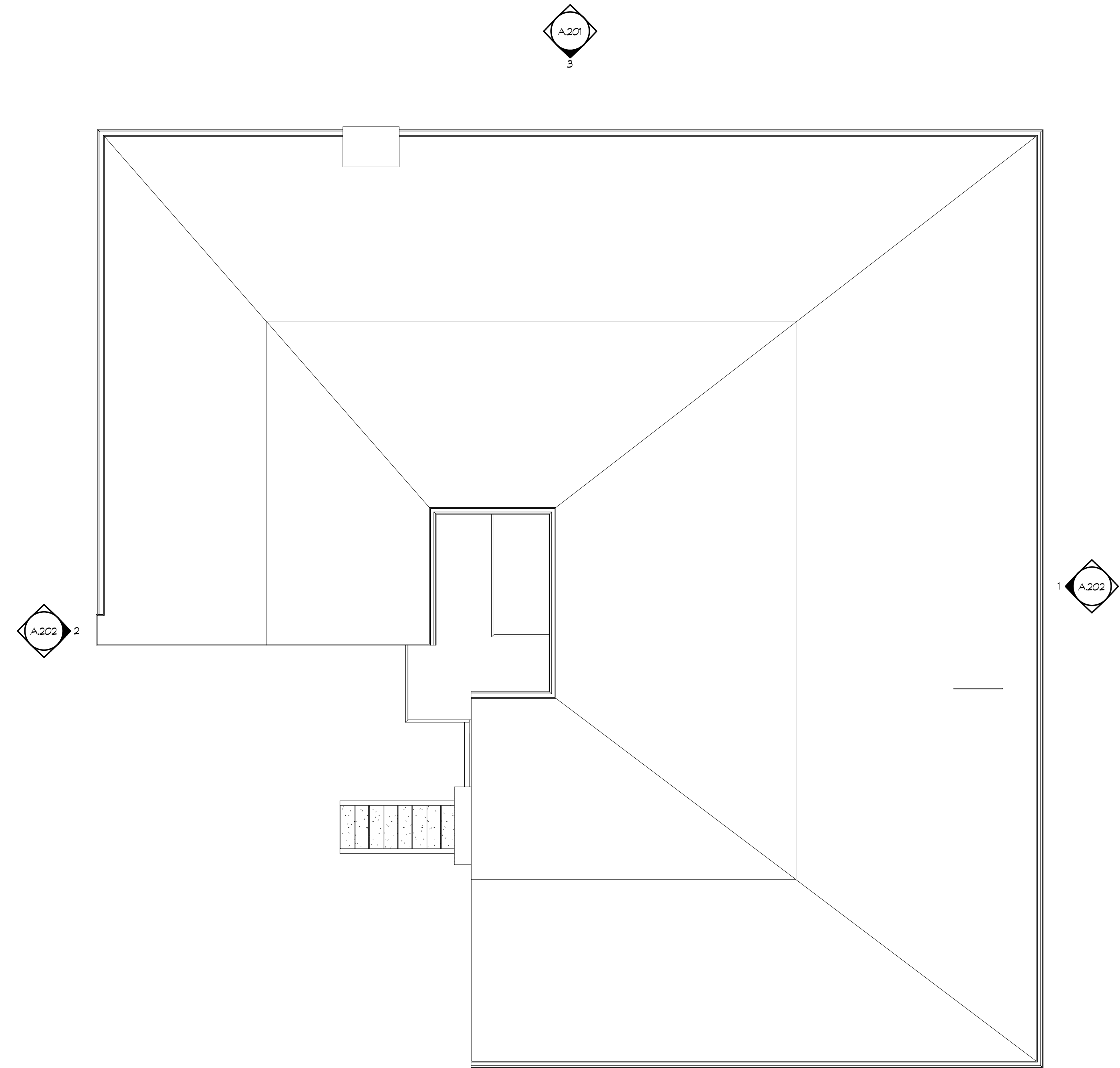
- GENERAL ROOF NOTES:**
- ROOF PLAN DEMOLITION NOTES:**
- REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
 - REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
 - PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).
- ROOF PLAN NOTES:**
- PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
 - PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
 - CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACE MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
 - COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
 - NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
 - ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
 - PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
 - PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
 - PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
 - PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - PROVIDE SPLASH BLOCKS FOR THE FOLLOWING LOCATIONS:
 - FRONT OF RESIDENT UNIT BUILDINGS
 - AT LEARNING CENTER: REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING: REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
 - PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSES.**
 - NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING, VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
 - NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A.407.
 - PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
 - ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

ROOF PLAN LEGEND:

	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE OF EXTERIOR WALL
	SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

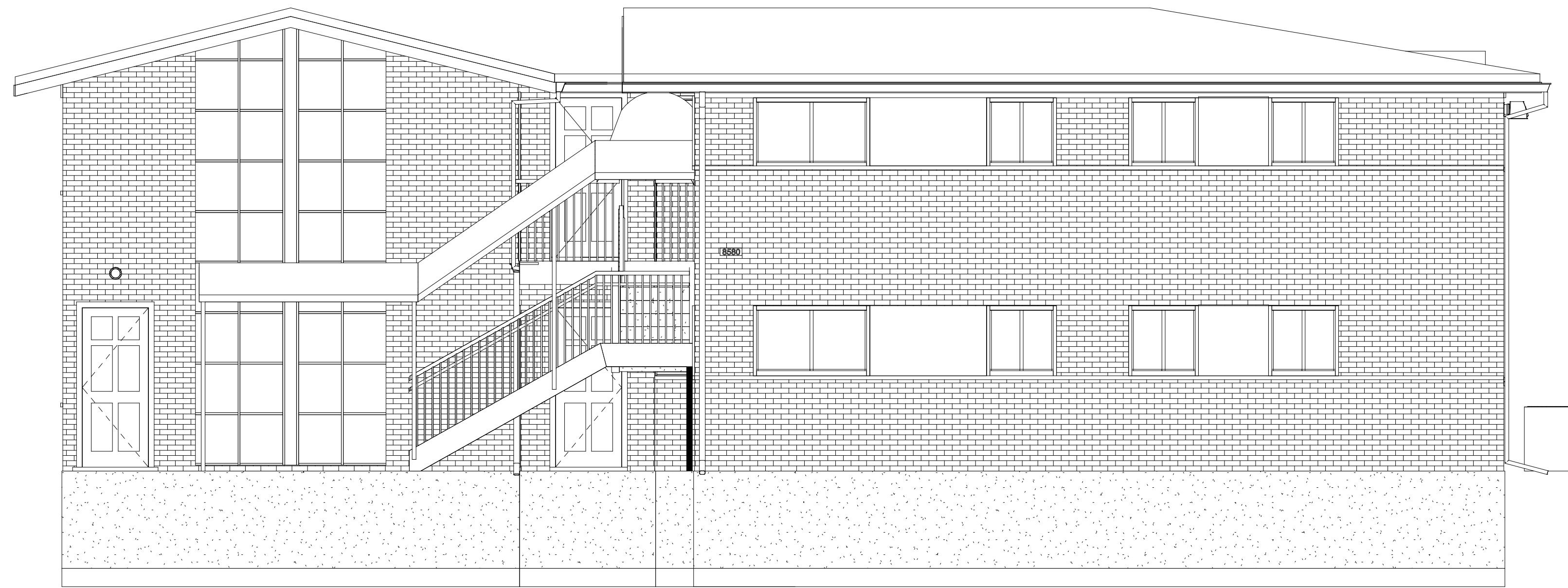
NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE FIRESTOPPED.

PROVIDE UNIT PRICE FOR INSTALLATION OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS TO BE INSTALLED, PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL. INCLUDE ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CONSIDER ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING THE PATCH, REPAIR AND PREPARING AREA IN THE UNIT PRICE FOR A PARTIAL INSTALLATION. UNIT PRICE IS AN AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BASED ON THE NUMBER OF ATTIC SEPARATION WALL REQUIRED TO THE PROJECT.

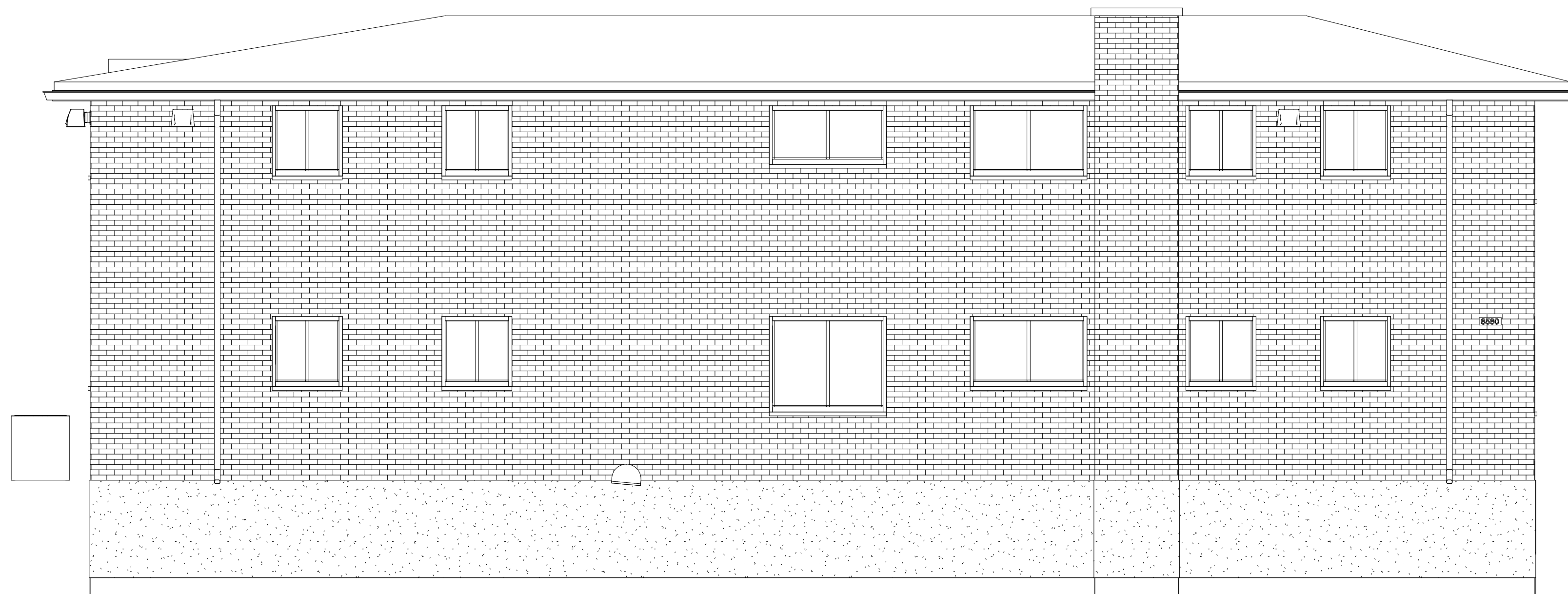


2 OVERALL ROOF PLAN 8580
SCALE: 3/16" = 1'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**



1 FRONT ELEVATION
A.201 SCALE: 1/4" = 1'-0"



3 FRONT ELEVATION
A.201 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION FINISH SCHEDULE: #

1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER FOR ADDITIONAL INFORMATION.
2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED, REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS. REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. **REAR ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
 - B. **FRONT ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.

SIDING:
CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
7. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSING. (ESTIMATE 5% PER BUILDING).
 - B. TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - D. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
8. **THRESHOLD AND SILL:**
 - A. EXISTING THRESHOLD AND SILL TO REMAIN AND BE CLEANED. RESET AND SECURE ALL LOOSE STONE.
 - B. ALL DAMAGED SILLS AND PRECAST WORK MUST BE REPAIRED AND/OR REPLACED TO MATCH EXISTING.
9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. **STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. **DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
10. **BASEMENT WINDOWS:** EXISTING BASEMENT WINDOW TO REMAIN.
11. **FRONT ENTRY:**
 - A. **PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL).
14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING, REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)

MICHIGAN
 DETROIT
 RENOVATION OF
 8580 WYOMING APARTMENTS

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

BUILDING 8580 EXTERIOR ELEVATIONS

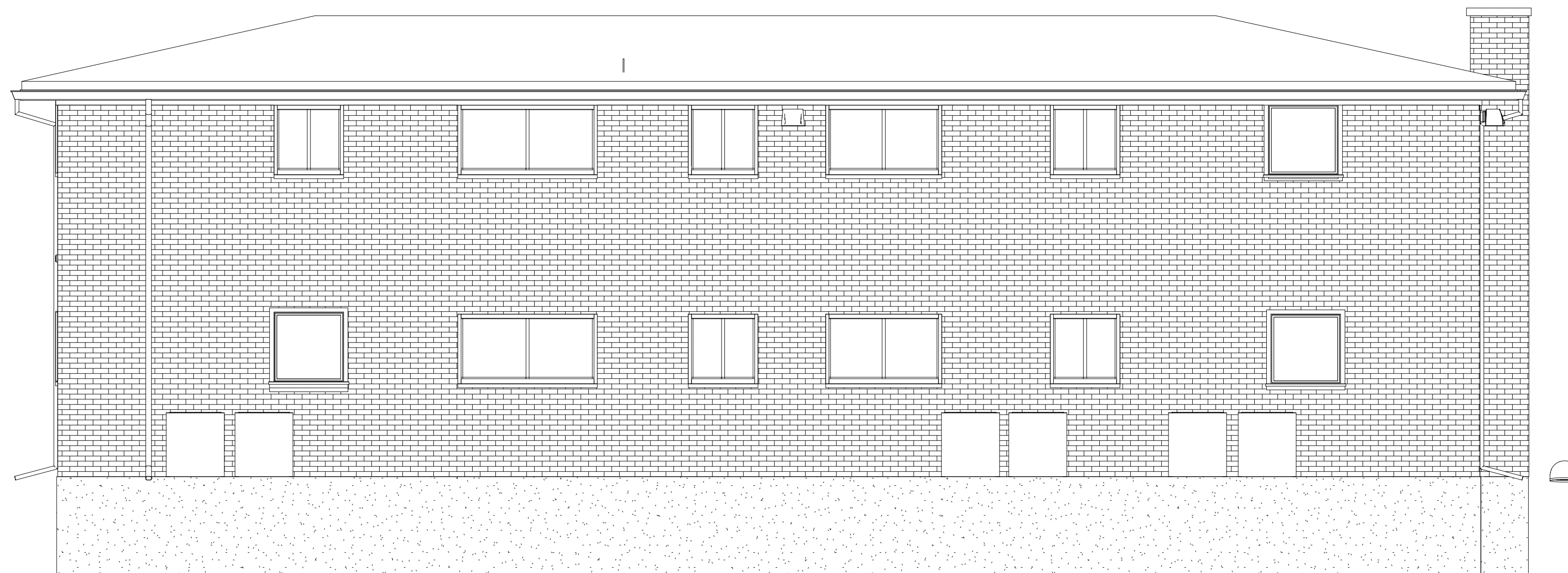
DRAWING NUMBER

A.201

PRELIMINARY
 NOT FOR CONSTRUCTION



Elevation 38 - a
SCALE: 1/4" = 1'-0"



Elevation 36 - a
SCALE: 1/4" = 1'-0"

**RENOVATION OF
8580 WYOMING APARTMENTS**
MICHIGAN
DETROIT

10.09.2023	OWNERS REVIEW
DATE	ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

EXTERIOR ELEVATIONS

DRAWING NUMBER

A.202

**PRELIMINARY
NOT FOR CONSTRUCTION**

ROOM FINISH NOTES

GENERAL NOTES:

- SEE BUILDING AND WALL SECTIONS FOR ADDITIONAL CEILING HEIGHT INFORMATION.
- SMALL ROOMS OR CLOSETS WHICH DO NOT APPEAR IN THE ROOM FINISH SCHEDULE SHALL BE FINISHED THE SAME AS THE ROOM (SPACE) IT OPENS ONTO, EXCEPT IF NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FINISHES NOT LISTED IN THE ROOM FINISH SCHEDULE.

ROOM FINISH NOTES:

1. CLEAN AND PREPARE THE FLOOR AND WALLS FOR NEW PAINT. COORDINATE WITH OLEADY PAINT FOR OWNERS' BASEMENT PAINT TYPE AND COLOR.
2. EXPOSED BASEMENT CEILING JOIST TO REMAIN AS IS. REMOVE ANY LOOSE OR MISCELLANEOUS ITEMS (WIRING, PIPING, DEBRIS, ETC.) THAT IS NOT IN USE OR NEEDED.
3. REPAIR, PREPARE AND REFINISH ALL HARDWOOD FLOORING.
4. EXPOSED CONCRETE FLOORS TO BE SEALED.
5. FOR **PLUMBING**: SLOPE NEW CONCRETE FLOOR 1/8" PER 1'-0" TO FLOOR DRAIN.
6. SPOT REMOVE GYPSUM BOARD (WALLS AND CEILING). REPAIR, PATCH, PREPARE AND INSTALL NEW GYPSUM BOARD FOR NEW PAINT FINISH. (U.N.O.)
7. CLEAN AND PREPARE THE WALLS AND CEILING FOR NEW PAINT.
8. FLAT PAINT ON GYPSUM BOARD SOFFITS. NO PAINT ON ACOUSTIC CEILING TILE (A.C.T.).
9. TOUCH-UP PAINT AROUND NEW LIGHT FIXTURES.
10. CLEAN AND PREPARE IN-FILL WALL AREA FOR NEW PAINT.

ROOM FINISH SCHEDULE

RM NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	CEILING	PAINT / FINISH		NOTES
		FINISH	FINISH	MATERIAL	MATERIAL	HEIGHT	WALL	CEILING	
0	Room						L	G	

**RENOVATION OF
8580 WYOMING APARTMENTS**

MICHIGAN

DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOM FINISH SCHEDULE

DRAWING NUMBER

A.701

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF 8560 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

MICHIGAN

SUMMARY TABLE

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNIAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

SITE DATA

SITE AREA	1.29 ACRES (56,009 SF)
ZONING (EXISTING & PROPOSED)	R2
BUILDING SETBACKS	
FRONT SETBACKS (EXISTING)	= 20'-0"
REAR SETBACK (EXISTING)	= 30'-0"
SIDE SETBACK (EXISTING)	= 10'-0"
PARKING	
PARKING SPACES	EXISTING 44 SPACES
BARRIER FREE SPACES	EXISTING 3 SPACES TOTAL: 47 SPACES
BUILDING HEIGHTS	
ALLOWABLE	40 FEET MAXIMUM
BLDG #	HEIGHT
BLDG #8560	16'-6"

BUILDING DATA

GROSS BUILDING(S) SQUARE FOOTAGE	AREA	BUILDING TYPE
BLDG #	5,904 SF	TWO STORY
BLDG #8560		

CODE DATA

BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3) EXISTING TOWNHOUSES - LEVEL 1 EXISTING COMMUNITY BUILDING - LEVEL 1 EXISTING LEARNING CENTER - LEVEL 1
MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3

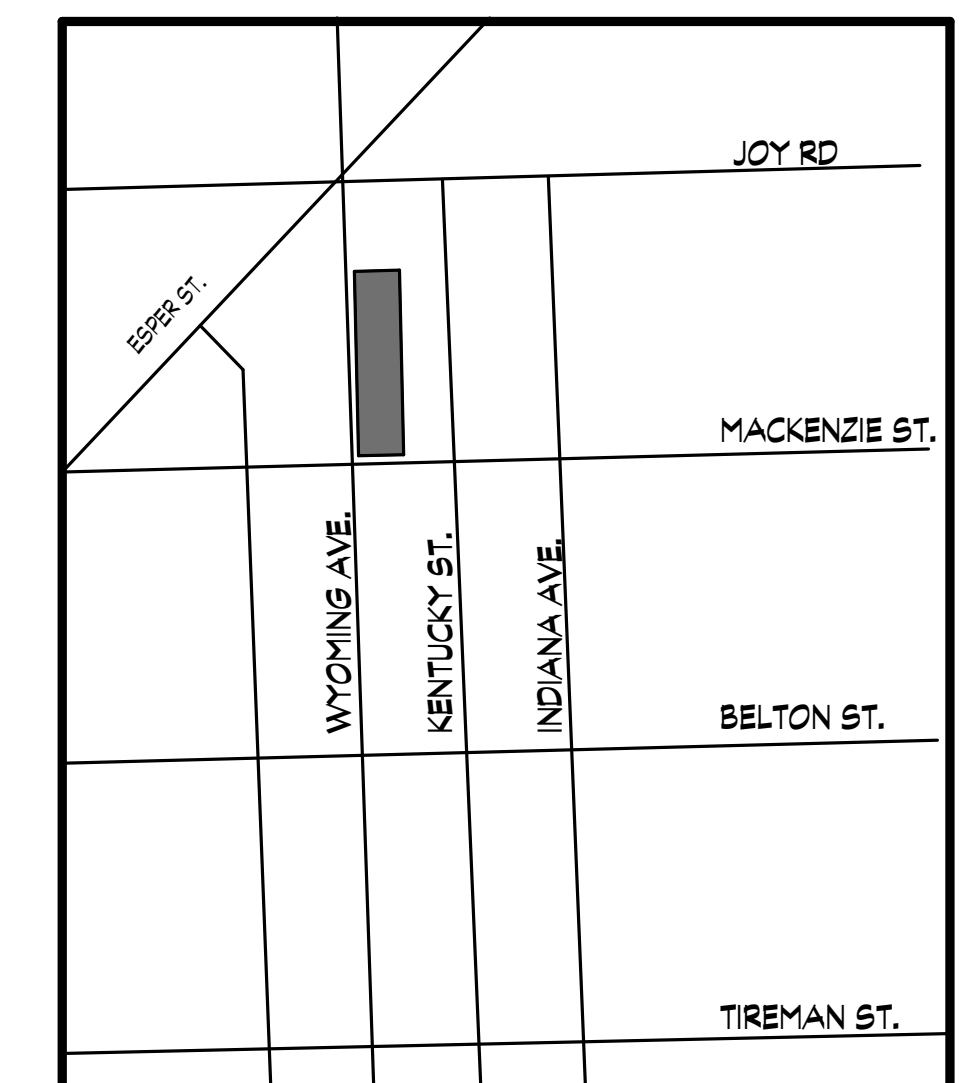
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10.09.2023	OWNER'S REVIEW

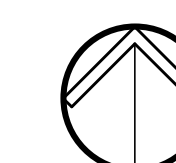
SIGNATURE BLOCK

SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		

MSHDA #: 2355-2



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LOCATION MAP



FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

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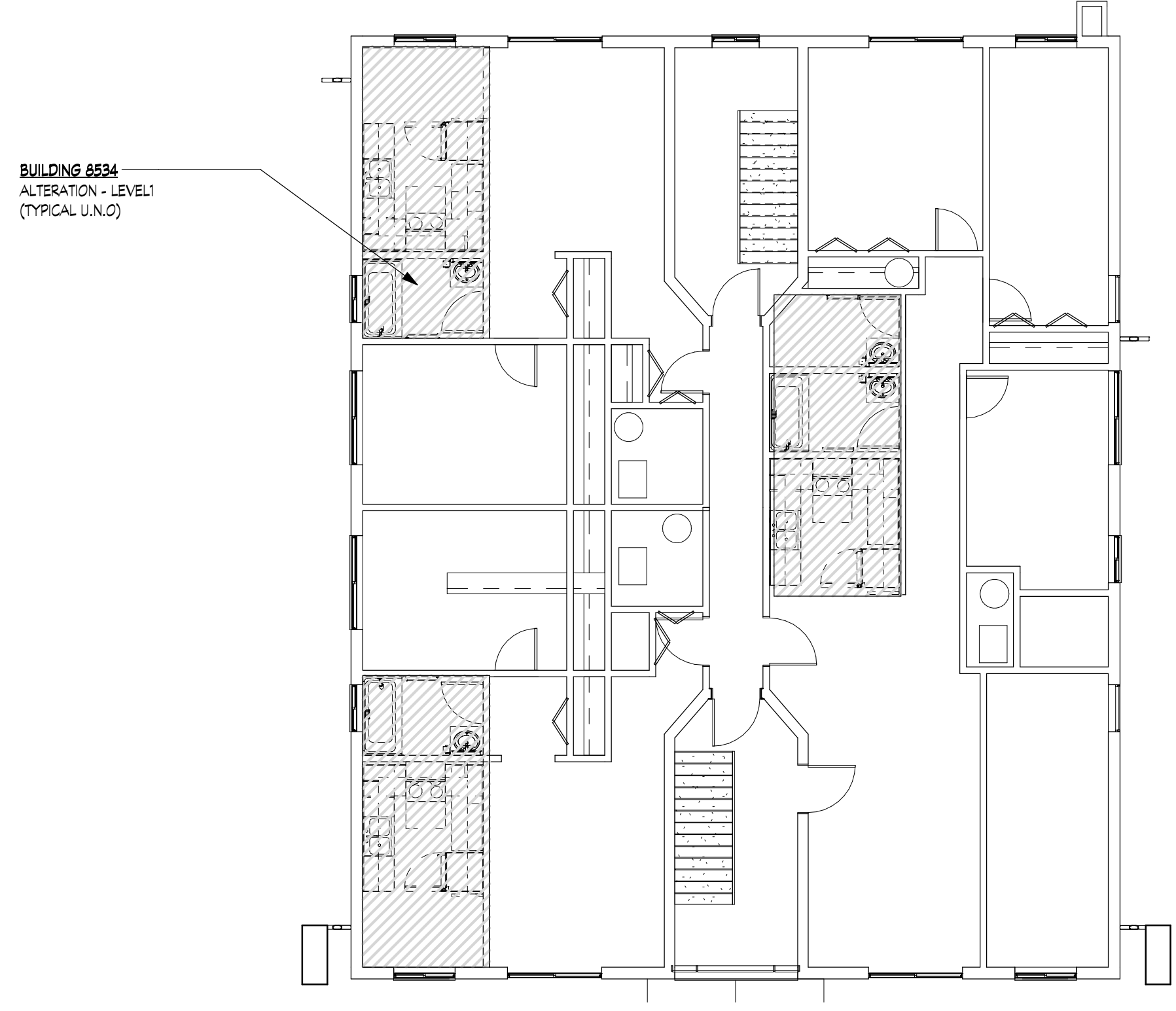
CODE INFORMATION	
PROJECT SCOPE:	PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.
EXISTING CONSTRUCTION:	DWELLINGS UNITS RENOVATED 2004
APPLICABLE CODES:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
BUILDING CODE:	EXISTING UNITS: ALTERATIONS-LEVEL 1
USE GROUPS:	EXISTING UNITS: R-2 RESIDENTIAL ECOMMUNITY SPACE: A-3, B & S-1
CONSTRUCTION TYPE:	EXISTING UNITS 5B (NON-SPRINKLED)
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE W/ PART 8 MICHIGAN AMENDMENTS
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)
FIRE SUPPRESSION:	NON-SPRINKLED
ACCESSIBILITY:	2009 ICC/ANSI A117.1 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
MSHDA:	REHAB STANDARDS OF DESIGN 2017 2017 MSHDA GREEN
• ALLOWABLE BUILDING HEIGHT:	40 FEET MAX.
BUILDING 8500 ONE STORY - EXISTING HEIGHT:	8'-6"
BUILDING 8520 ONE STORY - EXISTING HEIGHT:	8'-6"
BUILDING 8534 TWO STORY - EXISTING HEIGHT:	18'-7"
BUILDING 8550 TWO STORY - EXISTING HEIGHT:	17'-0"
BUILDING 8560 TWO STORY - EXISTING HEIGHT:	16'-6"
BUILDING 8580 TWO STORY - EXISTING HEIGHT:	17'-6"
BUILDING 8600 TWO STORY - EXISTING HEIGHT:	17'-6"
• ALLOWABLE NUMBER OF STORIES:	2
EXISTING ONE UNITS:	1 (FLOOR SLAB ON GRADE)
EXISTING 2 STORY UNITS:	2 STORIES WITH BASEMENT
• ALLOWABLE AREA:	R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
EXISTING ONE STORY UNITS:	RANGES FROM:
EXISTING TWO STORY UNITS:	RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS	
MBC CONSTRUCTION TYPE: 5B	
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 503)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 503)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 503)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

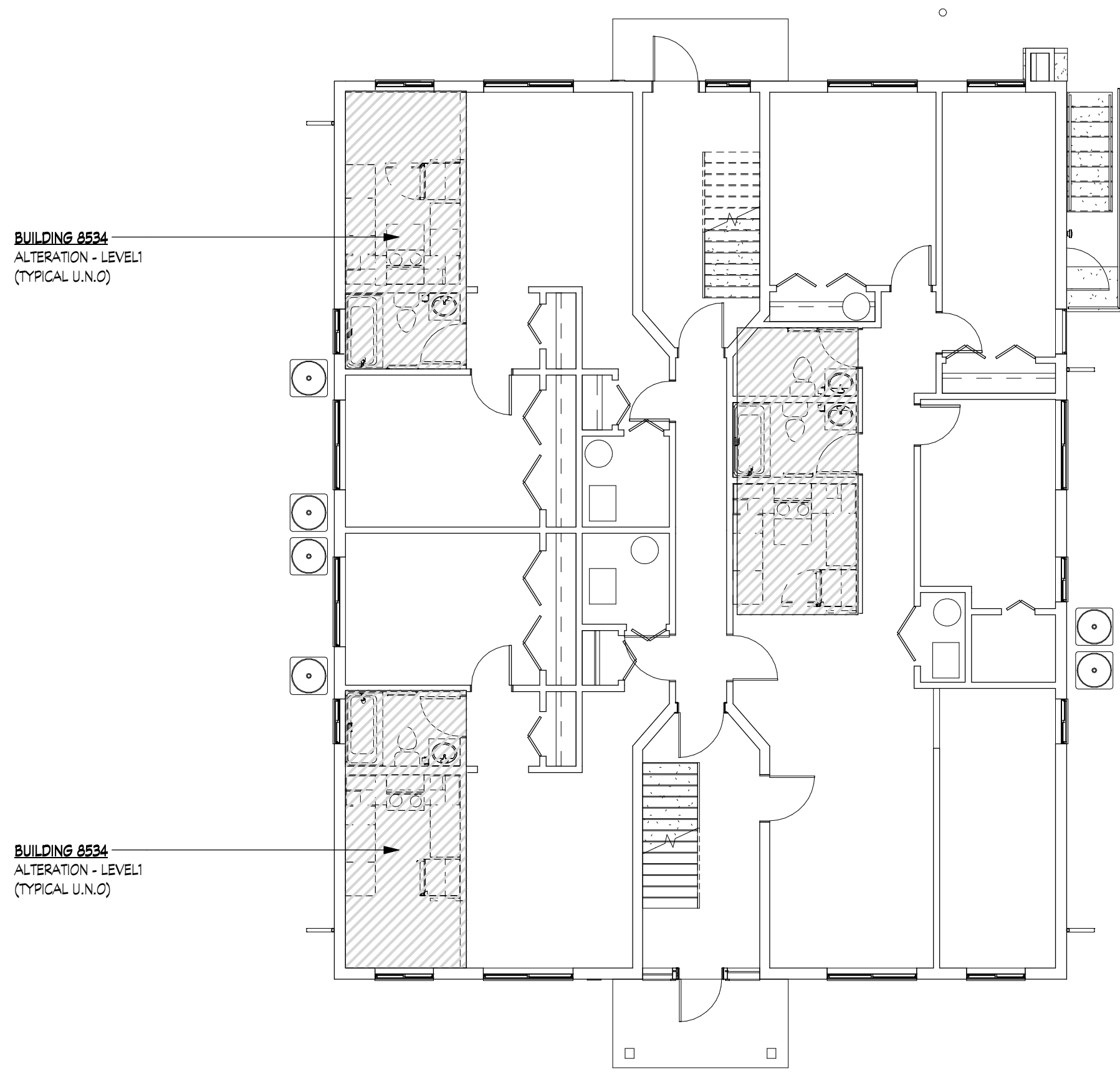
LIFE SAFETY LEGEND	
	AREA OF NO WORK
	AREA OF MRCEB LEVEL 1 RENOVATION
	AREA OF MRCEB LEVEL 2 RENOVATION
	AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
	EXIT
	BUILDING EXIT

PRELIMINARY
NOT FOR CONSTRUCTION



**BUILDING 8560 SECOND FLOOR
CODE ANALYSIS**

6
A.C.001 SCALE: 1/8" = 1'-0"



**BUILDING 8560 FIRST FLOOR
CODE STUDY**

7
A.C.001 SCALE: 1/8" = 1'-0"

**RENOVATION OF
8560 WYOMING APARTMENTS
BUERSMEYERS MANOR**

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

GENERAL DEMOLITION NOTES

DRAWING NUMBER

A.D.001

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GENERAL DEMOLITION NOTES:

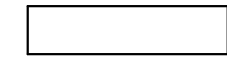

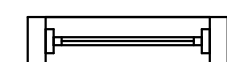

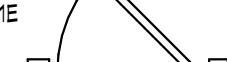
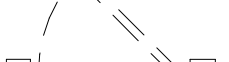
1. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS AND DISPOSE OF OFF SITE IN A SAFE LEGAL MANNER.
2. COORDINATE DUMPSTER LOCATION WITH OWNER AND PROTECT THE EXISTING PAVING/LAWN ETC. FROM DAMAGE, REPAIR DAMAGE AS REQUIRED.
3. REFER TO MECHANICAL, ELECTRICAL DRAWINGS FOR EXTENTS OF DEMOLITION. SOME AREAS HAVE FLOORS SAWCUT AND WALLS CUT FOR NEW WORK WHICH ARE NOT SHOWN ON THIS DRAWING. ELEMENTS THAT REQUIRE DEMOLITION IN ORDER TO CONSTRUCT THE NEW WORK AND ARE NOT SPECIFICALLY SHOWN ON THE DEMOLITION PLANS ARE TO BE INCLUDED WITHIN THE SCOPE OF WORK INCLUDED IN THE PROJECT AND THE CONTRACTORS BID.
4. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
5. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
6. REFER TO THE DEMOLITION SECTION IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
7. COORDINATE ALL TEMPORARY UTILITY SHUT DOWNS WITH THE OWNER PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE OWNER BEFORE ANY UTILITY SHUT DOWN.
8. PROVIDE WEATHERTIGHT AND VANDAL RESISTANT TEMPORARY PROTECTION AT ALL EXISTING EXTERIOR ENVELOPE OPENINGS SUCH AS WINDOW, DOOR, WALL, AND ROOF OPENINGS. MAINTAIN SUCH PROTECTION FOR THE DURATION OF THE CONSTRUCTION PROCESS.
9. PROVIDE ALL DEMOLITION WORK REQUIRED ON THE EXISTING BUILDING AS CALLED FOR ON THE DRAWINGS TO ACCOMMODATE THE RENOVATION WORK. ALL EXISTING CONSTRUCTION OF REMAIN U.N.O.
10. PATCH AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND/OR ELECTRICAL ITEMS ARE REMOVED AS RESULT OF THE DEMOLITION OPERATIONS.
11. VERIFY HEIGHTS, CLEARANCES AND LOCATIONS OF NEW CONSTRUCTION SUCH AS EQUIPMENT AND CEILINGS BEFORE INSTALLATION OF VARIOUS COMPONENTS AND EQUIPMENT. IF SPACE CONFLICTS ARE FOUND, REPORT THEM IMMEDIATELY TO THE ARCHITECT FOR RESOLUTION.
12. CARRY OUT ALL DEMOLITION WORK IN CLOSE COORDINATION AND COOPERATION WITH STRUCTURAL TRADES FOR PROPER SEQUENCING OF THE WORK TO ENSURE THE COMPLETE SAFETY AND STRUCTURAL INTEGRITY OF THE BUILDING AND ITS ELEMENTS AT ALL TIMES. PROVIDE TEMPORARY COLUMNS, JACKS, BEAMS, ETC., WHERE REQUIRED TO SUPPORT EXISTING ELEMENTS OF CONSTRUCTION TO REMAIN IN SAFE, COMPETENT MANNER, IN CONFORMANCE WITH ALL LAWS, CODES ORDINANCES, RULES AND REGULATIONS BEARING ON THE WORK.
13. VERIFY DIMENSIONS, FIELD MEASUREMENTS, AND CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
14. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO OWNERS APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK OR VIBRATION TO PORTIONS OF EXISTING STRUCTURE TO REMAIN. DAMAGE CAUSED DURING DEMOLITION SHALL BE REPAIRED BY THE SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
15. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF EXISTING SEWERS, DRAINS, ETC. IN DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT FOR RESOLUTION.
16. SAW CUT/COR CORE AND REMOVE EXISTING CONCRETE SLAB FOR PLACEMENT OF PLUMBING WORK, FOUNDATIONS, STRUCTURAL STEEL, NECESSARY CAPPING OF EXISTING LINES AND FOUNDATION WORK, ETC. COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
17. ALL EXISTING WALLS, FLOORS AND CEILINGS THAT WILL REMAIN SHALL BE PREPARED TO RECEIVE NEW FINISHES, UNLESS NOTED OTHERWISE.
18. REMOVE EXISTING INTERIOR SIGNAGE, REPLACE WITH NEW INTERIOR SIGNAGE. REFER TO A.C.003 (DOCUMENT EXISTING SIGNAGE).
19. WHERE MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS ARE INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED FASTENERS, ANCHORS, HANGERS ETC. PATCH AND REPAIR DAMAGED CONSTRUCTION TO MATCH EXISTING AFTER REMOVAL WORK IS COMPLETE.
20. REMOVE ANY ABANDONED MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS FOUND IN CONCEALED SPACES DISTURBED BY DEMOLITION ACTIVITIES.
21. RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE SUPPRESSION SYSTEM SHALL BE DONE BY A CERTIFIED FIRE SUPPRESSION CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE SUPPRESSION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
22. RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE ALARM SYSTEM SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
23. RENOVATION, RELOCATION AND/OR DEMOLITION OF ANY SMOKE DETECTORS SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM/SMOKE DETECTION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
24. DEMOLITION SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL DEMOLITION AREAS HAVE BEEN PREPPED FOR NEW FINISHES.
25. REFER TO SEPARATE HISTORIC RESTORATION NOTE FOR INFORMATION ON WORKING WITHIN AREAS INDICATED AS HISTORIC. DO NOT REMOVE OR DAMAGE ANY BUILDING COMPONENT IN AREAS INDICATED AS HISTORIC UNLESS EXPLICITLY CALLED FOR.

EXISTING CONSTRUCTION NOTES:

1. BIDDERS SHALL CAREFULLY STUDY AND FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS. BIDDERS SHALL VISIT THE SITE AND COMPLETELY FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, FINISHES, AND EXTENT OF WORK INCLUDED IN THE PROJECT. BIDDERS SHALL CORRELATE THEIR FIELD OBSERVATIONS WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS SO THAT HIS BID REPRESENTS A THOROUGH AND COMPLETE KNOWLEDGE AND UNDERSTANDING OF THE WORK REQUIRED TO BE PERFORMED.
2. CONTRACTOR MUST VISIT THE SITE AND VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTION OR EXISTING CONDITIONS PRIOR TO PRECEEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
3. CONTINUOUSLY MAINTAIN TEMPORARY MEANS OF EGRESS.
4. CONTRACTOR TO COORDINATE WITH ARCHITECT AND G.C. MAINTAIN EGRESS AT ALL TIMES. PROVIDE AND MAINTAIN TEMPORARY MEANS OF EGRESS AS REQUIRED. PROVIDE TEMPORARY SIGNAGE AS REQUIRED, AND PROVIDE PANIC HARDWARE ON ANY DOORS, E.G. TO COORDINATE WITH ARCHITECT AND OWNER.
5. PROTECT EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION.
6. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRIERS AND PROTECTIVE ENCLOSURES AS REQUIRED TO ALLOW FOR THE OWNERS SAFE AND NORMAL USE OF THE PROPERTY.
7. VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK. OBTAIN AND VERIFY ALL DIMENSIONS AND ELEVATIONS TO ENSURE THE PROPER STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK. REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. ALL DISCREPANCIES SHALL BE FULLY RESOLVED PRIOR TO COMMENCING WORK.
8. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED, WHERE SUCH CONSTRUCTION IS DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, IT MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
9. WHERE EXISTING CONSTRUCTION IS TO REMAIN BUT REQUIRES REMOVAL IN ORDER TO PERFORM THE NEW WORK, IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO REMOVE THE CONSTRUCTION AND REPAIR OR REPLACE IT TO THE EXISTING CONDITION OR THE CONDITION THAT MATCHES THE NEW WORK.
10. WHERE EXISTING EQUIPMENT IS TO REMAIN DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION. IF THE EQUIPMENT IS DAMAGED DURING CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL CHARGE TO THE OWNER.
11. WHERE EXISTING EQUIPMENT OR CONSTRUCTION IS REMOVED, THE REMAINING SURFACES, IF NOT SCHEDULED TO RECEIVE A NEW FINISH SHALL BE PATCHED OR REPAIRED TO MATCH ADJACENT SURFACES.
12. WHERE THE EXISTING CONSTRUCTION IS TO BE ALTERED, OR OTHERWISE DISTURBED, PROVIDE TEMPORARY AND/OR PERMANENT BRACING AND SHORING BEFORE AND DURING OPERATIONS AND UNTIL THE WORK IS SAFELY COMPLETED AND NO LONGER NEEDS SHORING.
13. EACH CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY AND/OR PERMANENT) FOR BOTH NEW AND EXISTING CONSTRUCTION FOR THE SAFE INSTALLATION OF THE NEW CONSTRUCTION AND EQUIPMENT.
14. THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS SEQUENCES AND PROCEDURES OF CONSTRUCTION.
15. PROVIDE FIRE WATCH DURING FIELD CUTTING AND WELDING OPERATIONS, MEETING THE OWNERS REQUIREMENTS.
16. CONTRACTOR TO COORDINATE ALL REPAIR, REPLACEMENT, AND/OR CLEANING OF ALL EXISTING MASONRY, OR STONE, WITH STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAINTAIN A CLEAR PASSAGE AND MEANS OF EGRESS DURING THE CONSTRUCTION TO BOTH THE OWNER OCCUPIED AND CONSTRUCTION OCCUPIED AREAS. TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE GENERAL PUBLIC AND THE WORKERS.

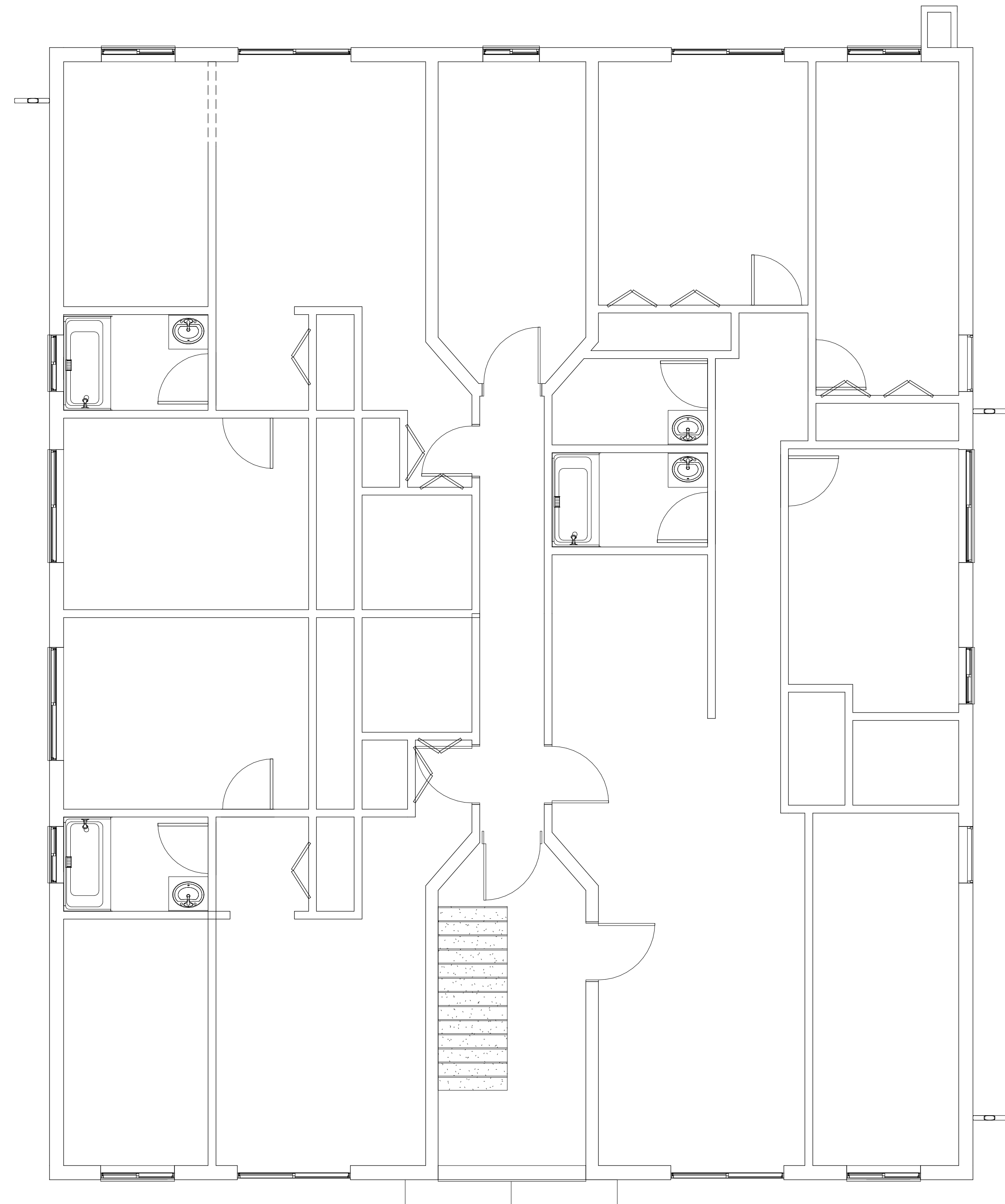
NOTES REGARDING MOLD AND MILDEW:

1. THE FOLLOWING REQUIREMENTS MUST APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
2. IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
3. CONCURRENTLY, THE CONTRACTOR WILL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR WILL BE RESPONSIBLE TO OBTAIN A MINIMUM OF TWO (2) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
4. ONCE DISCOVERY OR SUSPICION OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR MUST TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS MUST REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS MUST NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.
5. THE CONTRACTOR MUST MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED. IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION MUST BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
6. THE CONTRACTOR MUST COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
7. ALL PENETRATIONS MUST BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
8. ALL CONDENSATE DRAIN PANS MUST BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL AND WHEN THE FACILITY IS TURNED OVER TO THE OWNER OR TENANT. ENSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. ENSURE THAT ALL 'COLD' SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. ('COLD' SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.)
9. ENSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. RETURN AIR PATHS AND PLENUMS MUST BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS MUST BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.

DEMOLITION WALL LEGEND:			
EXISTING WALL AND/OR CONSTRUCTION TO REMAIN		REMOVE EXISTING WALL AND/OR CONSTRUCTION	
EXISTING WINDOW TO REMAIN		REMOVE EXISTING WINDOW (EXACT TYPE MAY VARY)	
EXISTING DOOR, FRAME AND HARDWARE TO REMAIN		REMOVE EXISTING DOOR AND/OR FRAME AND HARDWARE	

- GENERAL DEMOLITION NOTES:**
- REFER TO SECTION SHEET A.500 FOR ADDITIONAL UNIT NOTES
 - REFER TO SECTION 02 41 00 - DEMOLITION, IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
 - REFER TO SHEET A.D.001 FOR GENERAL DEMOLITION, EXISTING CONSTRUCTION AND MOLD & MILDEW NOTES.
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
 - REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
 - REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION INFORMATION.

- DEMOLITION PLAN NOTES:** #
- BUILDING EXTERIOR:**
- REMOVE EXISTING EXTERIOR DOOR, THRESHOLD, FRAME, AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - REMOVE EXISTING WINDOWS, STOOLS, JAMBS AND TRIMS.
 - WINDOW WELLS TO BE CLEANED. REPLACE WHEN NEEDED.
 - WINDOWS AT STAIR WELLS TO BE REPAIRED. REPLACE WHEN NEEDED.
 - REPAIR, PATCH, CLEAN AND PREPARE ALL EXTERIOR STAIRS TO RECEIVE NEW PAINT.
- BUILDING INTERIOR:**
- ALL INTERIOR WALLS TO BE CLEANED, PATCHED, PREPARED AND PREPARED TO RECEIVE NEW PAINT.
 - REMOVE EXISTING FLOORING AND TRIM BOARD. PATCH, REPAIR AND PREPARE SURFACE TO RECEIVE NEW VINYL PLANK FLOORING AND WOOD TRIM.
 - ALL INTERIOR DOORS AT BEDROOMS, BATHROOMS, CLOTHES CLOSET AND MECHANICAL CLOSET ARE EXISTING TO REMAIN. DOOR FRAMES TO BE CLEANED, PATCHED, REPAIRED AND PREPARED TO RECEIVE NEW PAINT. REPLACE DOORS AS NEEDED IF TO MATCH EXISTING DOOR OPENING AND FINISH.
 - ALL WIRE SHELVES IN CLOSETS TO REMAIN. REPLACE IF NEEDED.
 - REMOVE ALL EXISTING WINDOW TREATMENTS AND REPLACE WITH NEW.
 - ALL CORRIDORS TO RECEIVE NEW FINISHES, FLOORING, WALLS AND CEILING (SEE INTERIOR DESIGN DRAWINGS).
 - REMOVE AND REPLACE ALL STAIR HANDRAILS AND RAILINGS.
 - REMOVE AND REPLACE ALL FURNACE AND WATER HEATER (SEE MECHANICAL DRAWINGS).
 - REMOVE ALL CEILING AND WALL MOUNTED LIGHTING FIXTURES. PATCH AND REPAIR SURFACES UPON REMOVAL. REPLACE WITH LED FIXTURES. (SEE ELECTRICAL DRAWINGS).
 - REMOVE AND REPLACE ALL ELECTRICAL DEVICES AND COVER PLATES.



A.201
2

A.202
2

A.202
1

1 SECOND FLOOR DIMOLITION PLAN
A.D.102 SCALE: 1/4"=1'-0"

RENOVATION OF
8560 WYOMING APARTMENTS
BUERSMEYERS MANOR
 MICHIGAN

DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

SECOND FLOOR DEMOLITION PLAN

DRAWING NUMBER

A.D.102

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF
8560 WYOMING APARTMENTS
BUERSMEYERS MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

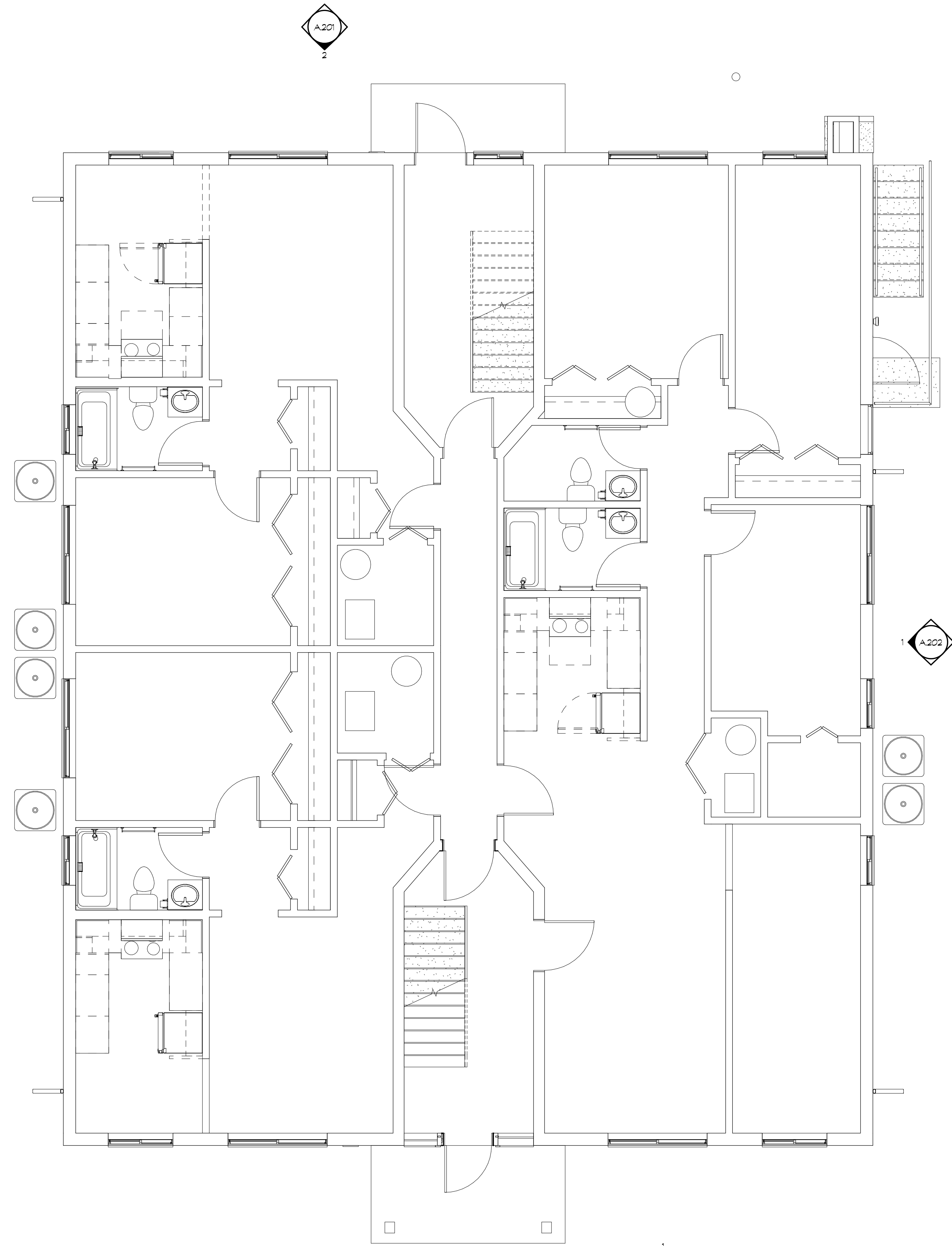
FIRST FLOOR PLAN

DRAWING NUMBER

A.101

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFITS:** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTAL NEW WINDOWS, STOOLS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIORS:**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK (GARBAGE DISPOSAL)
 - PROVIDE AND INSTAL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTAL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING).
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - PROVIDE NEW BASE AND WALL CABINETRY WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTAL NEW VANITIES, LAVATOIRES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTAL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



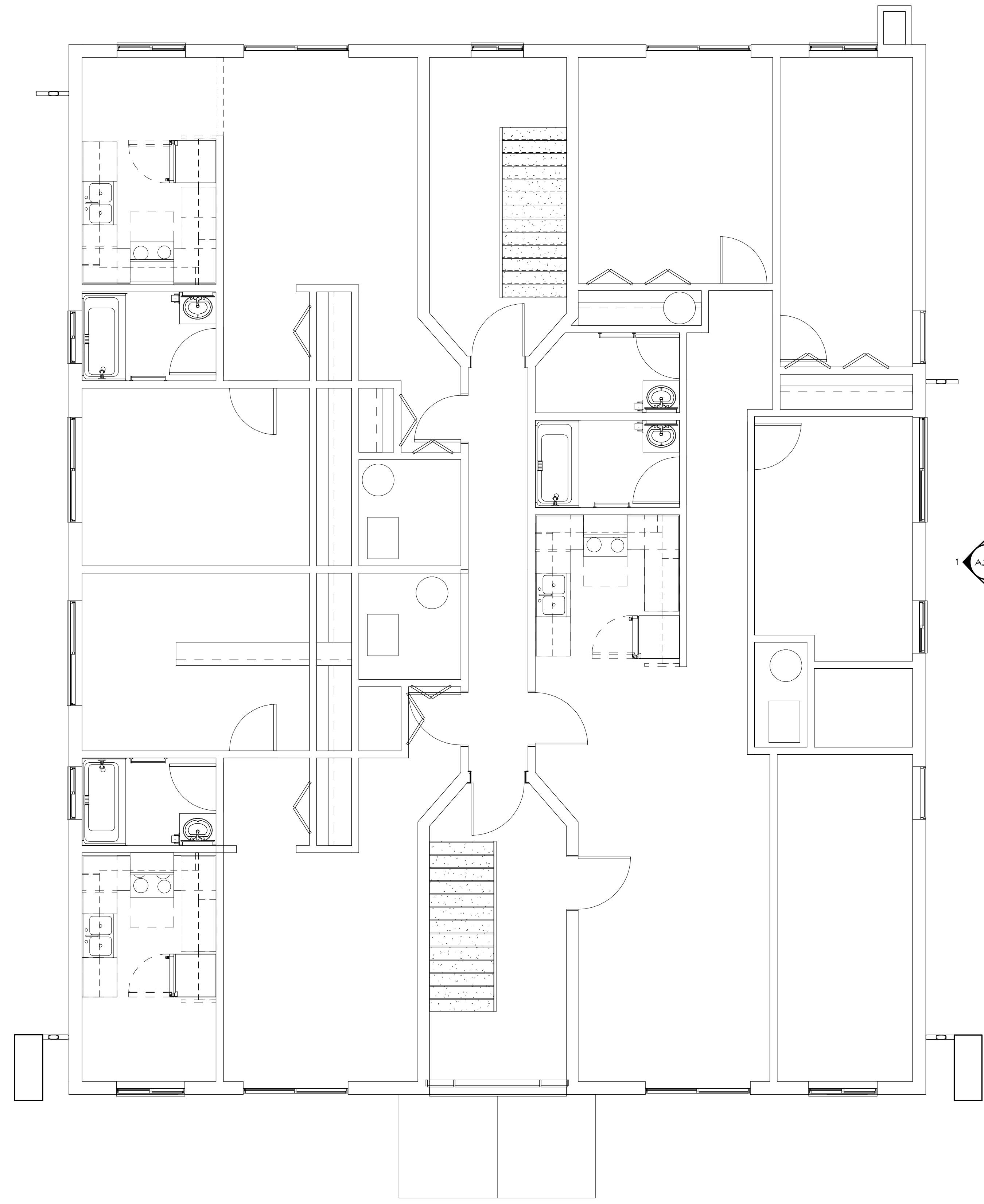
FIRST FLOOR
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

A.201
2

A.202
2

A.202
1



1
A.102
SCALE: 1/4" = 1'-0"
SECOND FLOOR PLAN

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED. IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FINISHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTAL NEW WINDOWS, STOOLES, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR:**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK. GARBAGE DISPOSAL
 - PROVIDE AND INSTAL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTAL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING.
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - PROVIDE NEW BASE AND WALL CABINERY WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTAL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTAL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.

10.09.2023	OWNER'S REVIEW
DATE	ISSUE

**PRELIMINARY
NOT FOR CONSTRUCTION**

RENOVATION OF
8560 WYOMING APARTMENTS
BUERSMEYERS MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOF PLAN

DRAWING NUMBER

A.109

GENERAL ROOF NOTES:



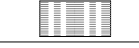
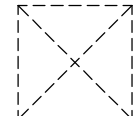
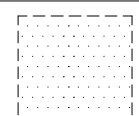
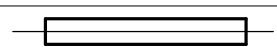

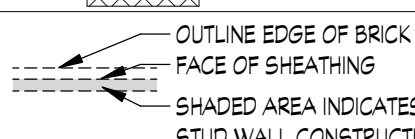


ROOF PLAN DEMOLITION NOTES:

- REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
- REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
- REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
- PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).

ROOF PLAN NOTES:

- PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
- PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
- CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACE MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
- COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
- NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
- ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
- PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
- PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
- PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
- PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - PROVIDE SPLASH BLOCKS FOR THE FOLLOWING LOCATIONS:
 - FRONT OF RESIDENT UNIT BUILDINGS
 - AT LEARNING CENTER. REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING. REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
- PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSES.**
- NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING, VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
- NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A.407.
- PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
- ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

ROOF PLAN LEGEND:

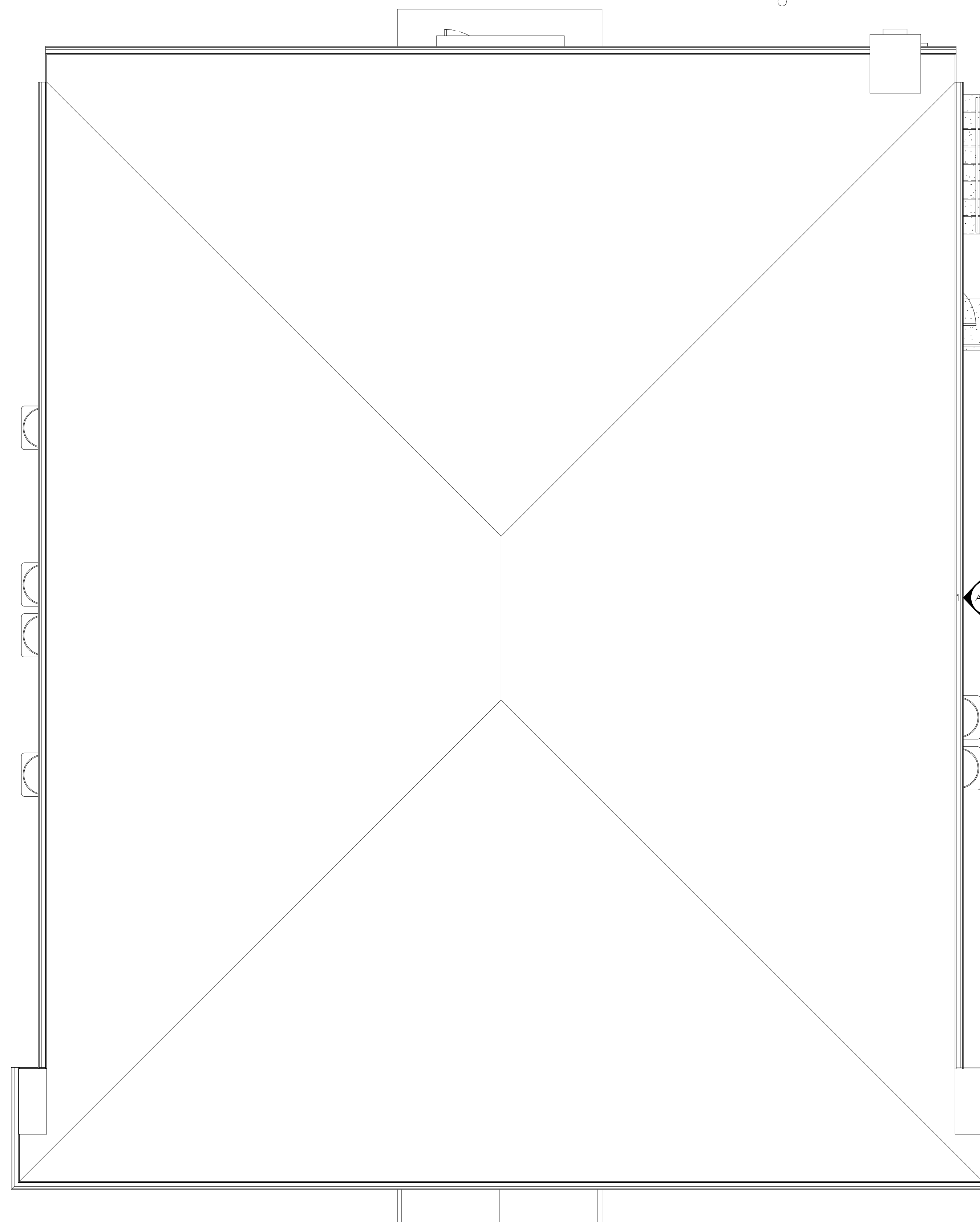
	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE EDGE OF BRICK FACE OF SHEATHING SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE PRESTOPPED.

PROVIDE UNIT PRICE FOR INSTALL OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS TO BE INSTALLED, PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL INCLUDING ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CONSIDER ALL MEANS AND METHOD OF CONSTRUCTION INCLUDING THE PATCH, REPAIR AND PREPARING AREA IN THE UNIT PRICE FOR A FINISH INSTALLATION. UNIT PRICE IS AN AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BASED ON THE NUMBER OF ATTIC SEPARATION WALL REQUIRED TO THE PROJECT.

NOTE: EXISTING RATED MASONRY PARTITION TO REMAIN. PARTITION EXTENDS TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE PRESTOPPED.

PRELIMINARY
NOT FOR CONSTRUCTION



1 OVERALL ROOF PLAN BUILDING 8560
SCALE: 1/4" = 1'-0"



2
A.201 SCALE: 1/4"=1'-0"
Elevation 33 - a



1
A.201 SCALE: 1/4"=1'-0"
Elevation 34 - a

- EXTERIOR ELEVATION FINISH SCHEDULE:** (A)
1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER FOR ADDITIONAL INFORMATION.
 2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED. REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
 3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
 4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS. REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. **REAR ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
 - B. **FRONT ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
 5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
 6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.

SIDING:
CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
 7. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSEING. (ESTIMATE 5% PER BUILDING).
 - B. TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
 8. **THRESHOLD AND SILL:**
 - A. EXISTING THRESHOLD AND SILL TO REMAIN AND BE CLEANED. RESET AND SECURE ALL LOOSE STONE.
 - B. ALL DAMAGED SILLS AND PRECAST WORK MUST BE REPAIRED AND/OR REPLACED TO MATCH EXISTING.
 9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. **STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. **DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
 10. **BASEMENT WINDOWS:** EXISTING BASEMENT WINDOW TO REMAIN.
 11. **FRONT ENTRY:**
 - A. **PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
 12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
 13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.). REFER TO ELECTRICAL PLANS (TYPICAL).
 14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING. REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
 15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF
8560 WYOMING APARTMENTS
BUERSMEYERS MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

EXTERIOR ELEVATIONS

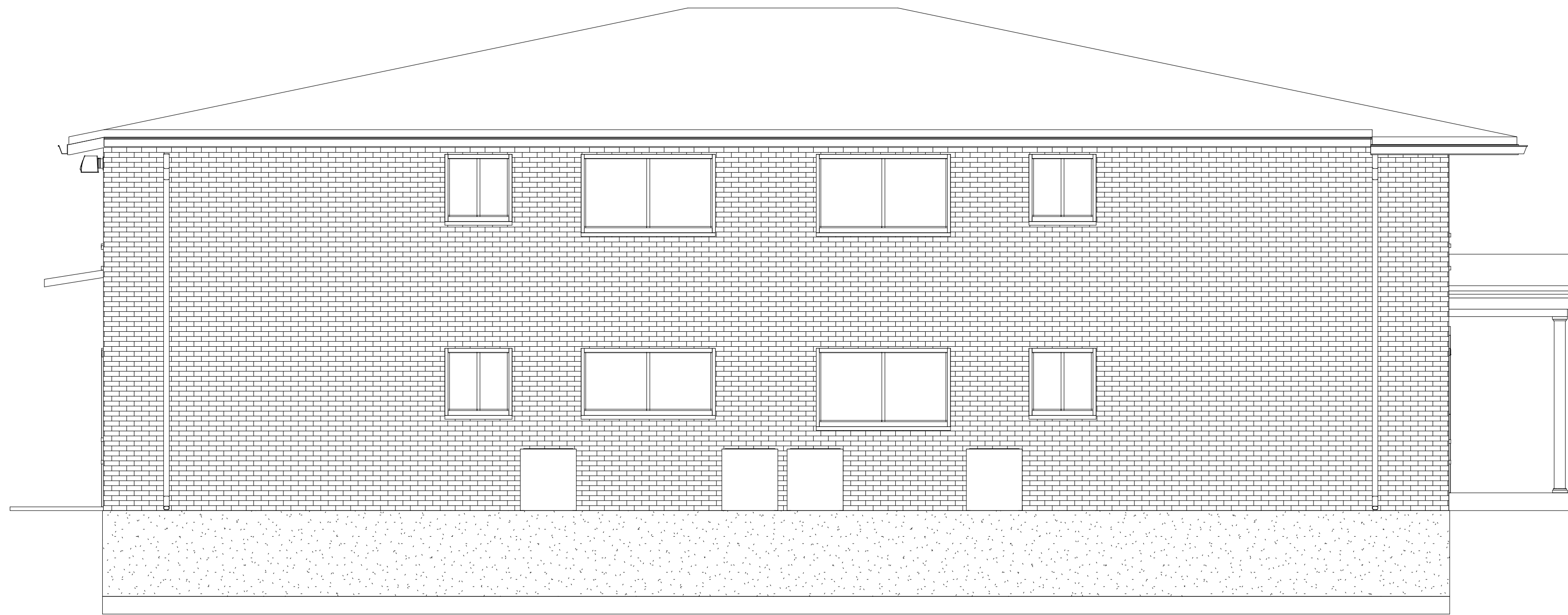
DRAWING NUMBER

A.202

EXTERIOR ELEVATION FINISH SCHEDULE: #

1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER FOR ADDITIONAL INFORMATION.
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 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED. REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
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 - A. **REAR ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
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 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
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 - A. REPAIR ALL DAMAGED TRIM BOARDS.

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 - B. TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETEIORATED. REMOVE DETEIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETEIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
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 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
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12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL).
14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING. REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)



Elevation 32 - a
SCALE: 1/4" = 1'-0"



Elevation 30 - a
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF 8550 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

ARCHITECTURAL	
A.101	FIRST FLOOR PLAN
A.102	SECOND FLOOR PLAN
A.109	ROOF PLAN
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.501	INTERIOR ELEVATIONS
A.621	INTERIOR DETAILS
A.701	ROOM FINISH SCHEDULE
A.D.001	GENERAL DEMOLITION NOTES
A.D.101	FIRST FLOOR DEMOLITION PLAN
A.D.102	SECOND FLOOR DEMOLITION PLAN
LANDSCAPING	
L.901	LANDSCAPE DETAILS
CIVIL ENGINEERING	
C1	TOPOGRAPHIC SURVEY
LANDSCAPING	
L001	TREE PROTECTION AND TRANSPLANT PLAN
ARCHITECTURAL	
A.C.001	LIFE SAFETY
A.C.002	FIXTURES AND ACCESSORY MOUNTING HEIGHTS
A.S.101	ARCHITECTURAL SITE PLAN
STRUCTURAL	
S101	FOUNDATION PLAN
MECHANICAL	
M.000	LEGEND, SYMBOLS & ABBREVIATIONS
PIPING	
P.1	FIRST FLOOR PLAN PIPING
PLUMBING	
P.101	FIRST FLOOR PLUMBING PLAN
ELECTRICAL	
E.100	ELECTRICAL SITEPLAN
FOOD SERVICE	
FS-1	FOOD SERVICE EQUIPMENT PLAN, SCHEDULE AND GENERAL NOTES
INFRASTRUCTURE/LOW VOLTAGE	
T.101	FIRST FLOOR PLAN TECHNOLOGY
FIRE SUPPRESSION	
F.P.101	FIRST FLOOR FIRE SUPPRESSION PLAN
INTERIOR DESIGN	
I.D.101	PARTIAL FLOOR PLAN

MICHIGAN

SUMMARY TABLE

SITE DATA			
SITE AREA		1.29 ACRES (56,009 SF)	
ZONING (EXISTING & PROPOSED)			R2
BUILDING SETBACKS			
FRONT SETBACKS (EXISTING)		= 20'-0"	
REAR SETBACK (EXISTING)		= 30'-0"	
SIDE SETBACK (EXISTING)		= 10'-0"	
PARKING			
PARKING SPACES		EXISTING 44 SPACES	
BARRIER FREE SPACES		EXISTING 3 SPACES	
		TOTAL: 47 SPACES	
BUILDING HEIGHTS			
ALLOWABLE BLDG #		40 FEET MAXIMUM	
BLDG #8550		HEIGHT	
		17'-0"	
BUILDING DATA			
GROSS BUILDING(S) SQUARE FOOTAGE			
BLDG #		AREA	BUILDING TYPE
BLDG #8550		5,904 SF	TWO STORY
CODE DATA			
BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING		
	EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3)		
	EXISTING TOWNHOUSES - LEVEL 1		
	EXISTING COMMUNITY BUILDING - LEVEL 1		
	EXISTING LEARNING CENTER - LEVEL 1		
MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)		
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL		
	EXISTING TOWNHOUSES: R-2 RESIDENTIAL		
	EXISTING COMMUNITY BUILDING: A-3, B & S-1		
	EXISTING LEARNING CENTER: A-3		

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNIAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.0350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

IMEG

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

GENERAL CONTRACTOR

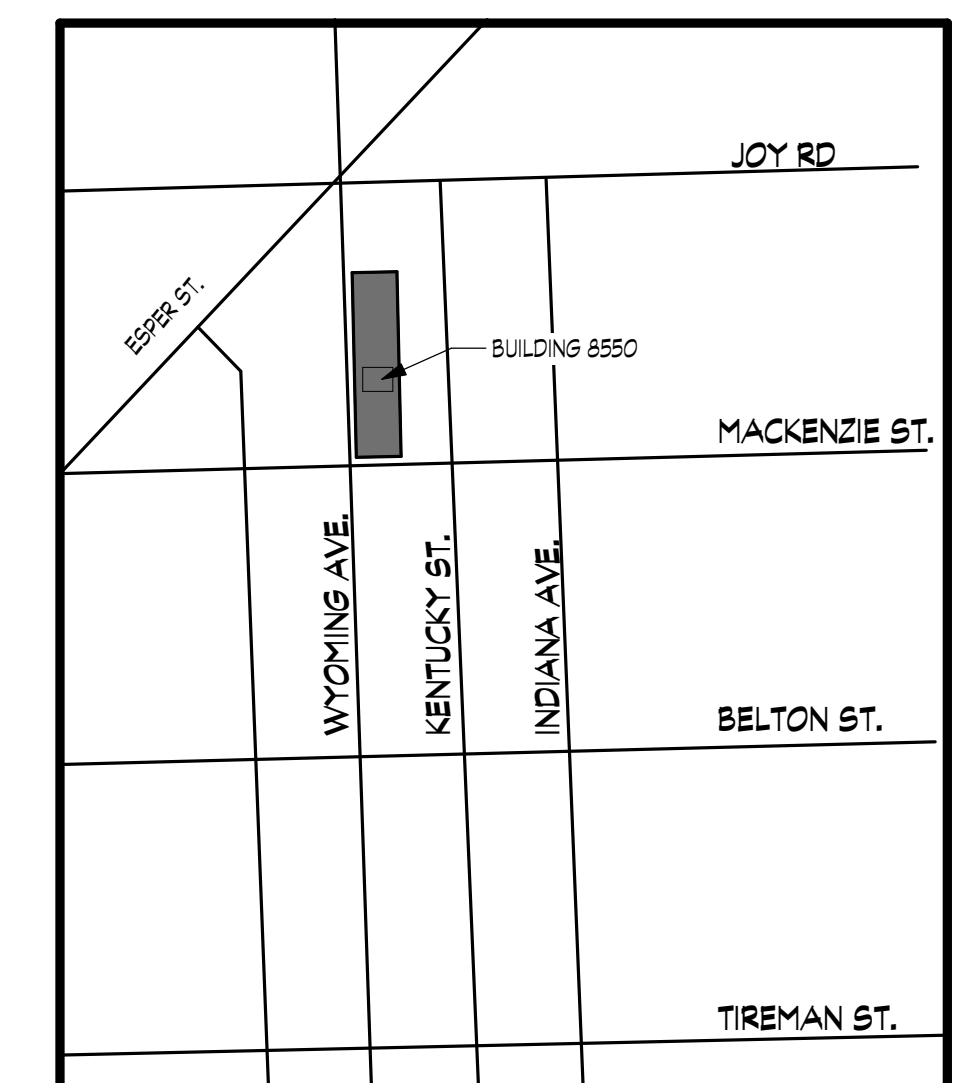
G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

<u>DATE</u>	<u>ISSUE</u>
10.09.2023	OWNER'S REVIEW

SIGNATURE BLOCK

SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		

MSHDA #: 2355-2

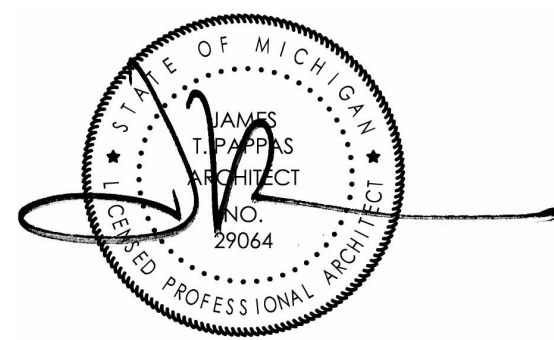


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ARCHITECTS AND PLANNERS

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**RENOVATION OF
8550 WYOMING APARTMENTS
APARTMENT AND COMMUNITY SPACE**

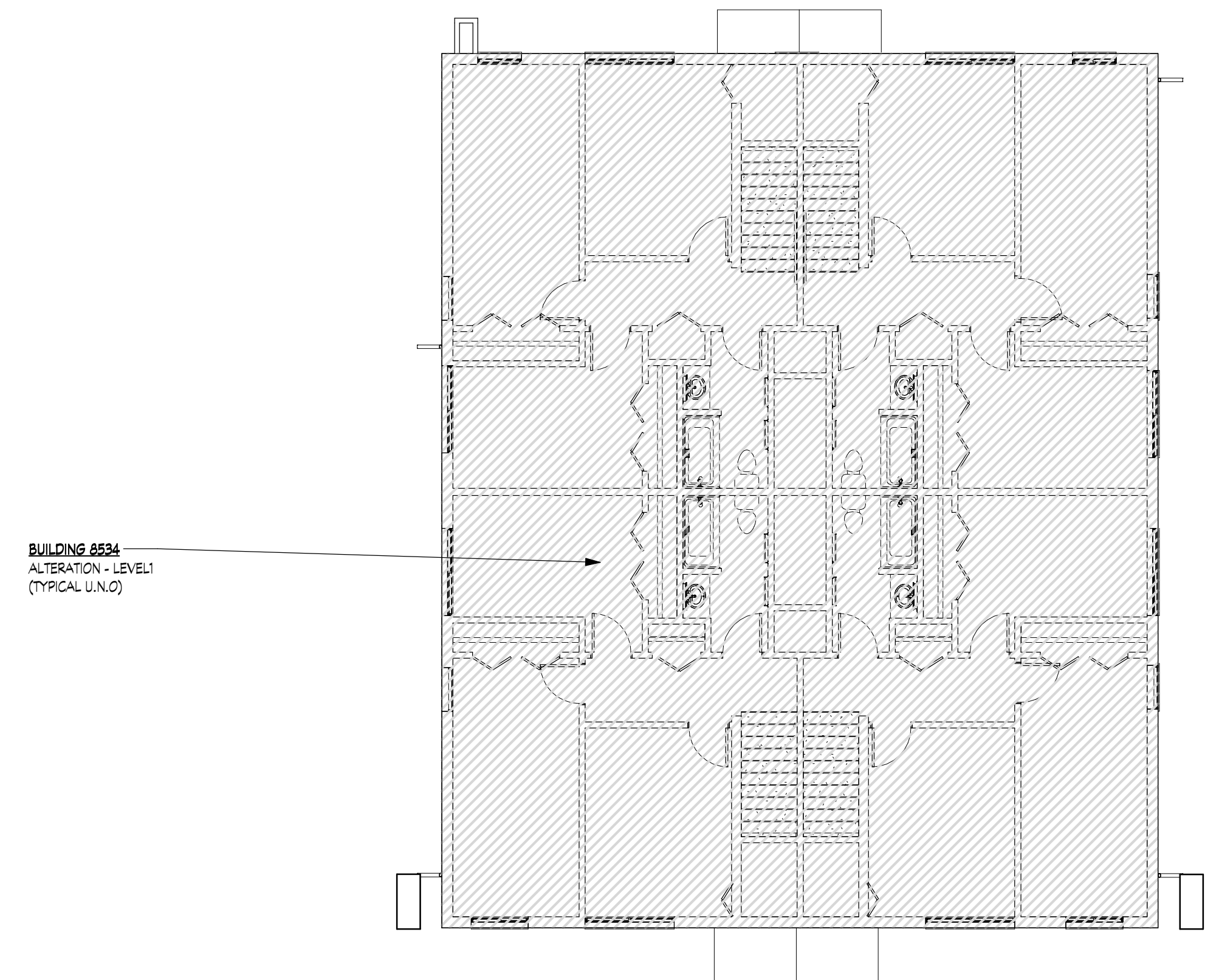
CODE INFORMATION	
PROJECT SCOPE:	PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.
EXISTING CONSTRUCTION:	DWELLING UNITS RENOVATED 2004
APPLICABLE CODES:	
BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
EXISTING UNITS:	ALTERATIONS-LEVEL 1
USE GROUPS:	
EXISTING UNITS:	R-2 RESIDENTIAL
ECOMMUNITY SPACE:	A-3, B & S-1
CONSTRUCTION TYPE:	EXISTING UNITS 5B (NON-SPRINKLED)
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE W/ PART 8 MICHIGAN AMENDMENTS
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)
FIRE SUPPRESSION:	NON-SPRINKLED
ACCESSIBILITY:	2009 ICC/ANSI A117.1 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
MSHDA:	REHAB STANDARDS OF DESIGN 2017 2017 MSHDA GREEN
ALLOWABLE BUILDING HEIGHT:	40 FEET MAX.
BUILDING 8500 ONE STORY - EXISTING HEIGHT	8'-6"
BUILDING 8520 ONE STORY - EXISTING HEIGHT	8'-6"
BUILDING 8534 TWO STORY - EXISTING HEIGHT	15'-7"
BUILDING 8550 TWO STORY - EXISTING HEIGHT	17'-0"
BUILDING 8560 TWO STORY - EXISTING HEIGHT	16'-6"
BUILDING 8580 TWO STORY - EXISTING HEIGHT	17'-6"
BUILDING 8600 TWO STORY - EXISTING HEIGHT	17'-6"
ALLOWABLE NUMBER OF STORIES:	2
EXISTING ONE UNITS:	1 (FLOOR SLAB ON GRADE)
EXISTING 2 STORY UNITS:	2 STORIES WITH BASEMENT
ALLOWABLE AREA:	R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
EXISTING ONE STORY UNITS:	RANGES FROM:
EXISTING TWO STORY UNITS:	RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS	
MBC CONSTRUCTION TYPE: 5B	
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 509)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 509)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 509)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

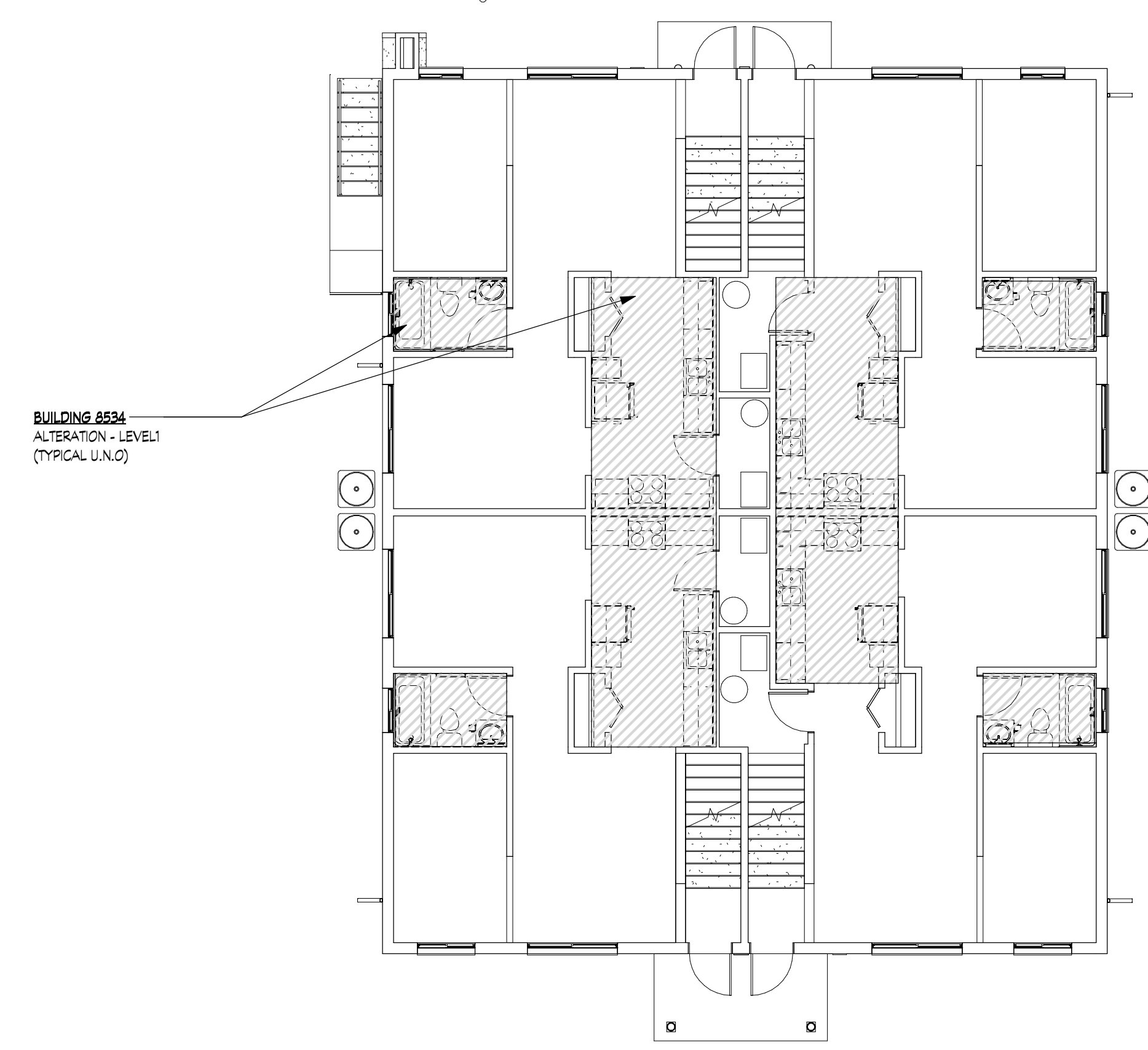
LIFE SAFETY LEGEND	
	AREA OF NO WORK
	AREA OF MRCEB LEVEL 1 RENOVATION
	AREA OF MRCEB LEVEL 2 RENOVATION
	AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
	EXIT
	BUILDING EXIT

PRELIMINARY
NOT FOR CONSTRUCTION



BUILDING 8534
ALTERATION - LEVEL 1
(TYPICAL U.N.O.)

6 SECOND FLOOR CODE STUDY
SCALE: 1/8" = 1'-0"



BUILDING 8534
ALTERATION - LEVEL 1
(TYPICAL U.N.O.)

5 FIRST FLOOR CODE ANALYSIS
SCALE: 1/8" = 1'-0"

DEMOLITION WALL LEGEND:	
EXISTING WALL AND/OR CONSTRUCTION TO REMAIN	REMOVE EXISTING WALL AND/OR CONSTRUCTION
EXISTING WINDOW TO REMAIN	REMOVE EXISTING WINDOW (EXACT TYPE MAY VARY)
EXISTING DOOR, FRAME AND HARDWARE TO REMAIN	REMOVE EXISTING DOOR AND/OR FRAME AND HARDWARE

GENERAL DEMOLITION NOTES:

- REFER TO SECTION SHEET A.500 FOR ADDITIONAL UNIT NOTES
- REFER TO SECTION 02 41 00 - DEMOLITION, IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
- REFER TO SHEET A.D.001 FOR GENERAL DEMOLITION, EXISTING CONSTRUCTION AND MOLD & MILDEW NOTES.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION INFORMATION.

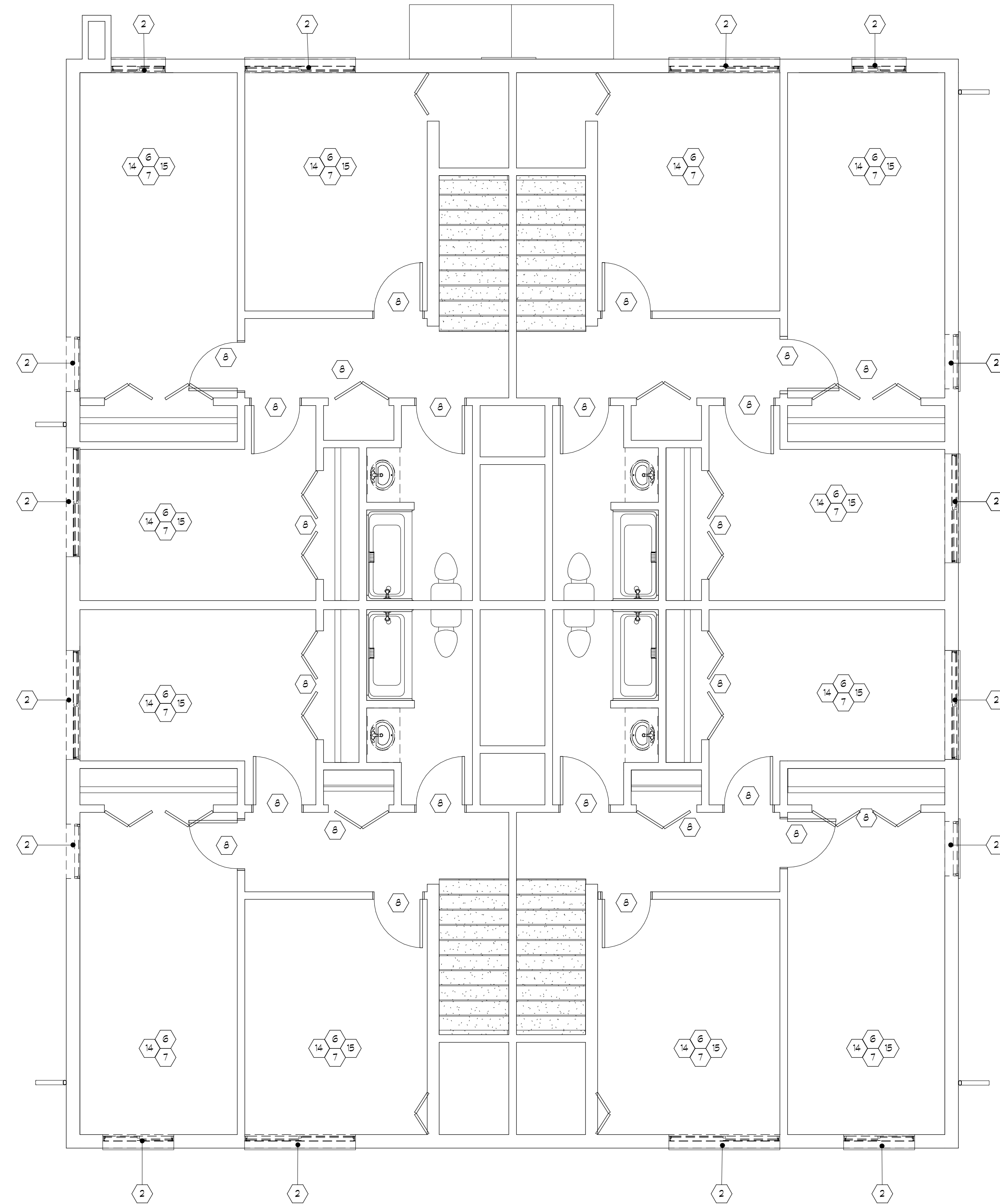
DEMOLITION PLAN NOTES: (H)

BUILDING EXTERIOR:

- REMOVE EXISTING EXTERIOR DOOR, THRESHOLD, FRAME, AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
- REMOVE EXISTING WINDOWS, STOLS, JAMBS AND TRIMS.
- WINDOW WELLS TO BE CLEANED, REPLACE WHEN NEEDED.
- WINDOWS AT STAIR WELLS TO BE REPAIRED, REPLACE WHEN NEEDED.
- REPAIR, PATCH, CLEAN AND PREPARE ALL EXTERIOR STAIRS TO RECEIVE NEW PAINT.

BUILDING INTERIOR:

- ALL INTERIOR WALLS TO BE CLEANED, PATCHED, PREPARED AND REPAIRED TO RECEIVE NEW PAINT.
- REMOVE EXISTING FLOORING AND TRIM BOARD. PATCH, REPAIR AND PREPARE SURFACE TO RECEIVE NEW VINYL PLANK FLOORING AND WOOD TRIM.
- ALL INTERIOR DOORS AT BEDROOMS, BATHROOMS, CLOTHES CLOSET AND MECHANICAL CLOSET ARE EXISTING TO REMAIN. DOOR FRAMES TO BE CLEANED, PATCHED REPAIRED AND PREPARED TO RECEIVE NEW PAINT. REPLACE DOORS AS NEEDED IF TO MATCH EXISTING DOOR OPENING AND FINISH.
- ALL WIRE SHELVES IN CLOSETS TO REMAIN. REPLACE IF NEEDED.
- REMOVE ALL EXISTING WINDOW TREATMENTS AND REPLACE WITH NEW.
- ALL CORRIDORS TO RECEIVE NEW FINISHES, FLOORING, WALLS AND CEILING (SEE INTERIOR DESIGN DRAWINGS).
- REMOVE AND REPLACE ALL STAIR HANDRAILS AND RAILINGS.
- REMOVE AND REPLACE FURNACE AND WATER HEATER (SEE MECHANICAL DRAWINGS).
- REMOVE ALL CEILING AND WALL MOUNTED LIGHTING FIXTURES. PATCH AND REPAIR SURFACES UPON REMOVAL. REPLACE WITH LED FIXTURES. (SEE ELECTRICAL DRAWINGS).
- REMOVE AND REPLACE ALL ELECTRICAL DEVICES AND COVER PLATES.



SECOND FLOOR DEMOLITION PLAN
A.D.102 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF
8550 WYOMING APARTMENTS
APARTMENT AND COMMUNITY SPACE
 MICHIGAN
 DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

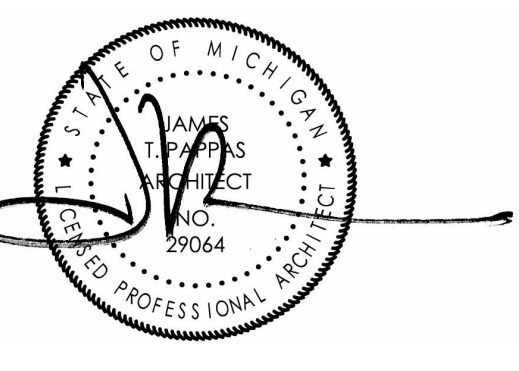
FSP PROJECT NO.
COTS19.056

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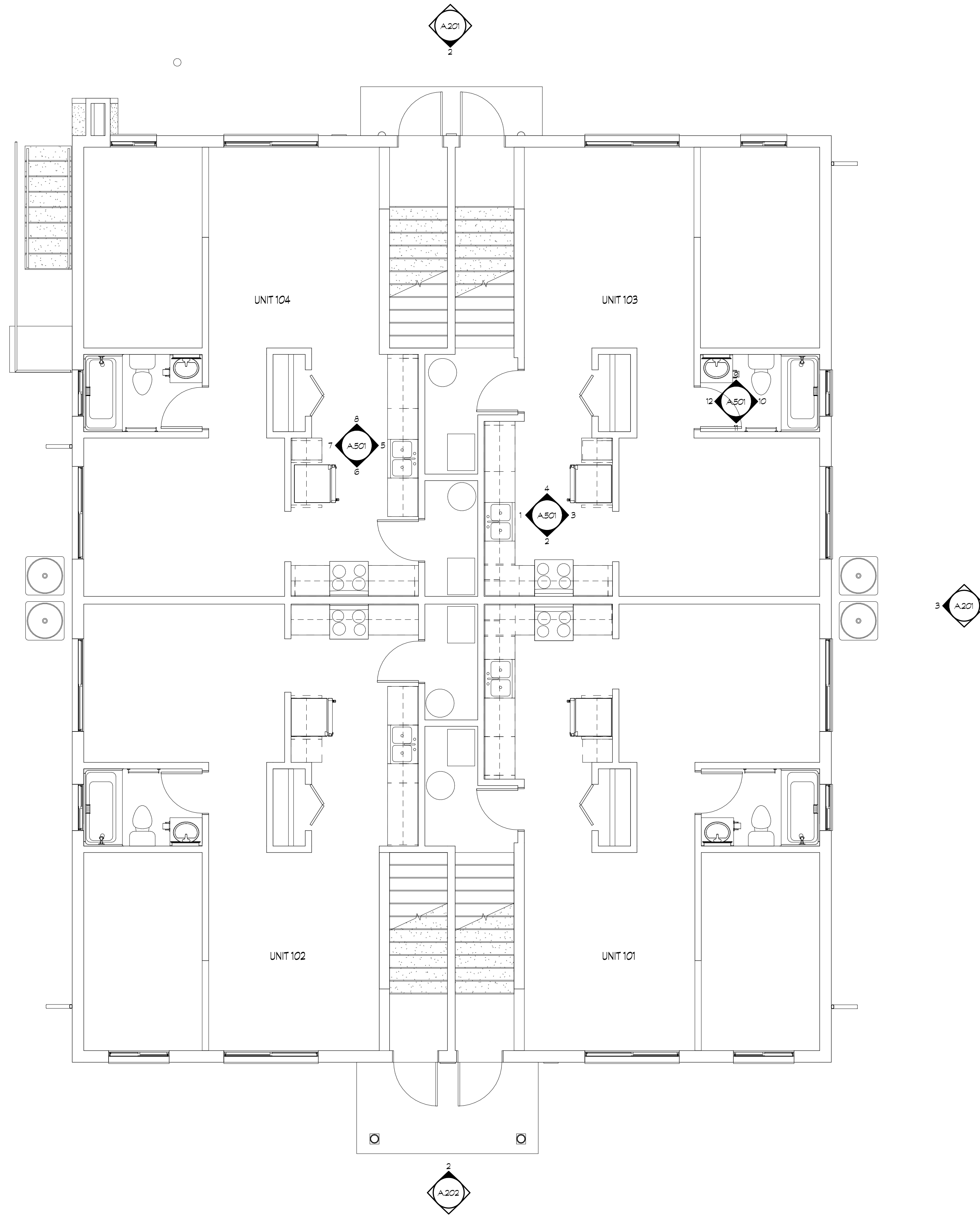
SECOND FLOOR DEMOLITION PLAN

DRAWING NUMBER

A.D.102



**RENOVATION OF
8550 WYOMING APARTMENTS
APARTMENT AND COMMUNITY SPACE**
DETROIT MICHIGAN



- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATINGS.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / FINISH EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES, REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOOLS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK. GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN
 - SUPPLY PLUMBING:**
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TED).
 - PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.

FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

FIRST FLOOR PLAN

DRAWING NUMBER

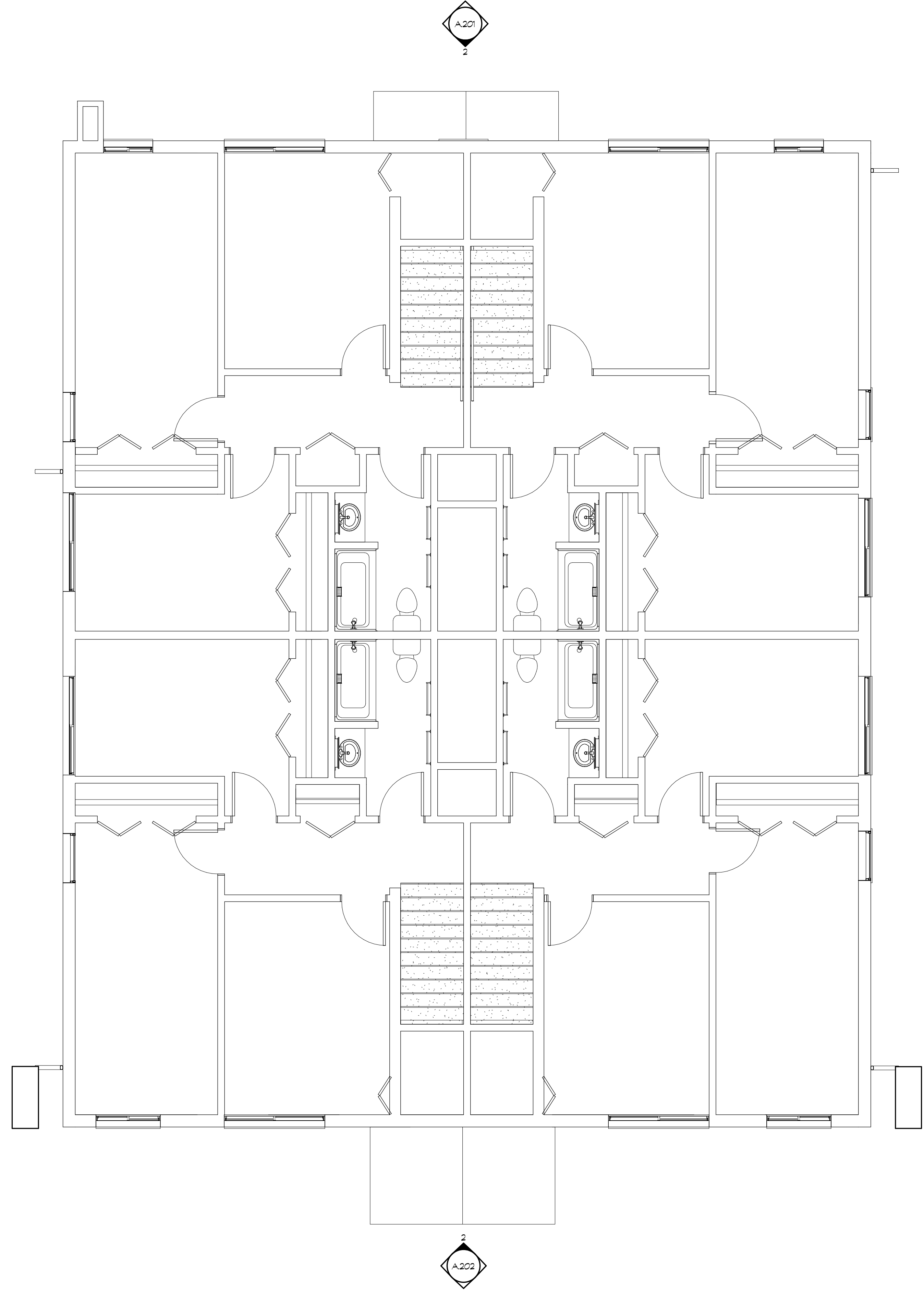
A.101

GENERAL PLAN NOTES:

1. DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
2. OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
3. **EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
4. **NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
5. ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
6. **KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - A. KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - B. KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
7. VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
8. COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
9. COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
10. UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
11. SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
12. SEE SHEET A.711 FOR DOOR SCHEDULE.
13. SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
14. SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

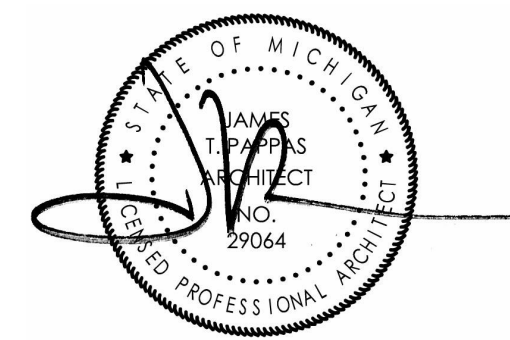
GENERAL OVERALL BUILDING PLAN NOTES:

- BUILDING EXTERIOR**
1. **ENTRY WALK (SIDEWALK):**
 - A. EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - B. REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - C. ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - D. REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 2. **SPLASH BLOCKS :**
 - A. REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - B. LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - C. PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS. COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 3. **AIR CONDITIONER UNITS**
 - A. REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - B. EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 4. **MECHANICAL UNITS:**
 - A. REPLACE EXISTING FURNACE
 - B. REPLACE EXISTING WATER HEATER
 - C. METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 5. **LIGHTING:**
 - A. PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - B. PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 6. **EXTERIOR DOORS:**
 - A. PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 7. **WINDOWS:**
 - A. PROVIDE AND INSTALL NEW WINDOWS, STOOLES, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 8. **STAIRS:**
 - A. REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - B. SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 9. **CANOPIES:**
 - A. REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR:**
10. **KITCHEN:**
 - A. PROVIDE AND INSTALL NEW SINK GARBAGE DISPOSAL
 - B. PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - C. PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN
 - D. PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TSD).
 - E. PROVIDE NEW BASE AND WALL CABINETRY WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 11. **BATHROOMS:**
 - A. PROVIDE AND INSTALL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING)
 - B. WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - C. EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - D. PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - E. PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION



**RENOVATION OF
8550 WYOMING APARTMENTS
APARTMENT AND COMMUNITY SPACE**

DETROIT

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

EXTERIOR ELEVATIONS

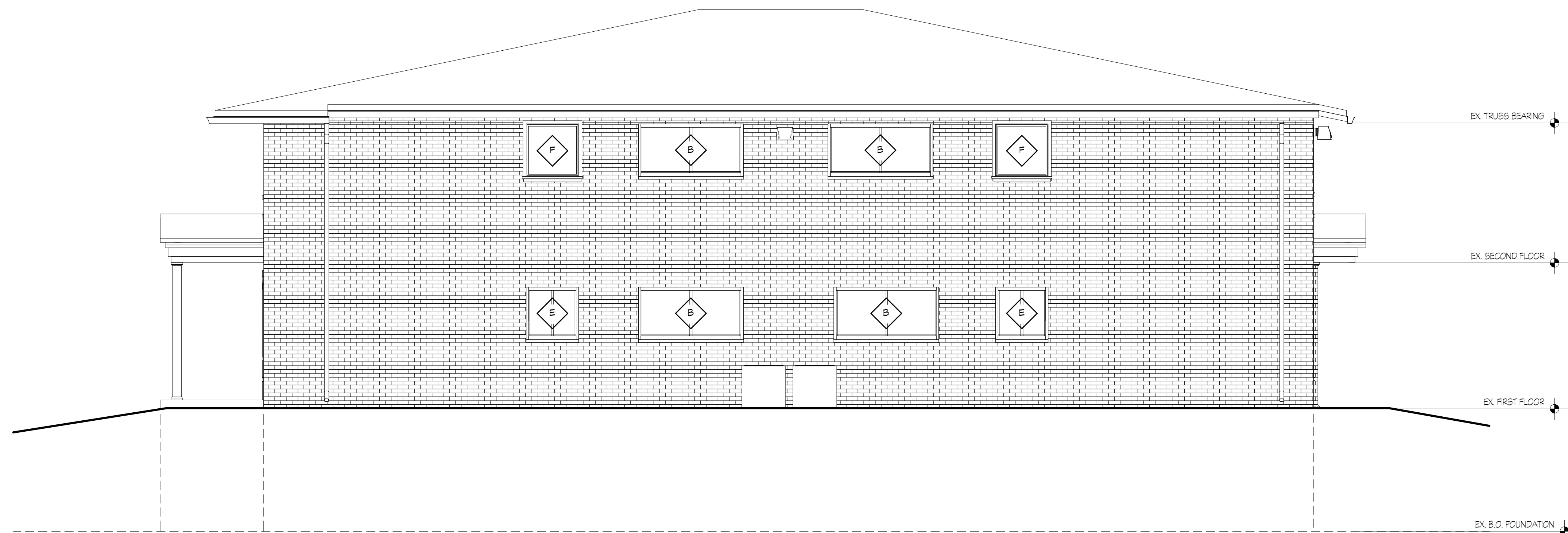
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A.201

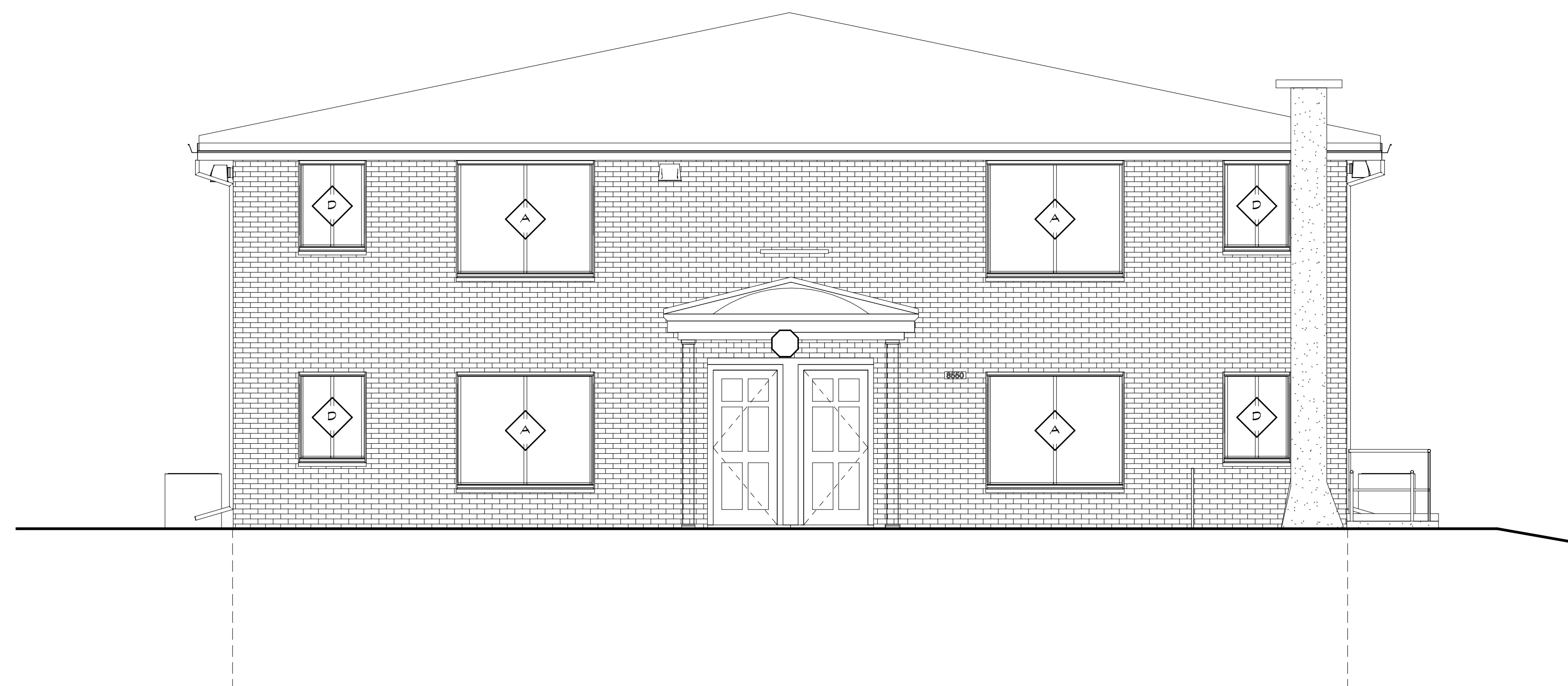
EXTERIOR ELEVATION FINISH SCHEDULE: (#)

1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER F ADDITIONAL INFORMATION.
2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED. REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS. REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. **REAR ELEVATION:** NEW DOWNSPOUTS TO LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
 - B. **FRONT ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.

SIDING:
CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
7. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSEING. (ESTIMATE 5% PER BUILDING).
 - B. **REPOINTING:** TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY HAND RAKING THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - D. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
8. **THRESHOLD AND SILL:**
 - A. EXISTING AND SILL TO REMAIN AND BE CLEANED. RESET AND SECURE ALL LOOSE STONE.
 - B. ALL DAMAGED SILLS AND PRECAST WORK MUST BE REPAIRED AND/OR REPLACED TO MATCH EXISTING.
9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. **STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. **DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
10. **BASEMENT WINDOWS:** EXISTING BASEMENT WINDOW TO REMAIN.
11. **FRONT ENTRY:**
 - A. **PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (LND). REFER TO ELECTRICAL PLANS (TYPICAL)
14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (LND)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING. REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. AVAC CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (LND)



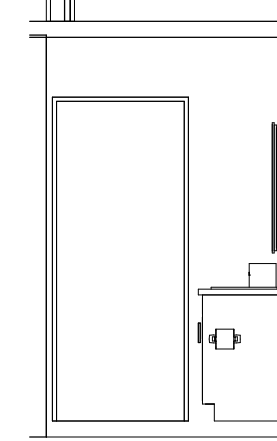
3 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"



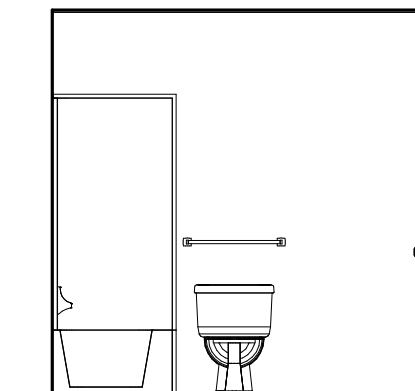
2 FRONT (WYOMING STREET) ELEVATION
A.201 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

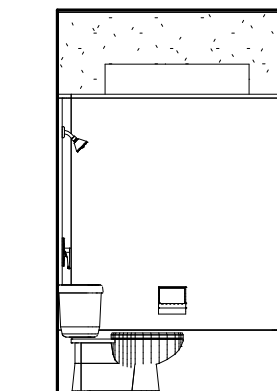
- UNIT KEYNOTES:** (X)
- KITCHENS:**
1. SINK AND FAUCET WITH DISPOSAL
 2. COUNTERTOP WITH 4" SIDE AND BACKPLASH
 3. FILLER
 4. DISHWASHER
 5. RANGE
 6. GREASE SHIELD
 7. REFRIGERATOR
 8. MICROWAVE WITH VENTING (OR EXHAUST HOOD, T.B.D)
- BATHROOMS:**
9. VANITY WITH LAVATORY AND FAUCET.
 10. 24" X 36" MIRROR
 11. SURFACE MOUNTED MEDICINE CABINET
 12. TOILET PAPER HOLDER
 13. 24" TOWEL BAR
 14. 18" GRAB BAR
 15. 24" GRAB BAR
 16. 36" GRAB BAR
 17. 42" GRAB BAR
 18. ROBE HOOK (S)
 19. EXISTING TILE SURROUNDS TO BE REPAIRED.
 20. SHOWER DRAINS.
 21. SHOWER CONTROLS.
 22. COUNTERTOP (PLASTIC LAMINATE OR SOLID SURFACE - T.B.D)
 23. BASE (KITCHEN AND BATH)
 24. WATER CLOSET (REPLACE ONLY IF DAMAGED OR NOT FUNCTIONING PROPERLY)



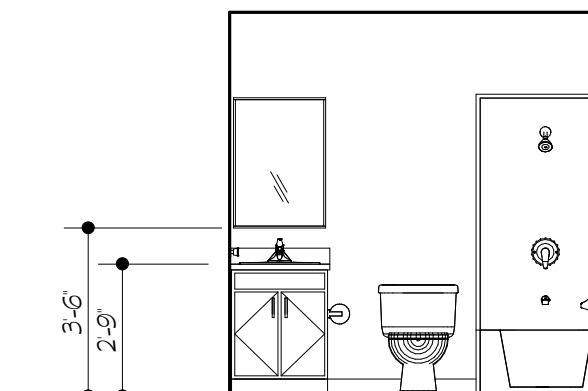
12
A.501
Elevation 17 - a
SCALE: 1/4" = 1'-0"



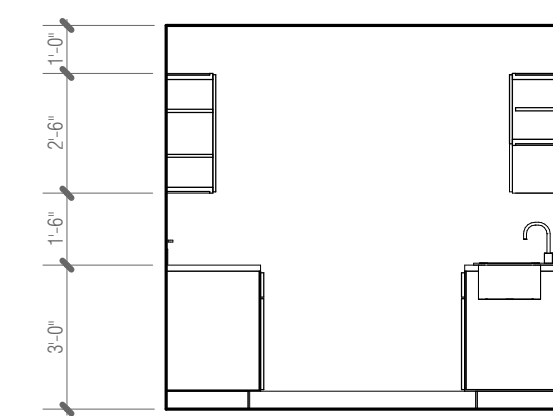
11
A.501
4 - d
SCALE: 1/4" = 1'-0"



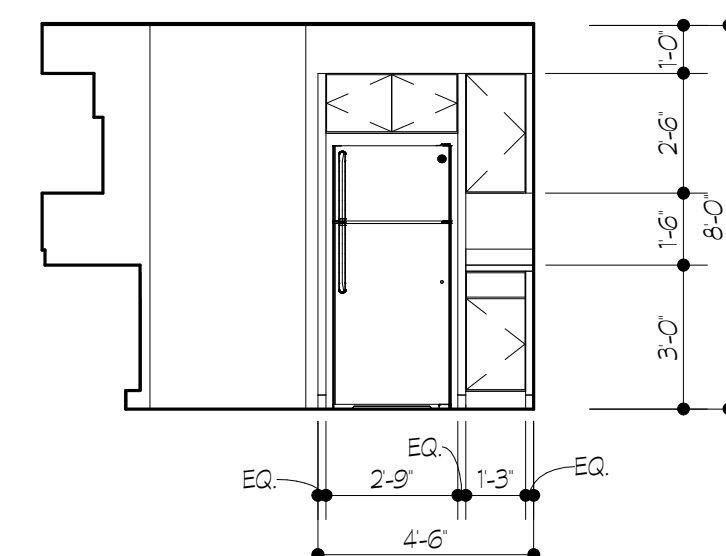
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A.501
2 - c
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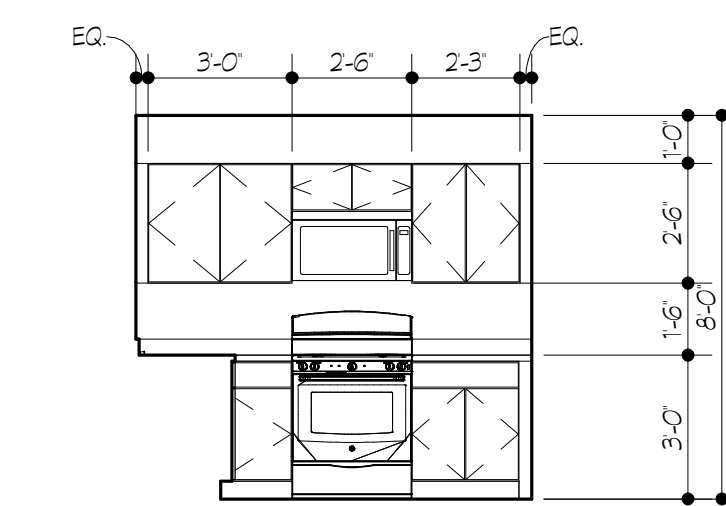
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A.501
BATHROOM (TYP. AT ALL UNITS)
SCALE: 1/4" = 1'-0"



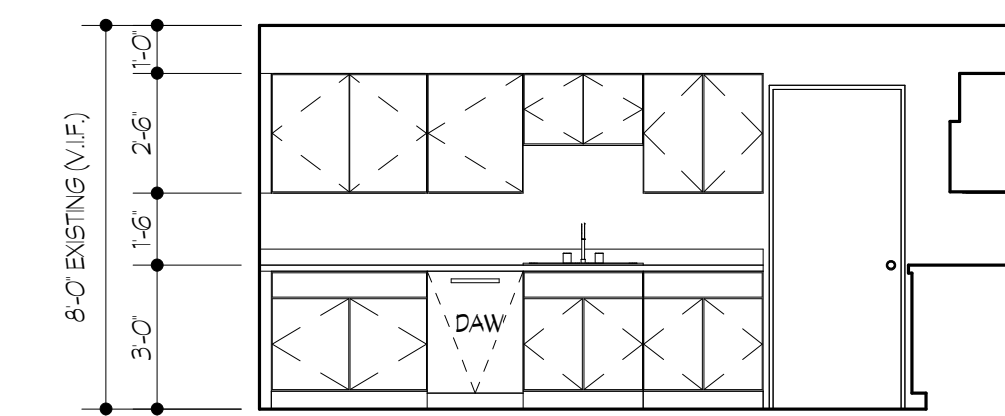
8
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



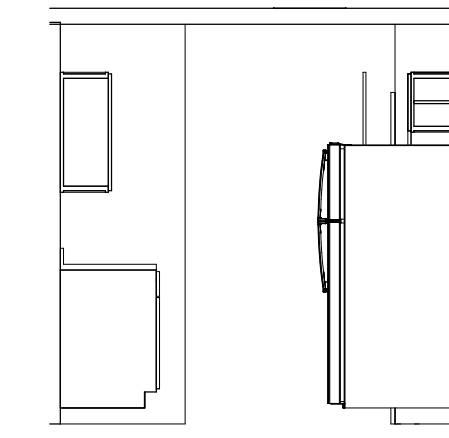
7
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 102 & 104



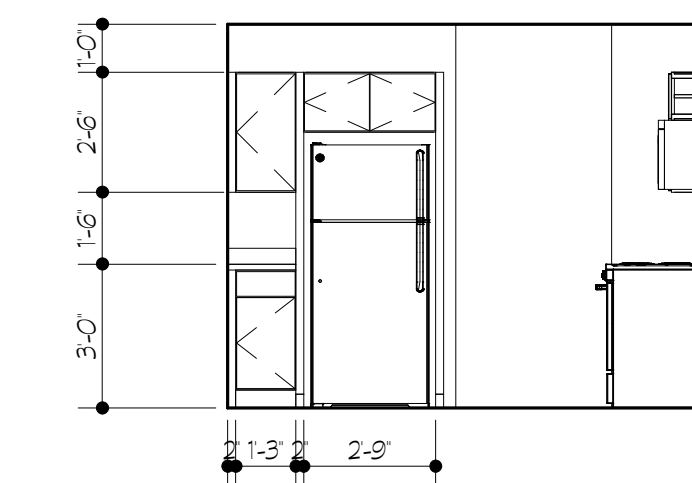
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A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 102 & 104



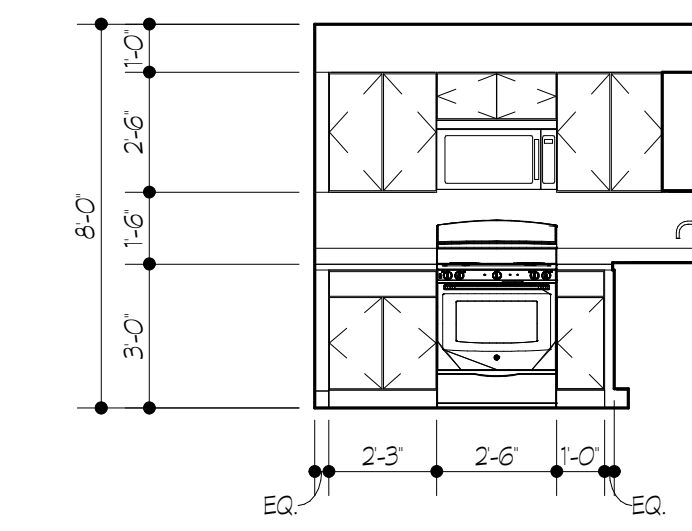
5
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 102 & 104



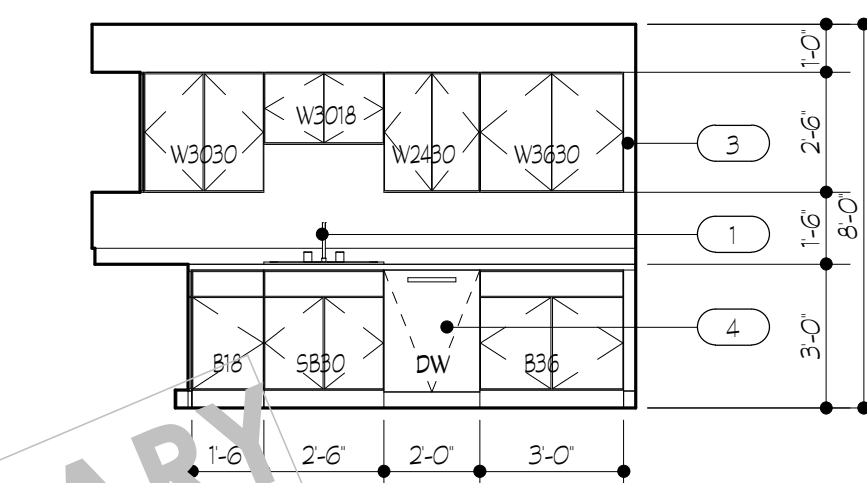
4
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 101 & 103



3
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 101 & 103



2
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 101 & 103



1
A.501
KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"
UNITS 101 & 103

PRELIMINARY
 NOT FOR CONSTRUCTION

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

INTERIOR ELEVATIONS

DRAWING NUMBER

A.501

ROOM FINISH NOTES

GENERAL NOTES:

- SEE BUILDING AND WALL SECTIONS FOR ADDITIONAL CEILING HEIGHT INFORMATION.
- SMALL ROOMS OR CLOSETS WHICH DO NOT APPEAR IN THE ROOM FINISH SCHEDULE SHALL BE FINISHED THE SAME AS THE ROOM (SPACE) IT OPENS ONTO, EXCEPT IF NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FINISHES NOT LISTED IN THE ROOM FINISH SCHEDULE.

ROOM FINISH NOTES:

- CLEAN AND PREPARE THE FLOOR AND WALLS FOR NEW PAINT. COORDINATE WITH OLEADY PAINT FOR OWNERS BASEMENT PAINT TYPE AND COLOR.
- EXPOSED BASEMENT CEILING JOIST TO REMAIN AS IS. REMOVE ANY LOOSE OR MISCELLANEOUS ITEMS (WIRING, PIPING, DEBRIS, ETC.) THAT IS NOT IN USE OR NEEDED.
- REPAIR, PREPARE AND REFINISH ALL HARDWOOD FLOORING.
- EXPOSED CONCRETE FLOORS TO BE SEALED.
- FOR **REPAIRS**: SLOPE NEW CONCRETE FLOOR 1/8" PER 1'-0" TO FLOOR DRAIN.
- SPOT REMOVE GYPSUM BOARD (WALLS AND CEILING). REPAIR, PATCH, PREPARE AND INSTALL NEW GYPSUM BOARD FOR NEW PAINT FINISH. (U.N.O.)
- CLEAN AND PREPARE THE WALLS AND CEILING FOR NEW PAINT.
- FLAT PAINT ON GYPSUM BOARD SOFFITS. NO PAINT ON ACOUSTIC CEILING TILE (A.C.T.).
- TOUCH-UP PAINT AROUND NEW LIGHT FIXTURES.
- CLEAN AND PREPARE IN-FILL WALL AREA FOR NEW PAINT.

ROOM FINISH SCHEDULE

RM NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	CEILING	PAINT / FINISH		NOTES
		FINISH	FINISH	MATERIAL	MATERIAL	HEIGHT	WALL	CEILING	
	Room						L	G	
0									

RENOVATION OF
8550 WYOMING APARTMENTS
APARTMENT AND COMMUNITY SPACE

DETROIT MICHIGAN

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOM FINISH SCHEDULE

DRAWING NUMBER

A.701

PRELIMINARY
 NOT FOR CONSTRUCTION

RENOVATION OF 8534 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

ARCHITECTURAL	
A.101	OVERALL FIRST FLOOR PLAN
A.102	OVERALL SECOND FLOOR PLAN
A.109	ROOF PLAN
A.202	EXTERIOR ELEVATIONS
A.501	INTERIOR ELEVATIONS
A.D.001	GENERAL DEMOLITION NOTES
A.D.101	FIRST FLOOR DEMOLITION PLAN
A.D.102	SECOND FLOOR DEMOLITION PLAN
LANDSCAPING	
L.901	LANDSCAPE DETAILS
CIVIL ENGINEERING	
C1	TOPOGRAPHIC SURVEY
LANDSCAPING	
L001	TREE PROTECTION AND TRANSPLANT PLAN
ARCHITECTURAL	
A.C.002	FIXTURES AND ACCESSORY MOUNTING HEIGHTS
A.S.101	ARCHITECTURAL SITE PLAN
STRUCTURAL	
S101	FOUNDATION PLAN
MECHANICAL	
M.000	LEGEND, SYMBOLS & ABBREVIATIONS
PIPING	
P.1	FIRST FLOOR PLAN PIPING
PLUMBING	
P.101	FIRST FLOOR PLUMBING PLAN
ELECTRICAL	
E.100	ELECTRICAL SITEPLAN
FOOD SERVICE	
FS-1	FOOD SERVICE EQUIPMENT PLAN, SCHEDULE AND GENERAL NOTES
INFRASTRUCTURE/LOW VOLTAGE	
T.101	FIRST FLOOR PLAN TECHNOLOGY
FIRE SUPPRESSION	
F.P.101	FIRST FLOOR FIRE SUPPRESSION PLAN
INTERIOR DESIGN	
I.D.101	PARTIAL FLOOR PLAN

MICHIGAN

SUMMARY TABLE

SITE DATA		
SITE AREA	1.29 ACRES (56,009 SF)	
ZONING (EXISTING & PROPOSED)	R2	
BUILDING SETBACKS		
FRONT SETBACKS (EXISTING)	= 20'-0"	
REAR SETBACK (EXISTING)	= 30'-0"	
SIDE SETBACK (EXISTING)	= 10'-0"	
PARKING		
PARKING SPACES	EXISTING 44 SPACES	
BARRIER FREE SPACES	EXISTING 3 SPACES TOTAL: 47 SPACES	
BUILDING HEIGHTS		
ALLOWABLE BLDG #	40 FEET MAXIMUM HEIGHT	
BLDG #8534	18'-7"	
BUILDING DATA		
GROSS BUILDING(S) SQUARE FOOTAGE		
BLDG #	AREA	BUILDING TYPE
BLDG #8534	5,452 SF	TWO STORY

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.0350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

IMEG

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

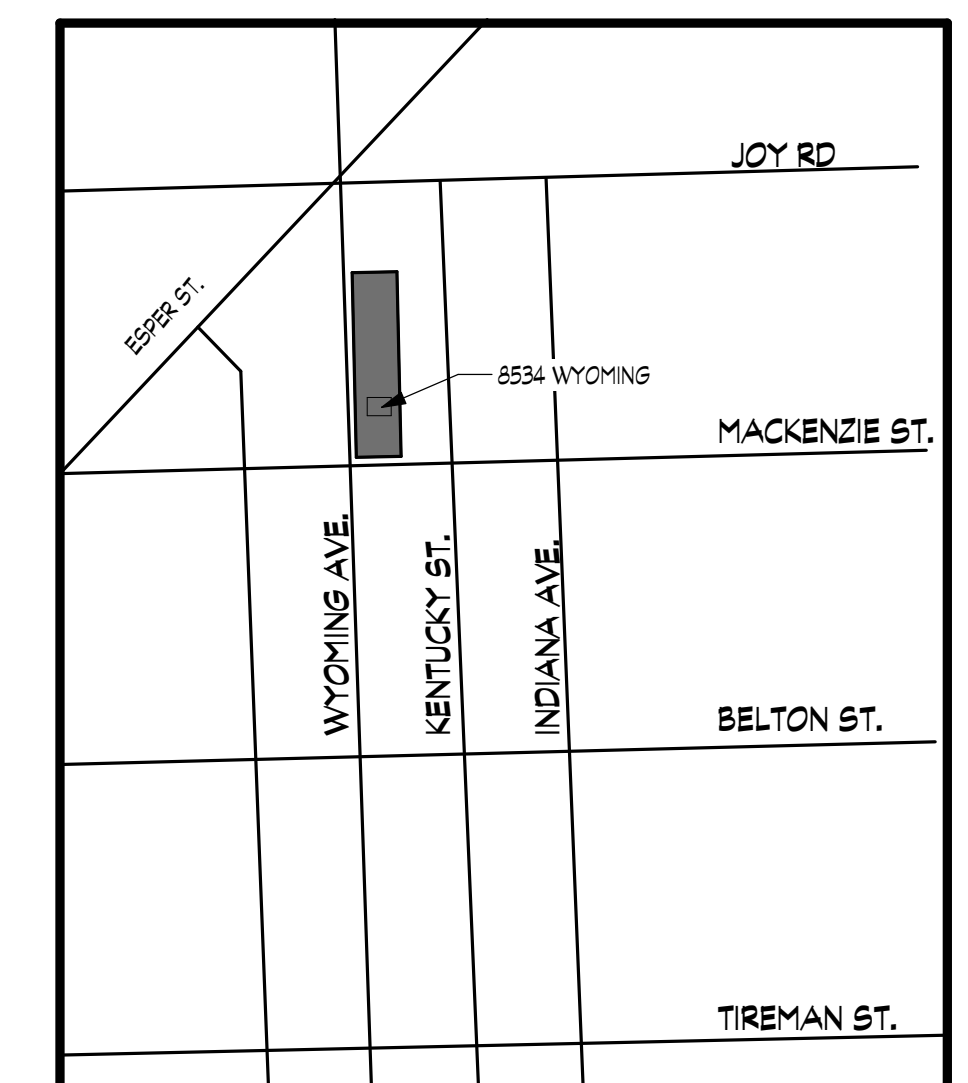
GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

CODE DATA

BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3) EXISTING TOWNHOUSES - LEVEL 1 EXISTING COMMUNITY BUILDING - LEVEL 1 EXISTING LEARNING CENTER - LEVEL 1
MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3

MSHDA #: 2355-2



DATE ISSUE

10.09.2023	OWNER'S REVIEW

SIGNATURE BLOCK

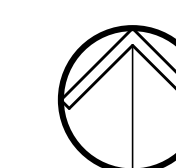
SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		



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ARCHITECTS AND PLANNERS

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LOCATION MAP

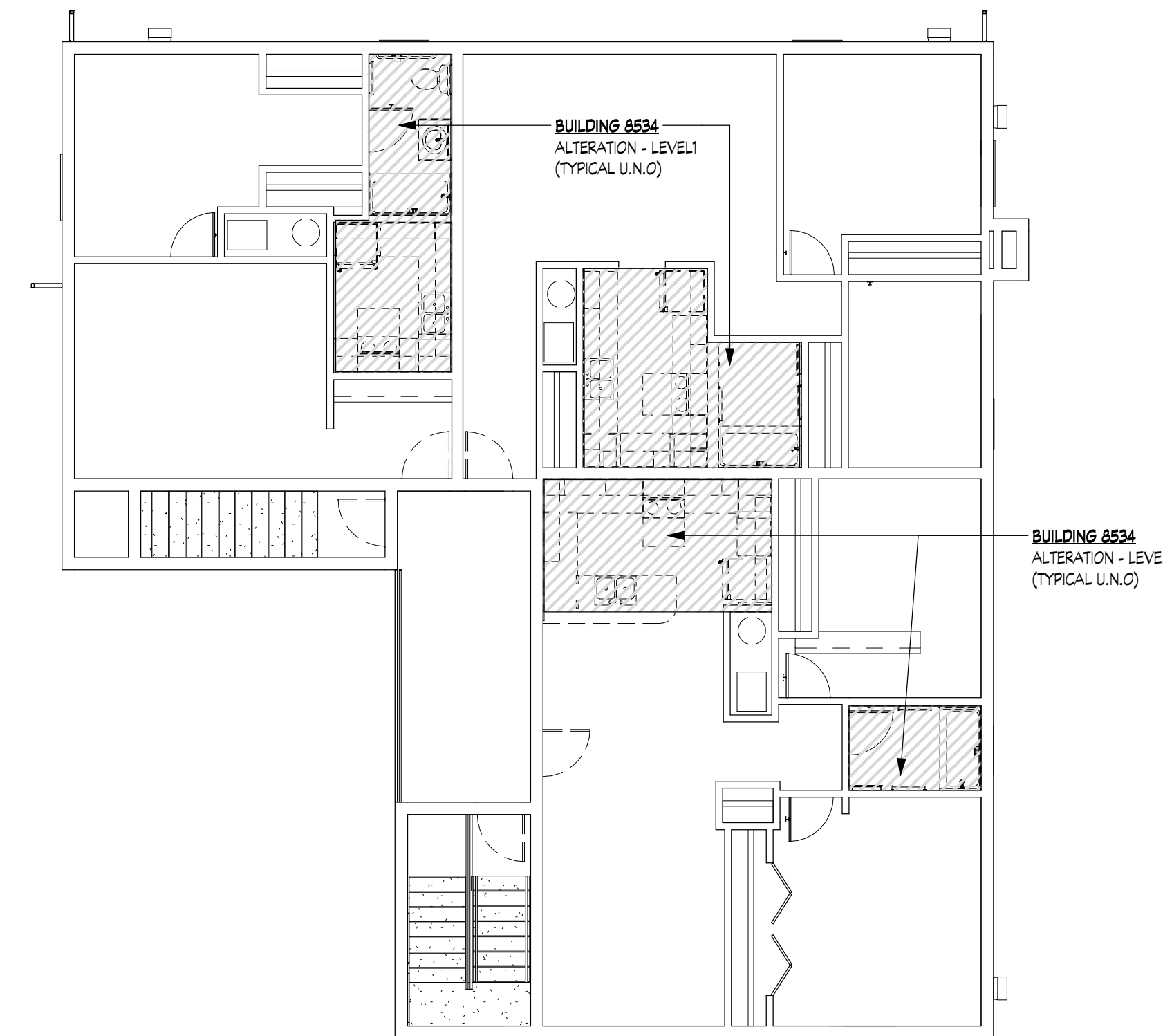
CODE INFORMATION	
PROJECT SCOPE:	PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.
EXISTING CONSTRUCTION:	DWELLING UNITS RENOVATED 2004
APPLICABLE CODES:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
BUILDING CODE:	EXISTING UNITS: ALTERATIONS-LEVEL 1
USE GROUPS:	EXISTING UNITS: R-2 RESIDENTIAL ECOMMUNITY SPACE: A-3, B & S-1
CONSTRUCTION TYPE:	EXISTING UNITS 5B (NON-SPRINKLED)
PLUMBING CODE:	2015 MICHIGAN PLUMBING CODE
MECHANICAL CODE:	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE W/ PART 6 MICHIGAN AMENDMENTS
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)
FIRE SUPPRESSION:	NON-SPRINKLED
ACCESSIBILITY:	2009 ICC/ANSI A117.1 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)
MSHDA:	REHAB STANDARDS OF DESIGN 2017 2017 MSHDA GREEN
• ALLOWABLE BUILDING HEIGHT:	40 FEET MAX.
BUILDING 8500 ONE STORY - EXISTING HEIGHT	8'-6"
BUILDING 8520 ONE STORY - EXISTING HEIGHT	8'-6"
BUILDING 8534 TWO STORY - EXISTING HEIGHT	13'-7"
BUILDING 8550 TWO STORY - EXISTING HEIGHT	17'-0"
BUILDING 8560 TWO STORY - EXISTING HEIGHT	16'-6"
BUILDING 8580 TWO STORY - EXISTING HEIGHT	17'-6"
BUILDING 8600 TWO STORY - EXISTING HEIGHT	17'-6"
• ALLOWABLE NUMBER OF STORIES:	2
EXISTING ONE UNITS:	1 (FLOOR SLAB ON GRADE)
EXISTING 2 STORY UNITS:	2 STORIES WITH BASEMENT
• ALLOWABLE AREA:	R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
EXISTING ONE STORY UNITS:	RANGES FROM:
EXISTING TWO STORY UNITS:	RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS	
MBC CONSTRUCTION TYPE: 5B	
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 509)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 509)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 509)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

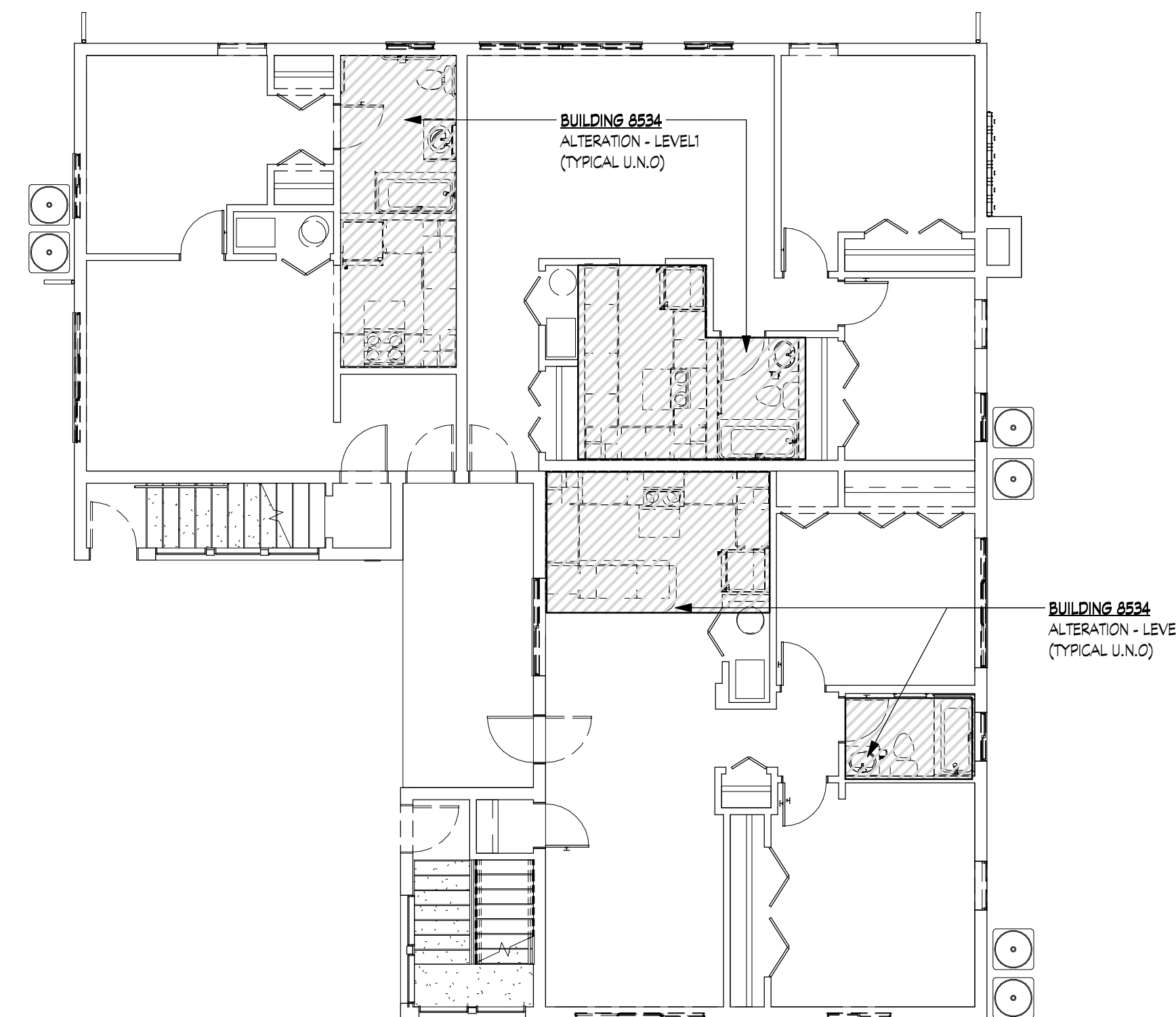
* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

LIFE SAFETY LEGEND	
	AREA OF NO WORK
	AREA OF MRCEB LEVEL 1 RENOVATION
	AREA OF MRCEB LEVEL 2 RENOVATION
	AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
	EXIT
	BUILDING EXIT

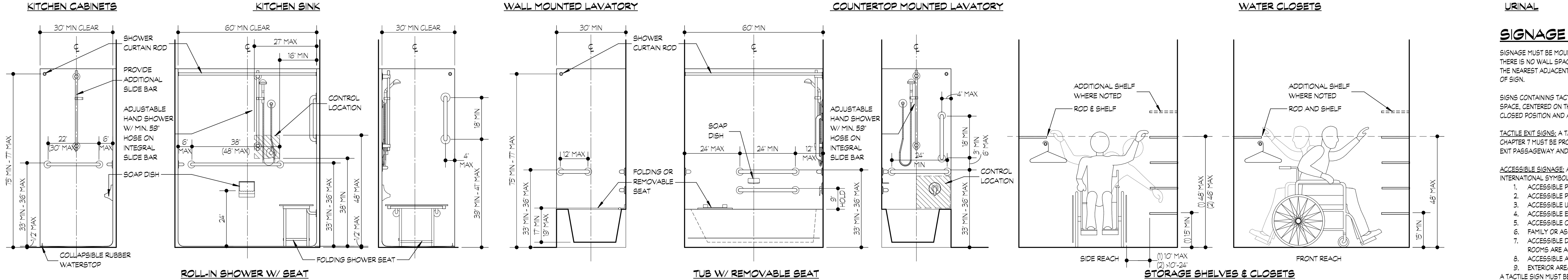
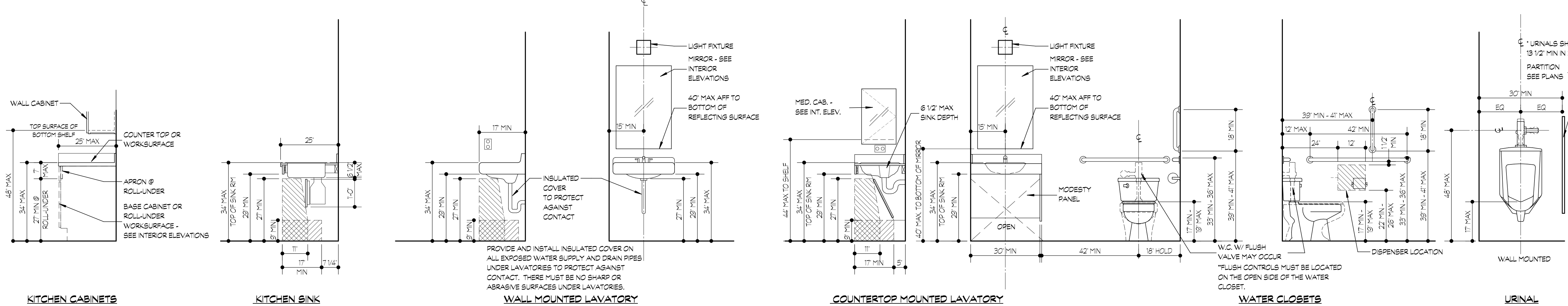
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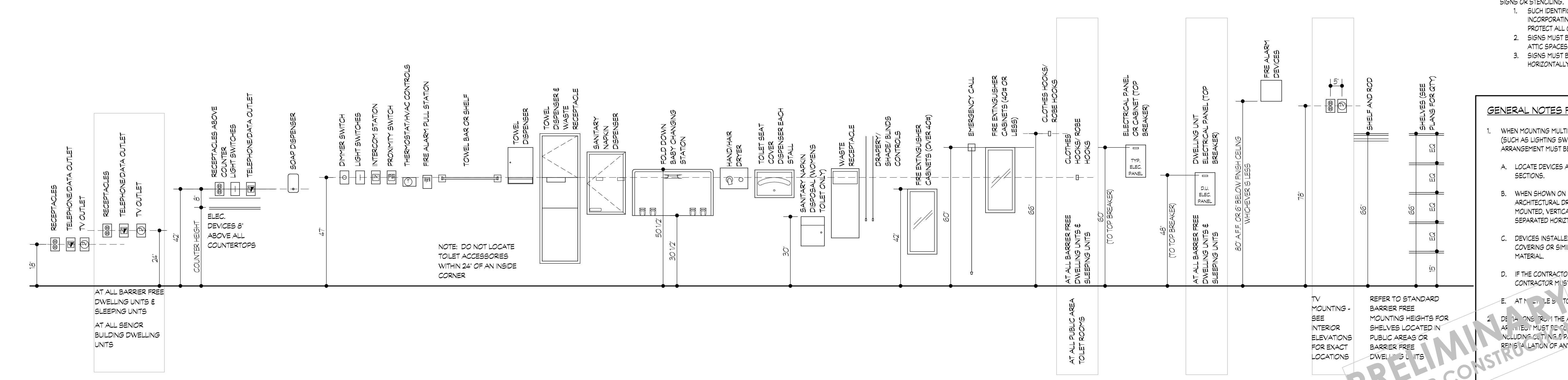
2 SECOND FLOOR CODE STUDY
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR CODE ANALYSIS
SCALE: 1/8" = 1'-0"



STANDARD BARRIER FREE MOUNTING HEIGHTS



ACCESSORY MOUNTING HEIGHTS

SIGNAGE AND CONTROLS

SIGNAGE MUST BE MOUNTED ON THE WALL ADJACENT TO LATCH SIDE OF DOOR WHERE THERE IS NO WALL SPACING TO THE LATCH SIDE OF THE DOOR. SIGNAGE MUST BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT MUST BE 60" A.F.F. TO THE CENTERLINE OF SIGN.

SIGNS CONTAINING TACTILE CHARACTERS MUST HAVE AN 18" MIN. BY 18" MIN. CLEAR FLOOR SPACE, CENTERED ON THE SIGN, BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND A 45 DEGREE OPEN POSITION.

TACTILE EXIT SIGNS: A TACTILE SIGN STATING "EXIT" AND COMPLYING WITH ICC/ANSI A117.1 CHAPTER 7 MUST BE PROVIDED ADJACENT TO EACH DOOR TO AN EGRESS STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

- ACCESSIBLE SIGNAGE: ALL REQUIRED ACCESSIBLE ELEMENTS MUST BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS:
1. ACCESSIBLE PARKING SPACES.
 2. ACCESSIBLE PASSENGER LOADING ZONES.
 3. ACCESSIBLE UNISEX TOILET AND BATHING ROOMS.
 4. ACCESSIBLE ENTRANCES WHERE NOT ALL ENTRANCES ARE ACCESSIBLE.
 5. ACCESSIBLE CHECK-OUT AISLES WHERE NOT ALL AISLES ARE ACCESSIBLE.
 6. FAMILY OR ASSISTED-USE TOILET AND BATHING ROOMS.
 7. ACCESSIBLE DRESSING, FITTING AND LOCKER ROOMS WHERE NOT ALL SUCH ROOMS ARE ACCESSIBLE.
 8. ACCESSIBLE AREAS OF REFUGE.
 9. EXTERIOR AREAS FOR ASSISTED RESCUE.
- A TACTILE SIGN MUST BE PROVIDED AT ALL LOCATIONS WHERE PICTORIAL SIGNAGE IS USED TO LABEL PERMANENT ROOMS OR SPACES (I.E. RESTROOMS), COMPLYING WITH ICC/ANSI A117.1 CHAPTER 7 AND MUST BE PROVIDED ADJACENT TO EACH DOOR.

AREA OF REFUGE SIGNAGE: A SIGN MUST BE PROVIDED AT EACH DOOR PROVIDING ACCESS TO AN AREA OF REFUGE FROM AN ADJACENT FLOOR AREA, COMPLYING WITH ICC A117.1, STATING "AREA OF REFUGE" INCLUDING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. ADDITIONALLY, TACTILE SIGNAGE COMPLYING WITH ICC A117.1 MUST BE LOCATED AT EACH DOOR TO AN AREA OF REFUGE.

SIGNAGE OF INSTRUCTIONS AT AREA OF REFUGE: IN AREAS OF REFUGE THAT HAVE A TWO-WAY EMERGENCY COMMUNICATIONS SYSTEM, INSTRUCTIONS ON THE USE OF AREA UNDER EMERGENCY CONDITIONS MUST BE POSTED ADJOINING THE COMMUNICATIONS SYSTEM. THE INSTRUCTIONS MUST INCLUDE ALL OF THE FOLLOWING:

1. PERSONS ABLE TO USE THE EXIT STAIRWAY DO SO AS SOON AS POSSIBLE, UNLESS ASSISTING OTHERS.
2. INFORMATION ON PLANNED AVAILABILITY OF ASSISTANCE IN THE USE OF STAIRS OR SUPERVISED OPERATION OF ELEVATORS AND HOW TO SUMMON SUCH ASSISTANCE.
3. DIRECTIONS FOR USE OF THE TWO-WAY COMMUNICATIONS SYSTEM.

OCCUPANT LOAD SIGNAGE: EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY MUST HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED NEAR THE MAIN EXIT.

DELAYED EGRESS SIGNAGE: A SIGN MUST BE PROVIDED ON THE DOOR LOCATED ABOVE AND WITHIN 12" OF THE RELEASE DEVICE STATING: "PUSH UNTIL ALARM SOUNDS. DOOR CAN BE OPENED IN 30 SECONDS".

FIRE RESISTANCE RATING SIGNAGE: FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS MUST BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING.

1. SUCH IDENTIFICATION MUST INCLUDE LETTERING NOT LESS THAN 0.5" IN HEIGHT, INCORPORATING THE SUGGESTED WORDING: "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR SIMILAR WORDING.
2. SIGNS MUST BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING OR ATTIC SPACES.
3. SIGNS MUST BE REPEATED AT INTERVALS NOT EXCEEDING 30'-0" MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.

GENERAL NOTES FOR LOCATION OF DEVICES:

1. WHEN MOUNTING MULTIPLE DEVICES FROM DIFFERENT TRADES IN THE SAME LOCATION (SUCH AS LIGHTING SWITCHES, LOW VOLTAGE, THERMOSTATS, ETC), THEIR ARRANGEMENT MUST BE IN ACCORDANCE WITH THE FOLLOWING:
 - A. LOCATE DEVICES AS SHOWN ON THE ARCHITECTURAL PLANS, ELEVATIONS OR SECTIONS.
 - B. WHEN SHOWN ON MECHANICAL OR ELECTRICAL DRAWINGS, BUT NOT ON ARCHITECTURAL DRAWINGS, DEVICES MUST BE UNIFORMLY AND SYMMETRICALLY MOUNTED, VERTICALLY ALIGN DEVICES MOUNTED AT HEIGHTS INDICATED, UNLESS SEPARATED HORIZONTALLY BY A MINIMUM OF 24".
 - C. DEVICES INSTALLED IN MASONRY OR SURFACES TO RECEIVE WOOD PANELS, WALL COVERINGS OR SIMILAR MATERIALS MUST BE FLUSH WITH THE FINAL SURFACE MATERIAL.
 - D. IF THE CONTRACTOR HAS ANY DOUBTS REGARDING THE LOCATION OF DEVICES, THE CONTRACTOR MUST CONSULT WITH THE ARCHITECT PRIOR TO ROUGHING-IN.
 - E. AT ALL BARRIER FREE LOCATIONS, GANG W/ SINGLE COVER PLATE.
2. DEVICES WITH THE ABOVE INSTRUCTIONS WITHOUT PRIOR APPROVAL BY THE ARCHITECT MUST BE CONTACTED BY THE INSTALLING CONTRACTOR. ANY COST, INCLUDING CUTTING, PATCHING, ENTAILED IN THE REMOVAL, RELOCATION, AND REINSTALLATION OF ANY DEVICES WILL BE THE RESPONSIBILITY OF THAT CONTRACTOR.

PRELIMINARY
 NOT FOR CONSTRUCTION

RENOVATION OF
8534 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

OVERALL SECOND FLOOR PLAN

DRAWING NUMBER

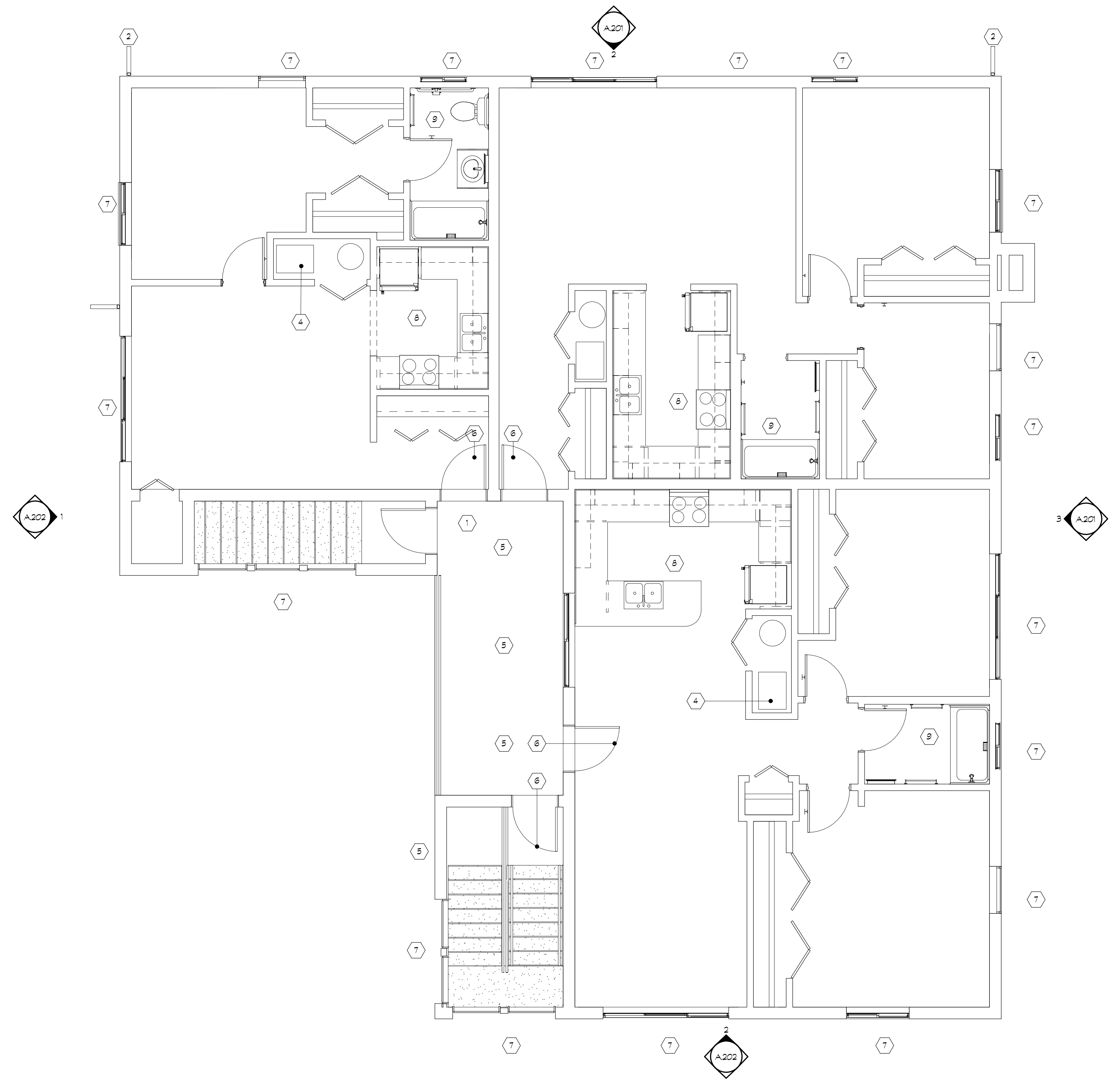
A.102

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.501 - A.507 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALKS):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS, COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOOLES, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
 - STAIRS:**
 - REPAIR, PATCH AND CLEAN EXTERIOR STAIRS.
 - SEAL COAT EXISTING FLOOR AT EXTERIOR STAIRS.
 - CANOPIES:**
 - REPLACE EXISTING CANOPY FABRIC WITH NEW MATERIALS.
- BUILDING INTERIOR**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK, GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN

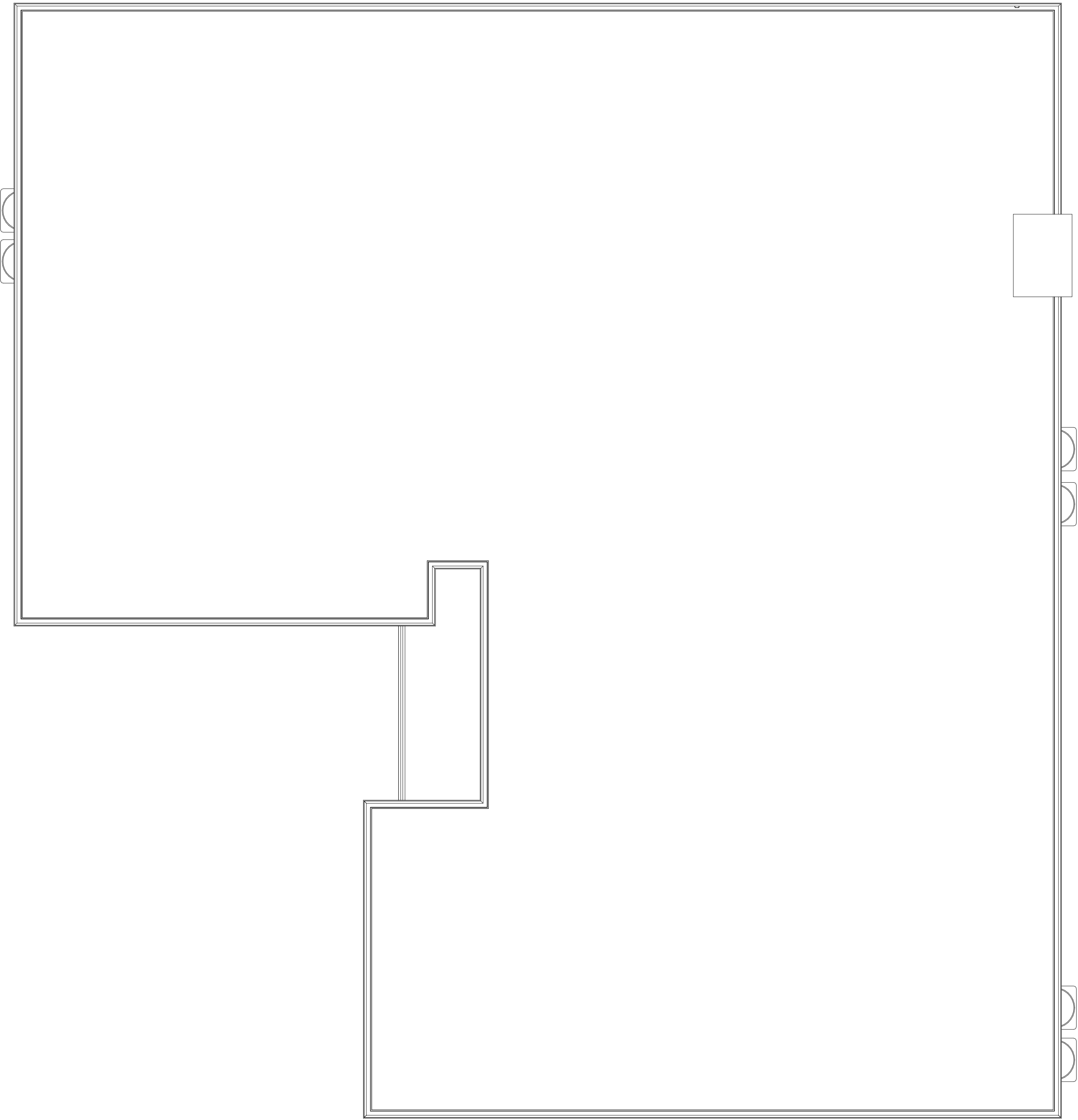
SUPPLY PLUMBING)

 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TSD).
 - PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANITIES, LAVATOIRES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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GENERAL ROOF NOTES:

ROOF PLAN DEMOLITION NOTES:

- REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
- REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
- REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
- PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).

ROOF PLAN NOTES:

- PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
- PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
- CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACED MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
- COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
- NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
- ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
- PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
- PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
- PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
- PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - PROVIDE SPLASH BLOCKS FOR THE FOLLOWING LOCATIONS:
 - FRONT OF RESIDENT UNIT BUILDINGS
 - AT LEARNING CENTER. REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING. REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
- PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSES.**
- NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING, VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
- NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A.407.
- PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
- ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

ROOF PLAN LEGEND:

	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE OF EXTERIOR WALL
	SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE FIRESTOPPED.

FOR INSTALLATION OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS TO BE INSTALLED, CONTRACTOR SHALL PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL. CONTRACTOR SHALL PROVIDE ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CONSIDER ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING THE PATCH, REPAIR AND PREPARING AREA IN THE UNIT PRICE FOR A PARTIAL INSTALLATION. UNIT PRICE IS AN AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BASED ON THE NUMBER OF ATTIC SEPARATION WALL REQUIRED TO THE PROJECT.

ROOF PLAN
SCALE: 1/4" = 1'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

10.09.2023	OWNER'S REVIEW
DATE	ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOF PLAN

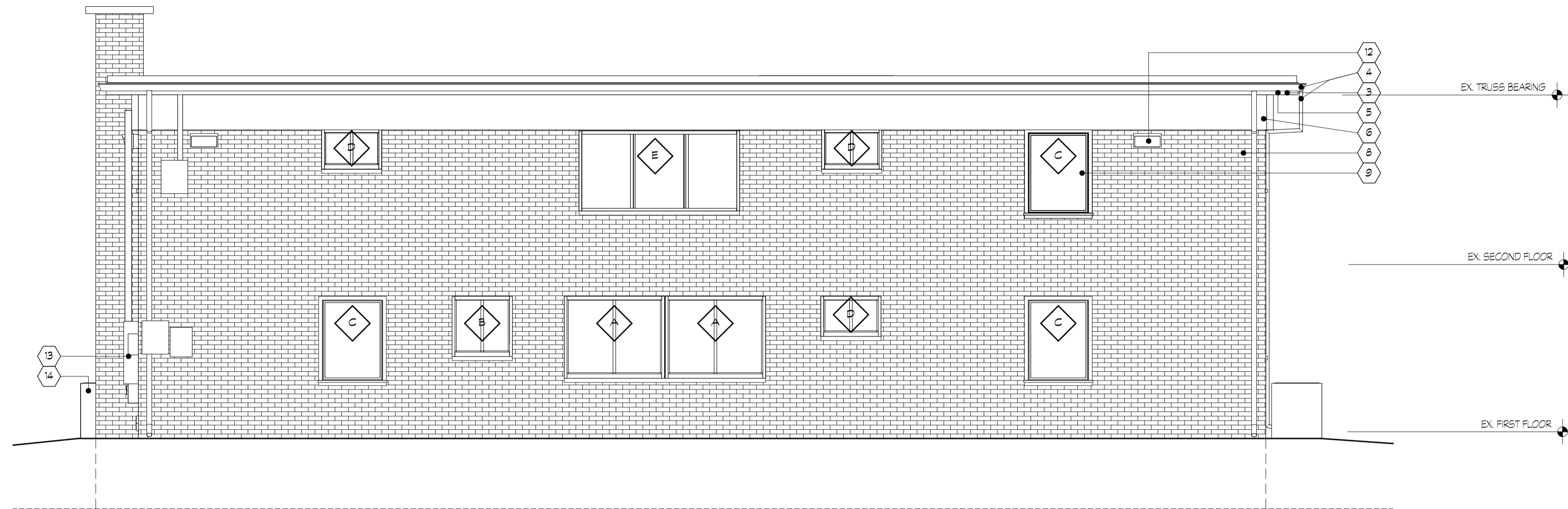
DRAWING NUMBER

A.109

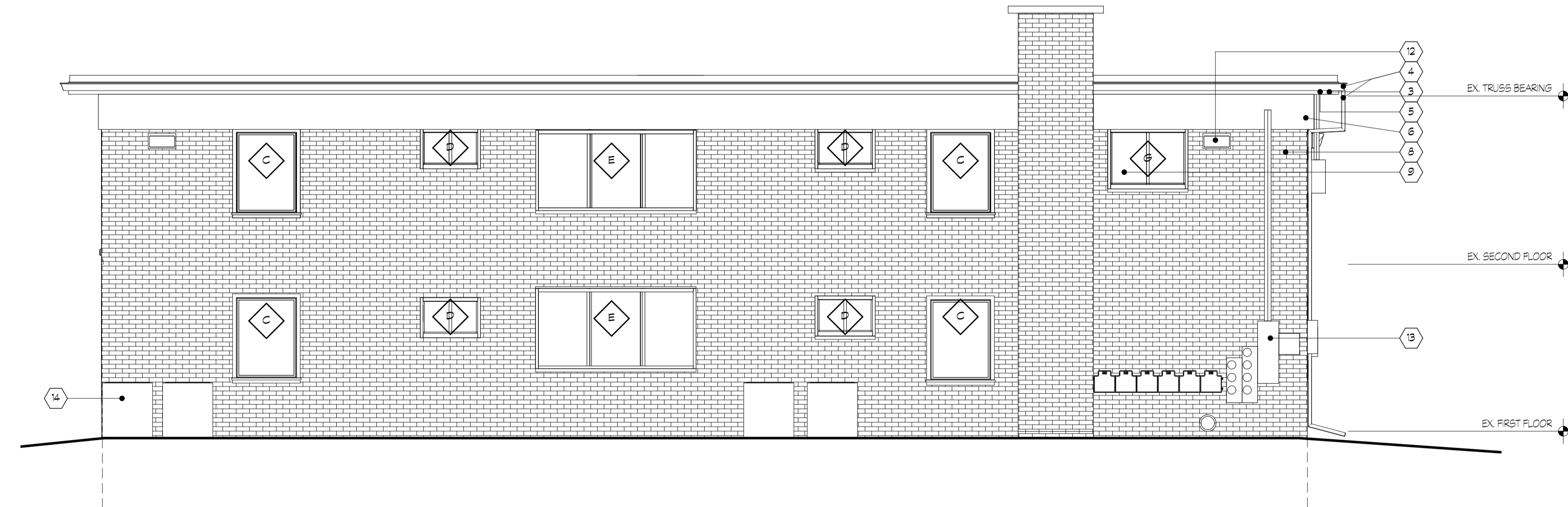
EXTERIOR ELEVATION FINISH SCHEDULE: #

1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING, GUTTERS AND DOWNSPOUTS TO BE REMOVED AND REPLACED. PROVIDE AND INSTALL ASPHALT SHINGLES. REFER TO SHEETS A.109 THRU A.112 OVER FOR ADDITIONAL INFORMATION.
2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED. REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS. REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. REAR ELEVATION: NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TIED INTO EXISTING UNDERGROUND DRAINAGE SYSTEM.
 - B. FRONT ELEVATION: NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.

SIDING:
CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
7. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSING. (ESTIMATE 5% PER BUILDING).
 - B. TUCKPOINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. CLEANING: THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - D. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
8. **THRESHOLD AND SILL:**
 - A. EXISTING AND SILL TO REMAIN AND BE CLEANED. RESET AND SECURE ALL LOOSE STONE.
 - B. ALL DAMAGED SILLS AND PRECAST WORK MUST BE REPAIRED AND/OR REPLACED TO MATCH EXISTING.
9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. GAPS: SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. STEEL LINTELS: IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. DAMAGED LINTELS: GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
10. **BASEMENT WINDOWS:** EXISTING BASEMENT WINDOW TO REMAIN.
11. **FRONT ENTRY:**
 - A. PORCH SLAB: EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
12. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
13. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL).
14. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING. REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
15. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN. ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)



2 REAR (ALLEY) ELEVATION
A.201 SCALE: 1/4" = 1'-0"

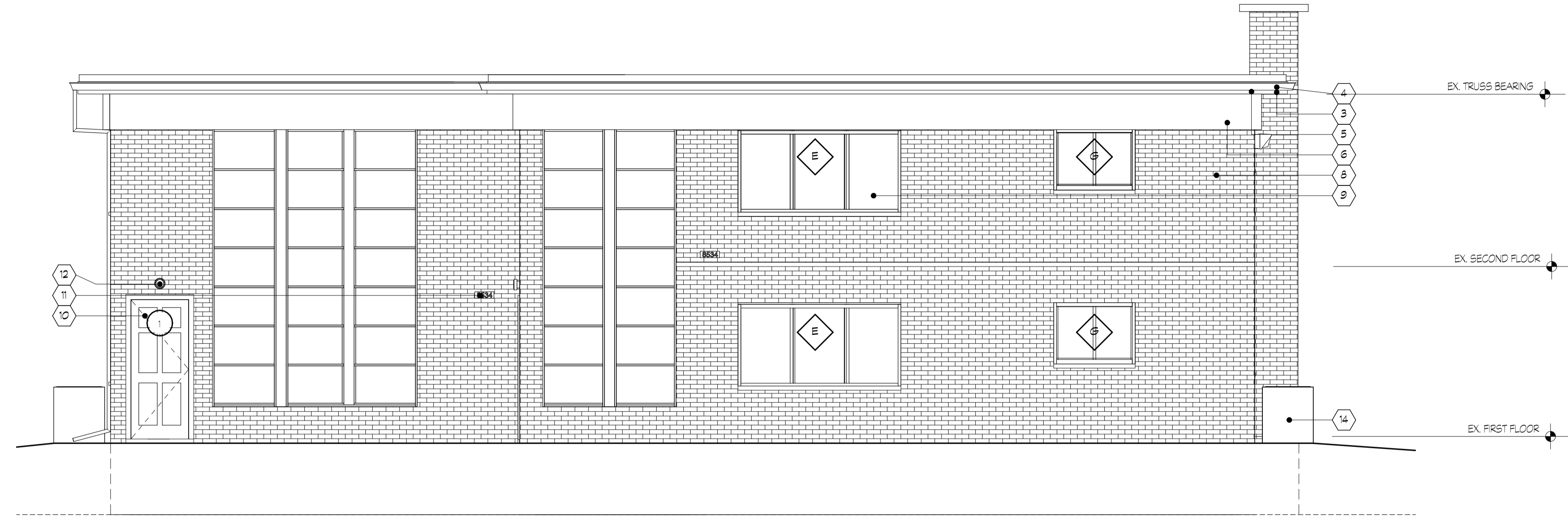


3 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"

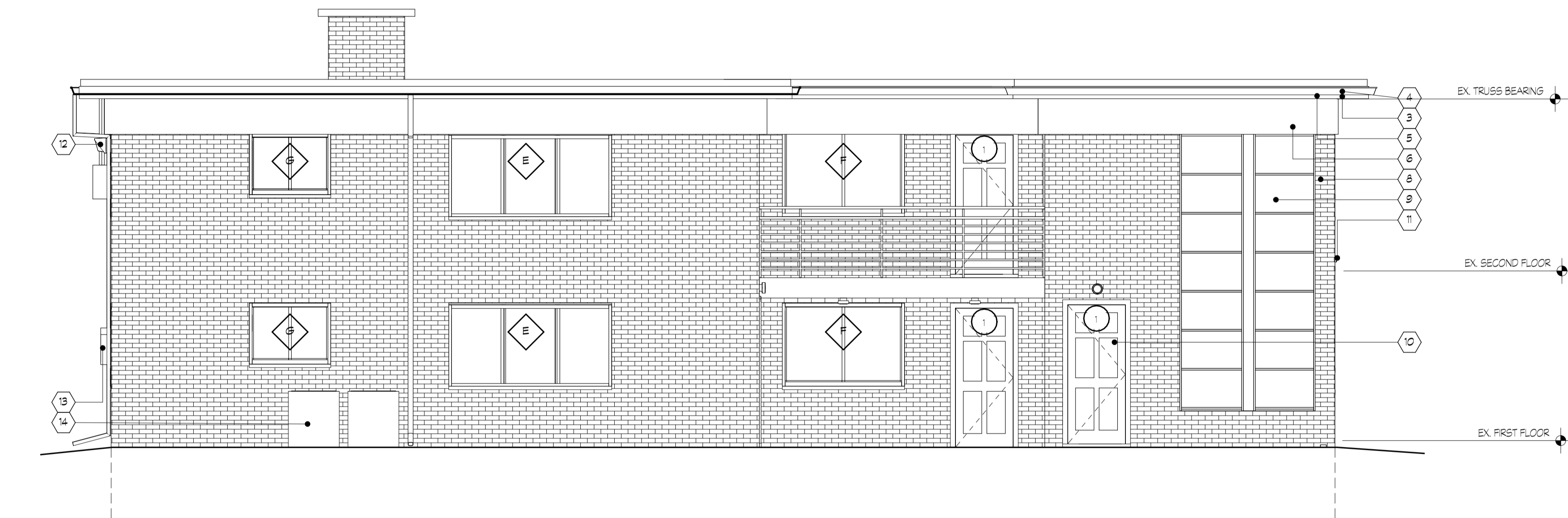
PRELIMINARY
NOT FOR CONSTRUCTION

- EXTERIOR ELEVATION FINISH SCHEDULE: (#)**
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 - EXHAUST AND VENTS:**
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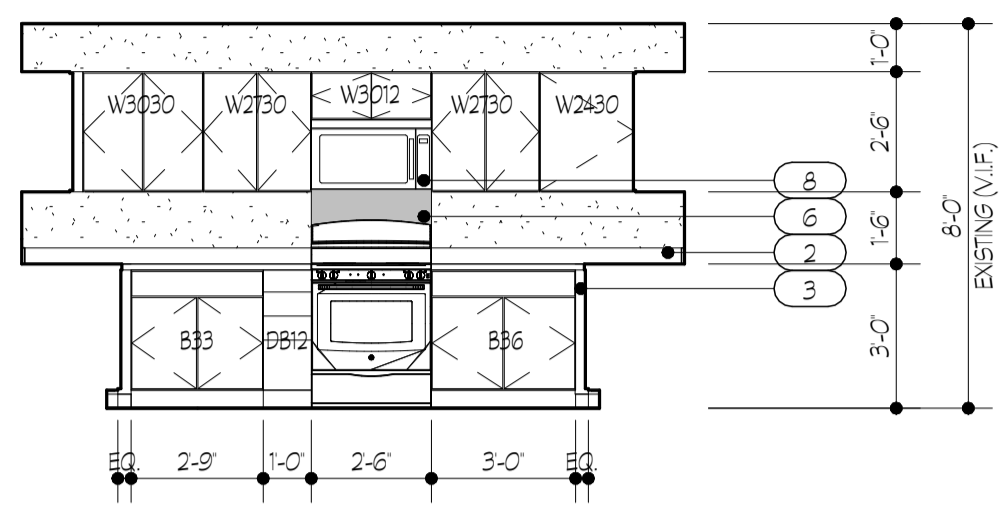
2 STREET ELEVATION
A.202 SCALE: 1/4" = 1'-0"



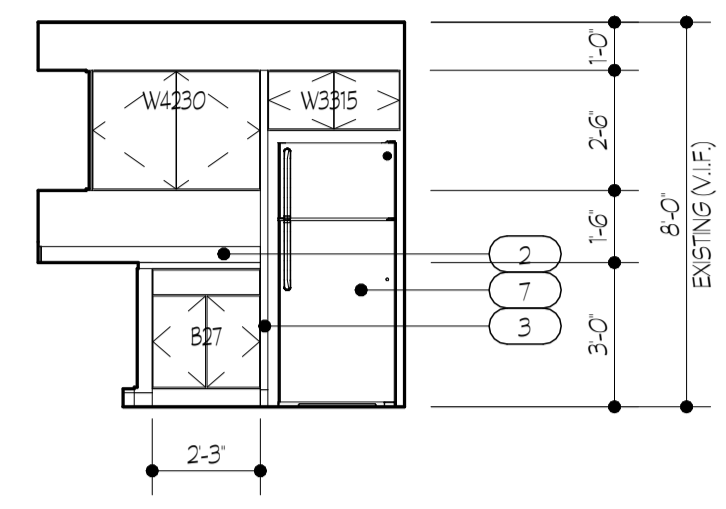
1 SIDE ELEVATION
A.202 SCALE: 1/4" = 1'-0"

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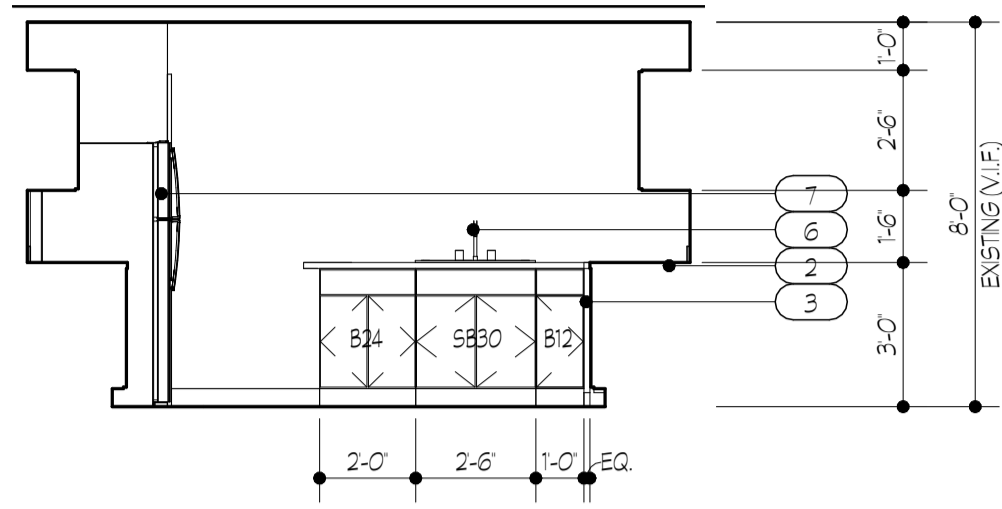
- UNIT KEYNOTES:** (X)
- KITCHENS:**
1. SINK AND FAUCET WITH DISPOSAL
 2. COUNTERTOP WITH 4" SIDE AND BACKPLASH
 3. FILLER
 4. BASE
 5. RANGE
 6. GREASE SHIELD
 7. REFRIGERATOR
 8. MICROWAVE WITH VENTING
- BATHROOMS:**
9. VANITY WITH LAVATORY AND FAUCET.
 10. MIRROR
 11. SURFACE MOUNTED MEDICINE CABINET
 12. TOILET PAPER HOLDER
 13. 24" TOWEL BAR
 14. 18" GRAB BAR
 15. 24" GRAB BAR
 16. 36" GRAB BAR
 17. 42" GRAB BAR
 18. ROSE HOOK (S)
 19. EXISTING TILE SURROUNDS TO BE REAPPLIED.
 20. SHOWER DRAINS.
 21. SHOWER CONTROLS.
 22. COUNTER TOP
 23. BASE



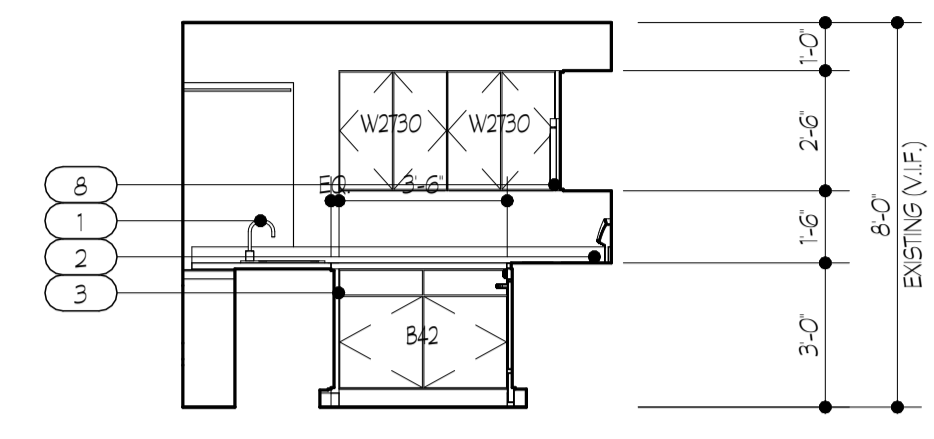
16
A.501 **KITCHEN @ TWO BEDROOM**
SCALE: 1/4" = 1'-0"



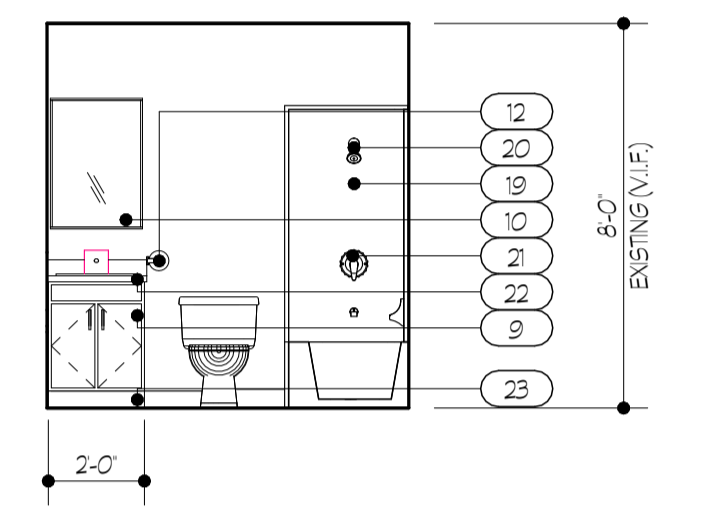
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A.501 **KITCHEN @ TWO BEDROOM**
SCALE: 1/4" = 1'-0"



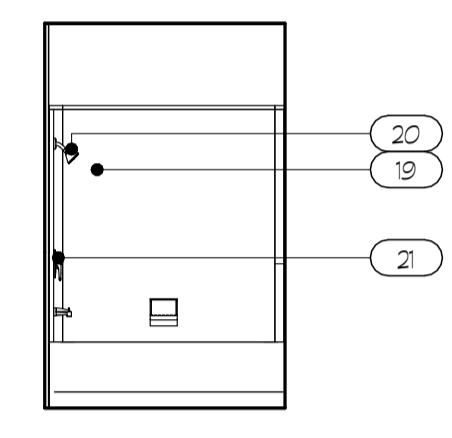
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A.501 **KITCHEN @ TWO BEDROOM**
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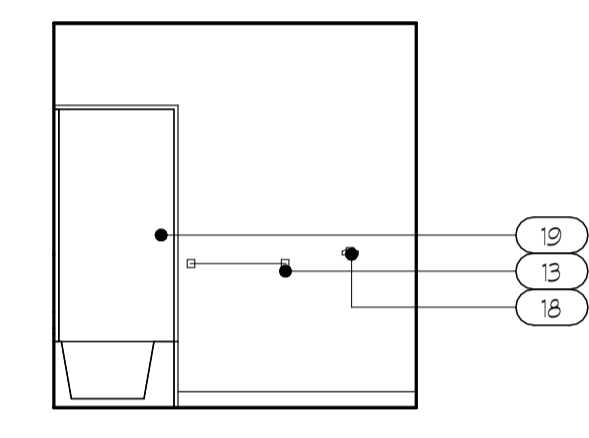
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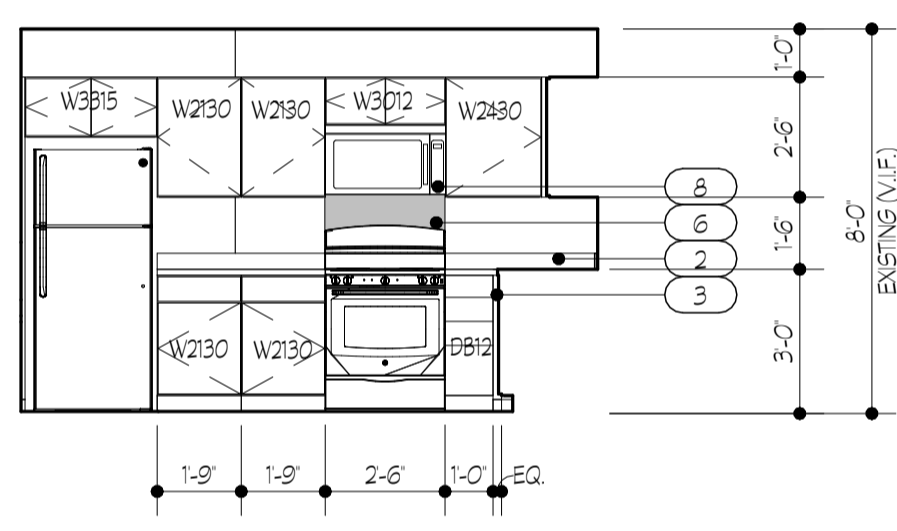
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A.501 **BATHROOM @ TWO BEDROOM**
SCALE: 1/4" = 1'-0"



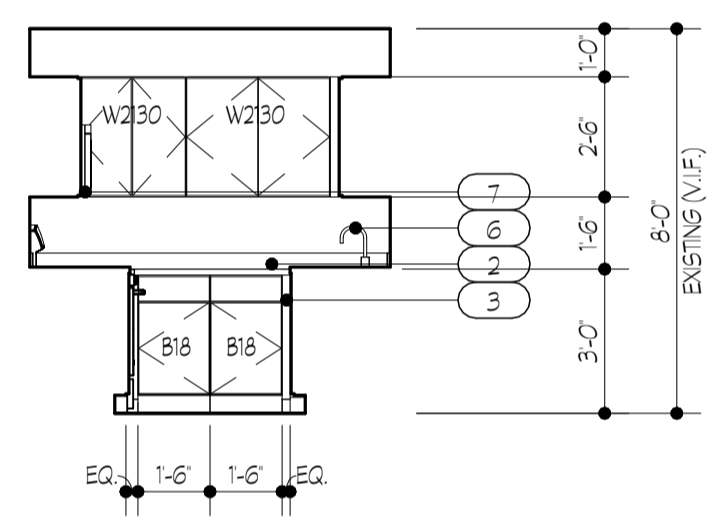
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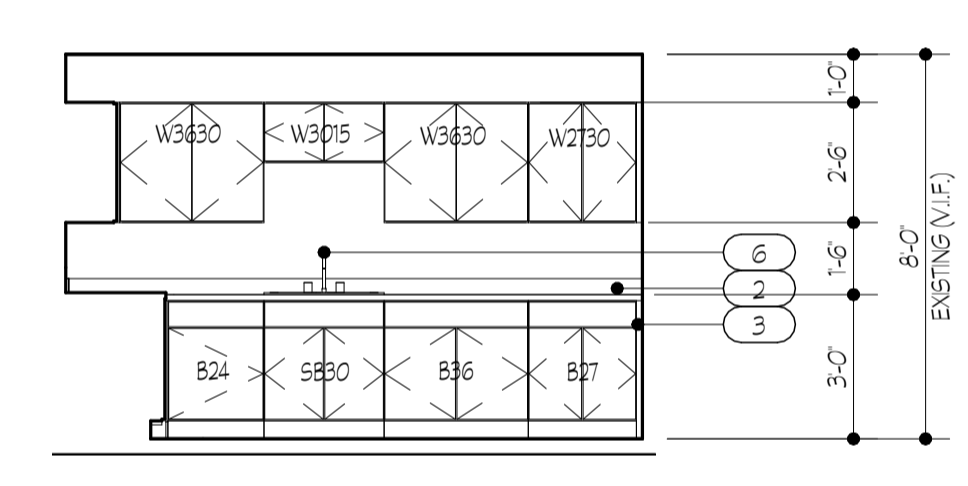
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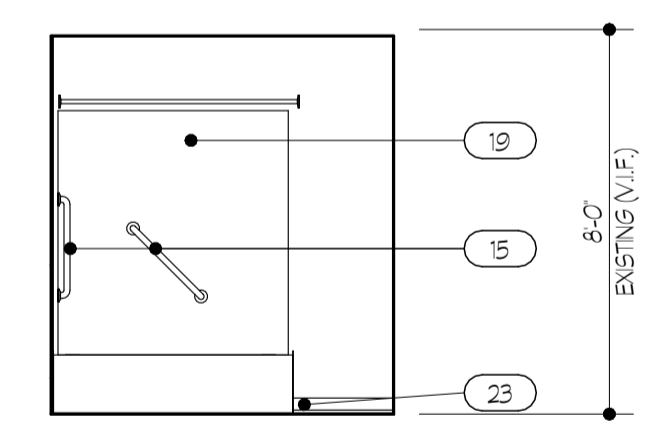
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A.501 **KITCHEN @ TWO BEDROOM**
SCALE: 1/4" = 1'-0"



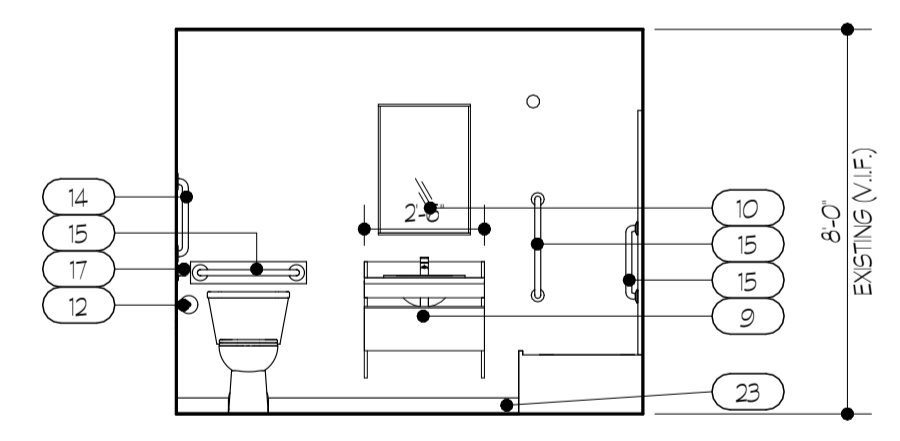
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A.501 **KITCHEN @ TWO BEDROOM**
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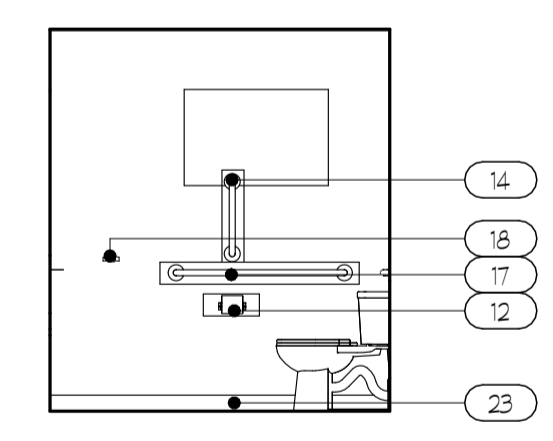
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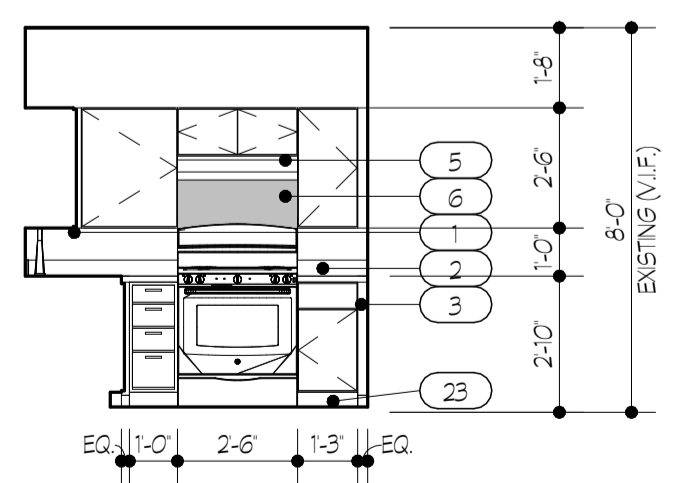
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A.501 **ADA BATHROOM @ ONE BEDROOM**
SCALE: 1/4" = 1'-0"



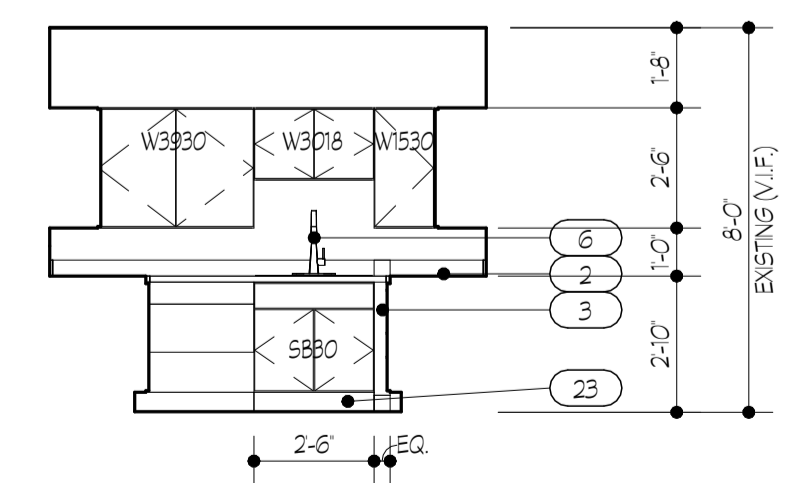
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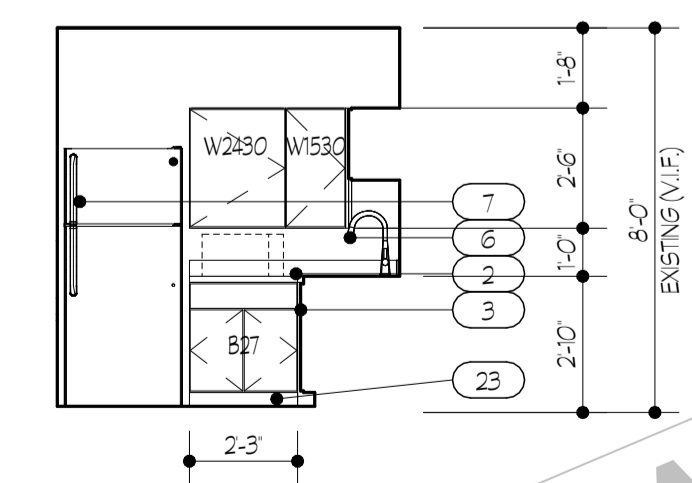
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A.501 **ADA BATHROOM @ ONE BEDROOM**
SCALE: 1/4" = 1'-0"



3
A.501 **ADA KITCHEN @ ONE BEDROOM**
SCALE: 1/4" = 1'-0"



2
A.501 **ADA KITCHEN @ ONE BEDROOM**
SCALE: 1/4" = 1'-0"



1
A.501 **ADA KITCHEN @ ONE BEDROOM**
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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KEY PLAN

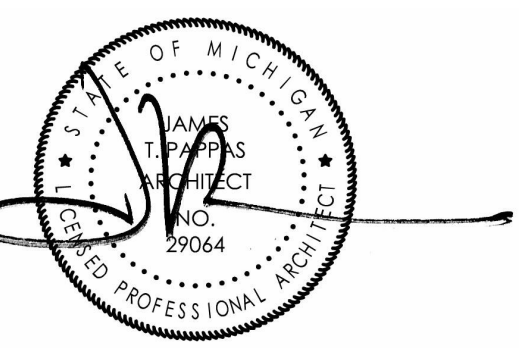
FSP PROJECT NO.
COTS19.056

DRAWING TITLE

INTERIOR ELEVATIONS

DRAWING NUMBER

A.501



RENOVATION OF
8534 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023	OWNER'S REVIEW
DATE	ISSUE

KEY PLAN

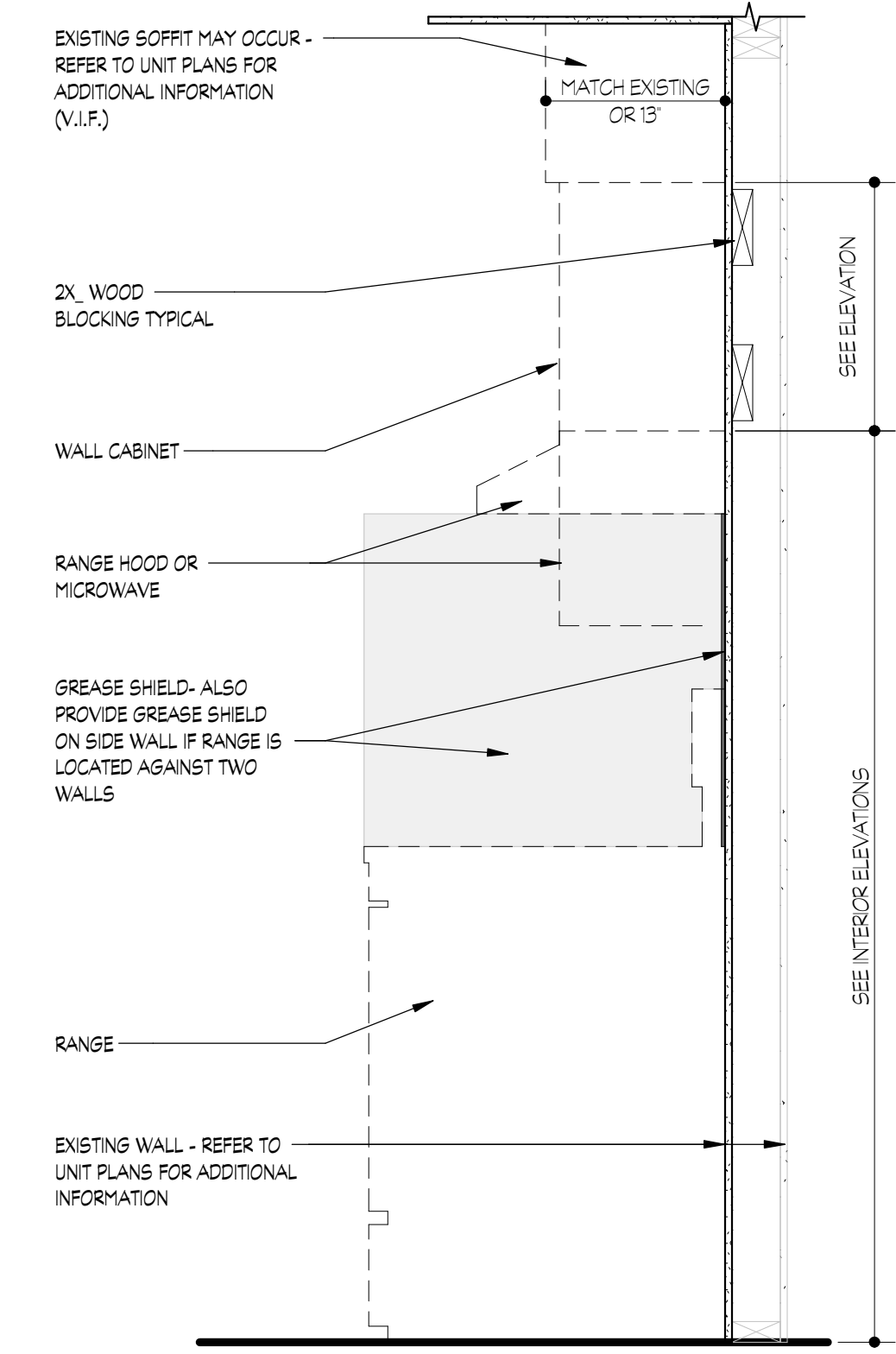
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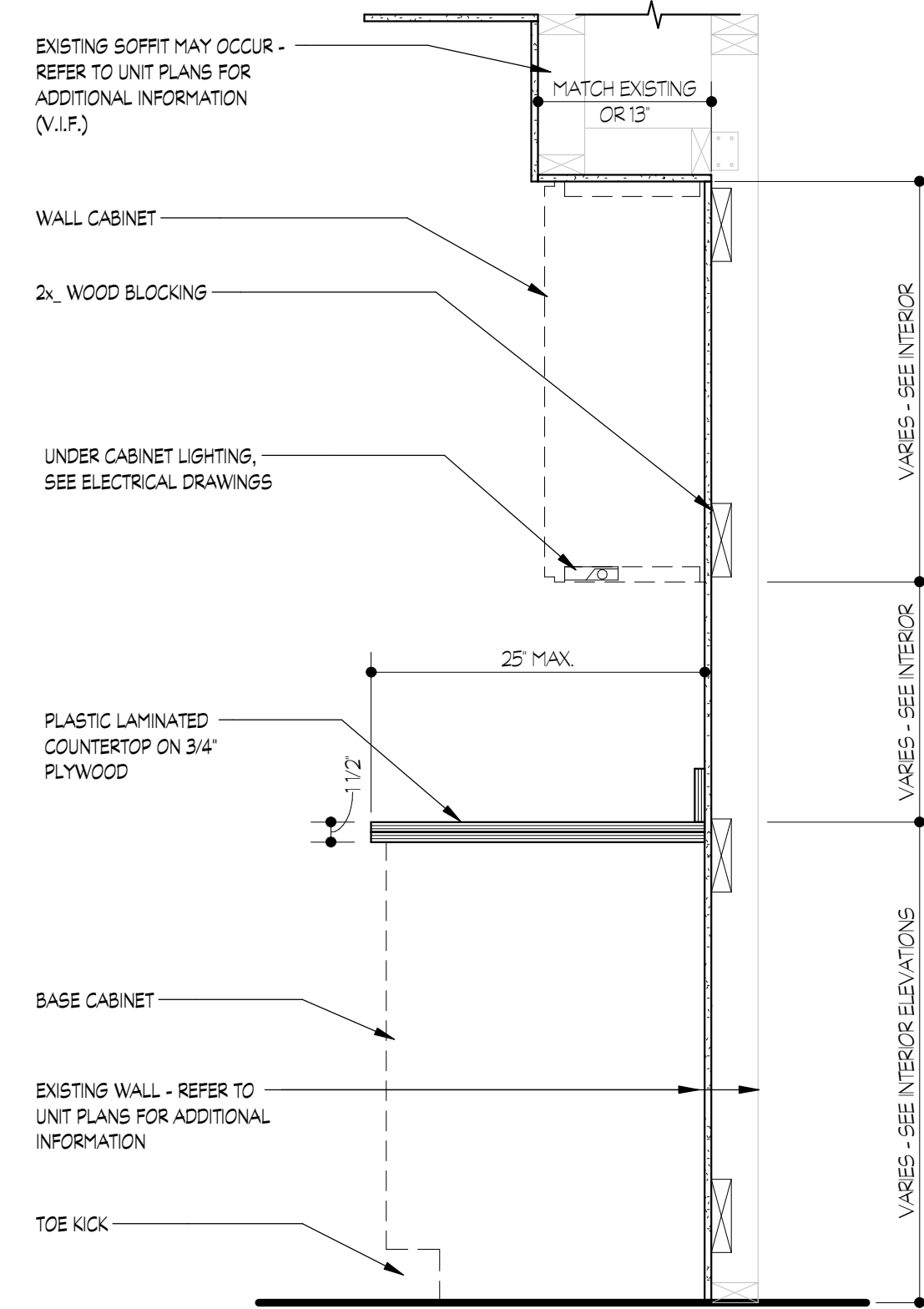
INTERIOR DETAILS

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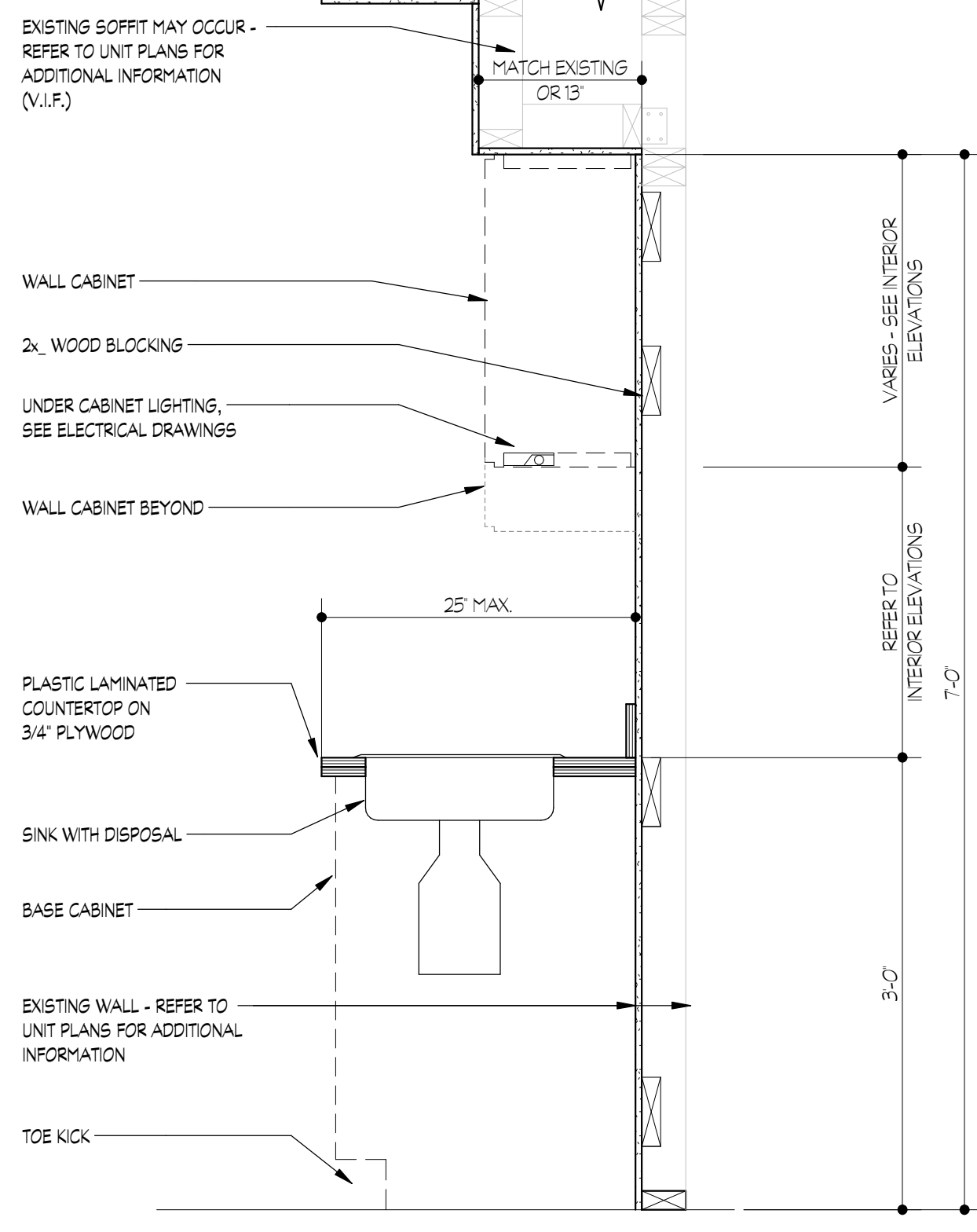
A.621



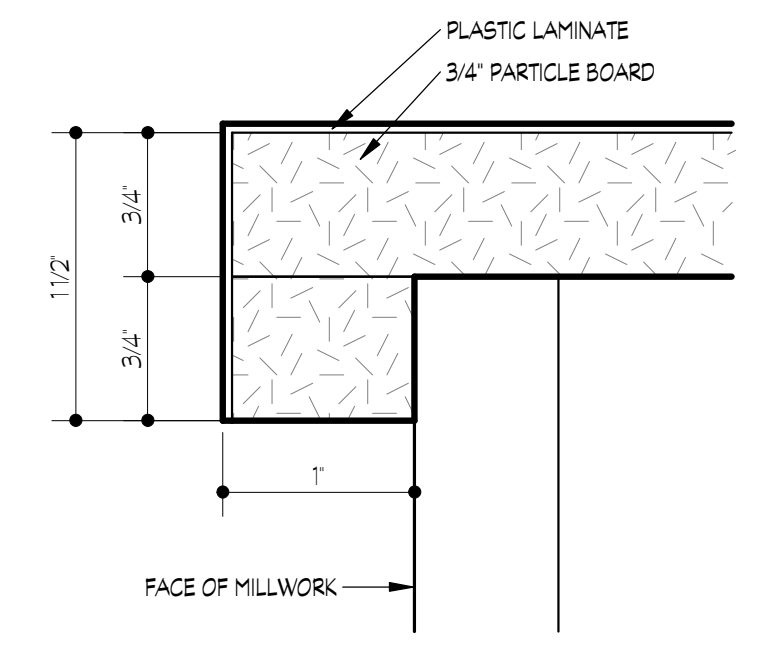
5 **CABINET RANGE SECTION**
A.621 SCALE: 1" = 1'-0"



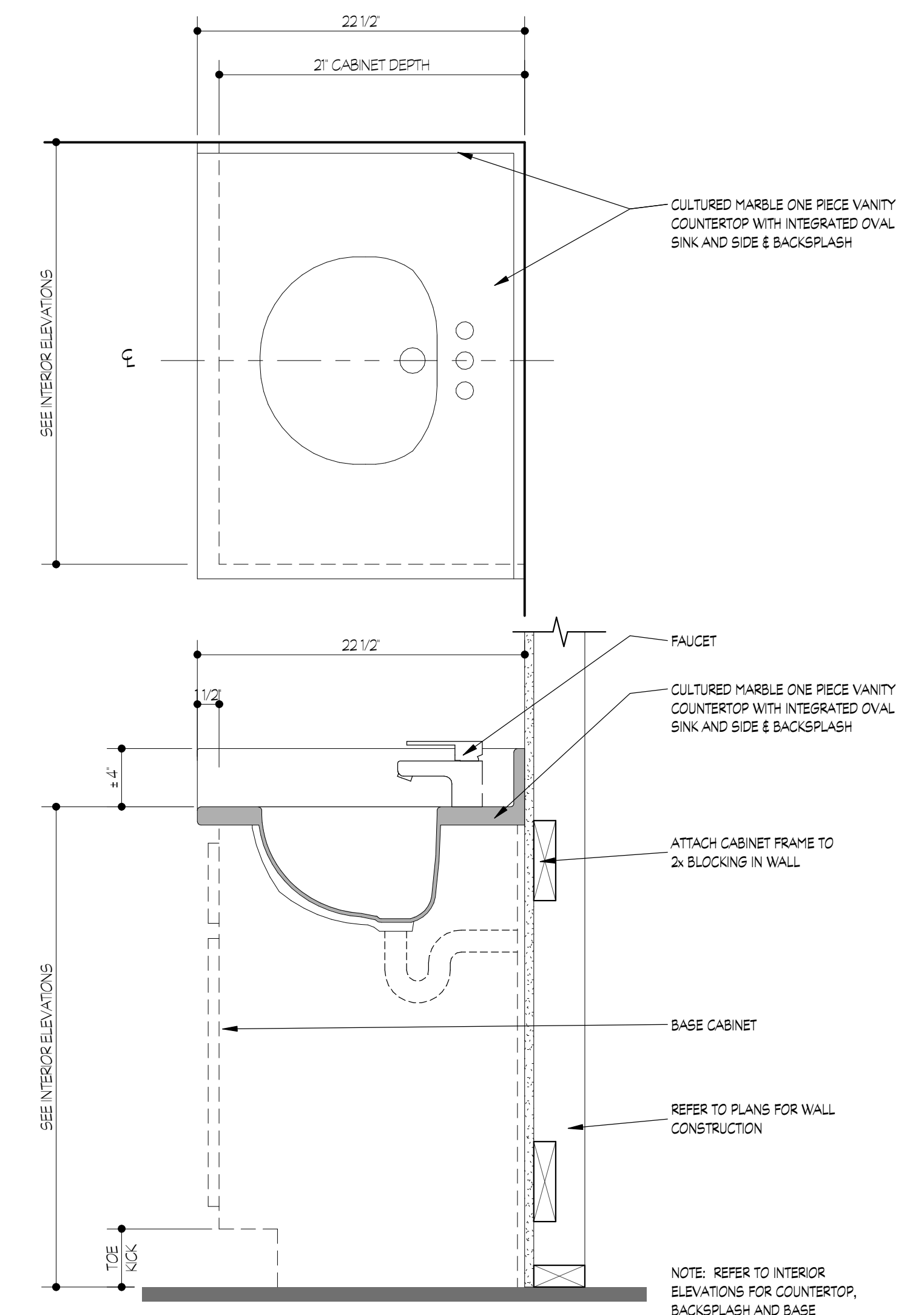
4 **KITCHEN CABINET SECTION**
A.621 SCALE: 1" = 1'-0"



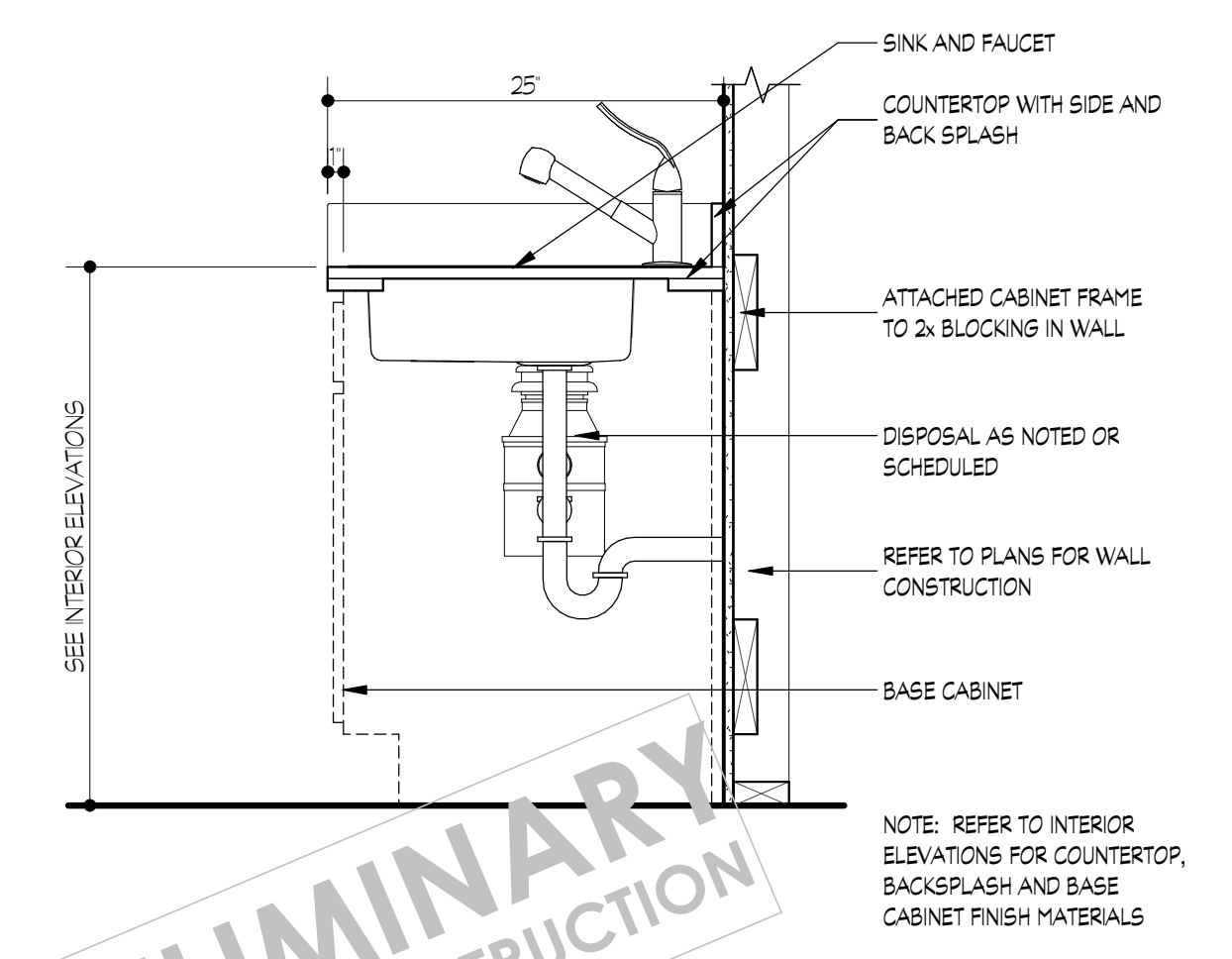
3 **SINK KITCHEN CABINET**
A.621 SCALE: 1" = 1'-0"



6 **PLASTIC LAMINATE NOSING DETAIL**
A.621 SCALE: 12" = 1'-0"



2 **LAVATORY SINK KITCHEN**
A.621 SCALE: 1 1/2" = 1'-0"



1 **KITCHEN SINK SECTION**
A.621 SCALE: 1" = 1'-0"

PRELIMINARY
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ROOM FINISH NOTES

GENERAL NOTES:

- SEE BUILDING AND WALL SECTIONS FOR ADDITIONAL CEILING HEIGHT INFORMATION.
- SMALL ROOMS OR CLOSETS WHICH DO NOT APPEAR IN THE ROOM FINISH SCHEDULE SHALL BE FINISHED THE SAME AS THE ROOM (SPACE) IT OPENS ONTO, EXCEPT IF NOTED OTHERWISE.
- REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL FINISHES NOT LISTED IN THE ROOM FINISH SCHEDULE.

ROOM FINISH NOTES:

1. CLEAN AND PREPARE THE FLOOR AND WALLS FOR NEW PAINT. COORDINATE WITH OLEADY PAINT FOR OWNER'S BASEMENT PAINT TYPE AND COLOR.
2. EXPOSED BASEMENT CEILING JOIST TO REMAIN AS IS. REMOVE ANY LOOSE OR MISCELLANEOUS ITEMS (WIRING, PIPING, DEBRIS, ETC.) THAT IS NOT IN USE OR NEEDED.
3. REPAIR, PREPARE AND REFINISH ALL HARDWOOD FLOORING.
4. EXPOSED CONCRETE FLOORS TO BE SEALED.
5. FOR **PLUMBING**: SLOPE NEW CONCRETE FLOOR 1/8" PER 1'-0" TO FLOOR DRAIN.
6. SPOT REMOVE GYPSUM BOARD (WALLS AND CEILING). REPAIR, PATCH, PREPARE AND INSTALL NEW GYPSUM BOARD FOR NEW PAINT FINISH. (U.N.O.)
7. CLEAN AND PREPARE THE WALLS AND CEILING FOR NEW PAINT.
8. FLAT PAINT ON GYPSUM BOARD SOFFITS, NO PAINT ON ACOUSTIC CEILING TILE (A.C.T.).
9. TOUCH-UP PAINT AROUND NEW LIGHT FIXTURES.
10. CLEAN AND PREPARE IN-FILL WALL AREA FOR NEW PAINT.

ROOM FINISH SCHEDULE

RM NO.	ROOM NAME	FLOOR	BASE	WALL	CEILING	CEILING	PAINT / FINISH		NOTES
		FINISH	FINISH	MATERIAL	MATERIAL	HEIGHT	WAL L	CEILIN G	
0	Room								

RENOVATION OF
8534 WYOMING APARTMENTS
 BUEERSMEYER MANOR
 MICHIGAN
 DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOM FINISH SCHEDULE

DRAWING NUMBER

A.701

PRELIMINARY
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RENOVATION OF 8520 WYOMING APARTMENTS AND COMMUNITY SPACE DETROIT MICHIGAN

LIST OF DRAWINGS

ARCHITECTURAL	
A.101	OVERALL FLOOR PLAN
A.109	ROOF PLAN
A.201	EXTEIOR ELEVATIONS
A.501	INTERIOR ELEVATIONS
A.621	INTERIOR DETAILS
A.701	ROOM FINISH SCHEDULE
A.D.001	GENERAL DEMOLITION NOTES
A.D.101	DEMOLITION PLAN
LANDSCAPING	
L.901	LANDSCAPE DETAILS
L.902	DUMPTER DETAILS
ARCHITECTURAL	
A.C.001	LIFE SAFETY
A.C.002	FIXTURES AND ACCESSORY MOUNTING HEIGHTS
A.S.101	ARCHITECTURAL SITE PLAN

DEVELOPMENT TEAM

OWNER

DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.0350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

SUMMARY TABLE

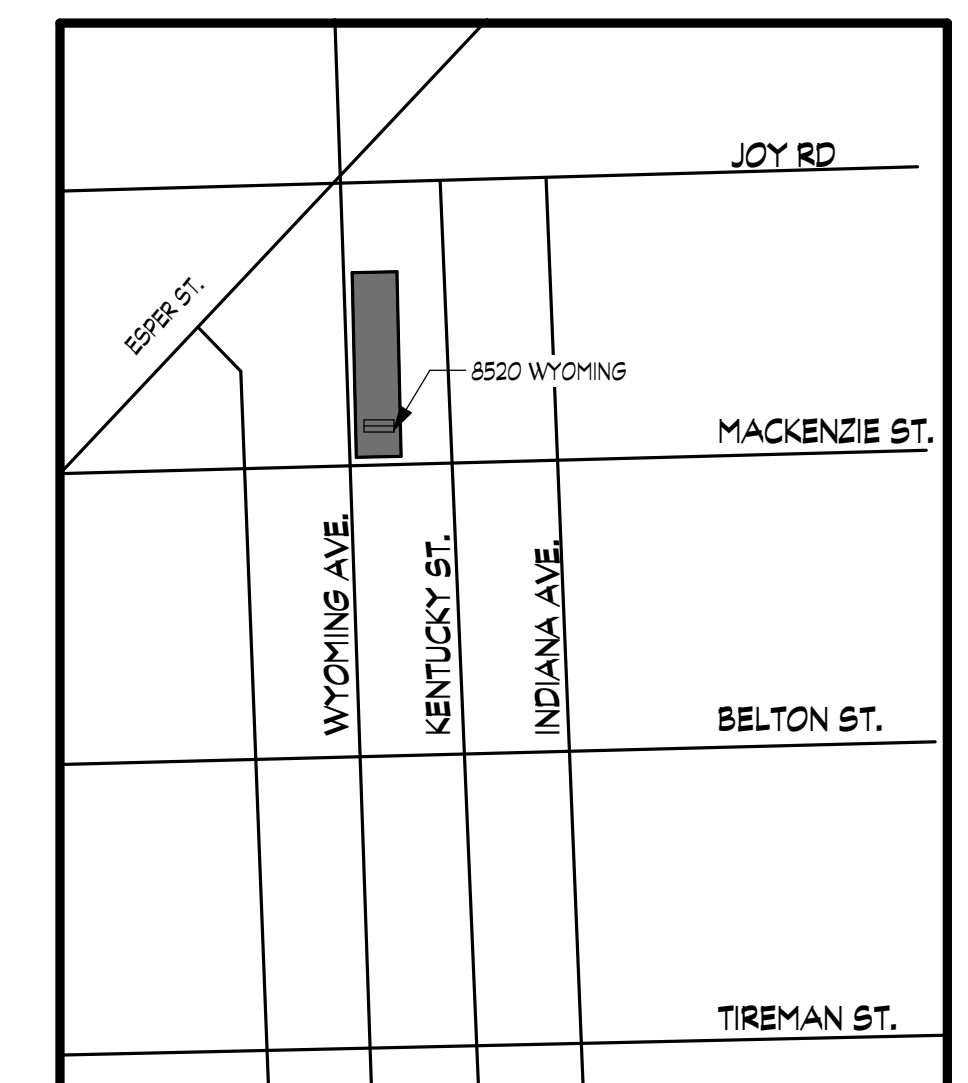
SITE DATA	
SITE AREA	1.29 ACRES (56,009 SF)
ZONING (EXISTING & PROPOSED)	R2
BUILDING SETBACKS	
FRONT SETBACKS (EXISTING)	= 20'-0"
REAR SETBACK (EXISTING)	= 30'-0"
SIDE SETBACK (EXISTING)	= 10'-0"
PARKING	
PARKING SPACES	EXISTING 44 SPACES
BARRIER FREE SPACES	EXISTING 3 SPACES
	TOTAL: 47 SPACES
BUILDING HEIGHTS	
ALLOWABLE BLDG.#	40 FEET MAXIMUM HEIGHT
BLDG #8520	13'-0"

BUILDING DATA		
GROSS BUILDING(S) SQUARE FOOTAGE		
BLDG.#	AREA	BUILDING TYPE
BLDG #8520	4,042 SF	ONE STORY

CODE DATA	
BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3) EXISTING TOWNHOUSES - LEVEL 1 EXISTING COMMUNITY BUILDING - LEVEL 1 EXISTING LEARNING CENTER - LEVEL 1

MBC CONSTR. TYPE:	EXISTING 5B (NON SPRINKLED)
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3

MSHDA #: 2355-2



<u>DATE</u>	<u>ISSUE</u>
10.09.2023	OWNER'S REVIEW

SIGNATURE BLOCK

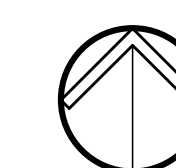
SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		



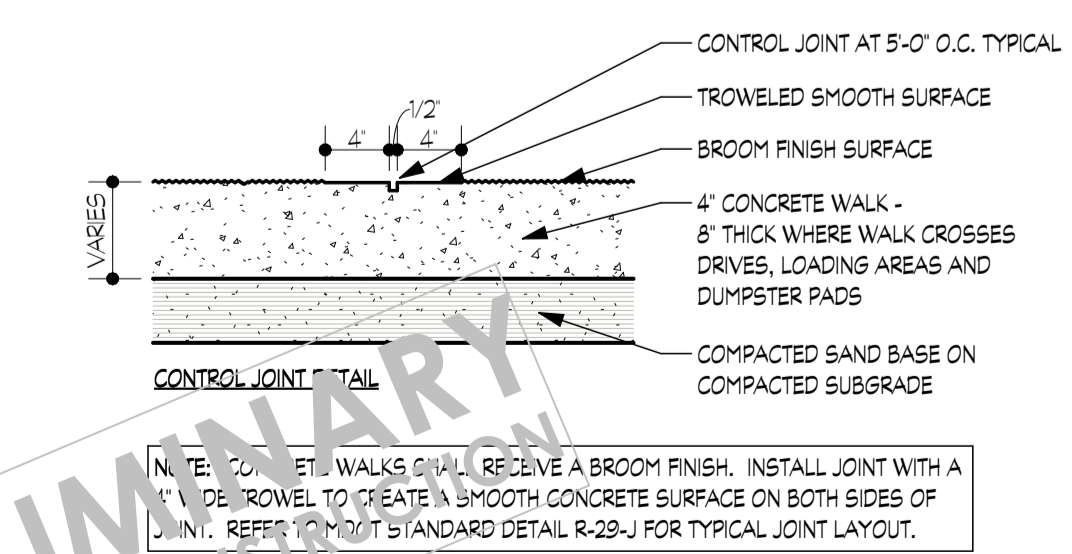
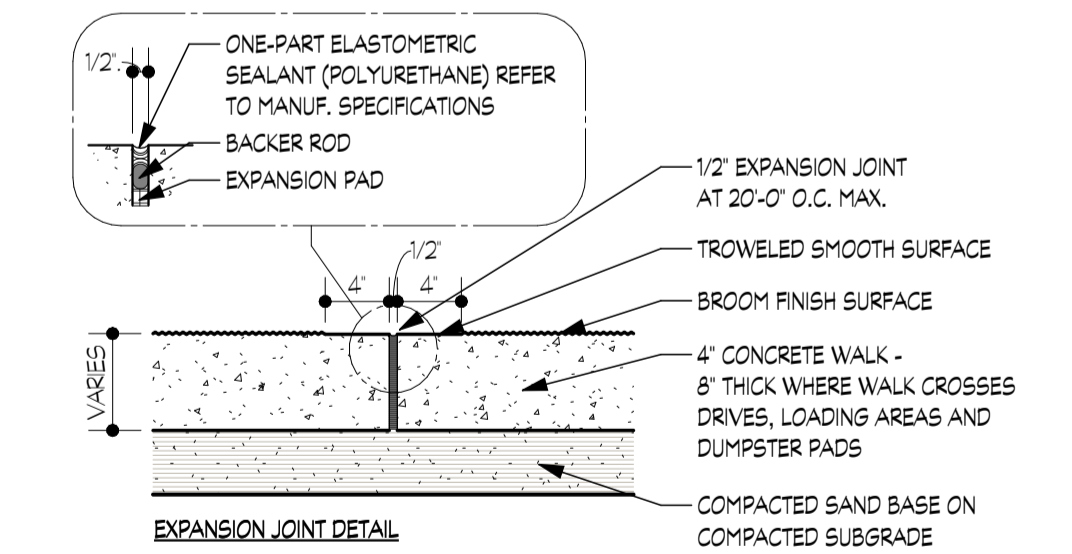
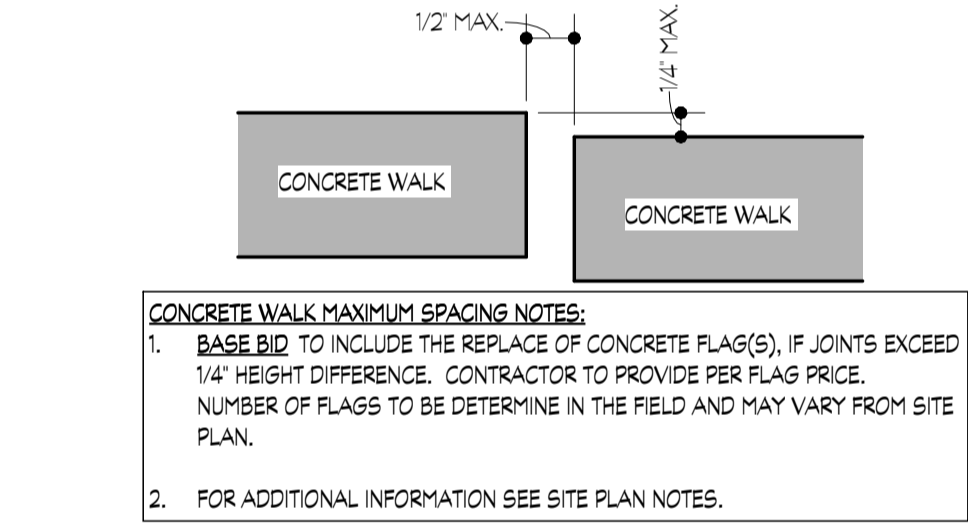
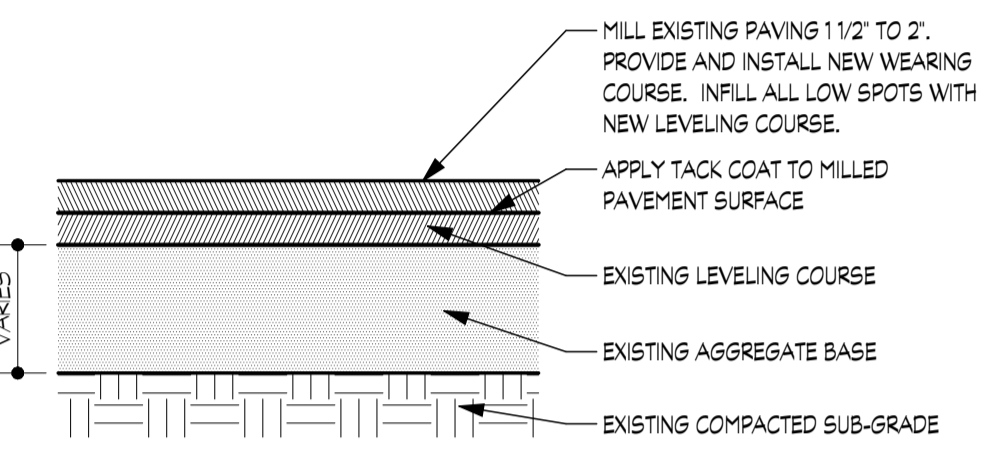
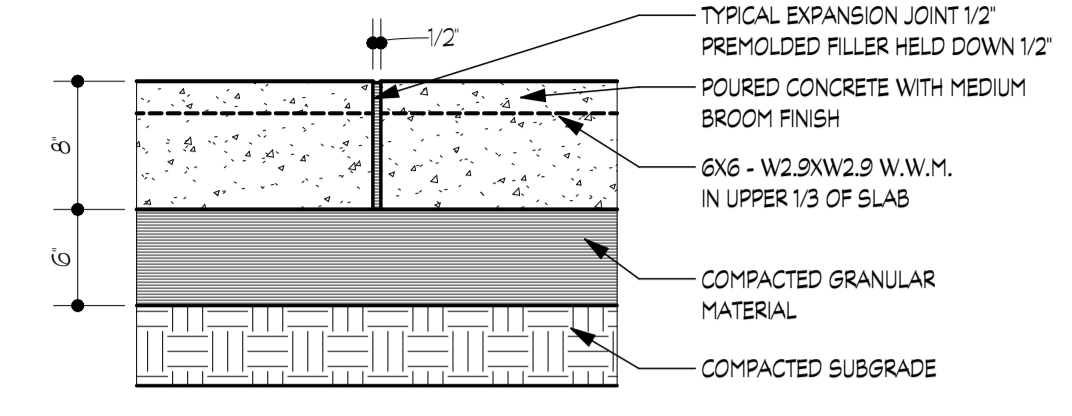
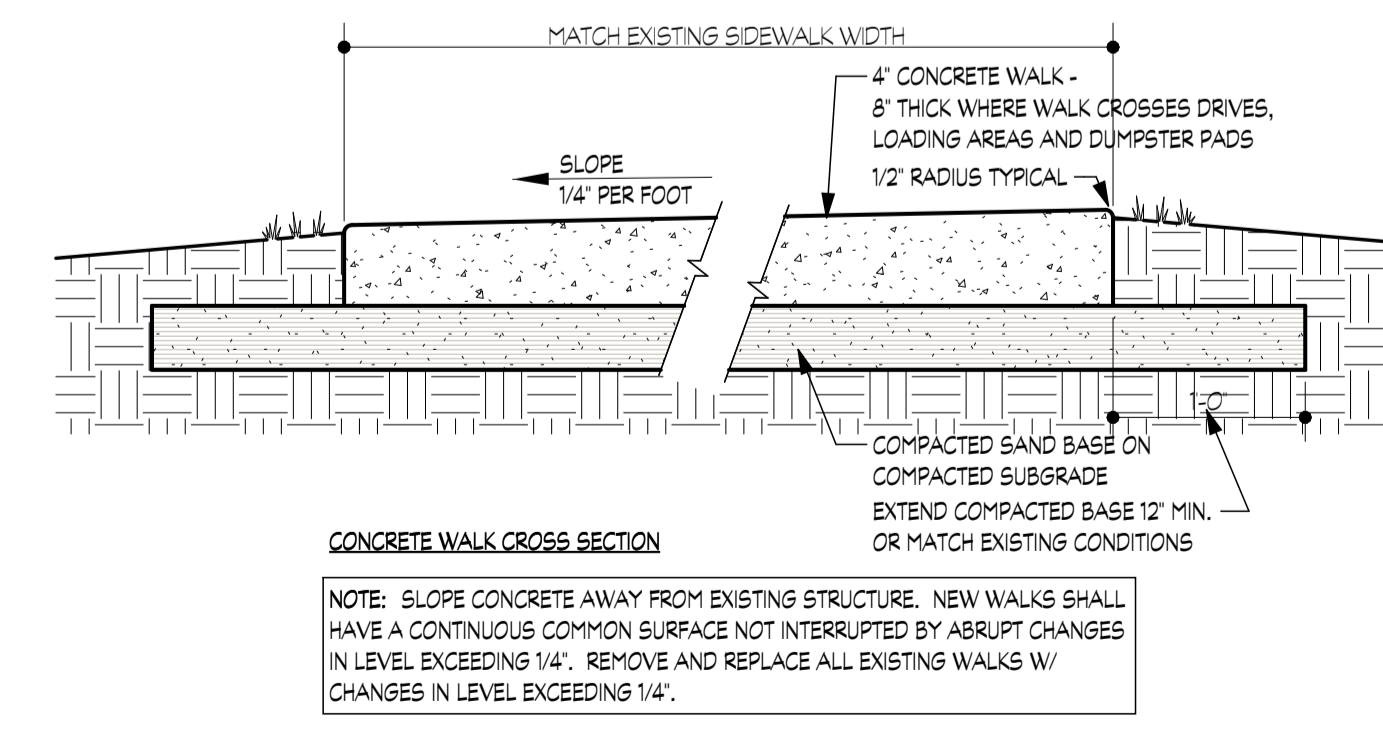
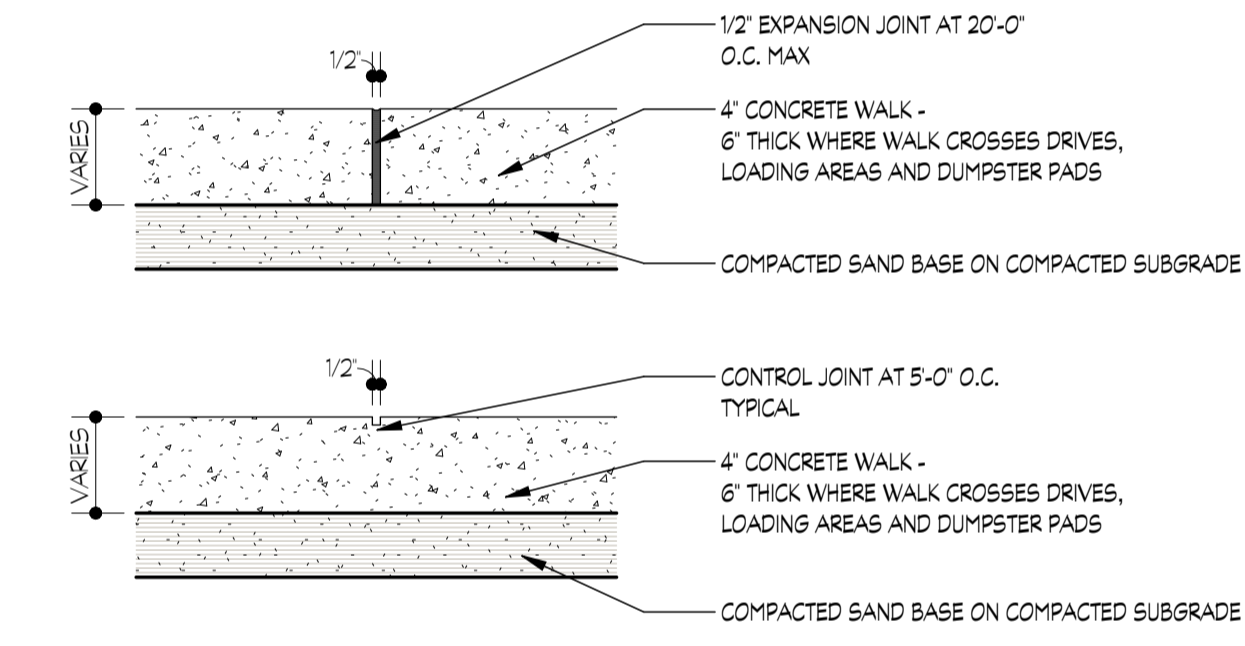
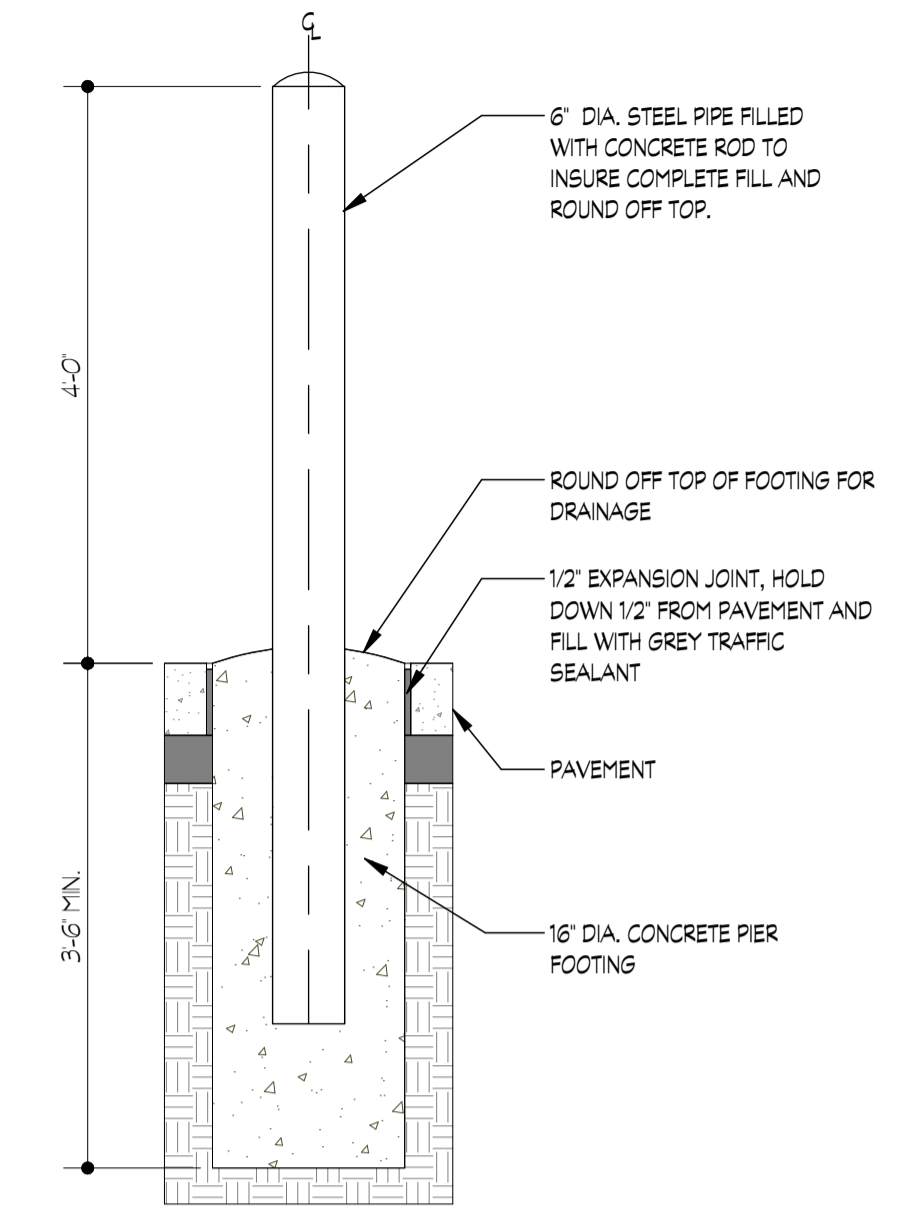
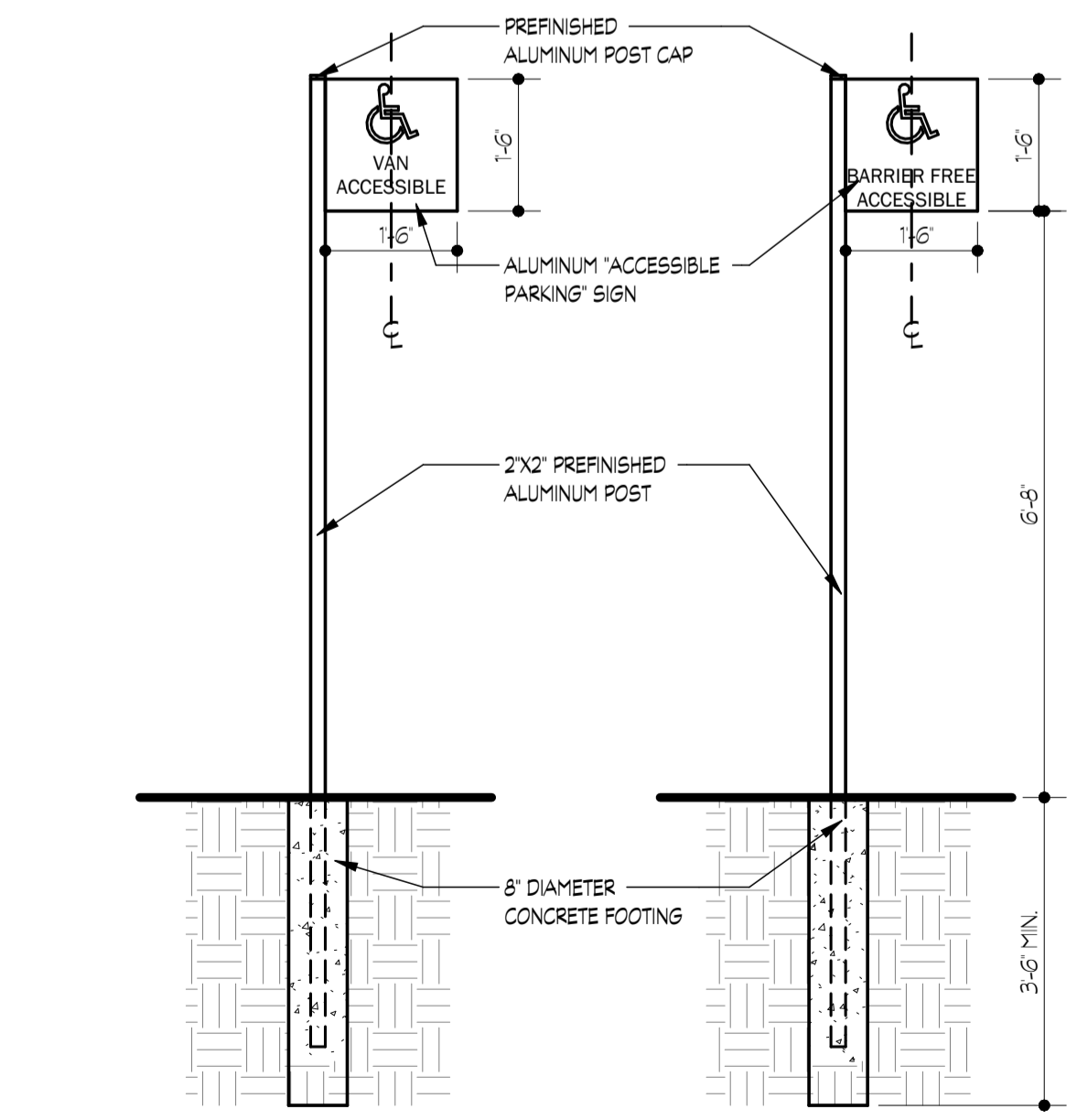
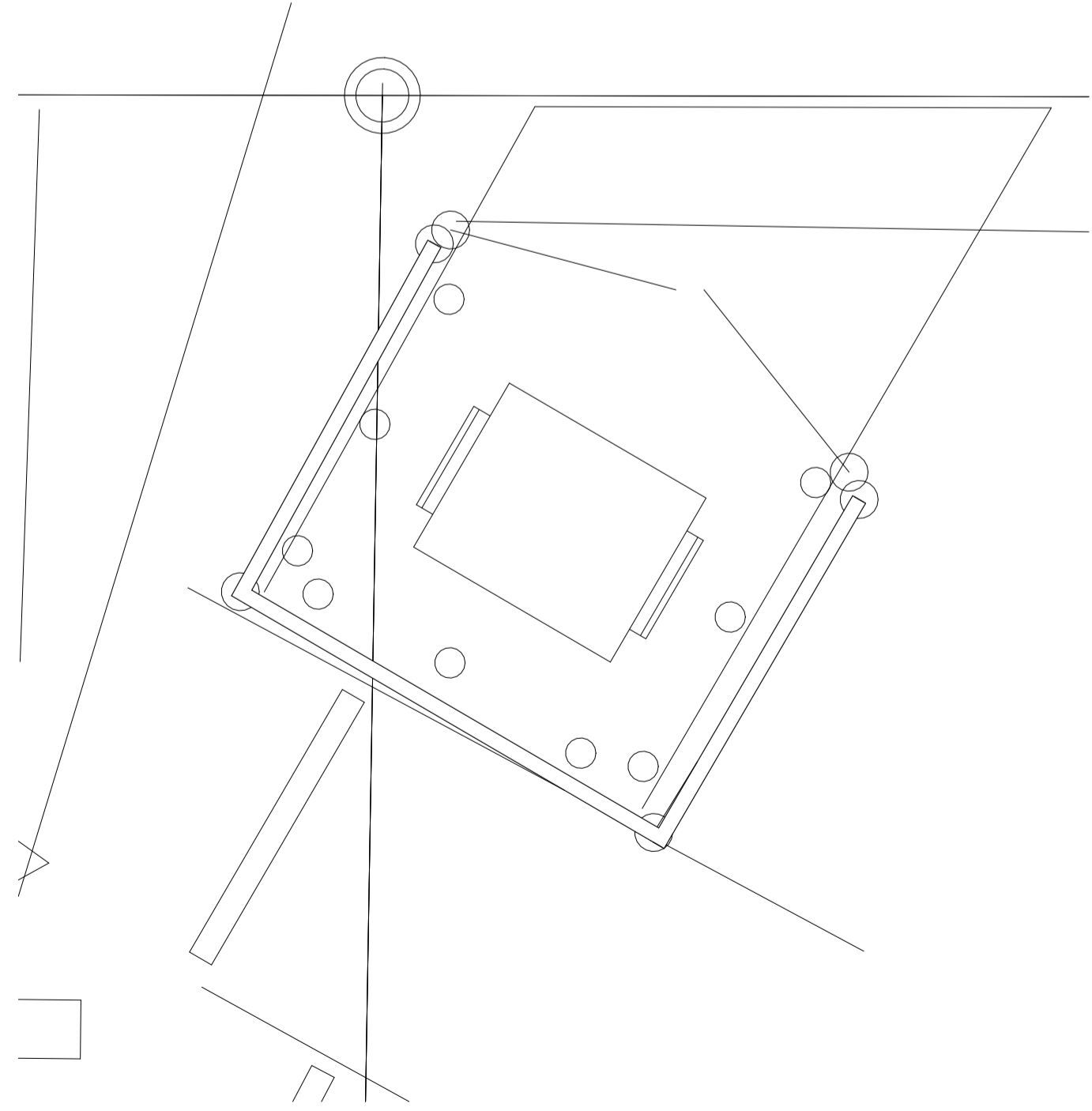
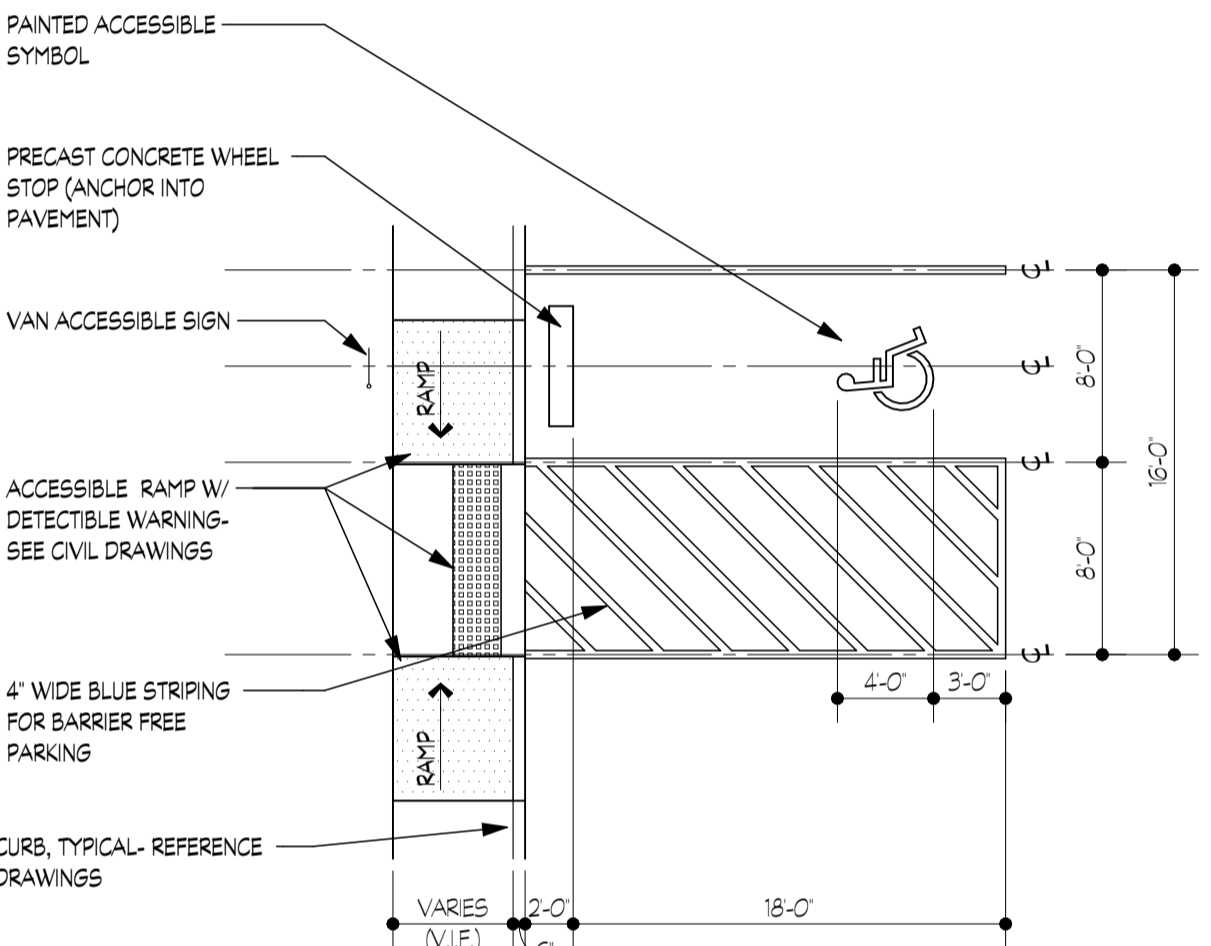
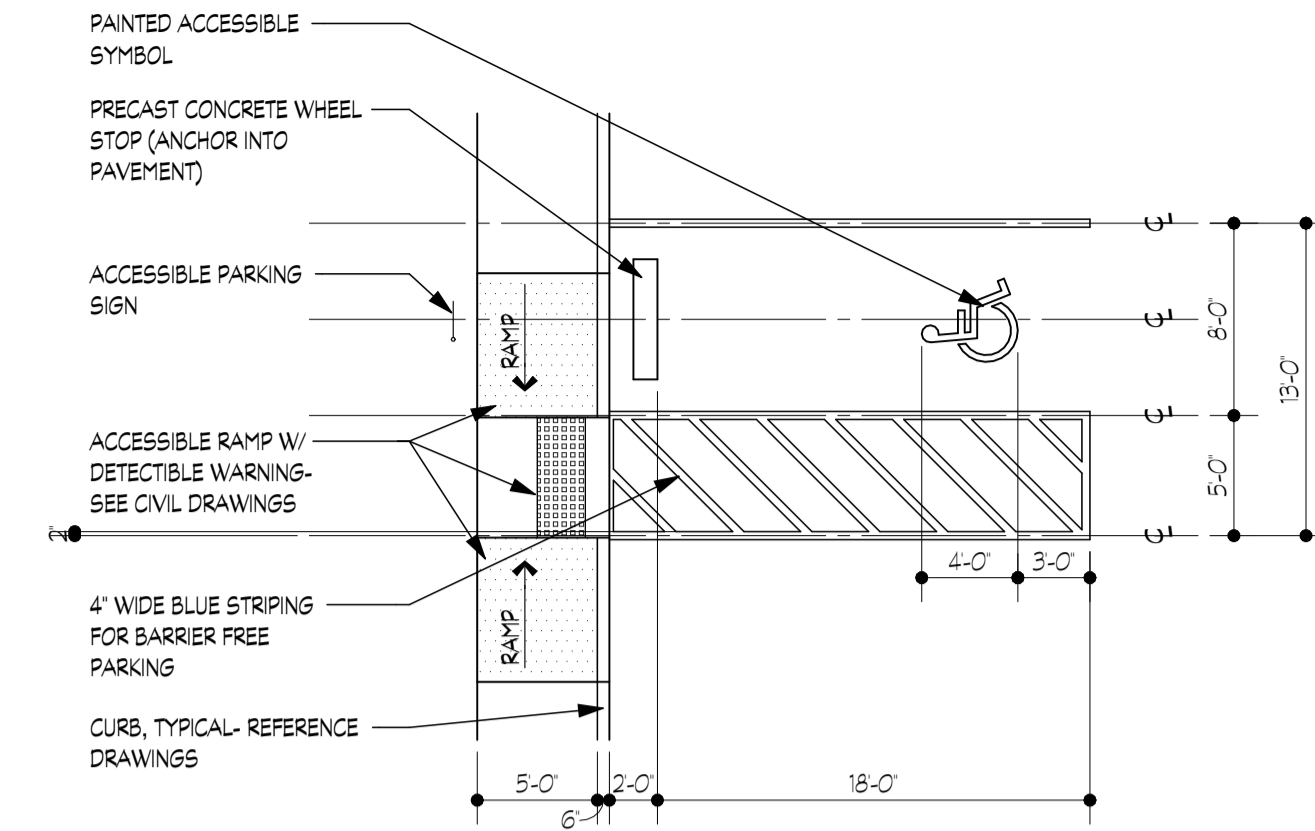
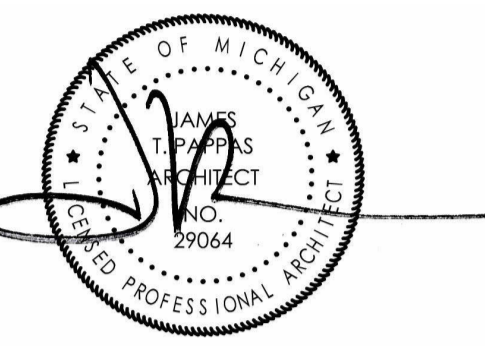
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ARCHITECTS AND PLANNERS

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LOCATION MAP



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KEY PLAN

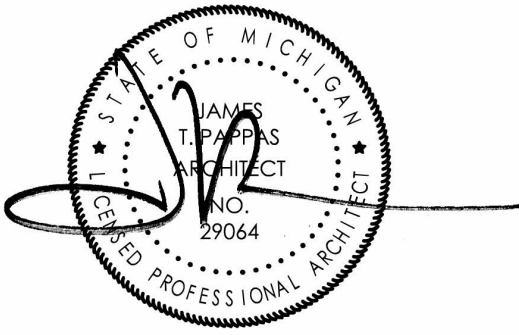
FSP PROJECT NO.
COTS19.056

DRAWING TITLE

LANDSCAPE DETAILS

DRAWING NUMBER

L.901



RENOVATION OF
**8520 WYOMING APARTMENTS
AND COMMUNITY SPACE**

CODE INFORMATION

PROJECT SCOPE: PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.

EXISTING CONSTRUCTION: DWELLING UNITS RENOVATED 2004

APPLICABLE CODES:
 BUILDING CODE: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 EXISTING UNITS: ALTERATIONS-LEVEL 1

USE GROUPS:
 EXISTING UNITS: R-2 RESIDENTIAL
 COMMUNITY SPACE: A-3, B & S-1

CONSTRUCTION TYPE: EXISTING UNITS 5B (NON-SPRINKLED)

PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE

MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE W/ PART 8 MICHIGAN AMENDMENTS

ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)

FIRE SUPPRESSION: NON-SPRINKLED

ACCESSIBILITY: 2009 ICC/ANSI A117.1
1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

MSHDA: REHAB STANDARDS OF DESIGN 2017
2017 MSHDA GREEN

- ALLOWABLE BUILDING HEIGHT: 40 FEET MAX.
 BUILDING 8500 ONE STORY - EXISTING HEIGHT 8'-6"
 BUILDING 8520 ONE STORY - EXISTING HEIGHT 8'-6"
 BUILDING 8534 TWO STORY - EXISTING HEIGHT 15'-7"
 BUILDING 8550 TWO STORY - EXISTING HEIGHT 17'-0"
 BUILDING 8560 TWO STORY - EXISTING HEIGHT 16'-6"
 BUILDING 8580 TWO STORY - EXISTING HEIGHT 17'-6"
 BUILDING 8600 TWO STORY - EXISTING HEIGHT 17'-6"
- ALLOWABLE NUMBER OF STORES: 2
 EXISTING ONE UNITS: 1 (FLOOR SLAB ON GRADE)
 EXISTING TWO STORY UNITS: 2 STORES WITH BASEMENT
- ALLOWABLE AREA: R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
 EXISTING ONE STORY UNITS: RANGES FROM:
 EXISTING TWO STORY UNITS: RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS

MBC CONSTRUCTION TYPE: 5B

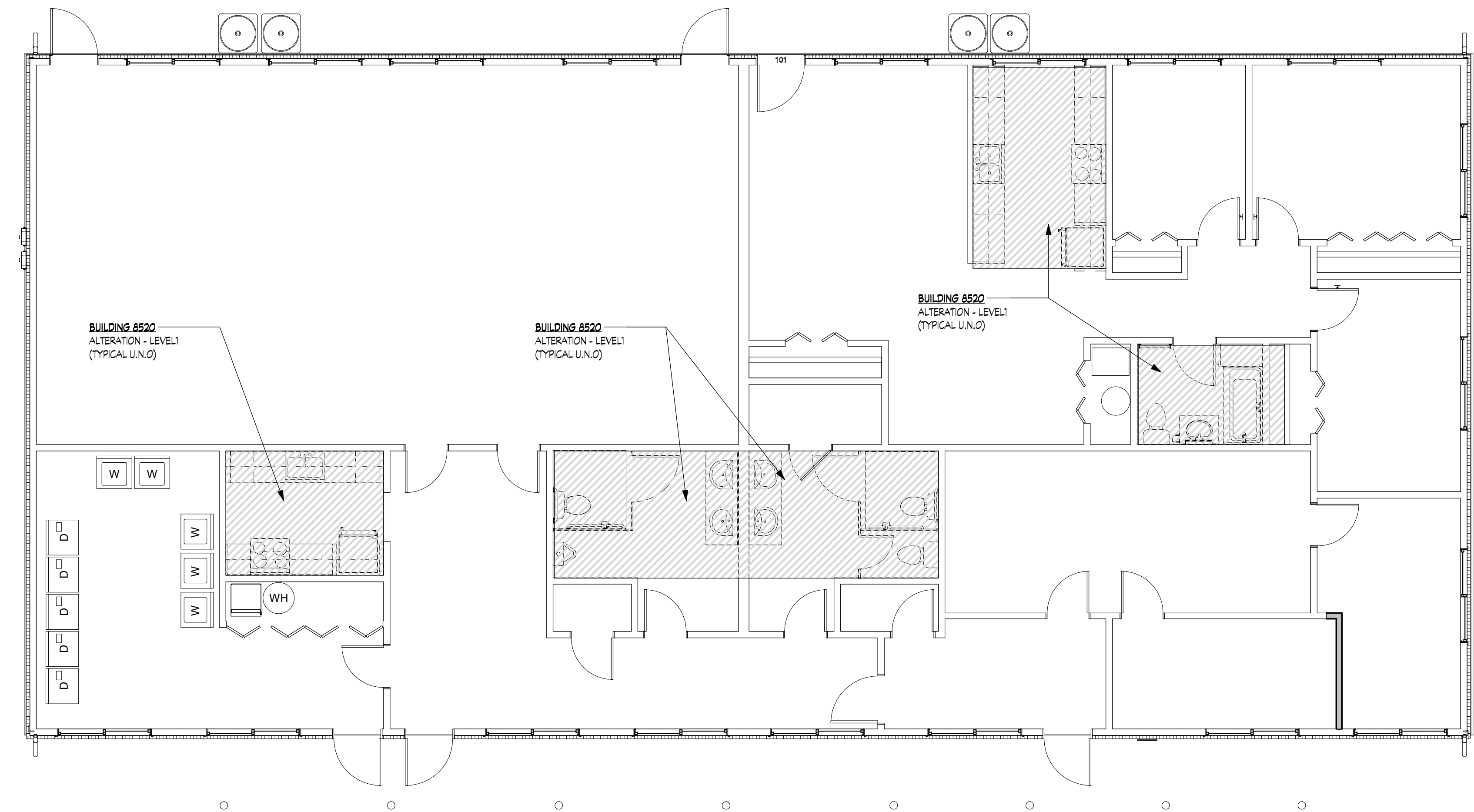
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 509)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 509)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 509)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED

LIFE SAFETY LEGEND

- AREA OF NO WORK
- AREA OF MRCEB LEVEL 1 RENOVATION
- AREA OF MRCEB LEVEL 2 RENOVATION
- AREA OF MRCEB LEVEL 3 RENOVATION (HEAVY DASH LINE DENOTES AREA OF WORK)
- EXIT
- BUILDING EXIT

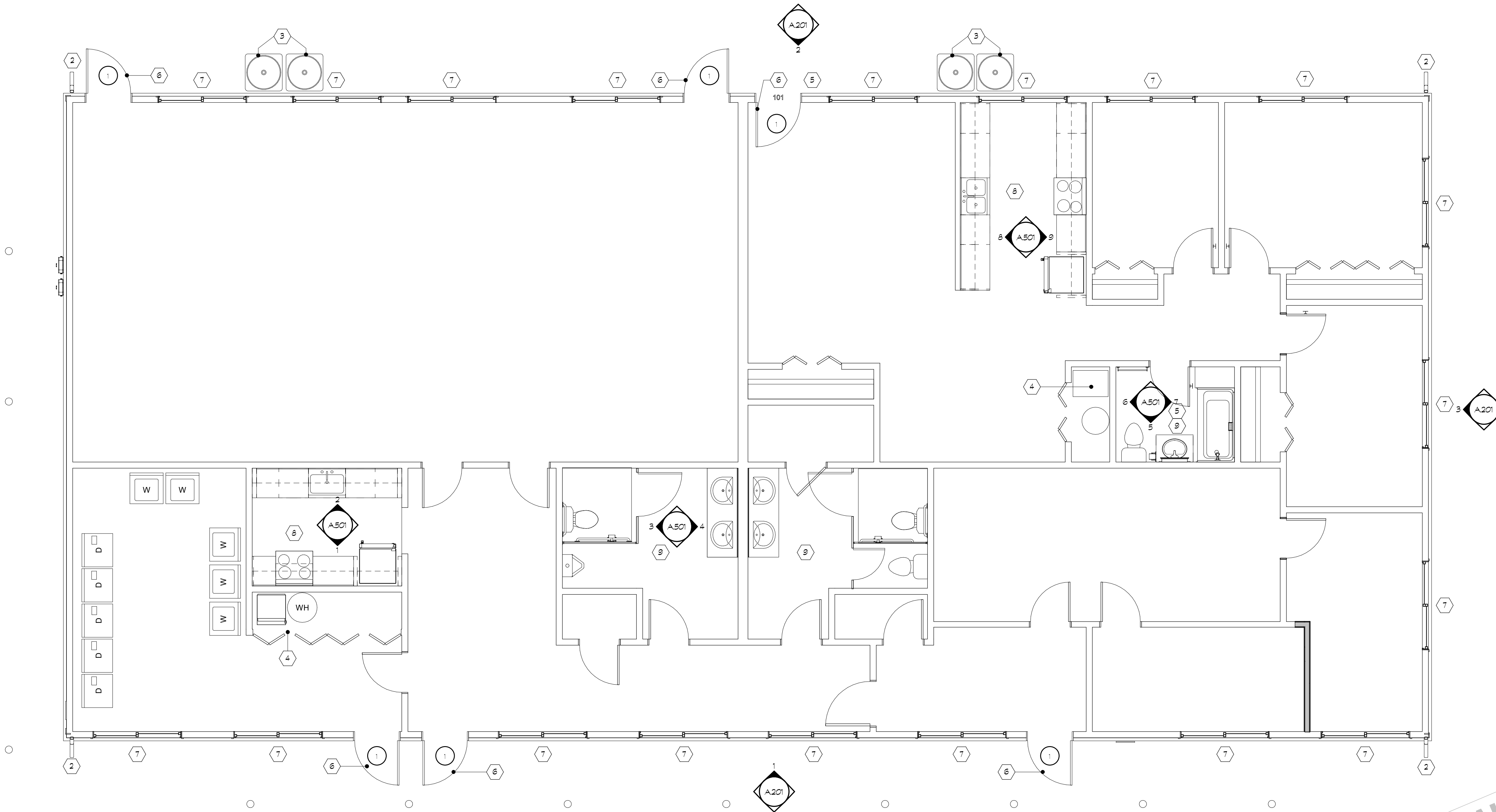
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BUILDING 8520 CODE ANALYSIS
SCALE: 3/16" = 1'-0"

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWING. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED, IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATING.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALK):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION, CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR. REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS. COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS, COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOOLES, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
- BUILDING INTERIOR:**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK, GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING.
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS, TBD).
 - PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.

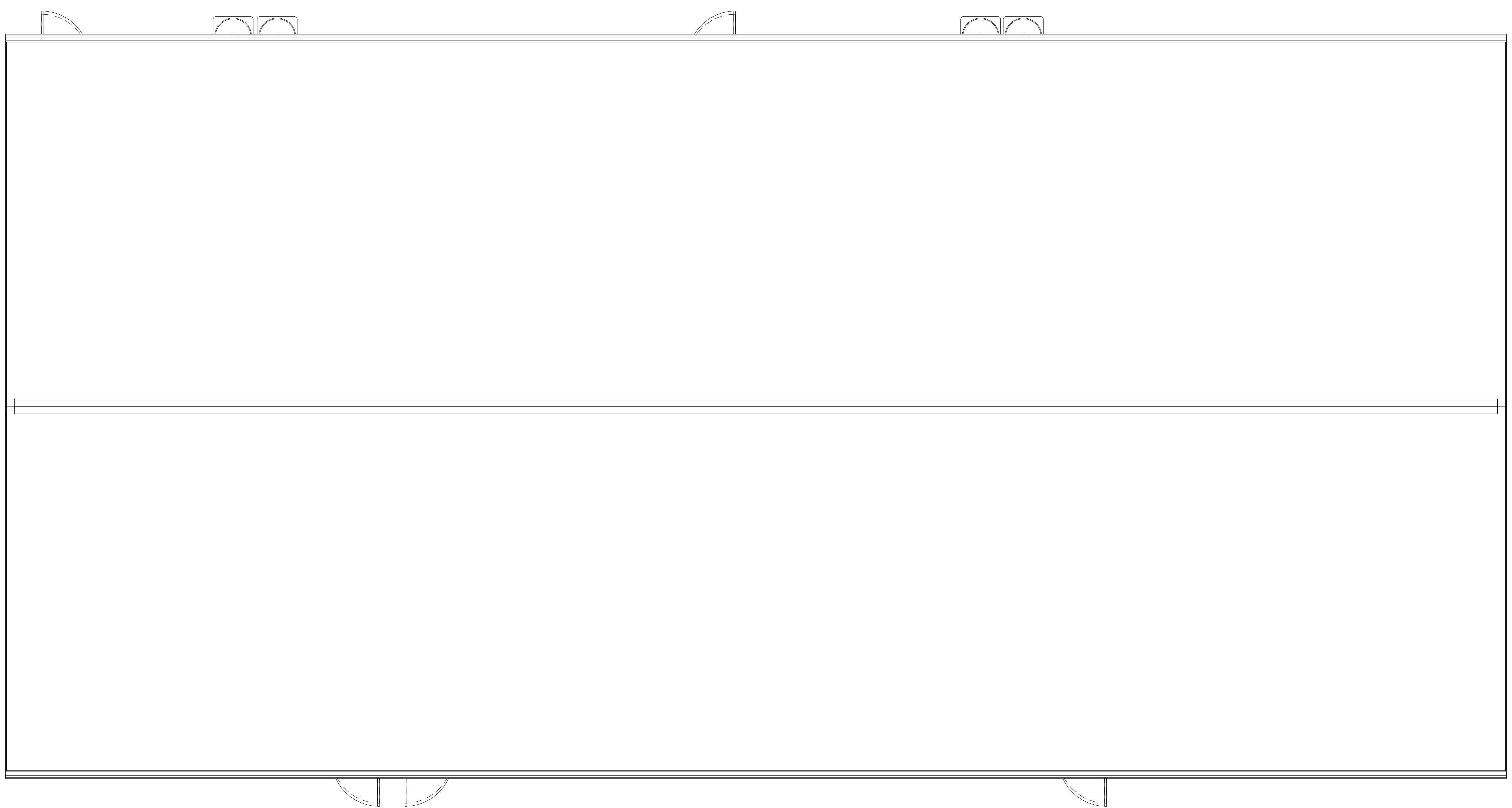


FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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DATE	ISSUE
10.09.2023	OWNER'S REVIEW

PROJECT NO.	DRAWING TITLE	DRAWING NUMBER
FSP PROJECT NO. COTS19.056	OVERALL FLOOR PLAN	A.101



OVERALL ROOF PLAN 8520
 SCALE: 1/4" = 1'-0"

- GENERAL ROOF NOTES:**
- ROOF PLAN DEMOLITION NOTES:**
- REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
 - REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
 - REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
 - PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).
- ROOF PLAN NOTES:**
- PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
 - PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
 - CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACED MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
 - COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
 - NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
 - ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
 - PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
 - PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
 - PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
 - PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - PROVIDE SPLASH BLOCKS FOR THE FOLLOWING LOCATIONS:
 - FRONT OF RESIDENT UNIT BUILDINGS
 - AT LEARNING CENTER. REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING. REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
 - PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSES.**
 - NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING, VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
 - NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A.407.
 - PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
 - ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

ROOF PLAN LEGEND:

	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE OF BRICK FACE OF SHEATHING
	SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE PRESTOPPED.

FOR INSTALLATION OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS TO BE INSTALLED, CONTRACTOR TO PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL. CONTRACTOR TO PROVIDE ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CONSIDER ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING THE PATCH, REPAIR AND PREPARING AREA IN THE UNIT PRICE FOR A PARTIAL INSTALLATION. UNIT PRICE IS AN AMOUNT TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT SUM BASED ON THE NUMBER OF ATTIC SEPARATION WALL REQUIRED TO THE PROJECT.

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KEY PLAN

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 COTS19.056

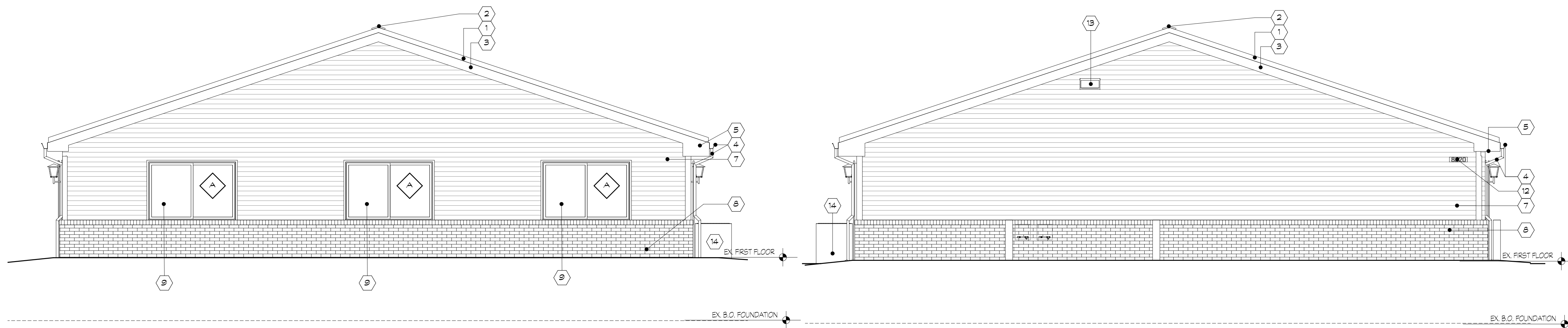
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ROOF PLAN

DRAWING NUMBER

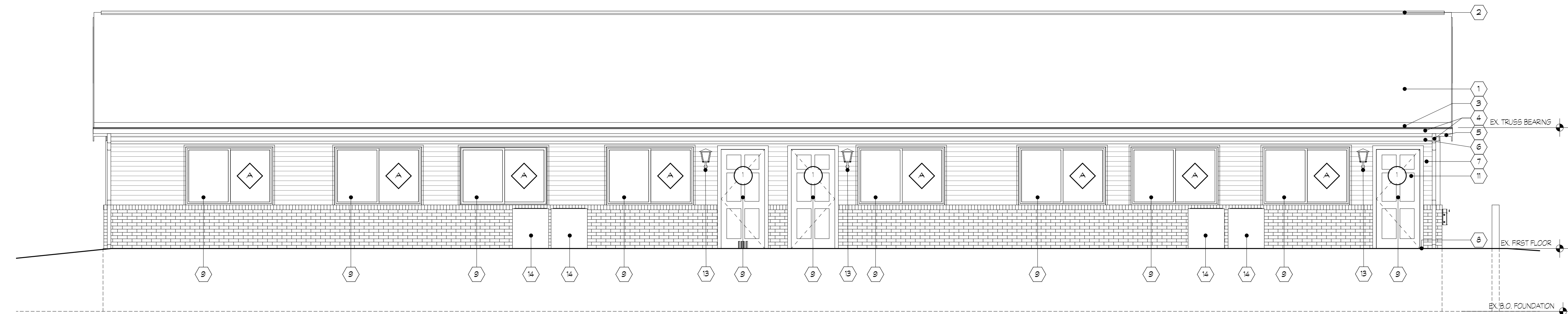
A.109

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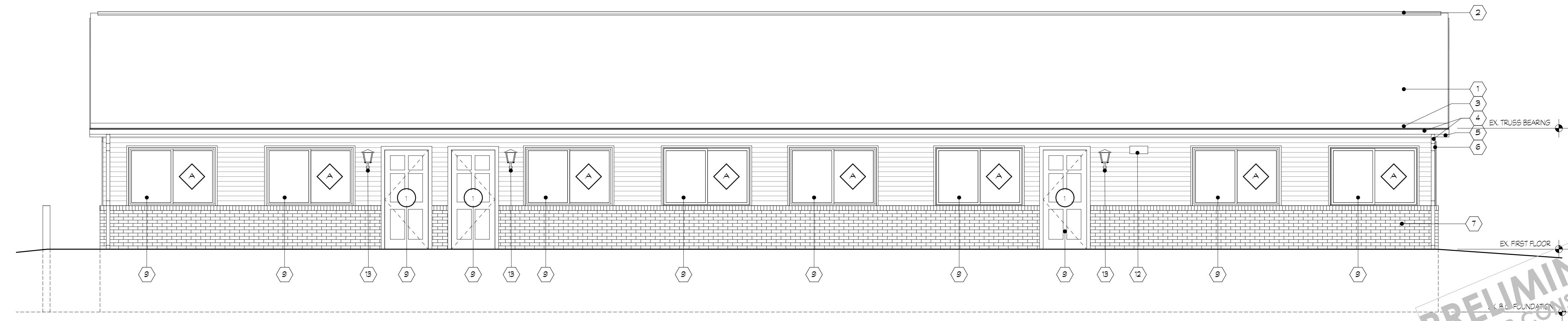


3 STREET ELEVATION
A.201 SCALE: 1/4" = 1'-0"

4 REAR (ALLEY) ELEVATION
A.201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"



1 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"

- EXTERIOR ELEVATION FINISH SCHEDULE:**
- SHINGLES:**
 - EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING AND ROOF SHINGLES TO REMAIN. PROVIDE AND INSTALL A LAYER OF ASPHALT SHINGLES OVER THE EXISTING SHINGLES.
 - RIDGE VENT:**
 - ALL EXISTING VENTS TO BE REMOVED AND REPLACED, REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
 - FASCIA:**
 - EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
 - GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS, REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - REAR ELEVATION:** NEW DOWNSPOUTS TO BE RE-LOCATED AND TIED INTO UNDERGROUND DRAINAGE SYSTEM.
 - FRONT ELEVATION:** NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
 - SOFFIT:**
 - EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
 - TRIM BOARD:**
 - REPAIR ALL DAMAGED TRIM BOARDS.
 - SIDING:** CLEAN, PATCH, REPAIR AND PREPARE ALL EXISTING SIDING TO RECEIVE NEW PAINT.
 - MASONRY - BRICK:**
 - EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS, NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSING. (ESTIMATE 5% PER BUILDING).
 - TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
 - DOORS, WINDOWS AND STEEL LINTELS:**
 - REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
 - FRONT ENTRY:**
 - PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
 - BUILDING ADDRESS SIGN:**
 - REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - VERIFY LOCATION IN FIELD.
 - REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
 - EXTERIOR LIGHT FIXTURE:**
 - EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL)
 - UTILITIES:**
 - EXISTING UTILITIES TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING, REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
 - EXHAUST AND VENTS:**
 - EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)

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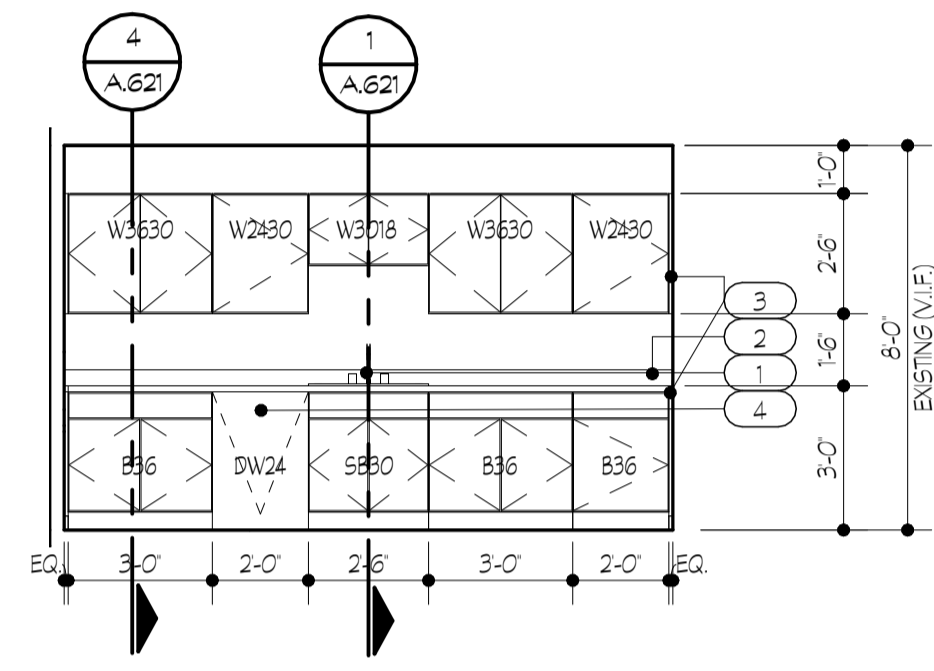
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EXTERIOR ELEVATIONS

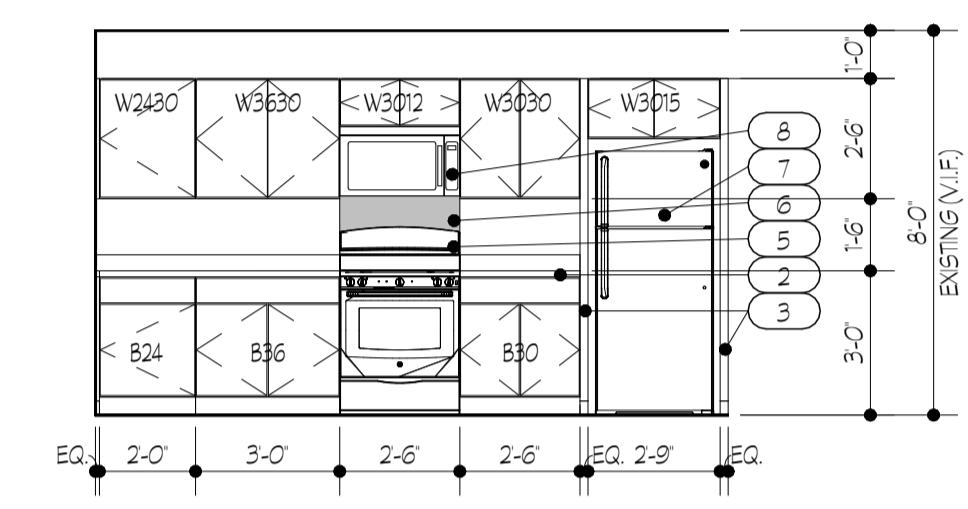
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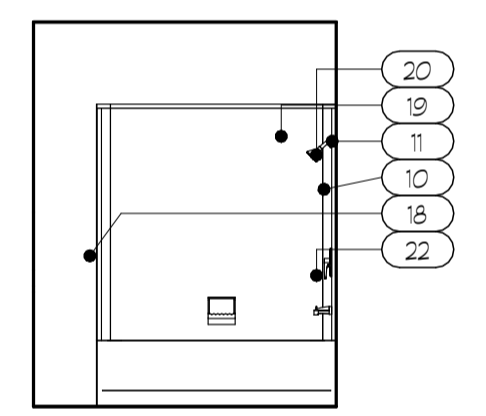
- UNIT KEYNOTES:** (X)
- KITCHENS:**
1. SINK AND FAUCET WITH DISPOSAL
 2. COUNTERTOP WITH 4" SIDE AND BACKPLASH
 3. FILLER
 4. DISHWASHER
 5. RANGE
 6. GREASE SHIELD
 7. REFRIGERATOR
 8. MICROWAVE WITH VENTING
- BATHROOMS:**
9. VANITY WITH LAVATORY AND FAUCET.
 10. MIRROR
 11. SURFACE MOUNTED MEDICINE CABINET
 12. TOILET PAPER HOLDER
 13. 24" TOWEL BAR
 14. 18" GRAB BAR
 15. 24" GRAB BAR
 16. 36" GRAB BAR
 17. 42" GRAB BAR
 18. ROBE HOOK (S)
 19. EXISTING TILE SURROUNDS TO BE REPIERED.
 20. SHOWER DRAINS.
 21. SHOWER CONTROLS.
 22. COUNTER TOP
 23. BASE



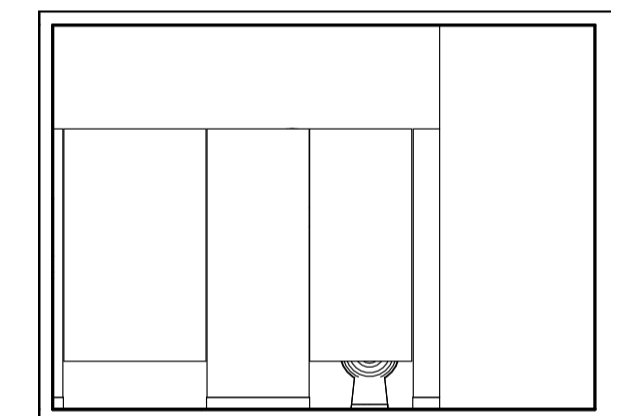
8 KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



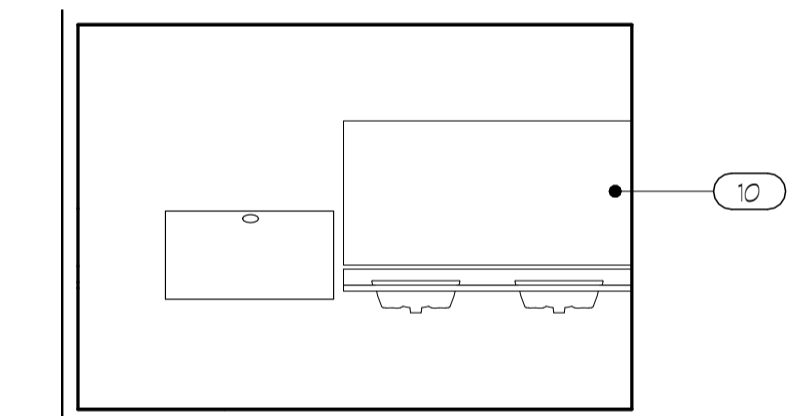
9 KITCHEN @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



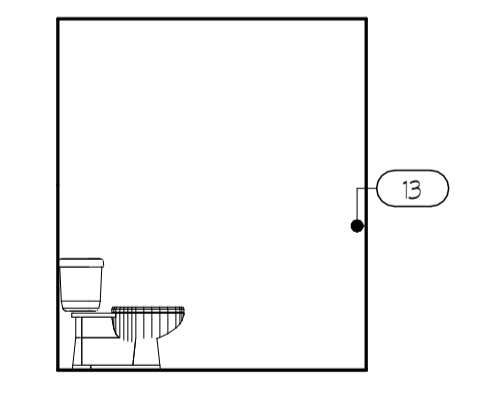
7 BATHROOM @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



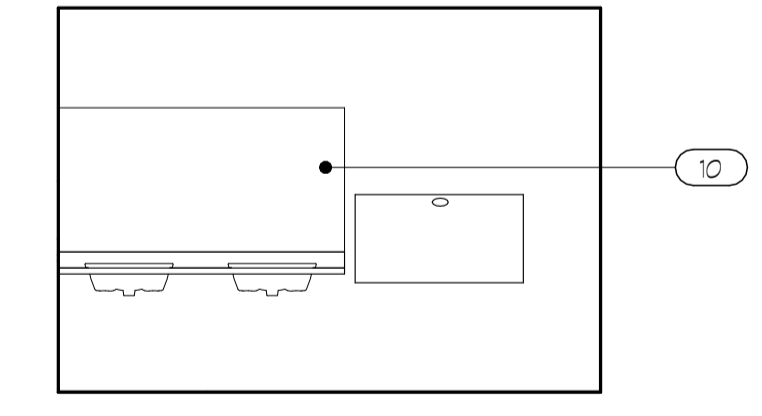
11 WOMEN'S COMMUNITY BATHROOM
SCALE: 1/4" = 1'-0"



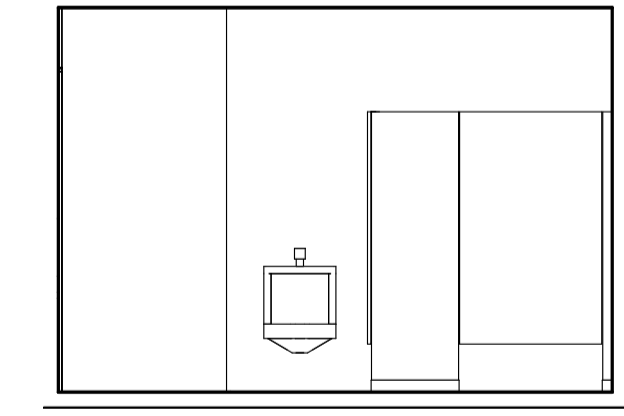
10 WOMEN'S COMMUNITY BATHROOM
SCALE: 1/4" = 1'-0"



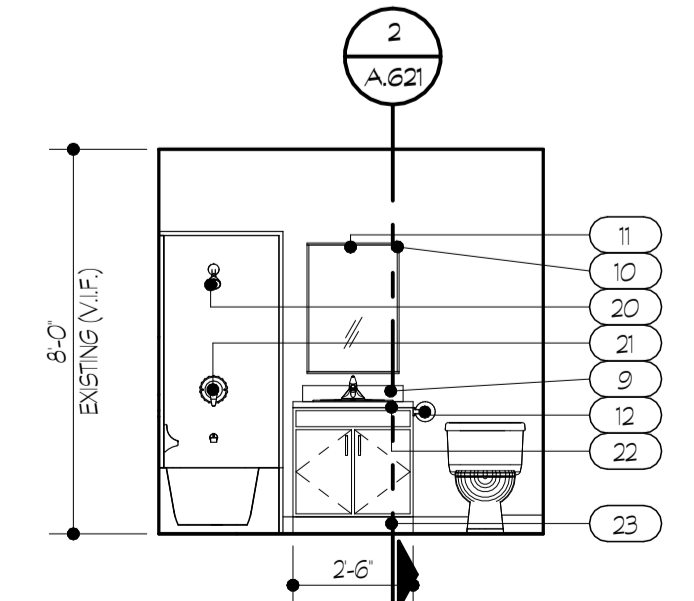
6 BATHROOM @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



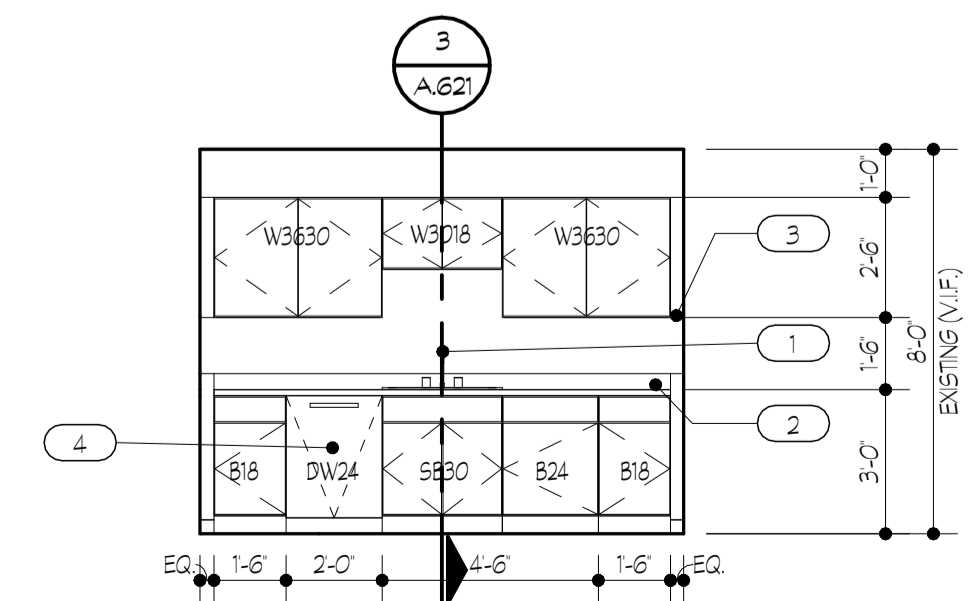
4 MEN'S COMMUNITY BATHROOM
SCALE: 1/4" = 1'-0"



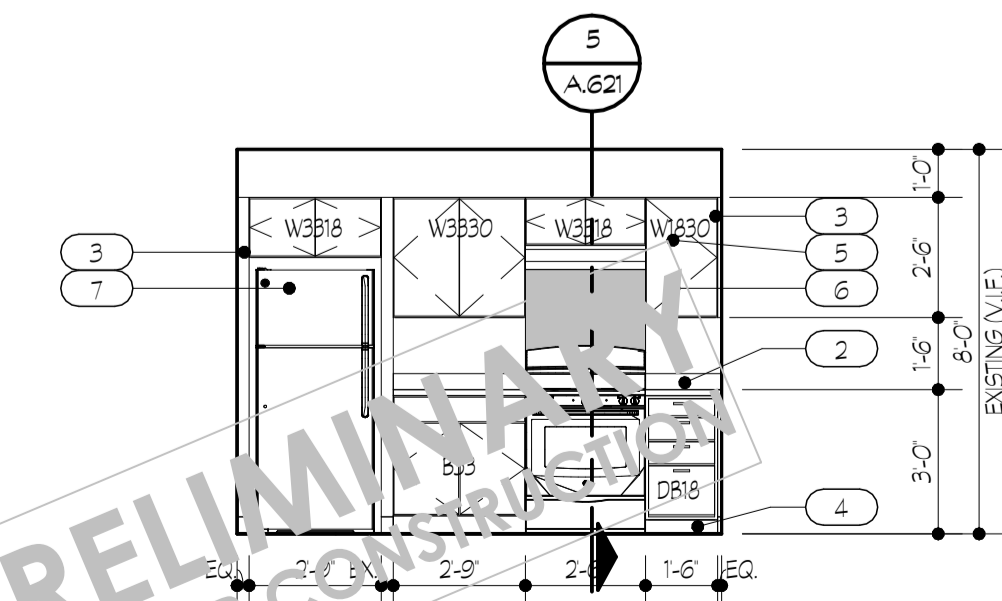
3 MEN'S COMMUNITY BATHROOM
SCALE: 1/4" = 1'-0"



5 BATHROOM @ 3-BEDROOM
SCALE: 1/4" = 1'-0"



2 KITCHEN/COFFEE ROOM
SCALE: 1/4" = 1'-0"



5 KITCHEN/COFFEE ROOM
SCALE: 1/4" = 1'-0"

RENOVATION OF
**8520 WYOMING APARTMENTS
AND COMMUNITY SPACE**
MICHIGAN
DETROIT

10.09.2023 OWNERS REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

INTERIOR ELEVATIONS

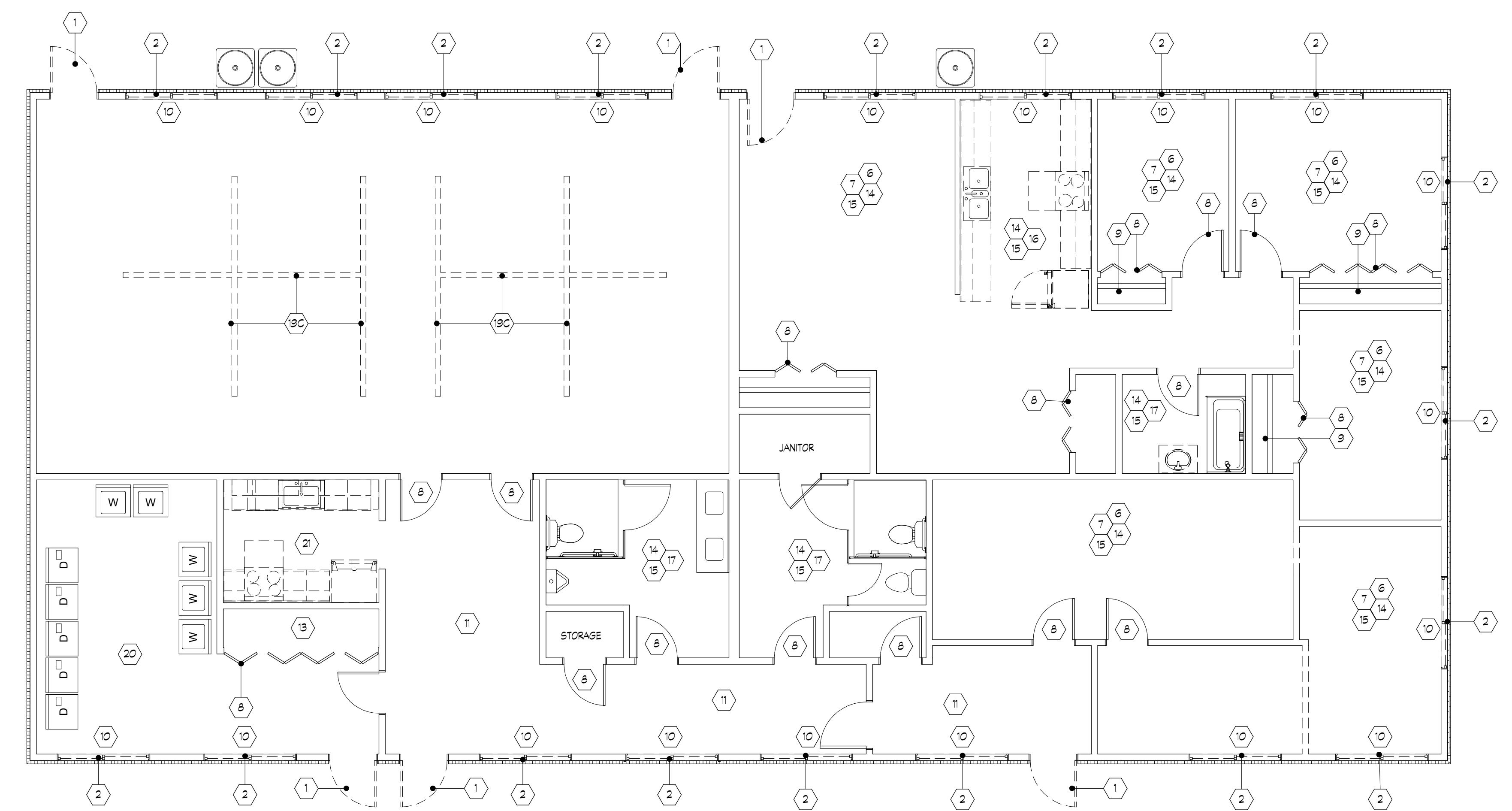
DRAWING NUMBER

A.501

DEMOLITION WALL LEGEND:	
EXISTING WALL AND/OR CONSTRUCTION TO REMAIN	
REMOVE EXISTING WALL AND/OR CONSTRUCTION	
EXISTING WINDOW TO REMAIN	
REMOVE EXISTING WINDOW (EXACT TYPE MAY VARY)	
EXISTING DOOR, FRAME AND HARDWARE TO REMAIN	
REMOVE EXISTING DOOR AND/OR FRAME AND HARDWARE	

- GENERAL DEMOLITION NOTES:**
- REFER TO SECTION SHEET A.500 FOR ADDITIONAL UNIT NOTES
 - REFER TO SECTION 02.41.00 - DEMOLITION, IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
 - REFER TO SHEET A.D.001 FOR GENERAL DEMOLITION, EXISTING CONSTRUCTION AND MOLD & MILDEW NOTES.
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
 - REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
 - REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION INFORMATION.

- DEMOLITION PLAN NOTES:** (#)
- BUILDING EXTERIOR:**
- REMOVE EXISTING EXTERIOR DOOR, THRESHOLD, FRAME, AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - REMOVE EXISTING WINDOWS, STUOLS, JAMBS AND TRIMS.
 - WINDOW WELLS TO BE CLEANED. REPLACE WHEN NEEDED.
 - WINDOWS AT STAIR WELLS TO BE REPAIRED. REPLACE WHEN NEEDED
 - REPAIR, PATCH, CLEAN AND PREPARE ALL EXTERIOR STAIRS TO RECEIVE NEW PAINT.
- BUILDING INTERIOR:**
- ALL INTERIOR WALLS TO BE CLEANED, PATCHED, PREPARED AND PREPARED TO RECEIVE NEW PAINT.
 - REMOVE EXISTING FLOORING AND TRIM BOARD. PATCH, REPAIR AND PREPARE SURFACE TO RECEIVE NEW VINYL PLANK FLOORING AND WOOD TRIM.
 - ALL INTERIOR DOORS AT BEDROOMS, BATHROOMS, CLOTHES CLOSET AND MECHANICAL CLOSET ARE EXISTING TO REMAIN. DOOR FRAMES BE CLEANED, PATCHED, REPAIRED AND PREPARED TO RECEIVE NEW PAINT. IF NOT FUNCTIONING PROPERLY, REPLACE DOORS AS NEEDED. MATCH EXISTING DOOR OPENING AND FINISHES OF SURROUNDING DOORS.
 - ALL WIRE SHELVES IN CLOSETS TO REMAIN. REPLACE IF NEEDED.
 - REMOVE ALL EXISTING WINDOW TREATMENTS AND REPLACE WITH NEW.
 - ALL CORRIDORS TO RECEIVE NEW FINISHES, FLOORING, WALLS AND CEILING (SEE INTERIOR DESIGN DRAWINGS).
 - REMOVE AND REPLACE ALL STAIR HANDRAILS AND RAILINGS - IF APPLICABLE.
 - REMOVE AND REPLACE FURNACE AND WATER HEATER (SEE MECHANICAL DRAWINGS).
 - REMOVE ALL CEILING AND WALL MOUNTED LIGHTING FIXTURES. PATCH AND REPAIR SURFACES UPON REMOVAL. REPLACE WITH LED FIXTURES. (SEE ELECTRICAL DRAWINGS).
 - REMOVE AND REPLACE ALL ELECTRICAL DEVICES AND COVER PLATES.
- KITCHEN:**
- REMOVE AND REPLACE ALL APPLIANCES WITH ENERGY STAR RATED APPLIANCES.
 - REMOVE AND REPLACE CABINETS AND PLASTIC LAMINATE ALTERNATE FOR SOLID SURFACE COUNTERTOPS.
 - REMOVE AND REPLACE GARBAGE DISPOSALS.
 - REMOVE AND REPLACE EXHAUST HOODS.
 - REMOVE AND REPLACE SINKS, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING)
- BATHROOM:**
- REMOVE MEDICINE CABINETS, MIRRORS, TOWEL BAR, GRAB BARS, TOILET PAPER HOLDER AND ALL ACCESSORIES.
 - PROVIDE ROBE HOOKS.
 - REMOVE AND REPLACE BATHROOM VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - REPAIR AND REPLACE DAMAGED PLUMBING FIXTURES. REPLACE WATER LINES AND SHUTOFFS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDINGS (REMOVE ALL ROTTED OR DAMAGED MATERIAL BEHIND EXISTING TUB AND SURROUND). REPAIR ALL DRAINING AND CONTROLS.
 - REMOVE AND REPLACE EXHAUST FANS AND VENTS.
- REMOVE AND REPLACE INTERCOM SYSTEM.
- COMMUNITY BUILDING:**
- REMOVE AND REPLACE ALL FLOORING
 - REMOVE AND REPLACE ALL EXISTING FURNITURE.
 - REMOVE EXISTING REMOVABLE PARTITIONS.
 - REPAIR AND CLEAN EXISTING TILE.
 - PATCH, REPAIR, PRIME AND PAINT EXISTING WALLS AND CEILING.
 - REMOVE AND REPLACE ACOUSTIC CEILING TILE. REPAIR EXISTING TILE.
- LAUNDRY ROOM:**
- REVIEW CONNECTIONS AND DRAINS. REPLACE AS NEEDED.
 - LAUNDRY EQUIPMENT ARE RENTED (VERIFY WITH OWNER IF REPLACEMENT IS NEEDED).
- COMMUNITY BUILDING KITCHEN:**
- REMOVE AND REPLACE ALL APPLIANCES.
 - REMOVE AND REPLACE CABINETS AND PLASTIC LAMINATED COUNTERTOP.
 - REMOVE AND REPLACE EXISTING MAILBOXES.
 - PROVIDE AND INSTALL WAYFARING SIGNAGE AT COMMON SPACE.



FIRST FLOOR DIMOLITION PLAN
SCALE: 3/16" = 1'-0"

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DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE
DEMOLITION PLAN

DRAWING NUMBER

A.D.101

RENOVATION OF 8500 WYOMING APARTMENTS

DETROIT

LIST OF DRAWINGS

ARCHITECTURAL	
A.109	ROOF PLAN
A.201	EXTERIOR ELEVATIONS
A.501	INTERIOR ELEVATIONS
A.621	INTERIOR DETAILS
A.701	ROOM FINISH SCHEDULE
A.D.001	GENERAL DEMOLITION NOTES
LANDSCAPING	
L.901	LANDSCAPE DETAILS
CIVIL ENGINEERING	
C1	TOPOGRAPHIC SURVEY
LANDSCAPING	
L001	TREE PROTECTION AND TRANSPLANT PLAN
ARCHITECTURAL	
A.C.001	LIFE SAFETY
A.C.002	FIXTURES AND ACCESSORY MOUNTING HEIGHTS
A.S.101	ARCHITECTURAL SITE PLAN
A.D.101	DEMOLITION PLAN
A.101	OVERALL FLOOR PLAN
STRUCTURAL	
S101	FOUNDATION PLAN
MECHANICAL	
M.000	LEGEND, SYMBOLS & ABBREVIATIONS
PIPING	
P.I.	FIRST FLOOR PLAN PIPING
PLUMBING	
P.101	FIRST FLOOR PLUMBING PLAN
ELECTRICAL	
E.100	ELECTRICAL SITEPLAN
FOOD SERVICE	
FS-1	FOOD SERVICE EQUIPMENT PLAN, SCHEDULE AND GENERAL NOTES
INFRASTRUCTURE/LOW VOLTAGE	
T.101	FIRST FLOOR PLAN TECHNOLOGY
FIRE SUPPRESSION	
F.P.101	FIRST FLOOR FIRE SUPPRESSION PLAN
INTERIOR DESIGN	
I.D.101	PARTIAL FLOOR PLAN

MICHIGAN

SUMMARY TABLE

<u>SITE DATA</u>		
SITE AREA		1.29 ACRES (56,009 SF)
ZONING (EXISTING & PROPOSED)		R2
BUILDING SETBACKS		
FRONT SETBACKS (EXISTING)		= 20'-0"
REAR SETBACK (EXISTING)		= 30'-0"
SIDE SETBACK (EXISTING)		= 10'-0"
PARKING		
PARKING SPACES		EXISTING 44 SPACES
BARRIER FREE SPACES		EXISTING 3 SPACES
		TOTAL: 47 SPACES
<u>BUILDING HEIGHTS</u>		
ALLOWABLE BLDG #		40 FEET MAXIMUM HEIGHT
BLDG #8500		13'-0"
<u>BUILDING DATA</u>		
GROSS BUILDING(S) SQUARE FOOTAGE		
BLDG #	AREA	BUILDING TYPE
BLDG #8500	4,035 SF	ONE STORY
<u>CODE DATA</u>		
BUILDING CODE:	2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDING	
	EXISTING RANCH UNITS - LEVEL 1 (RANCH PH UNITS LEVEL 3)	
	EXISTING TOWNHOUSES - LEVEL 1	
	EXISTING COMMUNITY BUILDING - LEVEL 1	
	EXISTING LEARNING CENTER - LEVEL 1	
MBC CONSTR. TYPE:	EXISTING SB (NON SPRINKLED)	
USE GROUP:	EXISTING RANCH UNITS: R-2 RESIDENTIAL EXISTING TOWNHOUSES: R-2 RESIDENTIAL EXISTING COMMUNITY BUILDING: A-3, B & S-1 EXISTING LEARNING CENTER: A-3	

DEVELOPMENT TEAM

OWNER

COALITION ON TEMPORARY SHELTERS (COTS)
DETROIT, MICHIGAN

ARCHITECT

FUSCO, SHAFFER & PAPPAS, INC.
550 NINE MILE ROAD
FERNDALE, MICHIGAN 48220
248.543.4100

CIVIL ENGINEER

ZEIMET-WOZNAK & ASSOCIATES, INC.
55800 GRAND RIVER, SUITE100
NEW HUDSON, MICHIGAN 48165
248.752.0350

LANDSCAPE ARCHITECT

DEAK PLANNING & DESIGN, LLC
143 CADYCENTER #79
NORTHVILLE, MICHIGAN 48167
248.444.7892

STRUCTURAL ENGINEER

INTERIOR DESIGN

INNERSPACE DESIGN, INC.
2425 W. STADIUM BLVD.
ANN ARBOR, MICHIGAN 48103
734.662.1133

MECHANICAL / ELECTRICAL ENGINEER

MEP ENGINEERS, LLC
380 N. MAIN STREET
CLAWSON, MI 48017
248.488.9822

GENERAL CONTRACTOR

G. FISHER CONSTRUCTION CO.
31313 NORTHWESTERN HWY #206
FARMINGTON HILLS, MICHIGAN 48334
248.855.3500

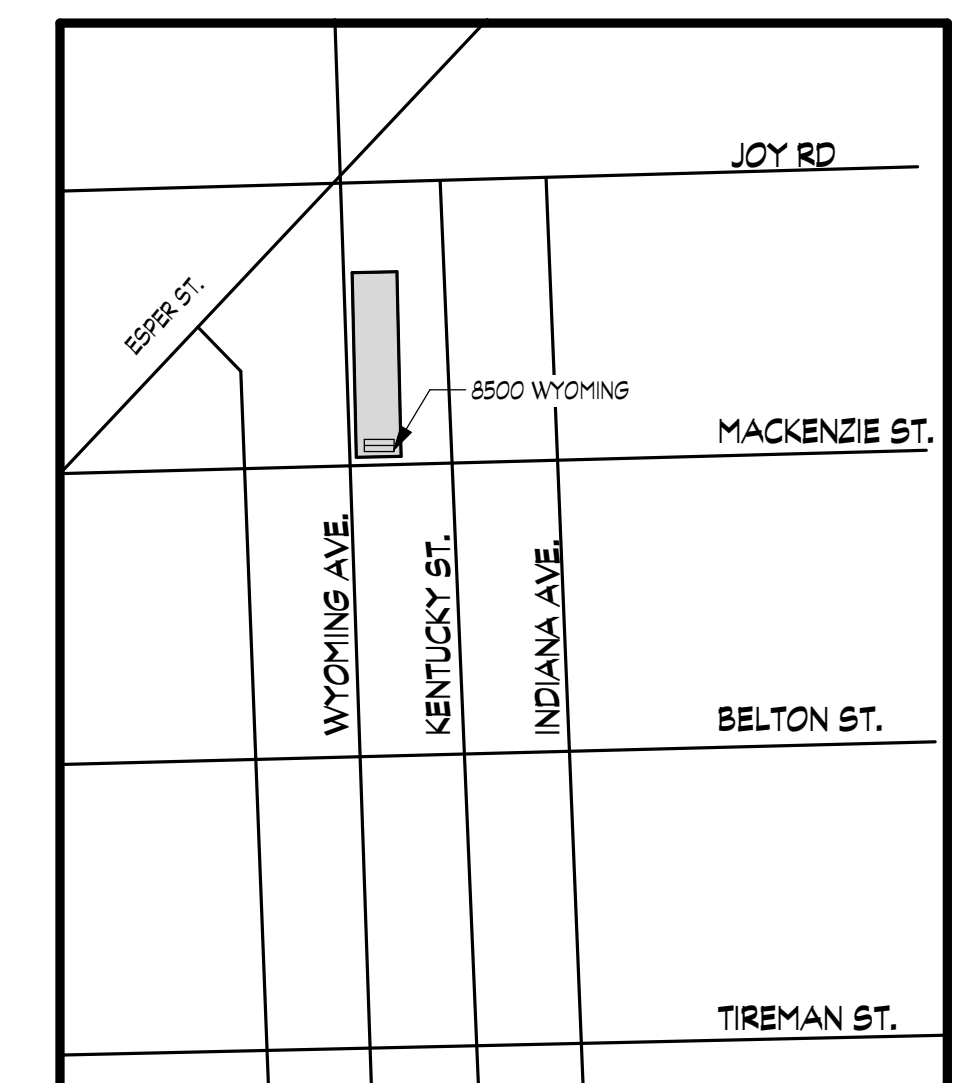
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10.09.2023	OWNER'S REVIEW

SIGNATURE BLOCK

SIGNATURE	INITIALS	DATE
OWNER		
ARCHITECT		
GENERAL CONTRACTOR		
SURETY COMPANY		

MSHDA #: 2355-2



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ARCHITECTS AND PLANNERS

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LIFE SAFETY LEGEND

- AREA OF NO WORK
- AREA OF MRCS LEVEL 1 RENOVATION
- AREA OF MRCS LEVEL 2 RENOVATION
- AREA OF MRCS LEVEL 3 RENOVATION
(HEAVY DASH LINE DENOTES AREA OF WORK)
- EXIT
- BUILDING EXIT

CODE INFORMATION

PROJECT SCOPE: PROJECT CONSISTS OF RENOVATION OF 35 UNITS AND COMMUNITY SPACE.

EXISTING CONSTRUCTION: DWELLING UNITS RENOVATED 2004

APPLICABLE CODES:
 BUILDING CODE: 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 EXISTING UNITS: ALTERATIONS-LEVEL 1

USE GROUPS: EXISTING UNITS: R-2 RESIDENTIAL
 COMMUNITY SPACE: A-3, B & S-1

CONSTRUCTION TYPE: EXISTING UNITS 5B (NON-SPRINKLED)

PLUMBING CODE: 2015 MICHIGAN PLUMBING CODE

MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE

ELECTRICAL CODE: 2017 NATIONAL ELECTRICAL CODE W/ PART 6 MICHIGAN AMENDMENTS

ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE W/ MICHIGAN ENERGY CODE PART 10 AMENDMENTS (AS APPLICABLE)

FIRE SUPPRESSION: NON-SPRINKLED

ACCESSIBILITY: 2009 ICC/ANSI A117.1
 1991 UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

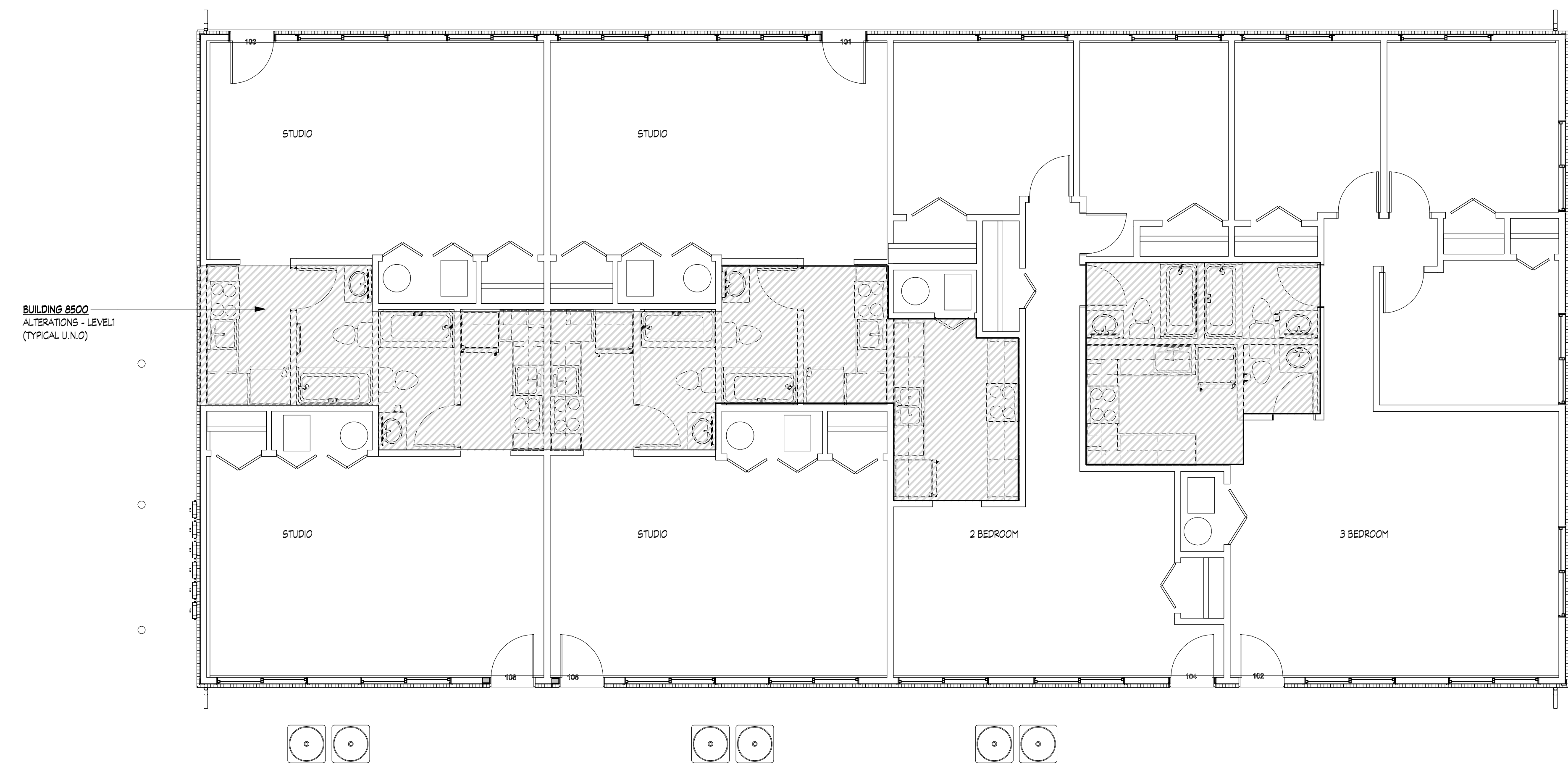
MSHDA: REHAB STANDARDS OF DESIGN 2017
 2017 MSHDA GREEN

- ALLOWABLE BUILDING HEIGHT: 40 FEET MAX.
 BUILDING 8500 ONE STORY - EXISTING HEIGHT 8'-6"
 BUILDING 8520 ONE STORY - EXISTING HEIGHT 8'-6"
 BUILDING 8534 TWO STORY - EXISTING HEIGHT 15'-7"
 BUILDING 8550 TWO STORY - EXISTING HEIGHT 17'-0"
 BUILDING 8560 TWO STORY - EXISTING HEIGHT 16'-6"
 BUILDING 8580 TWO STORY - EXISTING HEIGHT 17'-6"
 BUILDING 8600 TWO STORY - EXISTING HEIGHT 17'-6"
- ALLOWABLE NUMBER OF STORIES: 2
 EXISTING ONE UNITS: 1 (FLOOR SLAB ON GRADE)
 EXISTING 2 STORY UNITS: 2 STORES WITH BASEMENT
- ALLOWABLE AREA: R-2 = 7,000 SF A-3, B & S-1 = 6,000 SF
 EXISTING ONE STORY UNITS: RANGES FROM:
 EXISTING TWO STORY UNITS: RANGES FROM:

FIRE RESISTANCE RATING REQUIREMENTS

MBC CONSTRUCTION TYPE: 5B	
BUILDING ELEMENT	FIRE RATINGS (MBC TABLE 601/602)
PRIMARY STRUCTURAL FRAME	0 HOUR
BEARING WALLS:	
EXTERIOR	0 HOUR
INTERIOR	0 HOUR
NON-BEARING WALLS AND PARTITIONS:	
EXTERIOR	X < 5 - 1 HOUR; 5 ≤ X < 10 - 1 HOUR; 10 ≤ X < 30 - 0 HOUR; X ≥ 30 - 0 HOUR
INTERIOR	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOUR
WALL REQUIREMENTS	FIRE RATING REQUIREMENTS
FURNACE ROOMS W/ EQUIPMENT OVER 400,000 BTU/HR	ONE HOUR* (MBC TABLE 509)
BOILER ROOMS W/ EQUIPMENT OVER 15 PSI AND 10 HP	ONE HOUR* (MBC TABLE 509)
LAUNDRY ROOMS > 100 SQFT	ONE HOUR* (MBC TABLE 509)
DWELLING AND SLEEPING UNIT SEPARATION WALLS	ONE HOUR OR 1/2 HOUR WITH SPRINKLER SYSTEM (PER MBC SECTION 420.2 & 708)
OTHER REQUIREMENTS	CODE SECTIONS
MAXIMUM TRAVEL DISTANCE	200' WITHOUT SPRINKLER SYSTEM (MBC TABLE 1017.2)
MAX. LENGTH DEAD END CORRIDOR	20' (MBC TABLE 1020.4)

* ZERO HOUR WHEN AUTOMATIC FIRE EXTINGUISHING SYSTEM PROVIDED



BUILDING 8500
ALTERATIONS - LEVEL 1
(TYPICAL U.N.O.)

BUILDING 8500 CODE ANALYSIS
SCALE: 3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

FSP PROJECT NO.
COTS19.056

DRAWING TITLE

LIFE SAFETY

DRAWING NUMBER

A.C.001

GENERAL DEMOLITION NOTES:

- REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE DEMOLITION AND/OR CONSTRUCTION PROCESS AND DISPOSE OF OFF SITE IN A SAFE LEGAL MANNER.
- COORDINATE DUMPSTER LOCATION WITH OWNER AND PROTECT THE EXISTING PAVING/LAWN ETC. FROM DAMAGE, REPAIR DAMAGE AS REQUIRED.
- REFER TO MECHANICAL, ELECTRICAL DRAWINGS FOR EXTENTS OF DEMOLITION. SOME AREAS HAVE FLOORS SAWCUT AND WALLS CUT FOR NEW WORK WHICH ARE NOT SHOWN ON THIS DRAWING. ELEMENTS THAT REQUIRE DEMOLITION IN ORDER TO CONSTRUCT THE NEW WORK AND ARE NOT SPECIFICALLY SHOWN ON THE DEMOLITION PLANS ARE TO BE INCLUDED WITHIN THE SCOPE OF WORK INCLUDED IN THE PROJECT AND THE CONTRACTORS BID.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
- REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
- REFER TO THE DEMOLITION SECTION IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
- COORDINATE ALL TEMPORARY UTILITY SHUT DOWNS WITH THE OWNER. PROVIDE A MINIMUM OF 72 HOURS NOTICE TO THE OWNER BEFORE ANY UTILITY SHUT DOWN.
- PROVIDE WEATHERTIGHT AND VANDAL RESISTANT TEMPORARY PROTECTION AT ALL EXISTING EXTERIOR ENVELOPE OPENINGS SUCH AS WINDOW, DOOR, WALL, AND ROOF OPENINGS. MAINTAIN SUCH PROTECTION FOR THE DURATION OF THE CONSTRUCTION PROCESS.
- PROVIDE ALL DEMOLITION WORK REQUIRED ON THE EXISTING BUILDING AS CALLED FOR ON THE DRAWINGS TO ACCOMMODATE THE RENOVATION WORK. ALL EXISTING CONSTRUCTION OF REMAIN U.N.O.
- PATCH AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS AND CEILING WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL AND/OR ELECTRICAL ITEMS ARE REMOVED AS RESULT OF THE DEMOLITION OPERATIONS.
- VERIFY HEIGHTS, CLEARANCES AND LOCATIONS OF NEW CONSTRUCTION SUCH AS EQUIPMENT AND CEILING BEFORE INSTALLATION OF VARIOUS COMPONENTS AND EQUIPMENT, IF SPACE CONFLICTS ARE FOUND, REPORT THEM IMMEDIATELY TO THE ARCHITECT FOR RESOLUTION.
- CARRY OUT ALL DEMOLITION WORK IN CLOSE COORDINATION AND COOPERATION WITH STRUCTURAL TRADES FOR PROPER SEQUENCING OF THE WORK TO ENSURE THE COMPLETE SAFETY AND STRUCTURAL INTEGRITY OF THE BUILDING AND ITS ELEMENTS AT ALL TIMES. PROVIDE TEMPORARY COLLUMNS, JACKS, BEAMS, ETC., WHERE REQUIRED TO SUPPORT EXISTING ELEMENTS OF CONSTRUCTION TO REMAIN IN SAFE, COMPETENT MANNER, IN CONFORMANCE WITH ALL LAWS, CODES ORDINANCES, RULES AND REGULATIONS BEARING ON THE WORK.
- VERIFY DIMENSIONS, FIELD MEASUREMENTS, AND CONDITIONS BEFORE STARTING CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR RESOLUTION.
- DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO OWNERS APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK OR VIBRATION TO PORTIONS OF EXISTING STRUCTURE TO REMAIN. DAMAGE CAUSED DURING DEMOLITION SHALL BE REPAIRED BY THE SUBCONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATION AND ELEVATION OF EXISTING SEWERS, DRAINS, ETC., IN DEMOLITION AREAS BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT FOR RESOLUTION.
- SAW CUT/COR CORE AND REMOVE EXISTING CONCRETE SLAB FOR PLACEMENT OF PLUMBING WORK, FOUNDATIONS, STRUCTURAL STEEL, NECESSARY CAPPING OF EXISTING LINES AND FOUNDATION WORK, ETC. COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
- ALL EXISTING WALLS, FLOORS AND CEILING THAT WILL REMAIN SHALL BE PREPARED TO RECEIVE NEW FINISHES, UNLESS NOTED OTHERWISE.
- REMOVE EXISTING INTERIOR SIGNAGE, REPLACE WITH NEW INTERIOR SIGNAGE. REFER TO A.C.003 (DOCUMENT EXISTING SIGNAGE).
- WHERE MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS ARE INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED FASTENERS, ANCHORS, HANGERS ETC. PATCH AND REPAIR DAMAGED CONSTRUCTION TO MATCH EXISTING AFTER REMOVAL WORK IS COMPLETE.
- REMOVE ANY ABANDONED MECHANICAL DUCTWORK, PLUMBING PIPING OR ELECTRICAL COMPONENTS FOUND IN CONCEALED SPACES DISTURBED BY DEMOLITION ACTIVITIES.
- RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE SUPPRESSION SYSTEM SHALL BE DONE BY A CERTIFIED FIRE SUPPRESSION CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE SUPPRESSION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
- RENOVATION, RELOCATION AND/OR DEMOLITION OF THE FIRE ALARM SYSTEM SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM/SMOKE DETECTION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
- RENOVATION, RELOCATION AND/OR DEMOLITION OF ANY SMOKE DETECTORS SHALL BE DONE BY A CERTIFIED FIRE ALARM CONTRACTOR AND THE OCCUPIED AREAS OF THE BUILDING SHALL HAVE AN ACTIVE FIRE ALARM/SMOKE DETECTION SYSTEM AT ALL TIMES UNLESS APPROVED BY THE OWNER AND THE AHJ.
- DEMOLITION SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL DEMOLITION AREAS HAVE BEEN PREPPED FOR NEW FINISHES.
- REFER TO SEPARATE HISTORIC RESTORATION NOTE FOR INFORMATION ON WORKING WITHIN AREAS INDICATED AS HISTORIC. DO NOT REMOVE OR DAMAGE ANY BUILDING COMPONENT IN AREAS INDICATED AS HISTORIC UNLESS EXPLICITLY CALLED FOR.

EXISTING CONSTRUCTION NOTES:

- BIDDERS SHALL CAREFULLY STUDY AND FAMILIARIZE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS. BIDDERS SHALL VISIT THE SITE AND COMPLETELY FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS, FINISHES, AND EXTENT OF WORK INCLUDED IN THE PROJECT. BIDDERS SHALL CORRELATE THEIR FIELD OBSERVATIONS WITH THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS SO THAT HIS BID REPRESENTS A THOROUGH AND COMPLETE KNOWLEDGE AND UNDERSTANDING OF THE WORK REQUIRED TO BE PERFORMED.
- CONTRACTOR MUST VISIT THE SITE AND VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTION OR EXISTING CONDITIONS PRIOR TO PRECEDING WITH THE WORK, AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES.
- CONTINUOUSLY MAINTAIN TEMPORARY MEANS OF EGRESS.
- CONTRACTOR TO COORDINATE WITH ARCHITECT AND G.C. MAINTAIN EGRESS AT ALL TIMES. PROVIDE AND MAINTAIN TEMPORARY MEANS OF EGRESS AS REQUIRED. PROVIDE TEMPORARY SIGNAGE AS REQUIRED, AND PROVIDE PANIC HARDWARE ON ANY DOORS, E.G. TO COORDINATE WITH ARCHITECT AND OWNER.
- PROTECT EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY BARRIERS AND PROTECTIVE ENCLOSURES AS REQUIRED TO ALLOW FOR THE OWNERS SAFE AND NORMAL USE OF THE PROPERTY.
- VERIFY ALL CONDITIONS COVERING OR AFFECTING THE STRUCTURAL WORK; OBTAIN AND VERIFY ALL DIMENSIONS AND ELEVATIONS TO ENSURE THE PROPER STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK; REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE NEW WORK. ALL DISCREPANCIES SHALL BE FULLY RESOLVED PRIOR TO COMMENCING WORK.
- EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED, WHERE SUCH CONSTRUCTION IS DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, IT MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- WHERE EXISTING CONSTRUCTION IS TO REMAIN BUT REQUIRES REMOVAL IN ORDER TO PERFORM THE NEW WORK, IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO REMOVE THE CONSTRUCTION AND REPAIR OR REPLACE IT TO THE EXISTING CONDITION OR THE CONDITION THAT MATCHES THE NEW WORK.
- WHERE EXISTING EQUIPMENT IS TO REMAIN DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION. IF THE EQUIPMENT IS DAMAGED DURING CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL CHARGE TO THE OWNER.
- WHERE EXISTING EQUIPMENT OR CONSTRUCTION IS REMOVED, THE REMAINING SURFACES, IF NOT SCHEDULED TO RECEIVE A NEW FINISH SHALL BE PATCHED OR REPAIRED TO MATCH ADJACENT SURFACES.
- WHERE THE EXISTING CONSTRUCTION IS TO BE ALTERED, OR OTHERWISE DISTURBED, PROVIDE TEMPORARY AND/OR PERMANENT BRACING AND SHORING BEFORE AND DURING OPERATIONS AND UNTIL THE WORK IS SAFELY COMPLETED AND NO LONGER NEEDS SHORING.
- EACH CONTRACTOR SHALL PROVIDE ALL THE NECESSARY SUPPORT, BRACING, SHORING, ETC. (TEMPORARY AND/OR PERMANENT) FOR BOTH NEW AND EXISTING CONSTRUCTION FOR THE SAFE INSTALLATION OF THE NEW CONSTRUCTION AND EQUIPMENT.
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS SEQUENCES AND PROCEDURES OF CONSTRUCTION.
- PROVIDE FIRE WATCH DURING FIELD CUTTING AND WELDING OPERATIONS, MEETING THE OWNERS REQUIREMENTS.
- CONTRACTOR TO COORDINATE ALL REPAIR, REPLACEMENT, AND/OR CLEANING OF ALL EXISTING MASONRY, OR STONE, WITH STRUCTURAL ENGINEER AND ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAINTAIN A CLEAR PASSAGE AND MEANS OF EGRESS DURING THE CONSTRUCTION TO BOTH THE OWNER OCCUPIED AND CONSTRUCTION OCCUPIED AREAS. TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE GENERAL PUBLIC AND THE WORKERS.

NOTES REGARDING MOLD AND MILDEW:

- THE FOLLOWING REQUIREMENTS MUST APPLY TO ALL NEW AND REMODEL CONSTRUCTION PROJECTS.
- IN THE EVENT THE CONTRACTOR DISCOVERS, AT ANY TIME DURING DEMOLITION, CONSTRUCTION, AND/OR REMODELING OPERATIONS, EXISTING CONDITIONS THAT COULD INCLUDE THE PRESENCE OF MOLD AND/OR MILDEW, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE AND THE ARCHITECT/ENGINEER OF RECORD, IN WRITING, OF THE CONCERNS AND/OR SUSPICIONS.
- CONCURRENTLY, THE CONTRACTOR WILL BE RESPONSIBLE TO RETAIN A MOLD AND MILDEW CERTIFIED TESTING AGENCY TO PERFORM AN INVESTIGATION AND TESTING TO EVALUATE THE NATURE AND EXTENT OF THE PROBLEM. IF THE TESTING AGENCY CONFIRMS HAZARDS, THE CONTRACTOR WILL BE RESPONSIBLE TO OBTAIN A MINIMUM OF TWO (2) BIDS FROM COMPANIES QUALIFIED AND LICENSED TO PERFORM ALL NECESSARY REMEDIATION WORK, COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS, CODES, AND STATUTES.
- ONCE DISCOVERY OR SUSPICION OF MOLD AND/OR MILDEW IS MADE, THE CONTRACTOR MUST TAKE ALL REASONABLE AND PRACTICAL PRECAUTIONS TO PROTECT ALL CONSTRUCTION PERSONNEL AND THE PUBLIC FROM EXPOSURE TO MOLD AND/OR MILDEW, AND SUCH PRECAUTIONS MUST REMAIN IN PLACE UNTIL SUCH TIME AS THE OWNER OR HEALTH AUTHORITY DIRECTS OTHERWISE. CONSTRUCTION OPERATIONS MUST NOT BE STOPPED OR CURTAILED, EXCEPT IN THE AREA OF MOLD/MILDEW CONCERN, DUE TO THESE REQUIRED PRECAUTIONS.
- THE CONTRACTOR MUST MAKE ALL REASONABLE EFFORTS TO AVOID CONDITIONS FAVORABLE TO THE DEVELOPMENT OF MOLD AND MILDEW, ESPECIALLY IN VOIDS WHICH WILL BE CONCEALED AND NOT VENTILATED, IN ALL CASES, INTERIOR SPACES AND INTERIOR FINISHED CONSTRUCTION MUST BE MAINTAINED IN DRY AND WELL-VENTILATED CONDITIONS.
- THE CONTRACTOR MUST COMPLY WITH FEDERAL ENVIRONMENTAL AND OSHA REGULATIONS AND ALL LOCAL AND STATE HEALTH DEPARTMENT REQUIREMENTS AND RECOMMENDATIONS REGARDING MOLD AND MILDEW.
- ALL PENETRATIONS MUST BE SEALED WATER-TIGHT TO PREVENT MOISTURE MIGRATION FROM ENTERING THE BUILDING OR WALL CAVITIES.
- ALL CONDENSATE DRAIN PANS MUST BE CLEANED AND KEPT FREE FROM DEBRIS UNTIL AND WHEN THE FACILITY IS TURNED OVER TO THE OWNER OR TENANT. ENSURE POSITIVE DRAINAGE AT ALL DRAIN PANS. ENSURE THAT ALL 'COLD' SURFACES ARE INSULATED AND COVERED WITH A FULLY SEALED AND CONTINUOUS VAPOR BARRIER. ('COLD' SURFACES INCLUDE, BUT ARE NOT LIMITED TO, DOMESTIC COLD WATER PIPING, CHILLED WATER PIPING, INTERIOR RAIN LEADERS, OUTDOOR AIR INTAKES, AND DUCTWORK CARRYING AIR CONDITIONED SUPPLY AIR.)
- ENSURE THAT THERE ARE NO WATER LEAKS IN CONCEALED PLUMBING CHASES. RETURN AIR PATHS AND PLENUMS MUST BE KEPT DRY. ALL EXISTING SUPPLY AIR PATHS AND ALL EXISTING DUCTWORK TO BE RE-USED SHALL BE CLEANED AND TREATED AS REQUIRED TO REMOVE THE POTENTIAL FOR MOLD AND MILDEW. ALL DAMP AREAS MUST BE DRIED THOROUGHLY PRIOR TO ENCLOSURE.

PRELIMINARY
NOT FOR CONSTRUCTION

RENOVATION OF
8500 WYOMING APARTMENTS
BUERSMEYER MANOR

10.09.2023 OWNER'S REVIEW
DATE ISSUE

KEY PLAN

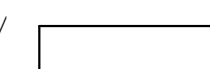
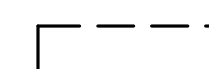
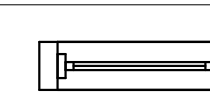
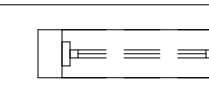
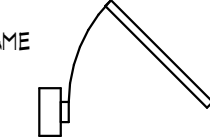
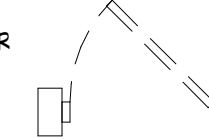
FSP PROJECT NO.
COTS19.056

DRAWING TITLE

DEMOLITION PLAN

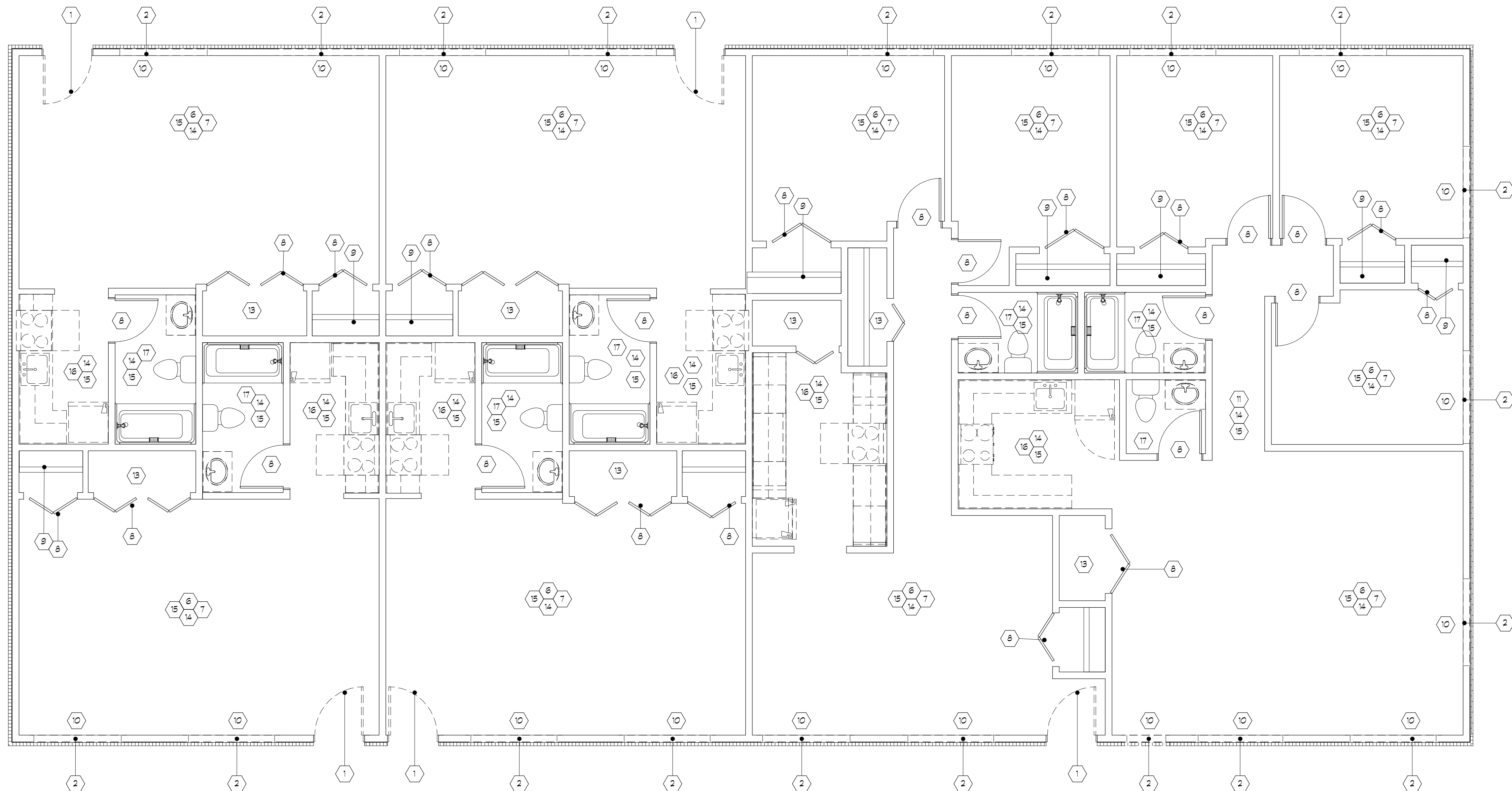
DRAWING NUMBER

A.D.101

DEMOLITION WALL LEGEND:			
EXISTING WALL AND/OR CONSTRUCTION TO REMAIN		REMOVE EXISTING WALL AND/OR CONSTRUCTION	
EXISTING WINDOW TO REMAIN		REMOVE EXISTING WINDOW (EXACT TYPE MAY VARY)	
EXISTING DOOR, FRAME AND HARDWARE TO REMAIN		REMOVE EXISTING DOOR AND/OR FRAME AND HARDWARE	

- GENERAL DEMOLITION NOTES:**
- REFER TO SECTION SHEET A.500 FOR ADDITIONAL UNIT NOTES
 - REFER TO SECTION 02 41 00 - DEMOLITION, IN THE SPECIFICATION FOR FURTHER INFORMATION PRIOR TO THE START OF DEMOLITION.
 - REFER TO SHEET A.D.001 FOR GENERAL DEMOLITION, EXISTING CONSTRUCTION AND MOLD & MILDEW NOTES.
 - REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR CIVIL AND LANDSCAPE DEMOLITION INFORMATION.
 - REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL DEMOLITION INFORMATION.
 - REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION INFORMATION.

- DEMOLITION PLAN NOTES:** #
- BUILDING EXTERIOR:**
- REMOVE EXISTING EXTERIOR DOOR, THRESHOLD, FRAME, AND HARDWARE.
 - REMOVE EXISTING WINDOWS, STOOLS, JAMBS AND TRIMS.
 - WINDOW WELLS TO BE CLEANED. REPLACE WHEN NEEDED.
 - WINDOWS AT STAIR WELLS TO BE REPAIRED, REPLACE WHEN NEEDED
 - REPAIR, PATCH, CLEAN AND PREPARE ALL EXTERIOR STAIRS TO RECEIVE NEW PAINT.
- BUILDING INTERIOR:**
- ALL INTERIOR WALLS TO BE CLEANED, PATCHED, PREPARED AND PREPARED TO RECEIVE NEW PAINT.
 - REMOVE EXISTING FLOORING AND TRIM BOARD. PATCH, REPAIR AND PREPARE SURFACE TO RECEIVE NEW VINYL PLANK FLOORING AND WOOD TRIM.
 - ALL INTERIOR DOORS AT BEDROOMS, BATHROOMS, CLOTHES CLOSET AND MECHANICAL CLOSET ARE EXISTING TO REMAIN. DOOR FRAMES BE CLEANED, PATCHED REPAIRED AND PREPARED TO RECEIVE NEW PAINT. REPLACE DOORS AS NEEDED IF TO MATCH EXISTING DOOR OPENING AND FINISH.
 - ALL WIRE SHELVES IN CLOSETS TO REMAIN. REPLACE IF NEEDED.
 - REMOVE ALL EXISTING WINDOW TREATMENTS.
 - ALL CORRIDORS TO RECEIVE NEW FINISHES, FLOORING, WALLS AND CEILING (SEE INTERIOR DESIGN DRAWINGS).
 - REMOVE AND REPLACE ALL STAIR HANDRAILS AND RAILINGS.
 - REMOVE AND REPLACE FURNACE AND WATER HEATER (SEE MECHANICAL DRAWINGS).
 - REMOVE ALL CEILING AND WALL MOUNTED LIGHTING FIXTURES. PATCH AND REPAIR SURFACES UPON REMOVAL. REPLACE WITH LED FIXTURES. (SEE ELECTRICAL DRAWINGS).
 - REMOVE AND REPLACE ALL ELECTRICAL DEVICES AND COVER PLATES.



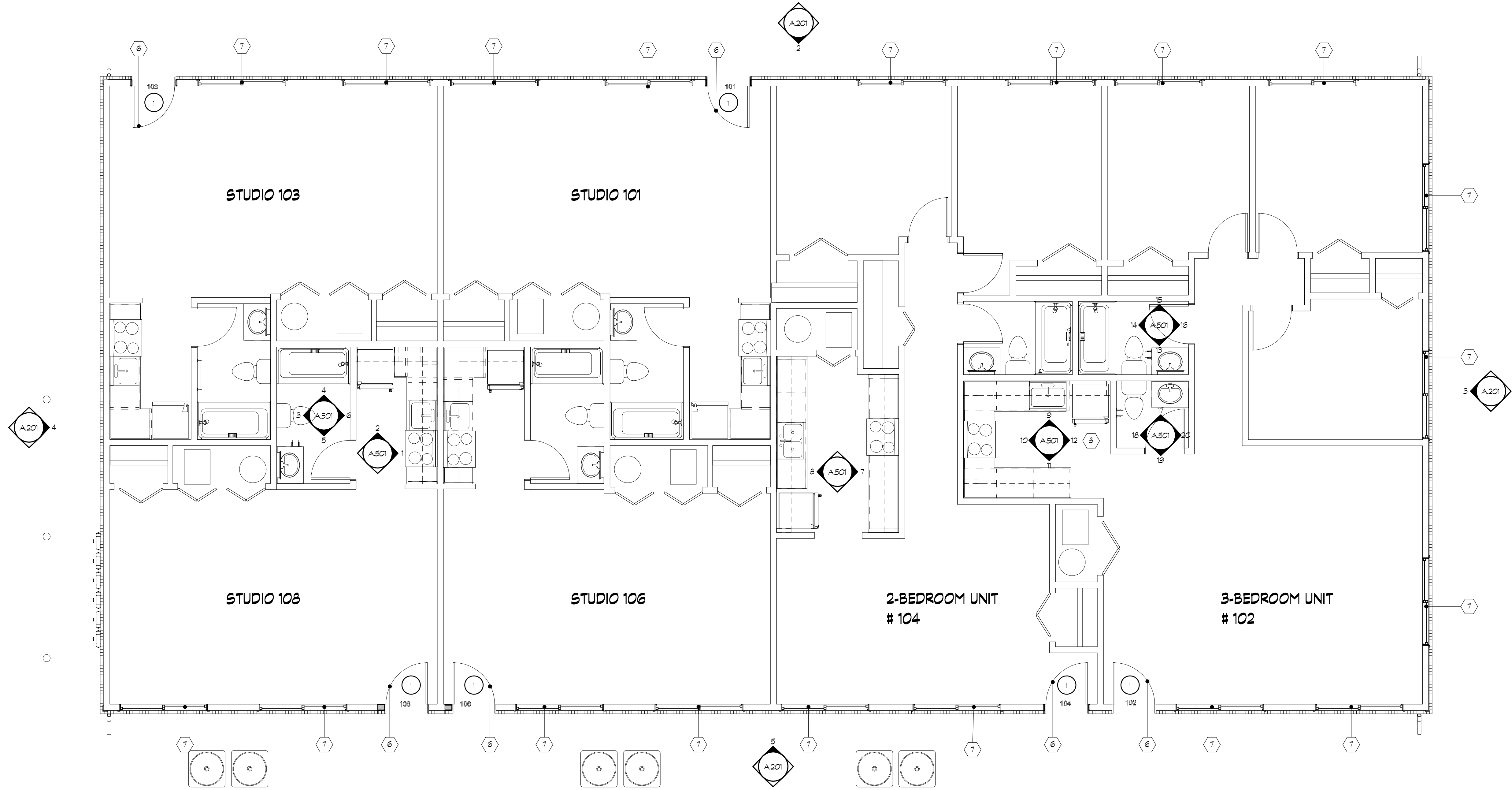
FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

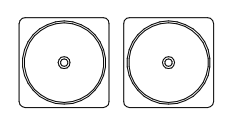
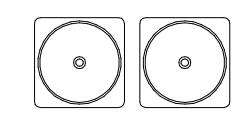
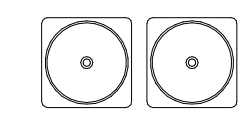
- GENERAL UNIT NOTES:**
- REFER TO SHEETS A.D.101 - A.D.107 FOR DEMOLITION NOTES AND SHEET A.S00 FOR ALL RENOVATION NOTES.
 - GENERAL CONTRACTOR TO VERIFY EXISTING LAYOUT AND CONDITION OF EACH UNIT PRIOR TO THE START OF CONSTRUCTION.
 - UNLESS NOTED OTHERWISE, ALL EXTERIOR UNIT AND BUILDING INFORMATION REFER TO OVERALL BUILDING PLANS AND ELEVATIONS.
 - PATCH, REPAIR AND PREPARE ALL GYPSUM BOARD DAMAGED DURING CONSTRUCTION. GYPSUM BOARD FINISH TO MATCH CURRENT FINISH TEXTURE TYPICAL.
 - ALL ELECTRICAL AND LOW VOLTAGE WIRING TO BE CONCEALED OR WITHIN MOLDINGS, NO EXPOSED WIRING (EXCEPT BASEMENT LEVEL). REFER TO ELECTRICAL FOR ADDITIONAL INFORMATION.

- GENERAL PLAN NOTES:**
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE EXISTING AND MUST BE FIELD VERIFIED. IF VARIATIONS AND/OR DISCREPANCIES OCCUR CONTACT ARCHITECT FOR CLARIFICATION.
 - OVERALL BUILDING PLANS SHOW GENERAL BUILDING NUMBER AND UNIT LAYOUT.
 - EXISTING WALLS:** UNLESS OTHERWISE NOTED, MATCH EXISTING WALL STUD DEPTH AND WALL CONSTRUCTION ASSEMBLY AND RATINGS.
 - NEW WALLS:** UTILIZE 2x4 AND/OR 2x6 WOOD STUDS AT 16" O.C. AS INDICATED ON THE FLOOR PLANS. MAINTAIN 2x6 WOOD STUDS AT ALL PLUMBING AND CHASE WALLS ON EACH FLOOR. (VERIFY WITH PLANS AND WALL TYPE SHEET)
 - ALL DIMENSIONS ARE FROM EXISTING GYPSUM BOARD (EXISTING WALL) TO FACE OF STUDS (NEW WALL) OR FACE OF STUDS TO FACE OF STUDS (NEW WALLS), CENTERLINE OF OPENINGS FOR DOORS AND WINDOWS, AND FACE OF BRICK OR FACE OF SHEATHING.
 - KITCHEN SOFFIT(S):** KITCHEN SOFFIT LOCATIONS AND SIZES ARE PER THE ORIGINAL CONSTRUCTION DRAWINGS AND ARE ASSUMED AS INDICATED. VERIFY THE EXISTENCE OF SOFFITS IN THE FIELD.
 - KITCHENS WITH SOFFIT(S): KITCHENS WITH SOFFIT TO REMAIN AND BE ADJUSTED AS REQUIRED TO ACCOMMODATE CABINET LAYOUT.
 - KITCHENS WITHOUT SOFFIT(S): KITCHENS WITHOUT SOFFIT(S) TO REMAIN WITHOUT SOFFIT(S).
 - VERIFY SIZE AND LOCATION OF MECHANICAL AND ELECTRICAL EQUIPMENT, PADS, PENETRATIONS AND SUPPORTS WITH MECHANICAL AND ELECTRICAL DRAWINGS.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMBING AND ELECTRICAL DRAWINGS.
 - COORDINATE TRANSFORMER PAD LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS.
 - UNLESS OTHERWISE NOTED WITHIN OVERALL BUILDING PLANS AND ELEVATIONS, SEE SHEETS A.S01 - A.S07 FOR TYPICAL UNIT TYPE.
 - SEE SHEET A.701 FOR ROOM FINISH AND WINDOW SCHEDULES.
 - SEE SHEET A.711 FOR DOOR SCHEDULE.
 - SEE SHEET A.721 FOR WALL TYPES AND RATED ASSEMBLIES.
 - SEE SHEET A.801 FOR REFLECTED CEILING PLANS.

- GENERAL OVERALL BUILDING PLAN NOTES:**
- BUILDING EXTERIOR**
- ENTRY WALK (SIDEWALKS):**
 - EXISTING TO REMAIN IF IN GOOD CONDITION. CLEAN AND POWER WASH.
 - REMOVE AND REPLACE ANY DAMAGED SIDEWALK LEADING TO UNIT ENTRY - MATCH EXISTING FOR SIZE AND FINISH.
 - ACCESSIBLE WALKS AT PH UNITS TO BE FLUSHED WITH UNITS FINISH FLOOR.
 - REFER TO CIVIL PLANS FOR ADDITIONAL LOCATIONS AND INFORMATION.
 - SPLASH BLOCKS:**
 - REMOVE EXISTING POURED IN-PLACE CONCRETE SPLASH BLOCKS. VERIFY IN FIELD THE LOCATION, SIZE, LENGTH, ETC OF EXISTING SPLASH BLOCKS. THE SPLASH BLOCKS MAY VARY FROM BUILDING TO BUILDING.
 - LEVEL / INFILL EXISTING GRADE. REFER TO LANDSCAPE FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW PRE-FAB CONCRETE SPLASH BLOCKS. COORDINATE WITH ROOF PLAN FOR ADDITIONAL INFORMATION.
 - AIR CONDITIONER UNITS**
 - REUSE EXISTING AIR CONDITION SECURITY COVERS.
 - EXISTING CONCRETE TO REMAIN. PATCH AND REPAIR AS NEEDED.
 - MECHANICAL UNITS:**
 - REPLACE EXISTING FURNACE
 - REPLACE EXISTING WATER HEATER
 - METERS; COORDINATE WITH MECHANICAL AND ELECTRICAL
 - LIGHTING:**
 - PROVIDE AND REPLACE EXISTING EXTERIOR FIXTURES FOR PARKING LOT AND SIDEWALK WITH NEW LED FIXTURES.
 - PROVIDE AND REPLACE EXISTING WALL MOUNTED EXTERIOR LIGHTING FIXTURES WITH NEW LED FIXTURES. REPAIR WALL UPON REMOVAL.
 - EXTERIOR DOORS:**
 - PROVIDE AND INSTALL EXTERIOR DOORS, FRAMES AND HARDWARE. PROVIDE INTERLOCKING HARDWARE.
 - WINDOWS:**
 - PROVIDE AND INSTALL NEW WINDOWS, STOOLS, JAMBS AND TRIMS. CONTRACTOR TO VERIFY IN FIELD WINDOW OPENING SIZES.
- BUILDING INTERIOR:**
- KITCHEN:**
 - PROVIDE AND INSTALL NEW SINK, GARBAGE DISPOSAL
 - PROVIDE AND INSTALL NEW MICROWAVE WITH VENTS (OR EXHAUST HOODS).
 - PROVIDE AND INSTALL NEW SINK, FAUCET, ANGLE STOPS, VALVES AND DRAIN SUPPLY PLUMBING.
 - PROVIDE AND INSTALL ALL NEW ENERGY STAR APPLIANCES INCLUDING RANGE, REFRIGERATOR AND MICROWAVE (OR EXHAUST FANS - TBD).
 - PROVIDE NEW BASE AND WALL CABINETS WITH NEW PLASTIC COUNTERTOPS (PROVIDE ALTERNATE FOR SOLID SURFACE COUNTERTOPS).
 - BATHROOMS:**
 - PROVIDE AND INSTALL NEW VANITIES, LAVATORIES, FAUCETS, ANGLE STOPS, VALVES AND DRAIN (SUPPLY PLUMBING).
 - WATER CLOSETS TO REMAIN. PROVIDE AND INSTALL IF BROKEN OR DAMAGED FIXTURES. REPLACE WATER LINES AND SHUTTERS AND ESCUTCHEONS.
 - EXISTING BATHTUBS TO REMAIN. REPAIR EXISTING TILE SURROUNDS.
 - PROVIDE AND INSTALL NEW DRAINS AND CONTROLS.
 - PROVIDE AND REPLACE EXHAUST FANS AND VENTS.



PRELIMINARY
NOT FOR CONSTRUCTION



1
A.109
SCALE: 3/16" = 1'-0"
OVERALL ROOF PLAN

GENERAL ROOF NOTES:

ROOF PLAN DEMOLITION NOTES:

1. REMOVE EXISTING SHINGLES AND UNDERLAYMENT TO EXISTING ROOF SHEATHING. REMOVE EXISTING DRIP EDGE, FLASHING AND ALL ACCESSORIES. REPLACE SECTIONS OF ROTTED OR DAMAGED ROOFING SHEATHING.
2. REMOVE EXISTING GUTTERS AND DOWNSPOUTS, INCLUDING ALL ACCESSORIES. REMOVE ALL EXISTING SPLASH BLOCKS (SEE NOTE BELOW).
3. REMOVE EXISTING ROOF LOUVERS AND ASSOCIATED FLASHING. COORDINATE DEMOLITION WITH MECHANICAL.
4. PATCH AND REPAIR ALL DAMAGED EXISTING CONSTRUCTION TO REMAIN (MATCH EXISTING CONSTRUCTION).

ROOF PLAN NOTES:

1. PROVIDE AND INSTALL NEW UNDERLAYMENT, SHINGLES, GUTTERS AND DOWNSPOUTS.
2. PROVIDE AND INSTALL NEW ROOF VENTS/LOUVERS, COORDINATE AND FLASH ALL ROOF PENETRATIONS PER MANUF. RECOMMENDATIONS. ROOFING CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND FLASHING AS REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM.
3. CONTRACTOR TO ENSURE ALL EXISTING ROOF PENETRATIONS ARE PROPERLY FLASHED TO ENSURE WATERTIGHT CONSTRUCTION. REFLASH AS REQUIRED. REPLACED MISSING / LEAKING VENTS WITH NEW ROOF VENTS TO MATCH EXISTING U.N.O..
4. COORDINATE LOCATION OF ALL EXHAUST AND INTAKE VENTS INCLUDING RANGE HOODS, BATHROOM AND EXHAUST FANS, ETC. WITH EXISTING FIELD CONDITIONS AND/OR MECHANICAL DRAWINGS.
5. NOT ALL ROOF PENETRATIONS ARE SHOWN - VERIFY THE LOCATION, TYPE AND NUMBER OF ALL PENETRATIONS (FLUES, VENTS, EXHAUST, ETC.) IN THE FIELD. EXTEND, ADJUST AND/OR RE-LOCATE PENETRATIONS AS REQUIRED TO ACCOMMODATE FOR NEW ROOFING ELEMENTS (GABLES, DORMERS, PORCHES, ETC.).
6. ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO BE ROUTED TO REAR ELEVATIONS (IF POSSIBLE) AND HELD 4'-0" FROM HIGH POINT.
7. PAINT ALL VENTS, PIPE PENETRATIONS AND ROOF ACCESSORIES TO MATCH SHINGLES.
8. PROVIDE AND INSTALL NEW ICE AND WATER SHIELD MATERIAL. SEE ROOF PLAN FOR EXTENTS.
9. PREFINISHED ALUMINUM GUTTERS AND DOWNSPOUTS ARE TO BE PROVIDED FOR DRAINAGE OF ROOF WATER. VERIFY IN FIELD ALL DOWNSPOUT LOCATIONS, USE ROOF PLAN AS A GUIDE FOR APPROX. LOCATIONS. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES AND AWAY FROM MAIN BUILDING ONTO NEW SPLASH BLOCK. ALL SPLASH BLOCKS TO BE ADJUSTED TO SLOPE AWAY FROM EXISTING STRUCTURE.
 - A. SPLASH BLOCKS - SEE BELOW FOR LOCATION.
 - B. DOWNSPOUTS - AT THE REAR OF ALL RESIDENT UNIT BUILDINGS, DOWNSPOUTS TO BE LOCATED AND TIED INTO EXISTING STORM CONNECTION.
10. PROVIDE NEW CONCRETE SPLASH BLOCKS - ALL SPLASH BLOCKS TO SLOPE AND POINTED AWAY FROM BUILDING.
 - A. PROVIDE SPLASH BLOCKS FOR THE FOLLOWING LOCATIONS:
 - FRONT OF RESIDENT UNIT BUILDINGS
 - AT LEARNING CENTER. REFER TO LEARNING CENTER ROOF PLAN FOR INFORMATION.
 - AT COMMUNITY BUILDING. REFER TO COMMUNITY BUILDING ROOF PLAN FOR INFORMATION.
11. PROVIDE MINIMUM (2) 12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW DORMER ROOF ELEMENTS. FOR LARGER DORMERS PROVIDE TWO VENTILATION CUT-OUTS, SPACED EQUALLY UNDER DORMER LOCATION. **DO NOT CUT ANY ROOF TRUSSES.**
12. NOTE: PER ORIGINAL DRAWING SET FROM 1968 - EVERY 4TH UNIT HAS A MASONRY FIREWALL EXTENDING FROM THE CONCRETE FOUNDATION WALL TO THE UNDERSIDE OF ROOF SHEATHING. VERIFY IN FIELD. DO NOT REMOVE OR DAMAGE. REPLACE ANY SECTIONS THAT ARE MISSING AND/OR DAMAGE.
13. NOTE: PROVIDE ATTIC WALL SEPARATION AS INDICATED ON THE ROOF PLANS. SEE DETAIL 6/A.407.
14. PROVIDE AT LEAST ONE LOCKABLE ATTIC ACCESS PANEL PER EACH ATTIC ZONE. MODIFY AND/OR ADD PANEL(S) AS REQUIRED. REFER TO SHEET A.130 FOR DETAIL.
15. ROOF VENTILATION CALCULATIONS ARE BASED ON BOTH ROOF ZONES AND PER UNIT. FOR BUILDING ROOF ZONE VENTILATION CALCULATIONS SEE THIS PAGE. FOR INDIVIDUAL UNIT ROOF VENTILATION CALCULATIONS REFER TO SHEET A.130.

ROOF PLAN LEGEND:

	AREAS OF ICE AND WATER BARRIER MATERIAL
	DOWNSPOUT
	SOFFIT VENT
	ATTIC ACCESS PANEL (APPROXIMATE SIZE AND LOCATION)
	12"x12" SQUARE VENTILATION CUT-OUT UNDER ALL NEW ROOF DORMERS
	SHINGLED RIDGE VENT SEE DETAIL
	GRAVITY ROOF VENT SEE DETAIL
	OUTLINE EDGE OF BRICK FACE OF SHEATHING SHADED AREA INDICATES STUD WALL CONSTRUCTION
	1 HOUR ATTIC WALL SEPARATION PARTITION
	1 HOUR MASONRY PARTITION

NOTE: EXISTING ATTIC WALL SEPARATION TO REMAIN. EXISTING ATTIC WALL SEPARATION TO EXTENDS FROM THE TOP OF RATED PARTY WALL TO THE UNDERSIDE OF THE ROOF DECK AND ANY OPENINGS, JOINTS, PENETRATIONS MUST BE FIRESTOPPED.
PROVIDE UNIT PRICE FOR INSTALL OF ATTIC SEPARATION WALL: IF ATTIC SEPARATION WALL IS MISSING, GC TO PROVIDE UNIT PRICE TO INSTALL RATED ATTIC SEPARATION WALL INCLUDING ALL NECESSARY MATERIAL AND LABOR. GC TO ALSO CL. SIDE PANELS AND METHOD OF CONSTRUCTION INCLUDING THE PATCH, REPAIR, AND FINISH AREA IN THE UNIT PRICE FOR A PROPER INSTALLATION. UNIT PRICE IS AN ADDITIONAL 7% BE ADDED TO GC DEDUCTED FROM THE CONTRACT SUM BASED ON THE UNIT PRICE OF ATTIC SEPARATION WALL ADDED TO THE PROJECT.

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KEY PLAN

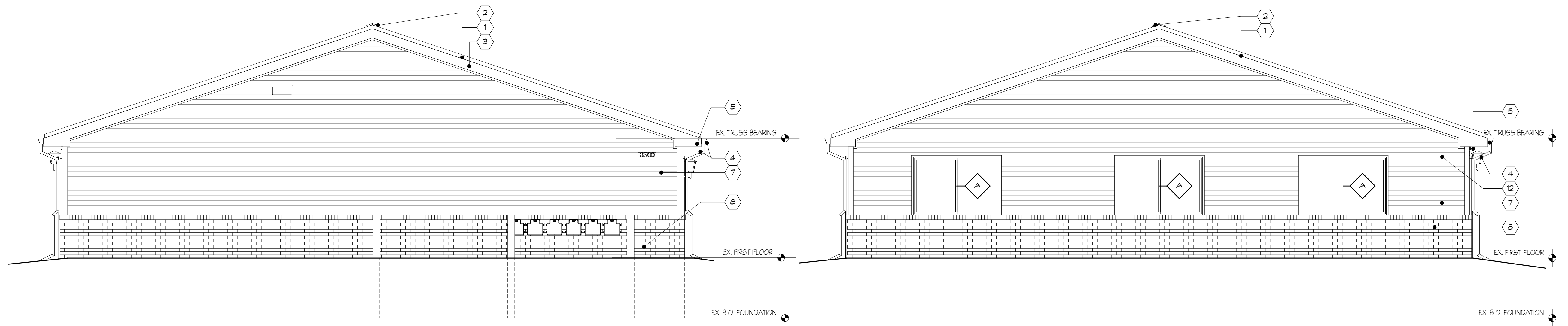
FSP PROJECT NO.
COTS19.056

DRAWING TITLE

ROOF PLAN

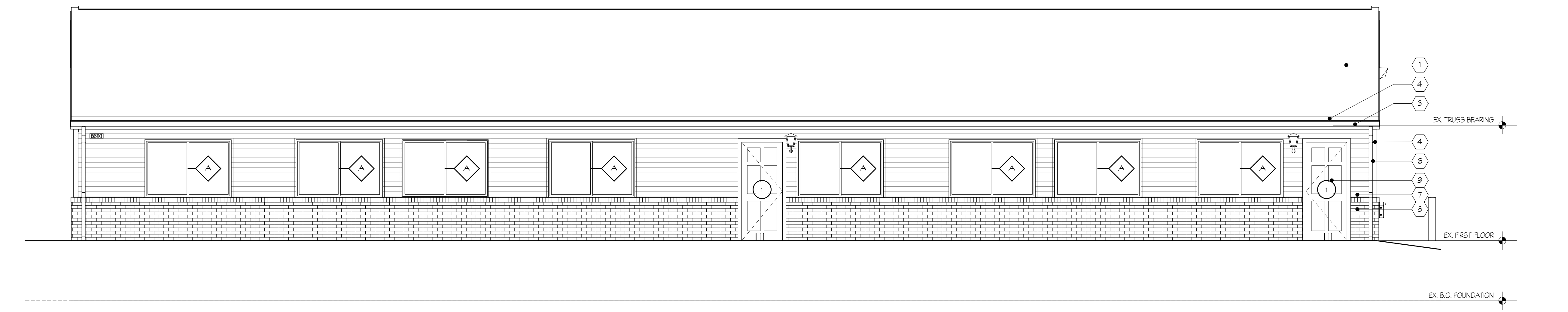
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A.109

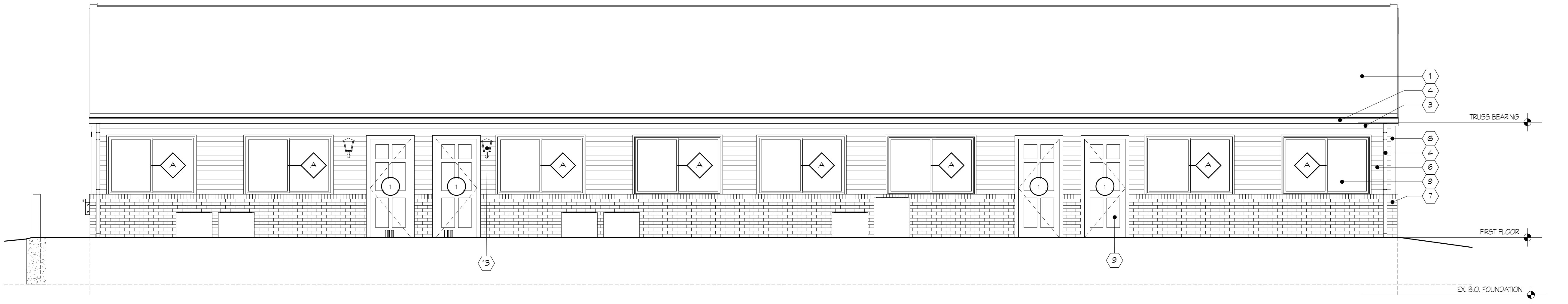


4 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"

3 FRONT (WYOMING AVE.) ELEVATION
A.201 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"



5 SIDE ELEVATION
A.201 SCALE: 1/4" = 1'-0"

- EXTERIOR ELEVATION FINISH SCHEDULE:** #
1. **SHINGLES:**
 - A. EXISTING ROOF SYSTEM, ROOF SHEATHING, FLASHING AND ROOF SHINGLES TO REMAIN. PROVIDE AND INSTALL A LAYER OF ASPHALT SHINGLES OVER THE EXISTING SHINGLES.
 2. **RIDGE VENT:**
 - A. ALL EXISTING VENTS TO BE REMOVED AND REPLACED, REFER TO OVERALL ROOF PLANS FOR ADDITIONAL INFORMATION.
 3. **FASCIA:**
 - A. EXISTING FASCIA BOARD TO REMAIN. REMOVE AND REPLACE EXISTING ALUMINUM WRAP WITH NEW ALUMINUM WRAP.
 - B. IF DAMAGED OR MISSING - MATCH EXISTING FASCIA BOARD SIZE AND WRAP WITH ALUMINUM WRAP.
 4. **GUTTER AND DOWNSPOUT:** REMOVE AND PROVIDE NEW GUTTER AND DOWNSPOUTS, REFER TO ROOF PLANS & WALL SECTIONS FOR ADDITIONAL INFORMATION.
 - A. REAR ELEVATION: NEW DOWNSPOUTS TO BE RE-LOCATED AND TIED INTO UNDERGROUND DRAINAGE SYSTEM.
 - B. FRONT ELEVATION: NEW DOWNSPOUTS TO BE LOCATED IN SIMILAR LOCATIONS AND TERMINATED ON NEW CONCRETE SPLASH BLOCKS.
 5. **SOFFIT:**
 - A. EXISTING DAMAGED SOFFITS TO BE REPLACED TO MATCH EXISTING SOFFIT.
 6. **TRIM BOARD:**
 - A. REPAIR ALL DAMAGED TRIM BOARDS.
 7. **SIDING:** CLEAN, PATCH, REPAIR AND PREPARE ALL EXTERIOR SIDING TO RECEIVE NEW PAINT.
 8. **MASONRY - BRICK:**
 - A. EXISTING BRICK TO REMAIN. PATCH AND REPLACE DETERIORATED BRICKS. NEW BRICKS MUST MATCH EXISTING BRICK SIZE, SHAPE AND COURSING. (ESTIMATE 5% PER BUILDING).
 - B. TUCK-POINTING TO MATCH EXISTING MORTAR TYPE, STRENGTH, COLOR AND HARDNESS. IT IS TO BE PERFORMED WHERE EXISTING MORTAR IS MISSING OR DETERIORATED. REMOVE DETERIORATED MORTAR BY CAREFULLY "HAND RAKING" THE JOINTS TO AVOID DAMAGING THE MASONRY. REMOVE AND REPLACE DETERIORATED OR MISSING MORTAR AT BUILDING EXTERIOR (ESTIMATE 100 LINEAL FEET PER BUILDING).
 - C. **CLEANING:** THE ENTIRE BRICK EXTERIOR OF THE BUILDING, TO BE CLEANED USING A NON-IONIC DETERGENT, NATURAL OR SYNTHETIC BRISTLE BRUSHES AND A LOW PRESSURE (UNDER 100 PSI) WATER WASH.
 - D. AFTER ALL REPAIRS ARE COMPLETED AND BRICK IS CLEAN, ALL BRICK AND MORTAR SHALL BE STAINED.
 9. **DOORS, WINDOWS AND STEEL LINTELS:**
 - A. REMOVE AND REPLACE ALL EXTERIOR DOORS AND WINDOWS. GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR AND WINDOW OPENING DIMENSIONS.
 - B. **GAPS:** SEAL ALL GAPS, SPACES, JOINTS, ETC. AT EXTERIOR OF EXISTING BUILDING ADJACENT TO NEW CONSTRUCTION.
 - C. **STEEL LINTELS:** IT IS ASSUMED THAT THE STEEL LINTELS ARE IN GOOD CONDITION. SCRAPE AND PAINT ALL EXISTING STEEL LINTELS WITH A ZINC RICH, RUST-INHIBITING COATING.
 - D. **DAMAGED LINTELS:** GENERAL CONTRACTOR TO INSPECT AND REPLACE ANY DAMAGED AND/OR DETERIORATED STEEL COMPONENTS. GENERAL CONTRACTOR TO PROVIDE AN ALLOWANCE TO COVER THE COST OF REPLACING 4 STEEL LINTELS.
 10. **FRONT ENTRY:**
 - A. **PORCH SLAB:** EXISTING CONCRETE ENTRY SLAB TO REMAIN. PATCH AND REPAIR ALL ALL DETERIORATED OR DAMAGED AREAS.
 11. **BUILDING ADDRESS SIGN:**
 - A. REMOVE AND REPLACE EXISTING BUILDING AND HOUSE SIGNAGE WITH NEW SIGNAGE.
 - B. VERIFY LOCATION IN FIELD.
 - C. REFER TO DETAIL A.201 FOR ADDITIONAL INFORMATION.
 12. **EXTERIOR LIGHT FIXTURE:**
 - A. EXISTING LIGHT FIXTURES TO BE REPLACED (U.N.O.), REFER TO ELECTRICAL PLANS (TYPICAL).
 13. **UTILITIES:**
 - A. EXISTING UTILITIES TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)
 - B. VERIFY LOCATION OF ALL UTILITIES BEFORE STARTING, REFER TO MECHANICAL AND ELECTRICAL PLANS.
 - C. A/C CONDENSER WITH PRE-CAST CONCRETE PAD. COORDINATE PAD SIZE WITH CONDENSING UNIT. SEE MECHANICAL DRAWINGS.
 14. **EXHAUST AND VENTS:**
 - A. EXISTING EXHAUST PIPES, DUCTS AND VENTS TO REMAIN, ADJUST CLEARANCES AS NEEDED TO AVOID ANY NEW CONSTRUCTION TYP. (U.N.O.)

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KEY PLAN

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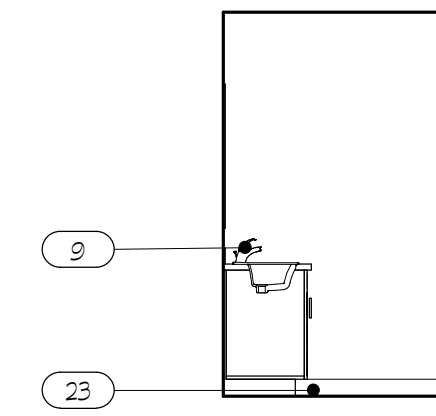
EXTERIOR ELEVATIONS

DRAWING NUMBER

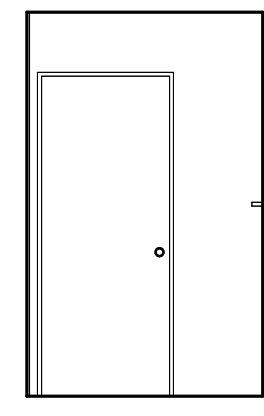
A.201

PRELIMINARY
NOT FOR CONSTRUCTION

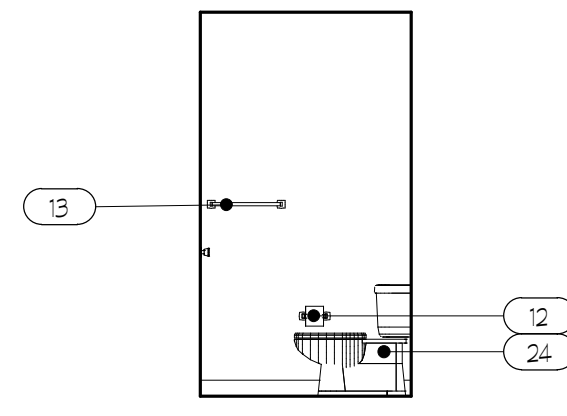
- UNIT KEYNOTES:** (X)
- KITCHENS:**
1. SINK AND FAUCET WITH DISPOSAL
 2. COUNTERTOP WITH 4" SIDE AND BACKPLASH
 3. FILLER
 4. DISHWASHER
 5. RANGE
 6. GREASE SHIELD
 7. REFRIGERATOR
 8. MICROWAVE WITH VENTING (OR EXHAUST HOOD, TBD)
- BATHROOMS:**
9. VANITY WITH LAVATORY AND FAUCET.
 10. 24"X 36" MIRROR
 11. SURFACE MOUNTED MEDICINE CABINET
 12. TOILET PAPER HOLDER
 13. 24" TOWEL BAR
 14. 18" GRAB BAR
 15. 24" GRAB BAR
 16. 36" GRAB BAR
 17. 42" GRAB BAR
 18. ROBE HOOK (S)
 19. EXISTING TILE SURROUNDS TO BE REPAIRED.
 20. SHOWER DRAINS.
 21. SHOWER CONTROLS.
 22. COUNTERTOP (PLASTIC LAMINATE OR SOLID SURFACE - T.B.D.)
 23. BASE (KITCHEN AND BATH)
 24. WATER CLOSET (REPLACE ONLY IF DAMAGED OR NOT FUNCTIONING PROPERLY)



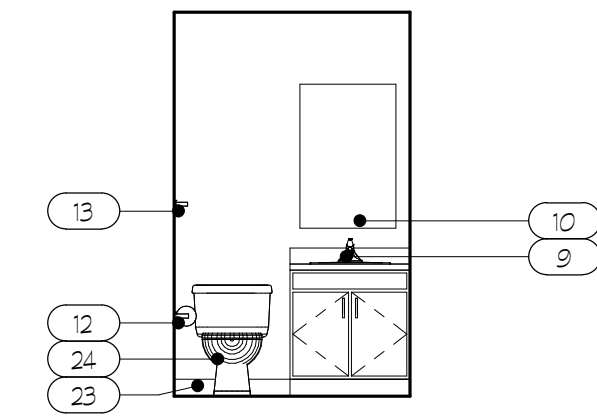
HALF BATH @ 3 BEDROOMS
20 A.501 SCALE: 1/4"=1'-0"



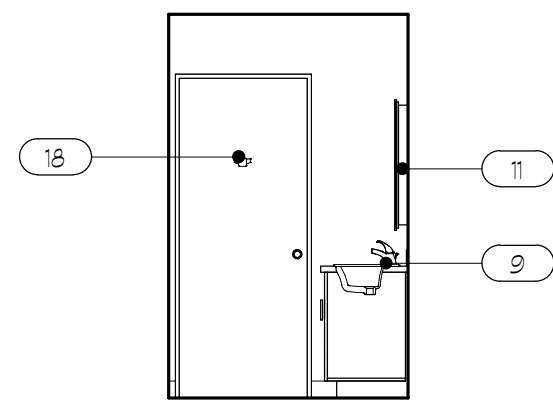
HALF BATH @ 3 BEDROOMS
19 A.501 SCALE: 1/4"=1'-0"



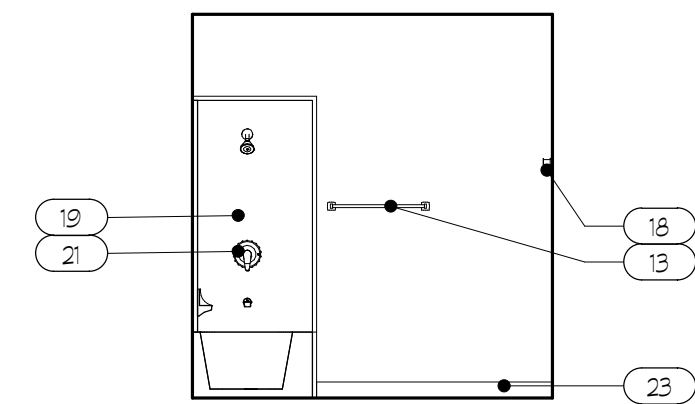
HALF BATH @ 3 BEDROOMS
18 A.501 SCALE: 1/4"=1'-0"



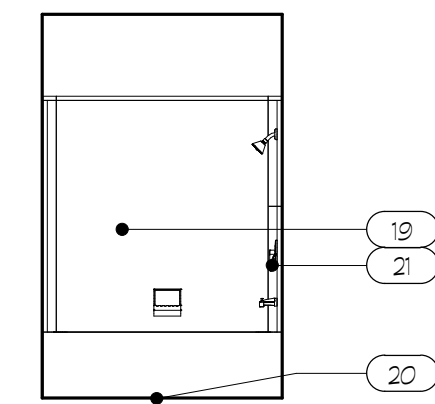
HALF BATH @ 3 BEDROOMS
17 A.501 SCALE: 1/4"=1'-0"



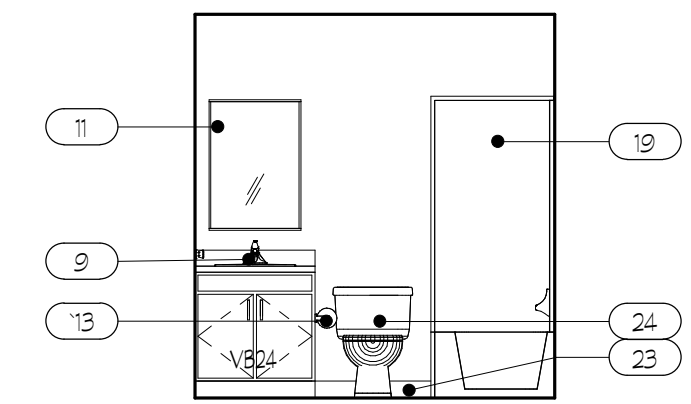
BATHROOM AT 2 AND 3 BEDROOM
16 A.501 SCALE: 1/4"=1'-0"



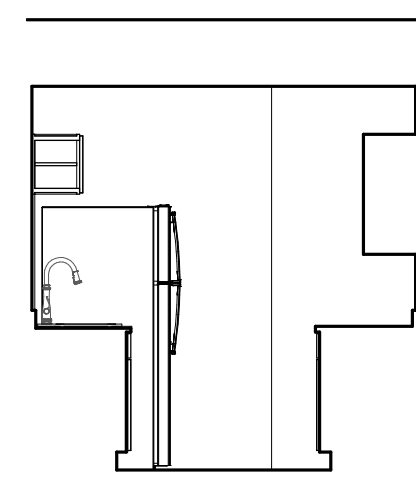
BATHROOM AT 2 AND 3 BEDROOM
15 A.501 SCALE: 1/4"=1'-0"



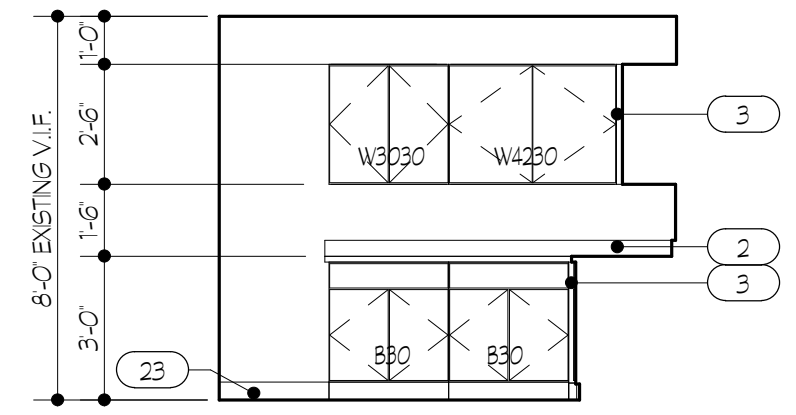
BATHROOM AT 2 AND 3 BEDROOM
14 A.501 SCALE: 1/4"=1'-0"



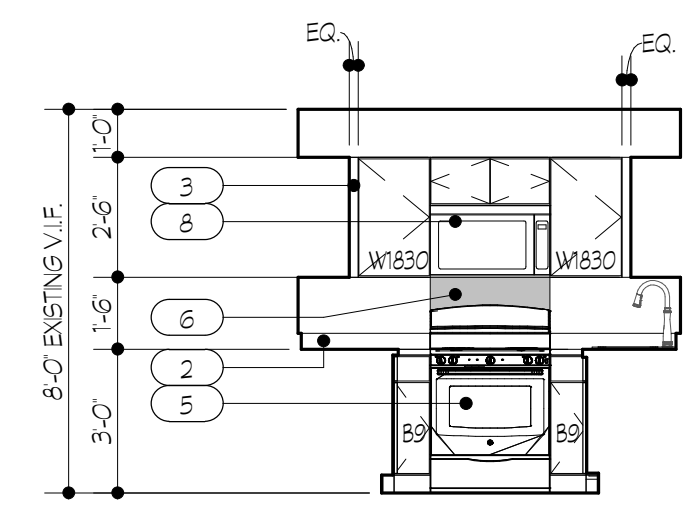
BATHROOM AT 2 AND 3 BEDROOM
13 A.501 SCALE: 1/4"=1'-0"



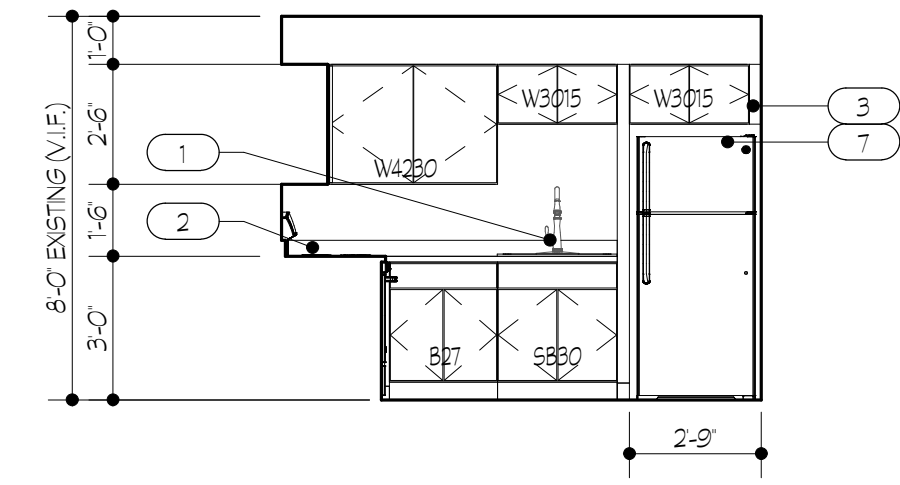
KITCHEN @ 3 BEDROOM
12 A.501 SCALE: 1/4"=1'-0"



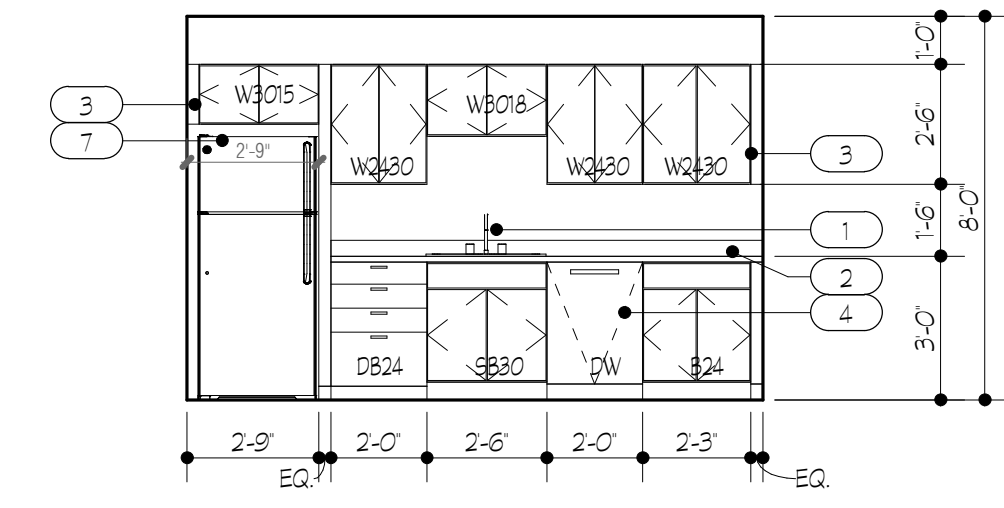
KITCHEN @ 3 BEDROOM
11 A.501 SCALE: 1/4"=1'-0"



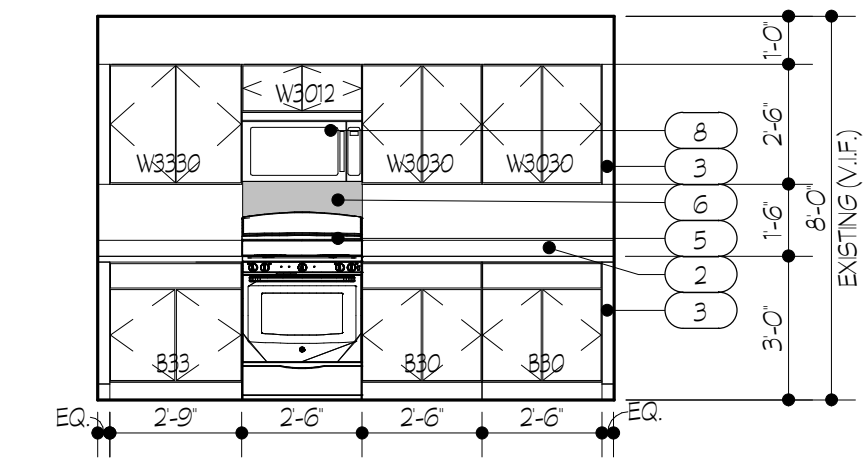
KITCHEN @ 3 BEDROOM
10 A.501 SCALE: 1/4"=1'-0"



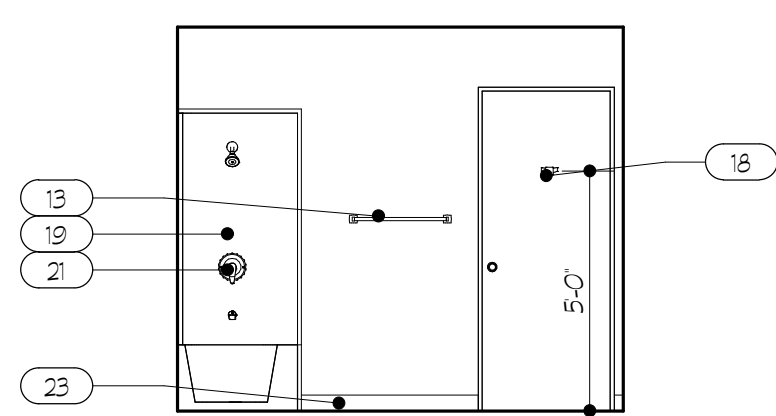
KITCHEN @ 3 BEDROOM
9 A.501 SCALE: 1/4"=1'-0"



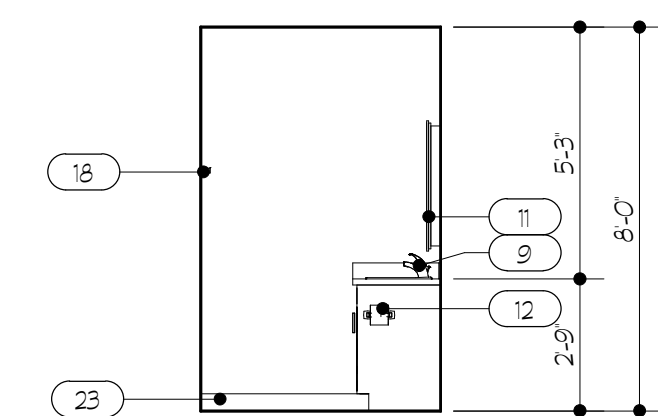
KITCHEN @ 2-BEDROOMS
8 A.501 SCALE: 1/4"=1'-0"



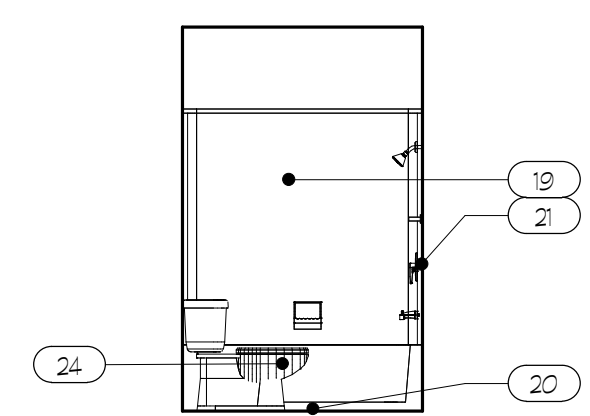
KITCHEN @ 2-BEDROOMS
7 A.501 SCALE: 1/4"=1'-0"



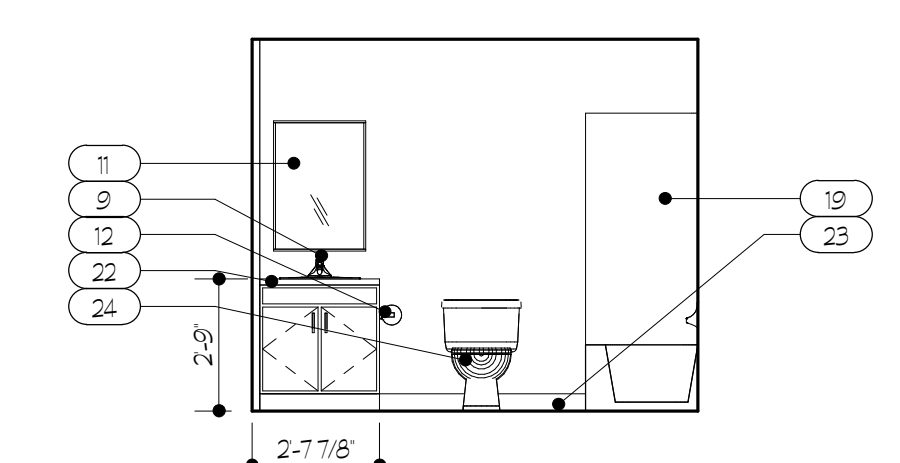
BATHROOM @ STUDIO (TYP.)
6 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108



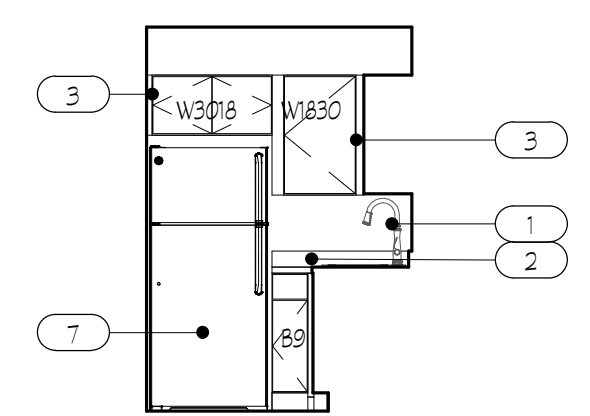
BATHROOM @ STUDIO (TYP.)
5 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108



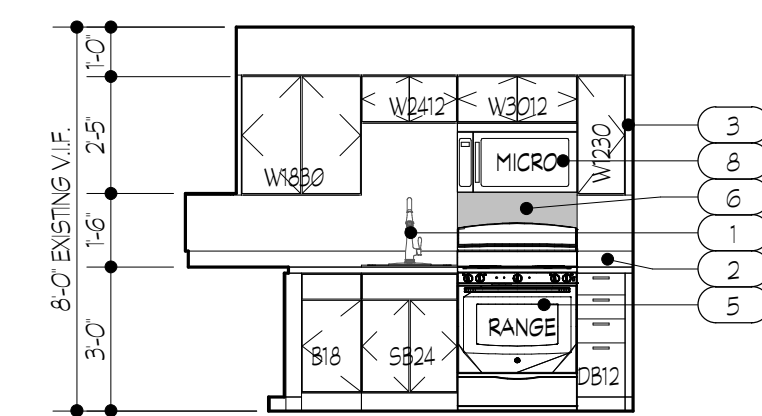
BATHROOM @ STUDIO (TYP.)
4 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108



BATHROOM @ STUDIO (TYP.)
3 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108



KITCHEN @ STUDIO
2 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108



KITCHEN @ STUDIO
1 A.501 SCALE: 1/4"=1'-0"
STUDIOS 101, 103, 106 AND 108

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KEY PLAN

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DRAWING TITLE

INTERIOR ELEVATIONS

DRAWING NUMBER

A.501

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NOT FOR CONSTRUCTION



FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

SCOPE OF WORK MEMORANDUM

DATE: April 17, 2023

PROJECT: Buersmeyer Manor,
8520 Wyoming Ave, Detroit, MI

FROM: Dan Haezebrouck Fusco Shaffer & Pappas, Inc.

TO: Andrew Gilroy Coalition On Temporary Shelter (COTS)
Joe Heaphy Ethos Development Partners (EDP)
Calvin Jackson KMG Prestige (KMG)
Dan Haezebrouck Fusco, Shaffer, & Pappas (FSP)
Nick Schweer Fusco, Shaffer, & Pappas (FSP)

Project Data

Applicable Codes and Standards

- 2015 Michigan Rehabilitation Code for Existing Buildings
- 2015 Michigan Mechanical Code
- 2015 Michigan Plumbing Code
- 2014 National Electric Code incorporating the 2104 NEC w/2014 Michigan Part 8 Rules
- 2009 Michigan Uniform Energy Code with Part 10 Amendments
- 2013 ASHRAE 90.1
- 2009 ICC/ANSI 117.1
- 2010 ADA Standards for Accessible Design and UFAS 1984 as applicable
- Fire Suppression: NFPA 13R
- Fire Alarm: NFPA 72
- MSHDA Green Policy
- MSHDA Standards of Design - 2017

SCOPE OF WORK

Project Narrative

This project consists of the renovation of 6 buildings with 35 housing units and 1 building containing a community space and offices, originally a 9% LIHTC coming out of the 15 year compliance period. Project will seek 4% LIHTC Funding. 4% funding requires the following of MSHDA design guideline for rehabilitation. Proposed buildings would fall under a Level 1 renovation according to the Michigan Rehabilitation Code.

FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

Detroit, MI.
April 17, 2023
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Project Data

Zoning	Existing
Site Area	Existing
Parking	47 spaces
Building Height	1 and 2 story
Building Area	
Total Gross:	TBD
Construction Date	Last renovated 2004

Documented Units

Existing Unit Mix

Studio	4
1-Bedroom	10
2-Bedroom	9
<u>3-Bedroom</u>	<u>12</u>
	Total: 35

Site -

1. Mill and cap existing asphalt parking lot, restripe parking spaces, replace curbs.
2. Mill and cap existing asphalt parking lot, restripe parking spaces, and replace curbs for alley.
3. Sidewalks – Repair / Replace sidewalks with 4” thick 4000 psi concrete as needed. Allow 15% replacement for on-site and right of way.
4. Replace existing decorative fence.
5. Landscaping – Provide allowance of \$50,000 to trim, weed and replace existing damaged landscaping and edging.
 - a. Repair areas disturbed by paving operations.
 - b. Repair irrigation system as needed
6. Replace existing parking bollards.
7. Provide allowance to replace 25 parking stops.
8. Replace existing dumpster enclosure and gate with similar fencing
9. Provide thickened concrete at dumpster enclosure.

Building Exterior -

1. Clean all existing exterior components of the building using measures appropriate to the material being cleaned.
2. Tuck point 10% of existing brick.
3. Provide allowance to repair damaged siding.
4. Replace damaged and/or discolored soffit material.

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ARCHITECTS AND PLANNERS

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5. Repair damaged trim board.
6. Paint exterior finishes.
7. Repair and paint exterior stairs.
8. Seal coat existing concrete floor at exterior stairs.
 - a. Review stairs for structural integrity.
 - b. Review for drainage. Add gutter and downspouts to exterior landings.
9. Replace existing fabric canopies at exterior stairs.
10. Replace existing roof system, roof sheathing, flashing, and components, gutters, and downspouts. Provide and install asphalt shingles over felt paper and ice and water shield, complete with all flashing, metal edging, and components.
11. Flat Roof - remove existing roof system, roof sheathing, flashing, and components. Provide and install membrane roofing over protection board over rigid insulation, complete with all flashing, metal edging, and components.
 - a. Confirm and reinforce roof structure as required
 - b. Replace gutter and downspout
12. Remove and replace all windows, stools, jambs and trim.
13. Replace exterior doors, frames, and hardware provide interlocking hardware.
14. Clean out window well, and replace well covers where needed.
15. Replace exterior exhaust vents.
16. Repair / replace windows at stair wells, reseal as required.

Building Interior -

1. Provide new window treatments, (blinds/ shades).
2. Replace laundry equipment.
3. All walls and frames and doors to receive paint.
4. Replace General
 - a. Replace all flooring and trim with vinyl plank and wood trim.
5. Stairwells –
 - a. Remove and replace all handrails and railings.
6. Corridors– All new finishes; flooring, walls, ceiling.
7. Kitchen:
 - a. Remove and replace all appliances with energy star rated appliances.
 - b. Remove and replace cabinetry and plastic laminate countertop.
 - a. Provide alternate for solid surface countertops.
8. Bathroom:
 - a. Replace medicine cabinets, mirrors, towel bar, grab bars, toilet paper holder and accessories.
 - a. Provide robe hooks.
9. Replace/update intercom system.

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10. Waterproof basement as needed.

Community Building-

1. Remove and replace all flooring.
2. Remove and replace all existing furniture.
3. Repair / clean existing tile.
4. Paint walls and ceiling.
5. Replace acoustic ceiling tiles/ repair existing grid.
6. Laundry equipment is rented – review connections and drains replace as needed.
7. Kitchen:
 - a. Replace all appliances with energy star rated appliances.
 - b. Remove and replace cabinetry and plastic laminate countertop.
 - i. Provide alternate for solid surface countertops.
8. Replace existing mailboxes.

MEP -

1. Site Lighting – Replace/Provide New exterior fixtures for parking lot and sidewalks. as required with new LED fixtures.
2. Remove and replace air conditioner units.
 - a. Reuse existing air conditioning security covers and pads.
3. Remove and replace furnace.
4. Remove and replace water heater.
5. Remove and replace all lighting with LED fixtures.
 - a. Remove all wall mounted light fixtures and repair wall upon removal.
6. Replace all electrical devices and cover plates.
7. Provide and Install wayfinding signage at common areas.
8. Investigate all piping. Repair and/or replace as required.
 - a. Televiser all storm and sanitary drains
9. Kitchen:
 - a. Remove and replace garbage disposals.
 - b. Remove and replace exhaust hoods.
 - c. Remove and replace sinks, faucets, angle stops, valves and drain (supply plumbing).
10. Bathrooms:
 - a. Remove and replace bathroom vanities, lavatories, faucets, angle stops, valves and drain (supply plumbing).
 - b. Provide alternate to replace water closets.
 - c. Repair and replace damaged fixtures. Replace water lines and shutoffs and escutcheons.

FUSCO, SHAFFER & PAPPAS, INC.
ARCHITECTS AND PLANNERS

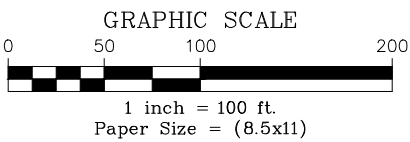
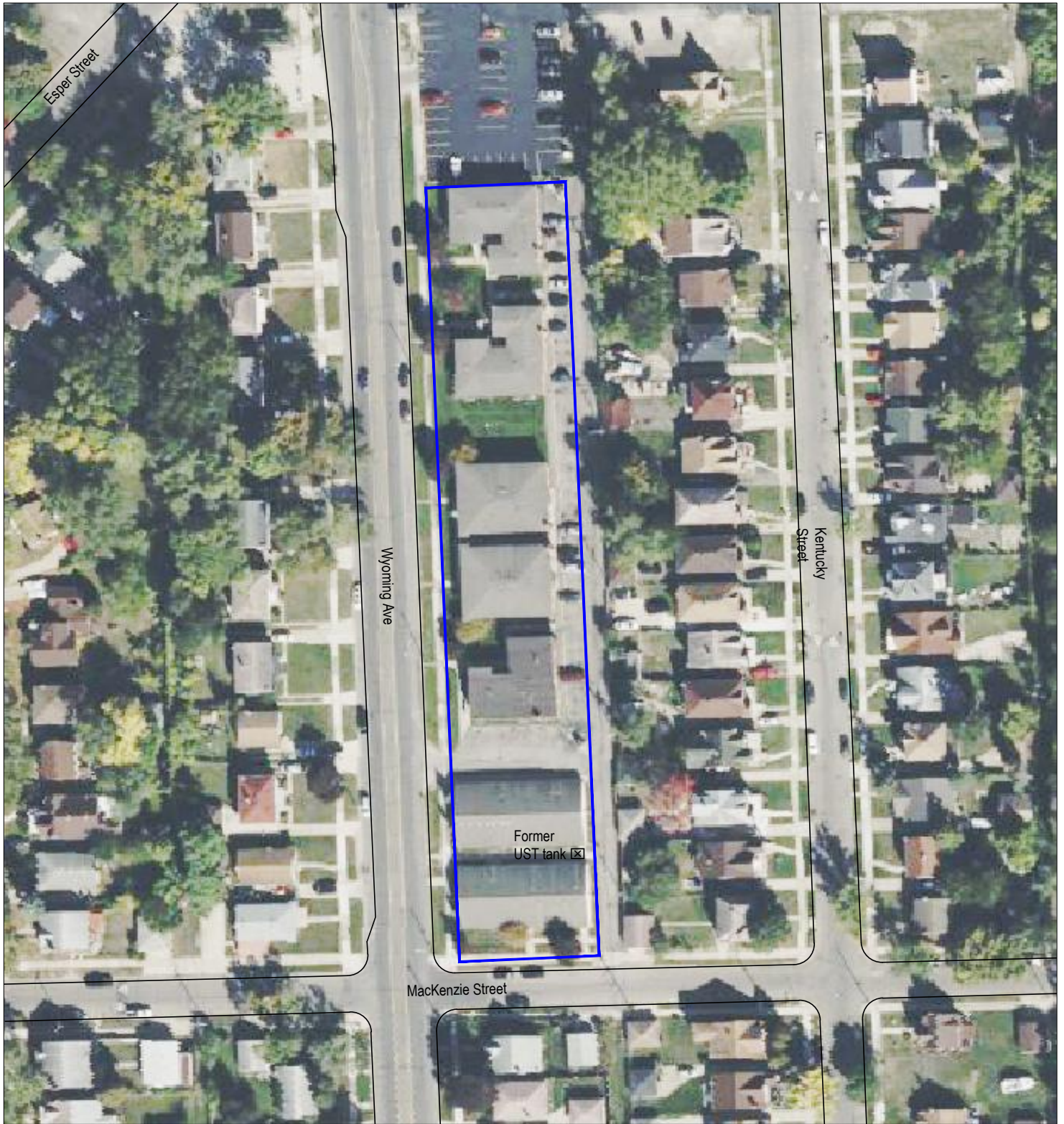
Detroit, MI.
April 17, 2023
Page 5 of 5

- d. Bathtubs
 - i. existing tubs to remain.
 - ii. Repair existing tile surrounds.
 - iii. Replace all drains and controls.
- e. Replace exhaust fans and vents.

Structural –

1. Repair bowing of basement stair wall.
2. Repair cracks of basement stair wall.
3. Investigate structural integrity of roof system, as needed.

Y:\Project Files\Current and Closed\12000-12899\12700-12799\12757 - 8520 Wyoming, Detroit\CAD\12757.dwg, 4/25/2023 8:18 AM



LEGEND

— Property Line



Buersmeyer Manor
8520 Wyoming Avenue

Detroit, MI



Client: COTS

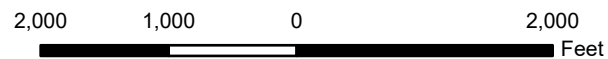
ASTI Project 1-12757, JRN, April 25, 2023

Site Features Map



Buersmeyer Manor

8520 Wyoming Avenue,
Detroit, MI



Created for: COTS
Created by: RMH, April 26, 2023, ASTI Project 1-12757

Site Location Map



WATER LEVEL

10ft

9ft

8ft

7ft

6ft

5ft

4ft

3ft

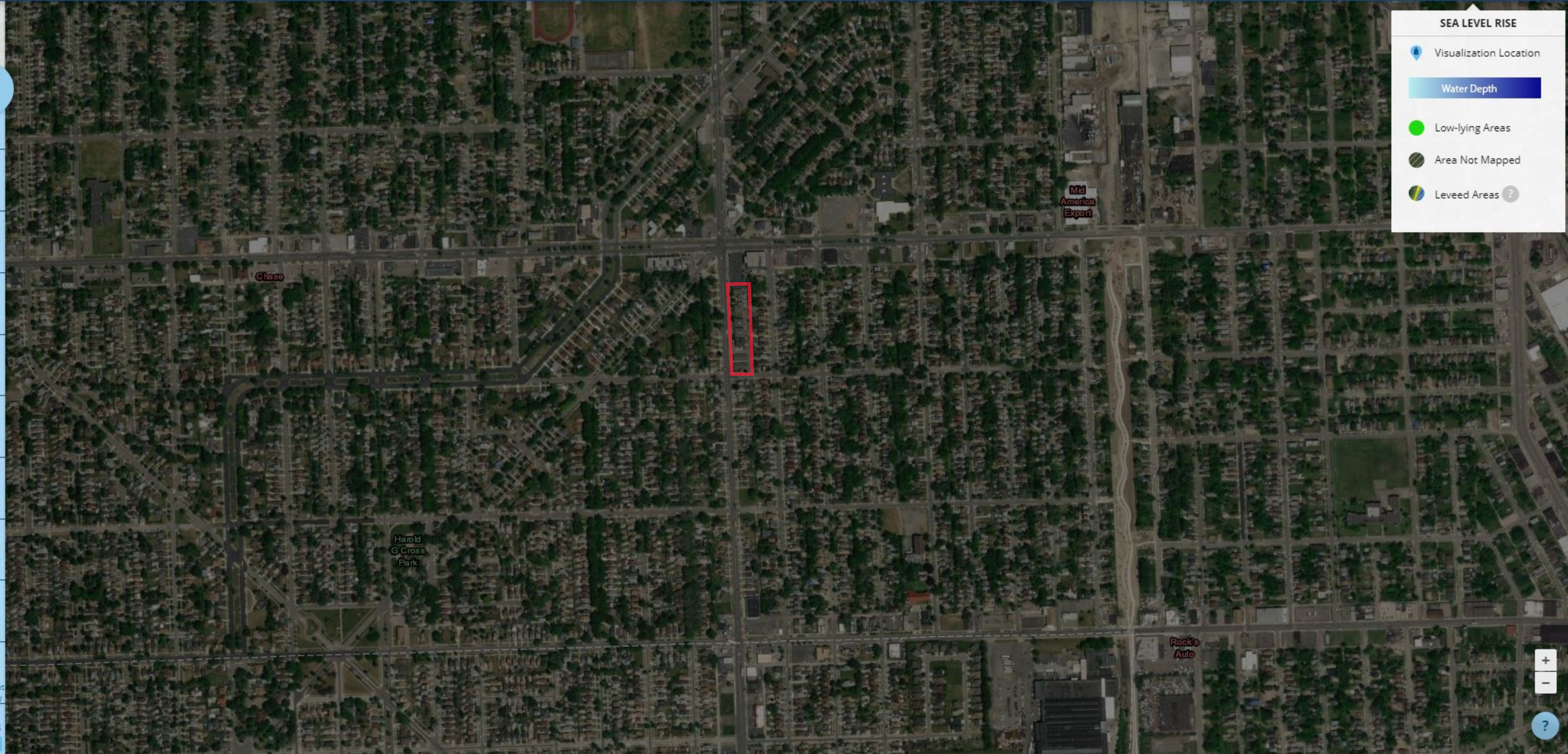
2ft

1ft

Current MHHW

UNITS

- Sea Level Rise
- Local Scenarios
- Mapping Confidence
- Marsh Migration
- Vulnerability
- High Tide Flooding



SEA LEVEL RISE

- Visualization Location
- Water Depth
- Low-lying Areas
- Area Not Mapped
- Leveled Areas



Detroit, MI

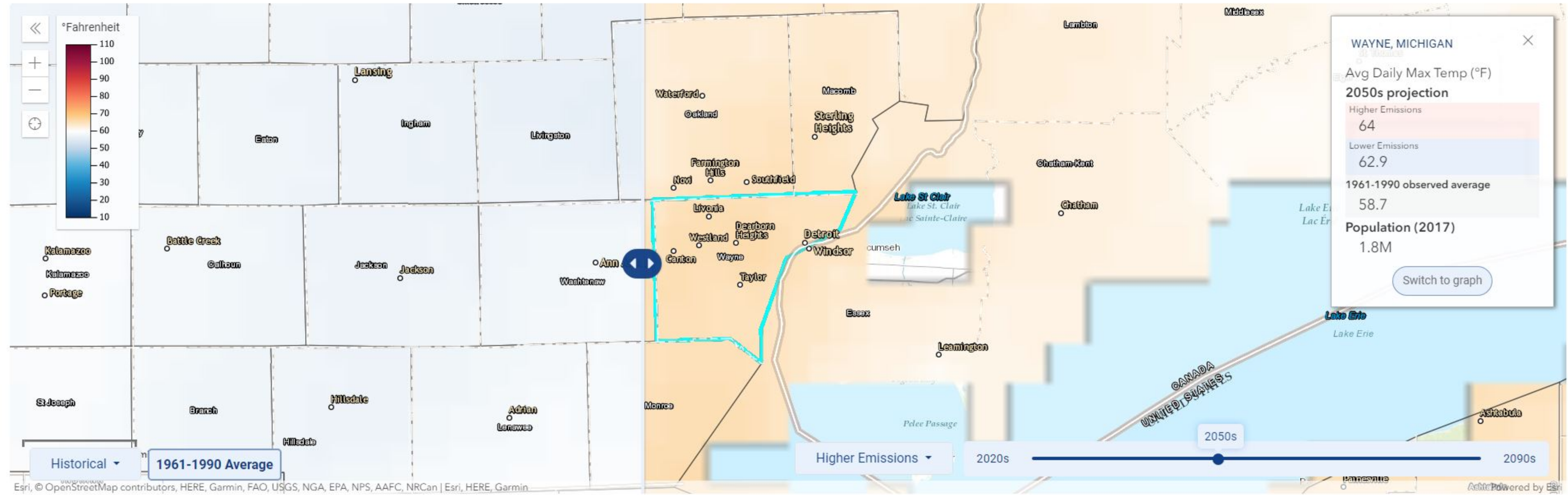
Stations

Wayne County - Average Daily Maximum Temp (°F)

Average Daily Maximum Temp (°F)

Graph **Map** Annual Spring Summer Fall Winter

Downloads



Detroit, MI

Stations

Wayne County - Average Daily Maximum Temp (°F)

Average Daily Maximum Temperature (°F)

Graph

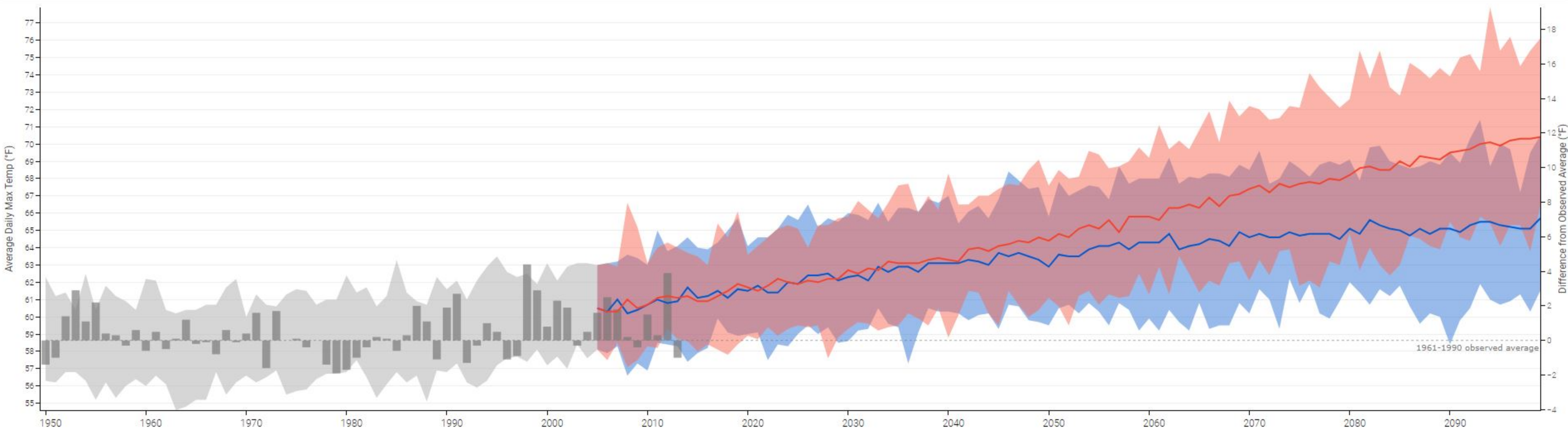
Map

Annual

Monthly

Downloads

About



Observations
Modeled History
Lower Emissions
Higher Emissions

National Risk Index



January 04, 2024

Wayne County, Michigan

Summary

Risk Index is **Relatively High**



Expected Annual Loss is **Relatively High**



Social Vulnerability is **Very High**



Community Resilience is **Relatively Moderate**

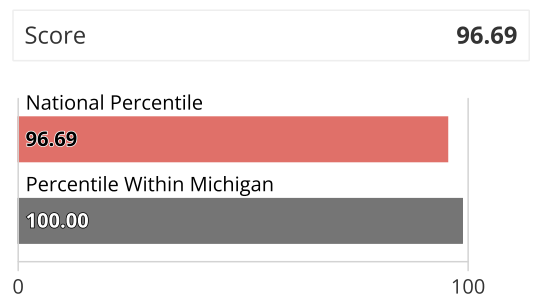


While reviewing this report, keep in mind that low risk is driven by lower loss due to natural hazards, lower social vulnerability, and higher community resilience.

For more information about the National Risk Index, its data, and how to interpret the information it provides, please review the **About the National Risk Index** and **How to Take Action** sections at the end of this report. Or, visit the National Risk Index website at hazards.fema.gov/nri/learn-more to access supporting documentation and links.

Risk Index

The Risk Index rating is **Relatively High** for **Wayne County, MI** when compared to the rest of the U.S.


















97% of U.S. counties have a lower Risk Index
100% of counties in Michigan have a lower Risk Index

Risk Index Legend

- Very High
- Relatively High
- Relatively Moderate
- Relatively Low
- Very Low
- No Rating
- Not Applicable
- Insufficient Data

Hazard Type Risk Index

Hazard type Risk Index scores are calculated using data for only a single hazard type, and reflect a community's Expected Annual Loss value, community risk factors, and the adjustment factor used to calculate the risk value.

Hazard Type	Risk Index Rating	Risk Index Score	National Percentile
Avalanche	Not Applicable	--	
Coastal Flooding	Relatively Low	63.9	0  100
Cold Wave	Very High	99.9	0  100
Drought	No Expected Annual Losses	0	0  100
Earthquake	Relatively Low	87.2	0  100
Hail	Relatively Low	53.9	0  100
Heat Wave	Relatively High	99.5	0  100
Hurricane	Relatively Low	62.6	0  100
Ice Storm	Relatively Moderate	82.3	0  100
Landslide	Relatively Moderate	85.2	0  100
Lightning	Very High	98.1	0  100
Riverine Flooding	Very High	99.5	0  100
Strong Wind	Very High	99.8	0  100
Tornado	Very High	99.1	0  100
Tsunami	Insufficient Data	--	
Volcanic Activity	Not Applicable	--	
Wildfire	Relatively Low	66.9	0  100
Winter Weather	Relatively High	86.4	0  100

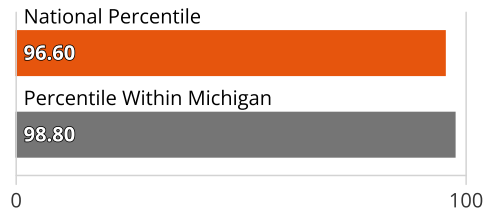
Risk Factor Breakdown

Hazard Type	EAL Value	Social Vulnerability	Community Resilience	CRF	Risk Value	Risk Index Score
Riverine Flooding	\$45,776,220	Very High	Relatively Moderate	1.17	\$51,213,805	99.5
Tornado	\$39,003,027	Very High	Relatively Moderate	1.17	\$46,272,409	99.2
Heat Wave	\$15,206,700	Very High	Relatively Moderate	1.17	\$18,284,942	99.4
Strong Wind	\$14,474,540	Very High	Relatively Moderate	1.17	\$17,081,580	99.9
Cold Wave	\$9,723,972	Very High	Relatively Moderate	1.17	\$11,692,544	99.9
Earthquake	\$2,336,822	Very High	Relatively Moderate	1.17	\$2,808,325	89.1
Lightning	\$2,063,005	Very High	Relatively Moderate	1.17	\$2,471,431	98.7
Hurricane	\$632,187	Very High	Relatively Moderate	1.17	\$745,686	64.2
Coastal Flooding	\$343,167	Very High	Relatively Moderate	1.17	\$389,707	62.2
Ice Storm	\$293,182	Very High	Relatively Moderate	1.17	\$348,278	82.8
Winter Weather	\$255,771	Very High	Relatively Moderate	1.17	\$301,900	86.3
Landslide	\$122,400	Very High	Relatively Moderate	1.17	\$132,535	83.9
Hail	\$104,135	Very High	Relatively Moderate	1.17	\$124,082	53
Wildfire	\$121,792	Very High	Relatively Moderate	1.17	\$122,134	65.5
Drought	\$0	Very High	Relatively Moderate	1.17	\$0	0
Avalanche	--	Very High	Relatively Moderate	1.17	--	--
Tsunami	--	Very High	Relatively Moderate	1.17	--	--
Volcanic Activity	--	Very High	Relatively Moderate	1.17	--	--

Expected Annual Loss

In **Wayne County, MI**, expected loss each year due to natural hazards is **Relatively High** when compared to the rest of the U.S.

Score **96.6**



97% of U.S. counties have a lower Expected Annual Loss

99% of counties in Michigan have a lower Expected Annual Loss

Expected Annual Loss Legend

- Very High
- Relatively High
- Relatively Moderate
- Relatively Low
- Very Low
- No Expected Annual Losses
- Not Applicable
- Insufficient Data

Composite Expected Annual Loss **\$130,456,920.37**

Composite Expected Annual Loss Rate National Percentile **11.5**

Building EAL	\$66,046,737.90	Population EAL	5.55 fatalities
Building EAL Rate	\$1 per \$4.81K of building value	Population EAL Rate	1 per 323.20K people
Agriculture EAL	\$74,464.71	Population Equivalence EAL	\$64,335,717.75
Agriculture EAL Rate	\$1 per \$356.28 of agriculture value		

Expected Annual Loss for Hazard Types

Expected Annual Loss scores for hazard types are calculated using data for only a single hazard type, and reflect a community's relative expected annual loss for only that hazard type.

15 of 18 hazard types contribute to the expected annual loss for **Wayne County, MI**.

Hazard Type	Expected Annual Loss Rating	EAL Value	Score
Riverine Flooding	Very High	\$45,776,220	99.5
Tornado	Very High	\$39,003,027	99.1

Hazard Type	Expected Annual Loss Rating	EAL Value	Score
Heat Wave	Relatively High	\$15,206,700	99.5
Strong Wind	Very High	\$14,474,540	99.8
Cold Wave	Very High	\$9,723,972	99.9
Earthquake	Relatively Low	\$2,336,822	87.2
Lightning	Very High	\$2,063,005	98.1
Hurricane	Relatively Low	\$632,187	62.6
Coastal Flooding	Relatively Low	\$343,167	63.9
Ice Storm	Relatively Moderate	\$293,182	82.3
Winter Weather	Relatively High	\$255,771	86.4
Landslide	Relatively Moderate	\$122,400	85.2
Wildfire	Relatively Low	\$121,792	66.9
Hail	Relatively Low	\$104,135	53.9
Drought	No Expected Annual Losses	\$0	0.0
Avalanche	Not Applicable	--	--
Tsunami	Insufficient Data	--	--
Volcanic Activity	Not Applicable	--	--

Expected Annual Loss Values

Hazard Type	Total	Building Value	Population Equivalence	Population	Agriculture Value
Avalanche	--	--	--	--	--
Coastal Flooding	\$343,167	\$340,886	\$2,281	0.00	n/a
Cold Wave	\$9,723,972	\$917	\$9,722,961	0.84	\$95
Drought	\$0	n/a	n/a	n/a	\$0
Earthquake	\$2,336,822	\$1,822,753	\$514,069	0.04	n/a
Hail	\$104,135	\$630	\$103,344	0.01	\$161
Heat Wave	\$15,206,700	\$454	\$15,204,614	1.31	\$1,633
Hurricane	\$632,187	\$629,594	\$2,213	0.00	\$380
Ice Storm	\$293,182	\$256,725	\$36,458	0.00	n/a
Landslide	\$122,400	\$105,000	\$17,400	0.00	n/a
Lightning	\$2,063,005	\$54,164	\$2,008,841	0.17	n/a
Riverine Flooding	\$45,776,220	\$34,851,340	\$10,853,314	0.94	\$71,566

Hazard Type	Total	Building Value	Population Equivalence	Population	Agriculture Value
Strong Wind	\$14,474,540	\$8,702,262	\$5,771,920	0.50	\$359
Tornado	\$39,003,027	\$18,941,673	\$20,061,161	1.73	\$194
Tsunami	n/a	n/a	n/a	n/a	n/a
Volcanic Activity	--	--	--	--	--
Wildfire	\$121,792	\$111,608	\$10,182	0.00	\$2
Winter Weather	\$255,771	\$228,734	\$26,961	0.00	\$76

Exposure Values

Hazard Type	Total	Building Value	Population Equivalence	Population	Agriculture Value
Avalanche	--	--	--	--	--
Coastal Flooding	\$133,082,442,357	\$2,381,391,904	\$130,701,050,453	11,267.33	n/a
Cold Wave	\$21,111,085,227,410	\$317,490,691,843	\$20,793,568,004,964	1,792,548.97	\$26,530,603
Drought	\$0	n/a	n/a	n/a	\$0
Earthquake	\$21,122,792,681,000	\$317,485,081,000	\$20,805,307,600,000	1,793,561.00	n/a
Hail	\$21,111,085,626,233	\$317,490,695,630	\$20,793,568,400,000	1,792,549.00	\$26,530,603
Heat Wave	\$21,111,085,227,410	\$317,490,691,843	\$20,793,568,004,964	1,792,548.97	\$26,530,603
Hurricane	\$21,082,773,744,465	\$317,227,162,061	\$20,765,520,051,800	1,790,131.04	\$26,530,603
Ice Storm	\$21,110,277,410,905	\$317,476,534,553	\$20,792,800,876,352	1,792,482.83	n/a
Landslide	\$473,220,150,895	\$12,642,166,181	\$460,577,984,714	39,705.00	n/a
Lightning	\$21,111,059,095,630	\$317,490,695,630	\$20,793,568,400,000	1,792,549.00	n/a
Riverine Flooding	\$473,310,608,670	\$6,116,553,936	\$467,191,252,270	40,275.11	\$2,802,463
Strong Wind	\$21,111,085,626,233	\$317,490,695,630	\$20,793,568,400,000	1,792,549.00	\$26,530,603
Tornado	\$21,111,085,626,233	\$317,490,695,630	\$20,793,568,400,000	1,792,549.00	\$26,530,603
Tsunami	n/a	n/a	n/a	n/a	n/a
Volcanic Activity	--	--	--	--	--
Wildfire	\$1,712,692,299,570	\$27,902,120,261	\$1,684,777,294,662	145,239.42	\$12,884,647
Winter Weather	\$21,111,085,227,410	\$317,490,691,843	\$20,793,568,004,964	1,792,548.97	\$26,530,603

Annualized Frequency Values

Hazard Type	Annualized Frequency	Events on Record	Period of Record
Avalanche	--	--	--

Hazard Type	Annualized Frequency	Events on Record	Period of Record
Coastal Flooding	0 events per year	n/a	Various (see documentation)
Cold Wave	0.6 events per year	9	2005-2021 (16 years)
Drought	0 events per year	0	2000-2021 (22 years)
Earthquake	0.029% chance per year	n/a	2021 dataset
Hail	3.1 events per year	100	1986-2021 (34 years)
Heat Wave	1.1 events per year	18	2005-2021 (16 years)
Hurricane	0 events per year	2	East 1851-2021 (171 years) / West 1949-2021 (73 years)
Ice Storm	1.9 events per year	120	1946-2014 (67 years)
Landslide	0 events per year	0	2010-2021 (12 years)
Lightning	46.1 events per year	943	1991-2012 (22 years)
Riverine Flooding	2.5 events per year	61	1996-2019 (24 years)
Strong Wind	5.4 events per year	171	1986-2021 (34 years)
Tornado	0.2 events per year	23	1950-2021 (72 years)
Tsunami	n/a	n/a	1800-2021 (222 years)
Volcanic Activity	--	--	--
Wildfire	Less than 0.001% chance per year	n/a	2021 dataset
Winter Weather	2.5 events per year	40	2005-2021 (16 years)

Historic Loss Ratios

Hazard Type	Overall Rating
Avalanche	--
Coastal Flooding	Relatively Moderate
Cold Wave	Very Low
Drought	No Rating
Earthquake	Very Low
Hail	Very Low
Heat Wave	Relatively Low
Hurricane	Very Low
Ice Storm	Very Low
Landslide	Very Low
Lightning	Very Low

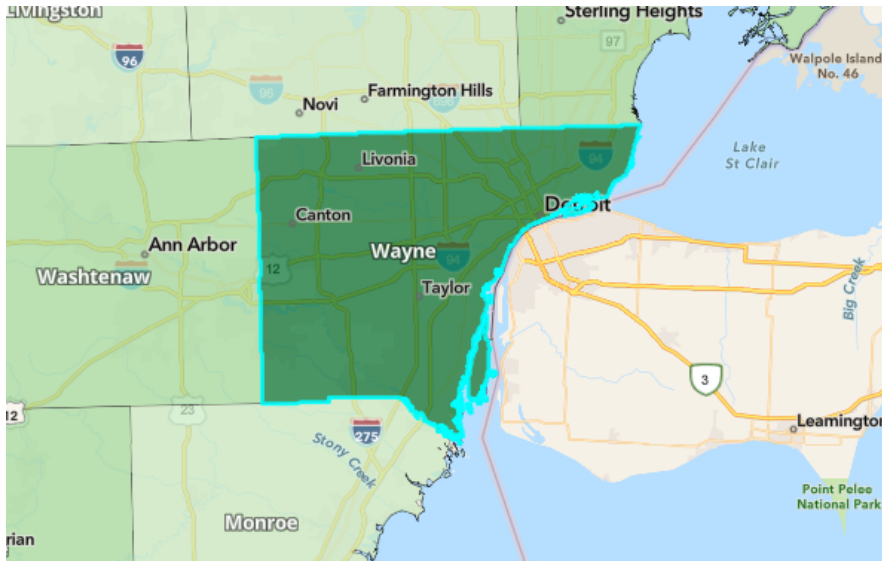
Hazard Type	Overall Rating
Riverine Flooding	Very Low
Strong Wind	Very Low
Tornado	Relatively Low
Tsunami	Insufficient Data
Volcanic Activity	--
Wildfire	Relatively Low
Winter Weather	Very Low

Expected Annual Loss Rate

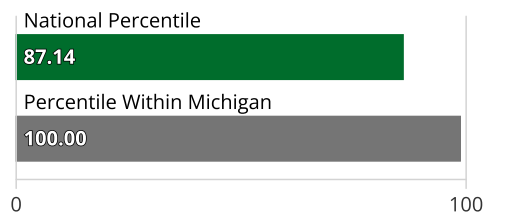
Hazard Type	Building EAL Rate (per building value)	Population EAL Rate (per population)	Agriculture EAL Rate (per agriculture value)
Avalanche	--	--	--
Coastal Flooding	\$1 per \$931.37K	1 per 9.11B	--
Cold Wave	\$1 per \$346.39M	1 per 2.14M	\$1 per \$279.19K
Drought	--	--	--
Earthquake	\$1 per \$174.18K	1 per 40.45M	--
Hail	\$1 per \$503.94M	1 per 201.21M	\$1 per \$164.60K
Heat Wave	\$1 per \$699.86M	1 per 1.37M	\$1 per \$16.25K
Hurricane	\$1 per \$504.28K	1 per 9.40B	\$1 per \$69.85K
Ice Storm	\$1 per \$1.24M	1 per 570.35M	--
Landslide	\$1 per \$3.02M	1 per 1.20B	--
Lightning	\$1 per \$5.86M	1 per 10.35M	--
Riverine Flooding	\$1 per \$9.11K	1 per 1.92M	\$1 per \$370.72
Strong Wind	\$1 per \$36.48K	1 per 3.60M	\$1 per \$73.98K
Tornado	\$1 per \$16.76K	1 per 1.04M	\$1 per \$137.08K
Tsunami	--	--	--
Volcanic Activity	--	--	--
Wildfire	\$1 per \$2.84M	1 per 2.04B	\$1 per \$15.16M
Winter Weather	\$1 per \$1.39M	1 per 771.26M	\$1 per \$348.83K

Social Vulnerability

Social groups in **Wayne County, MI** have a **Very High** susceptibility to the adverse impacts of natural hazards when compared to the rest of the U.S.



Score **87.14**



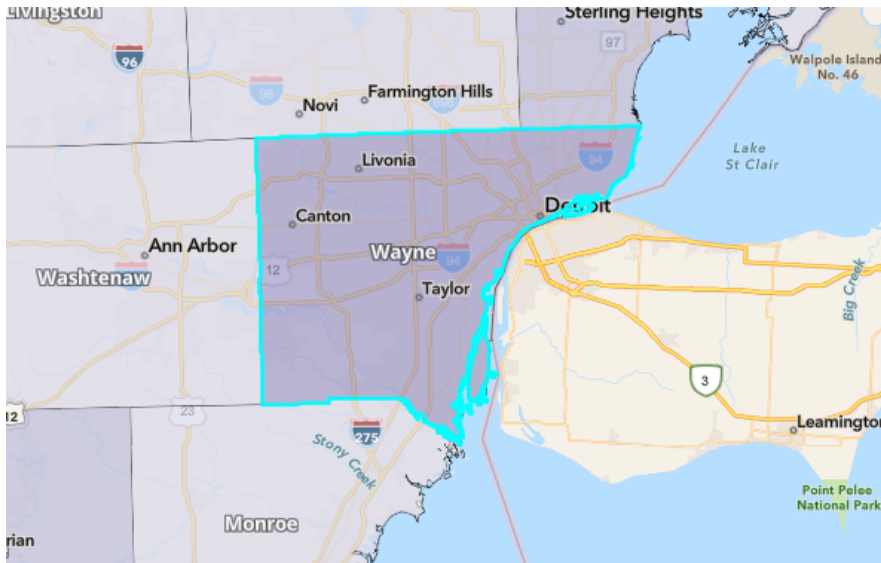
87% of U.S. counties have a lower Social Vulnerability
100% of counties in Michigan have a lower Social Vulnerability

Social Vulnerability Legend

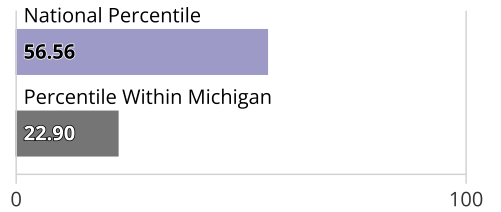
- Very High
- Relatively High
- Relatively Moderate
- Relatively Low
- Very Low
- Data Unavailable

Community Resilience

Communities in **Wayne County, MI** have a **Relatively Moderate** ability to prepare for anticipated natural hazards, adapt to changing conditions, and withstand and recover rapidly from disruptions when compared to the rest of the U.S.



Score **56.56**



44% of U.S. counties have a higher Community Resilience

77% of counties in Michigan have a higher Community Resilience

Community Resilience Legend

- Very High
- Relatively High
- Relatively Moderate
- Relatively Low
- Very Low
- Data Unavailable

About the National Risk Index

The National Risk Index is a dataset and online tool to help illustrate the United States communities most at risk for 18 natural hazards: Avalanche, Coastal Flooding, Cold Wave, Drought, Earthquake, Hail, Heat Wave, Hurricane, Ice Storm, Landslide, Lightning, Riverine Flooding, Strong Wind, Tornado, Tsunami, Volcanic Activity, Wildfire, and Winter Weather.

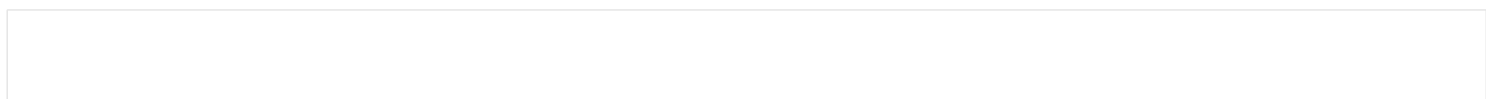
The National Risk Index leverages available source data for Expected Annual Loss due to these 18 hazard types, Social Vulnerability, and Community Resilience to develop a baseline relative risk measurement for each United States county and Census tract. These measurements are calculated using average past conditions, but they cannot be used to predict future outcomes for a community. The National Risk Index is intended to fill gaps in available data and analyses to better inform federal, state, local, tribal, and territorial decision makers as they develop risk reduction strategies.

Explore the National Risk Index Map at hazards.fema.gov/nri/map.

Visit the National Risk Index website at hazards.fema.gov/nri/learn-more to access supporting documentation and links.

Calculating the Risk Index

Risk Index scores are calculated using an equation that combines scores for Expected Annual Loss due to natural hazards, Social Vulnerability and Community Resilience:



$$\text{Risk Index} = \text{Expected Annual Loss} \times \text{Social Vulnerability} \div \text{Community Resilience}$$

Risk Index scores are presented as a composite score for all 18 hazard types, as well as individual scores for each hazard type.

For more information, visit hazards.fema.gov/nri/determining-risk.

Calculating Expected Annual Loss

Expected Annual Loss scores are calculated using an equation that combines values for exposure, annualized frequency, and historic loss ratios for 18 hazard types:

$$\text{Expected Annual Loss} = \text{Exposure} \times \text{Annualized Frequency} \times \text{Historic Loss Ratio}$$

Expected Annual Loss scores are presented as a composite score for all 18 hazard types, as well as individual scores for each hazard type.

For more information, visit hazards.fema.gov/nri/expected-annual-loss.

Calculating Social Vulnerability

Social Vulnerability is measured using the Social Vulnerability Index (SVI) published by the Centers for Disease Control and Prevention (CDC).

For more information, visit hazards.fema.gov/nri/social-vulnerability.

Calculating Community Resilience

Community Resilience is measured at the County level using the Baseline Resilience Indicators for Communities (HVRI BRIC) published by the University of South Carolina's Hazards and Vulnerability Research Institute (HVRI).

For more information, visit hazards.fema.gov/nri/community-resilience.

How to Take Action

There are many ways to reduce natural hazard risk through mitigation. Communities with high National Risk Index scores can take action to reduce risk by decreasing Expected Annual Loss due to natural hazards, decreasing Social Vulnerability, and increasing Community Resilience.

For information about how to take action and reduce your risk, visit hazards.fema.gov/nri/take-action.

Disclaimer

The National Risk Index (the Risk Index or the Index) and its associated data are meant for planning purposes only. This tool was created for broad nationwide comparisons and is not a substitute for localized risk assessment analysis. Nationwide datasets used as inputs for the National Risk Index are, in many cases, not as accurate as available local data. Users with access to local data for each National Risk Index risk factor should consider substituting

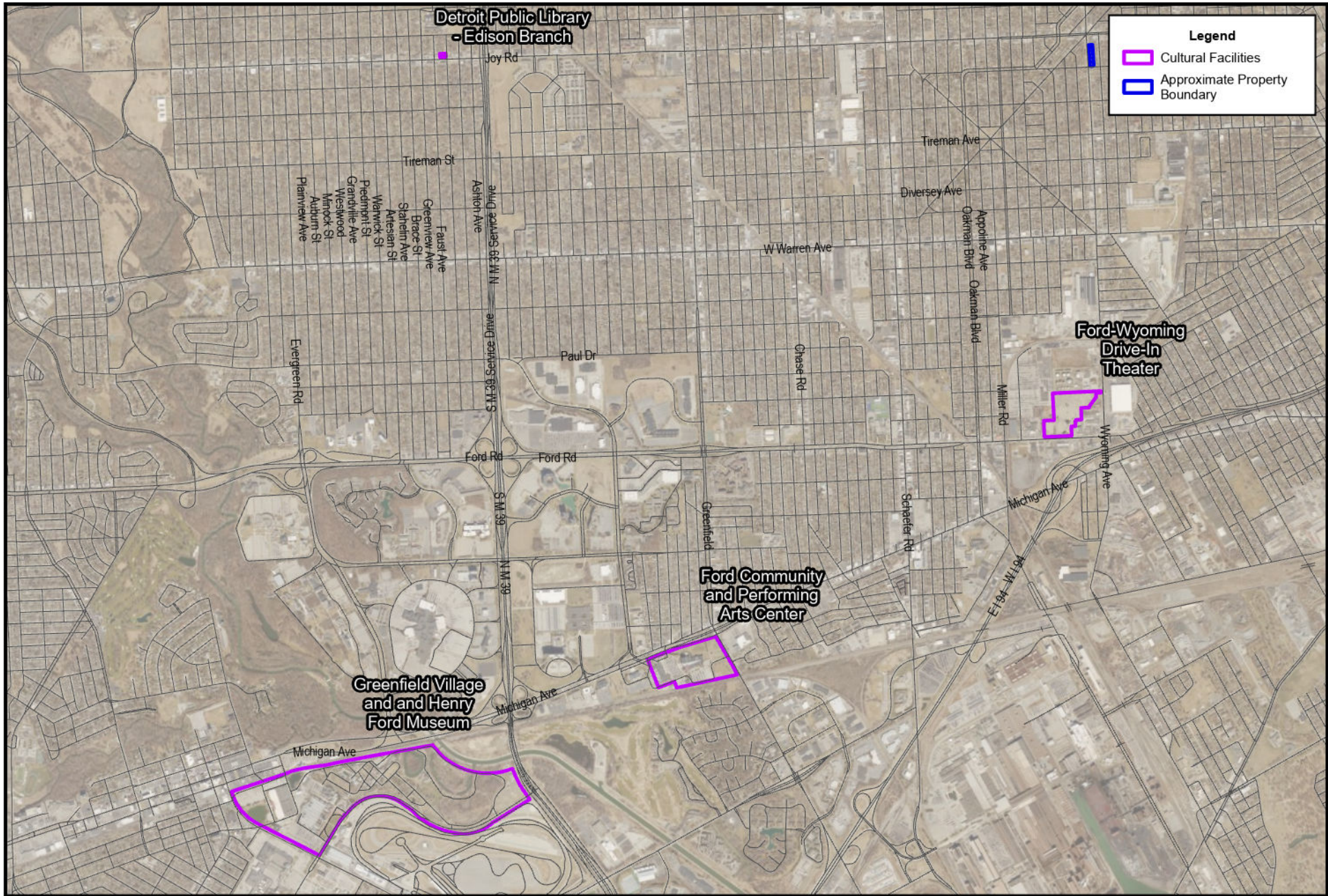
the Risk Index data with local data to recalculate a more accurate risk index. If you decide to download the National Risk Index data and substitute it with local data, you assume responsibility for the accuracy of the data and any resulting data index. Please visit the **Contact Us** page if you would like to discuss this process further.

The methodology used by the National Risk Index has been reviewed by subject matter experts in the fields of natural hazard risk research, risk analysis, mitigation planning, and emergency management. The processing methods used to create the National Risk Index have produced results similar to those from other natural hazard risk analyses conducted on a smaller scale. The breadth and combination of geographic information systems (GIS) and data processing techniques leveraged by the National Risk Index enable it to incorporate multiple hazard types and risk factors, manage its nationwide scope, and capture what might have been missed using other methods.

The National Risk Index does not consider the intricate economic and physical interdependencies that exist across geographic regions. Keep in mind that hazard impacts in surrounding counties or Census tracts can cause indirect losses in your community regardless of your community's risk profile.

Nationwide data available for some risk factors are rudimentary at this time. The National Risk Index will be continuously updated as new data become available and improved methodologies are identified.

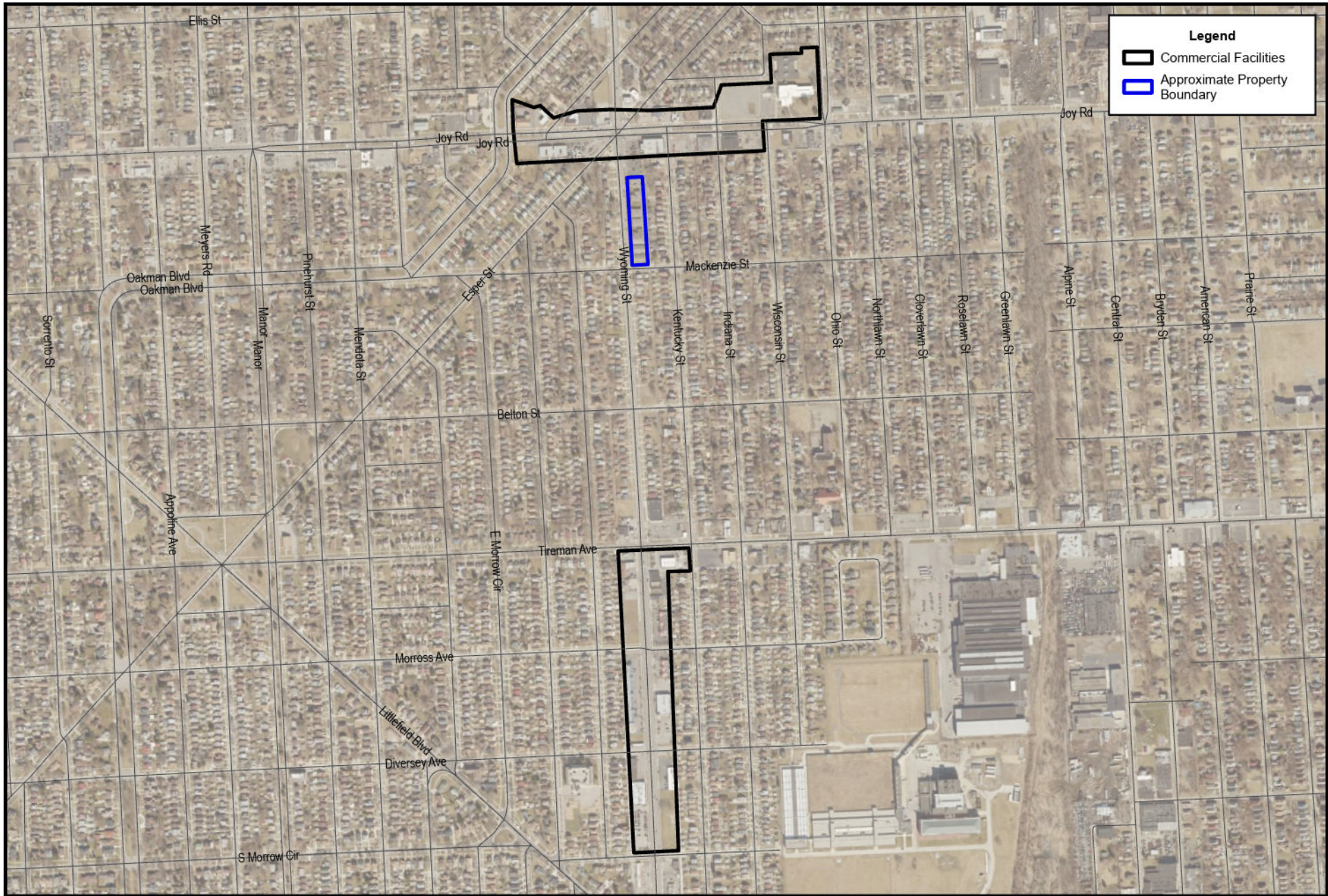
The National Risk Index Contact Us page is available at hazards.fema.gov/nri/contact-us.



Buersmeyer Manor

8500, 8508, 8520, 8534, 8550, 8564,
8580, and 8600 Wyoming Avenue

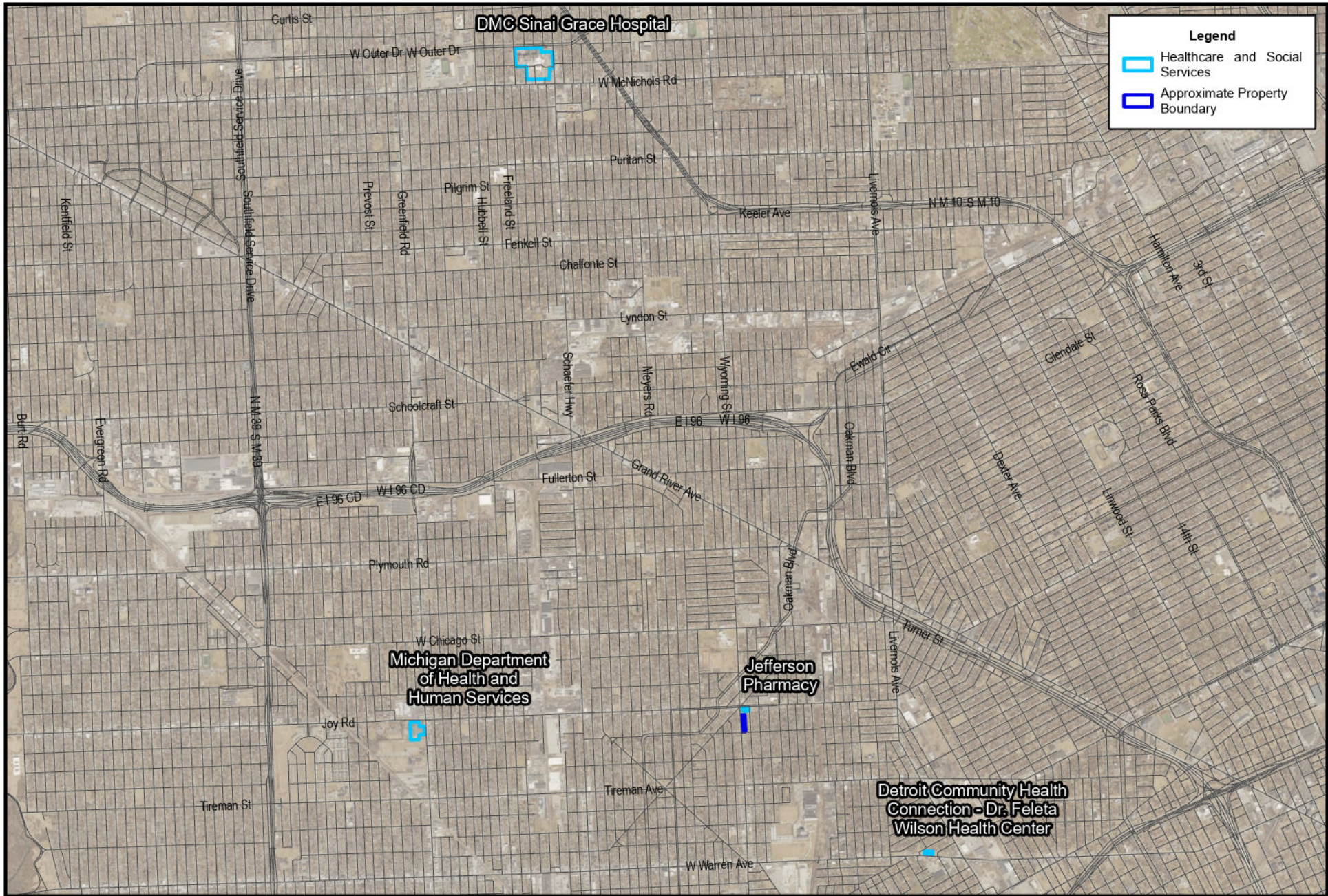




Buersmeyer Manor

8500, 8508, 8520, 8534, 8550, 8564,
8580, and 8600 Wyoming Avenue

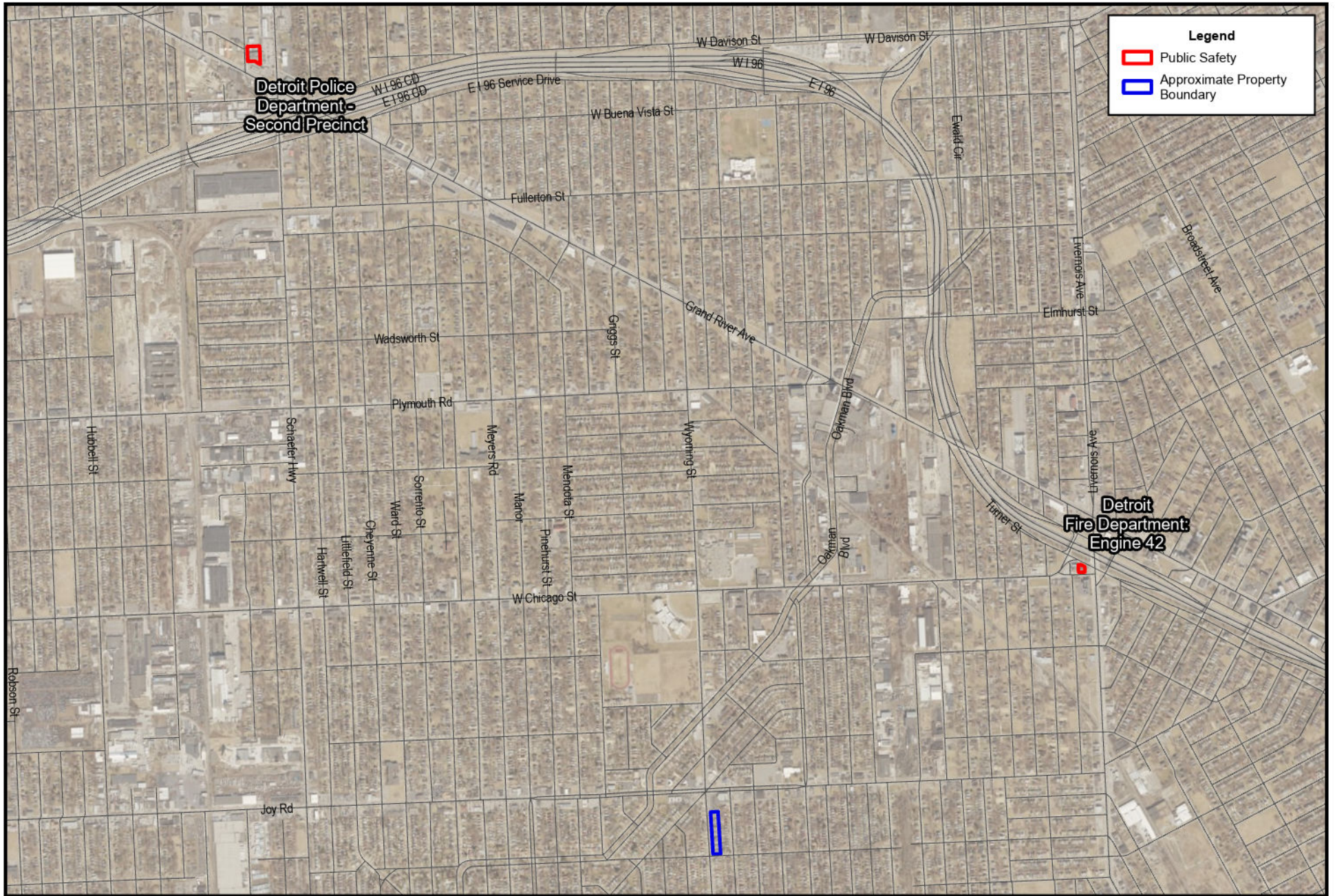




Buersmeyer Manor

8500, 8508, 8520, 8534, 8550, 8564, 8580, and 8600 Wyoming Avenue



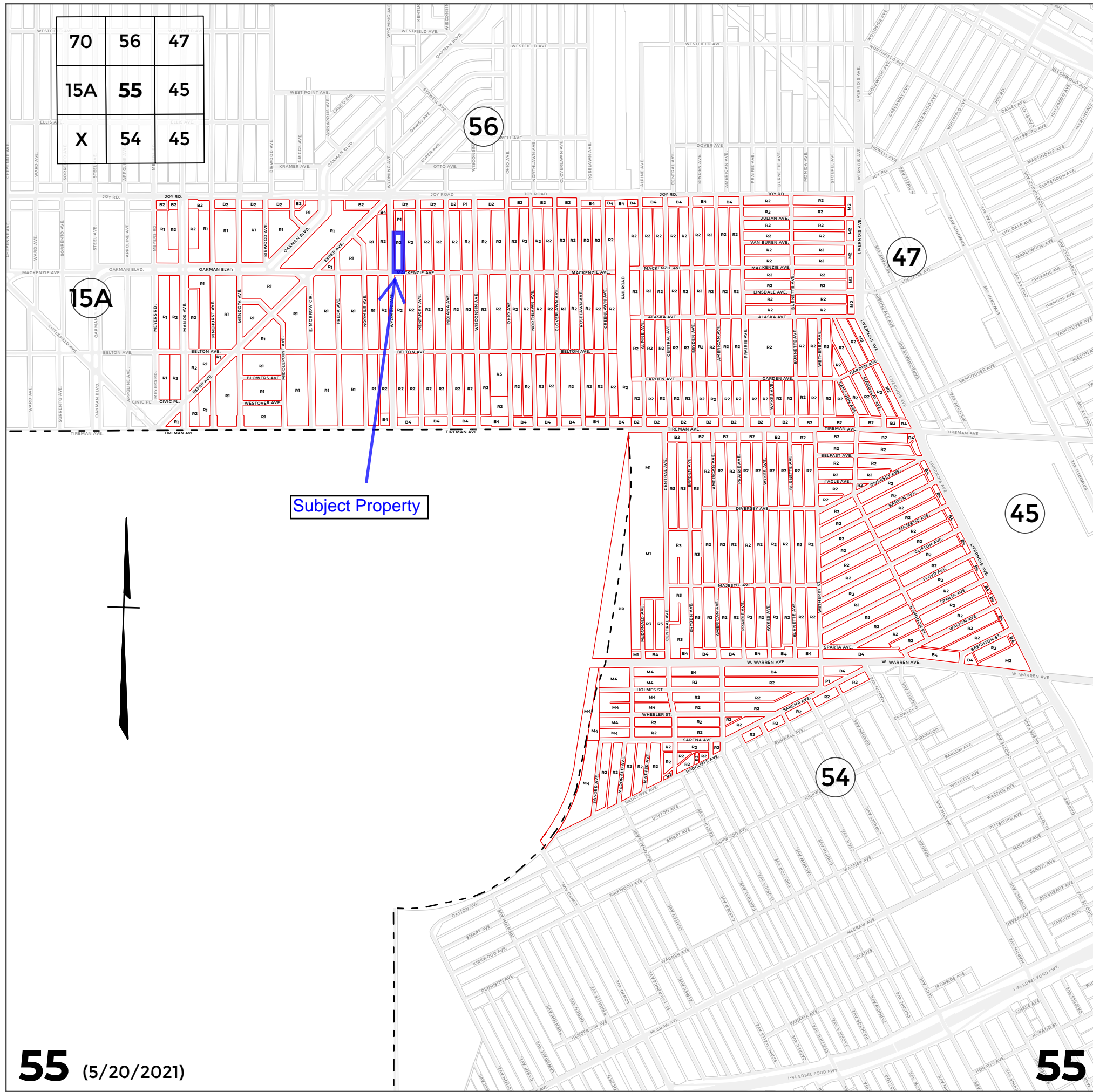


Buersmeyer Manor

8500, 8508, 8520, 8534, 8550, 8564,
8580, and 8600 Wyoming Avenue

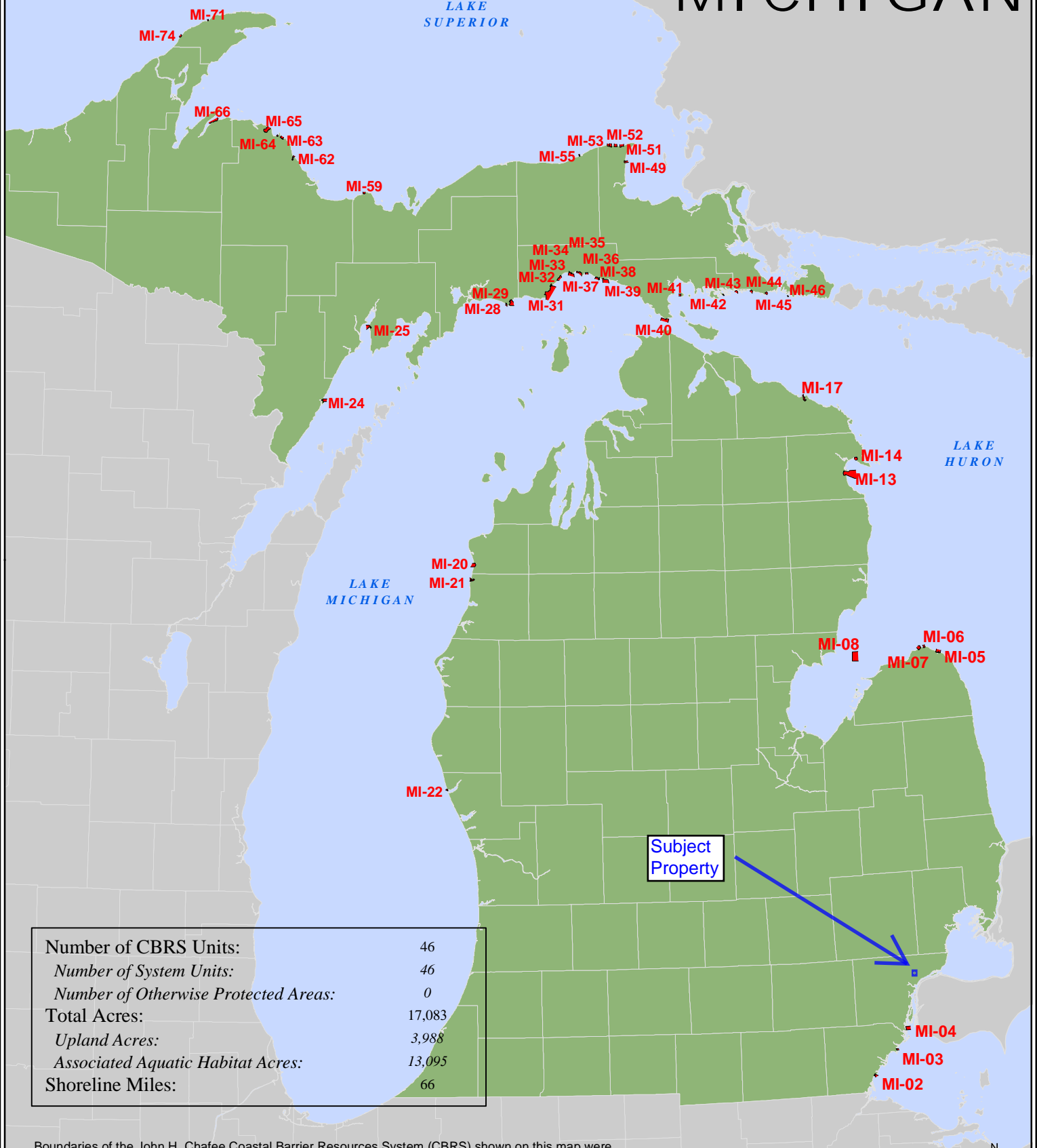


70	56	47
15A	55	45
X	54	45



Subject Property

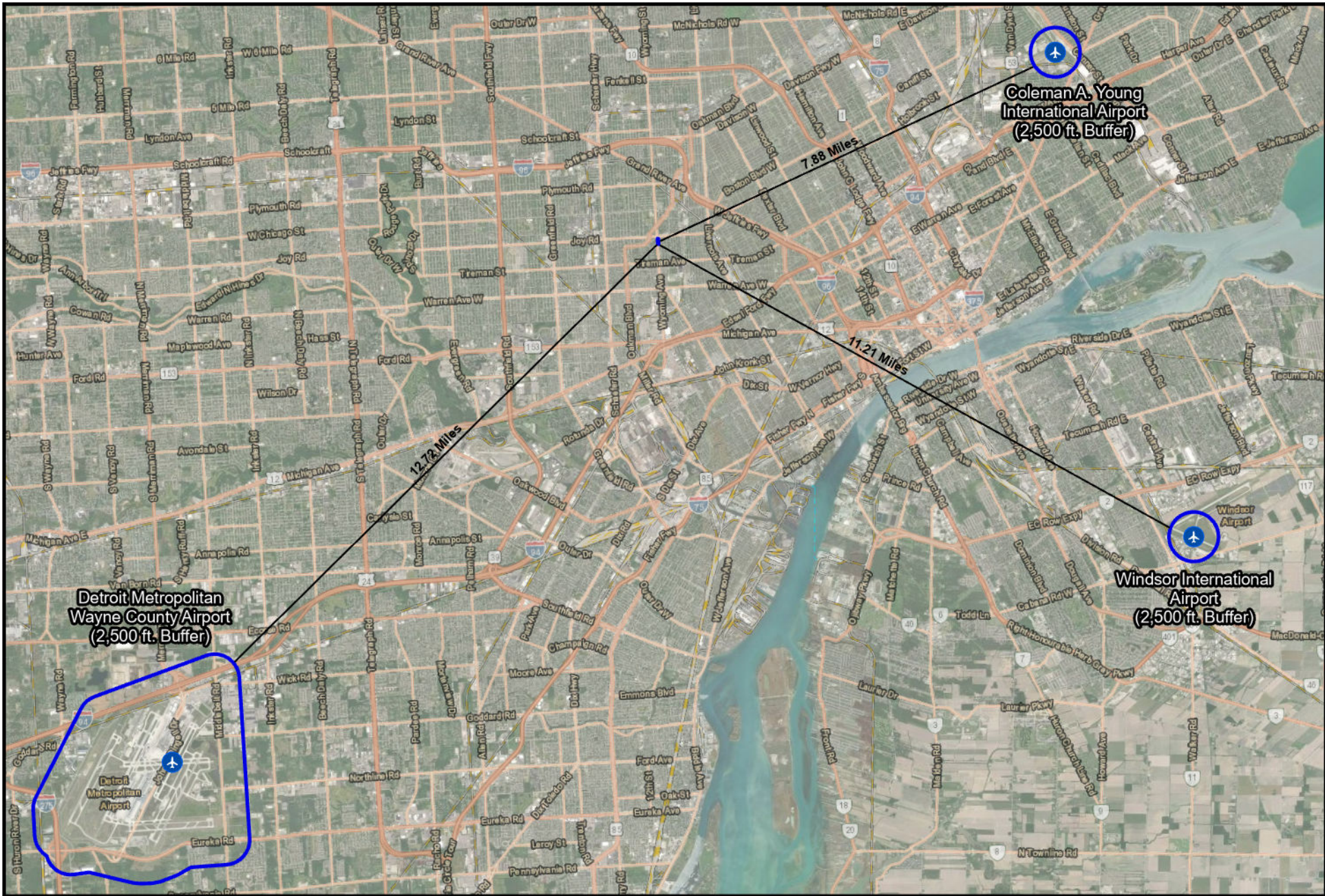
JOHN H. CHAFEE COASTAL BARRIER RESOURCES SYSTEM MICHIGAN



Number of CBRS Units:	46
Number of System Units:	46
Number of Otherwise Protected Areas:	0
Total Acres:	17,083
Upland Acres:	3,988
Associated Aquatic Habitat Acres:	13,095
Shoreline Miles:	66

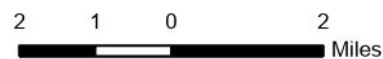
Boundaries of the John H. Chafee Coastal Barrier Resources System (CBRS) shown on this map were transferred from the official CBRS maps for this area and are depicted on this map (in red) for informational purposes only. The official CBRS maps are enacted by Congress via the Coastal Barrier Resources Act, as amended, and are maintained by the U.S. Fish and Wildlife Service. The official CBRS maps are available for download at <http://www.fws.gov/CBRA>.

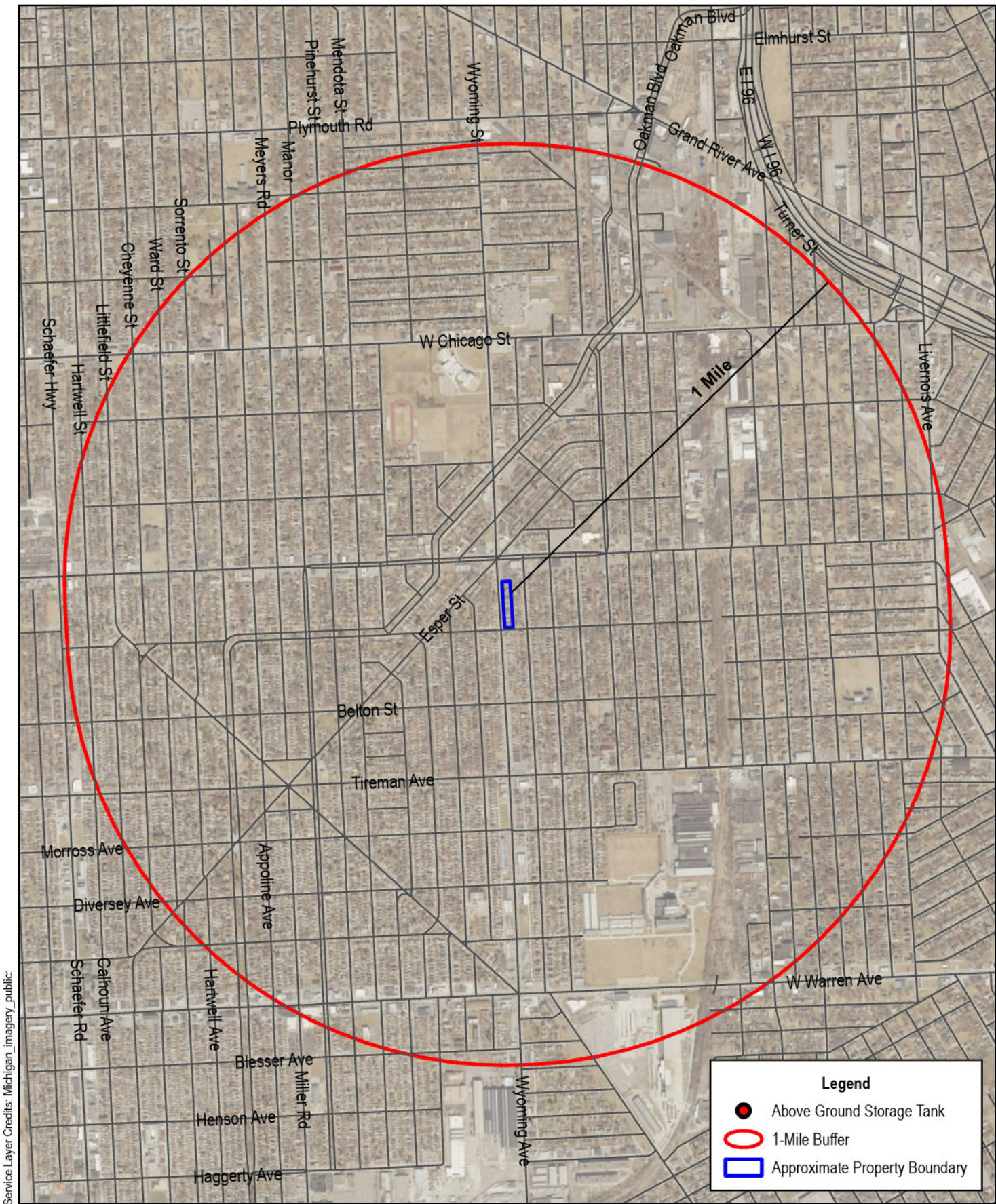




Buersmeyer Manor

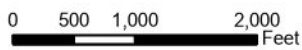
8500, 8508, 8520, 8534, 8550, 8564,
8580, and 8600 Wyoming Avenue



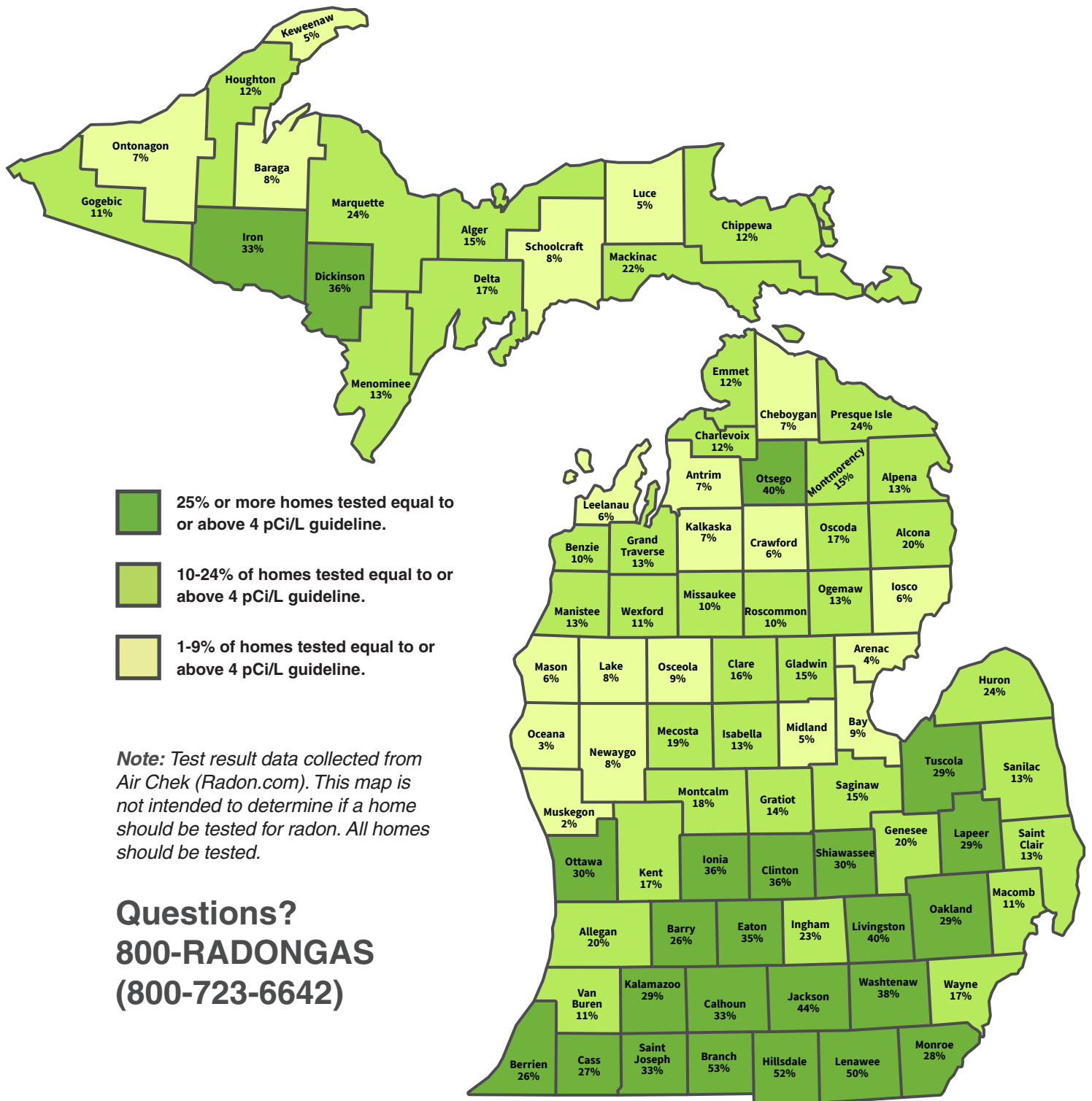


Buersmeyer Manor

8520 Wyoming Street,
Detroit, MI



Percentage of Elevated Radon Test Results by County



[Home \(/\)](#) > STraCAT

Sound Transmission Classification Assessment Tool (STraCAT)

Overview

The Sound Transmission Classification Assessment Tool (STraCAT) is an electronic version of Figures 17 and 19 in The HUD Noise Guidebook. The purpose of this tool is to document sound attenuation performance of wall systems. Based on wall, window, and door Sound Transmission Classification (STC) values, the STraCAT generates a composite STC value for the wall assembly as a whole. Users can enter the calculated noise level related to a specific Noise Assessment Location in front of a building façade and STraCAT will generate a target required attenuation value for the wall assembly in STC. Based on wall materials, the tool will state whether the composite wall assembly STC meets the required attenuation value.

How to Use This Tool

Location, Noise Level and Wall Configuration to Be Analyzed

STraCAT is designed to calculate the attenuation provided by the wall assembly for one wall of one unit. If unit exterior square footage and window/door configuration is identical around the structure, a single STraCAT may be sufficient. If units vary, at least one STraCAT should be completed for each different exterior unit wall configuration to document that all will achieve the required attenuation. Additionally, if attenuation is not based on a single worst-case NAL, but there are multiple NALs which require different levels of attenuation around the structure, a STraCAT should be completed for each differing exterior wall configuration associated with each NAL.

Exterior wall configurations associated with an NAL include those with parallel (facing) or near-parallel exposure as well as those with perpendicular exposure. When a façade has parallel or perpendicular exposure to two or more NALs, you should base the required attenuation on the NAL with the highest calculated noise level. For corner units where the unit interior receives exterior noise through two facades, the STraCAT calculation should incorporate the area of wall, window and door materials pertaining to the corner unit's total exterior wall area (i.e., from both walls).

Information to Be Entered

Users first enter basic project information and the NAL noise level that will be used as the basis for required attenuation. This noise level must be entered in whole numbers. STraCAT users then enter information on wall, window and door component type and area. Again, as noted above, the wall, window and door entries are based on one unit, and one wall (except for corner units as discussed above). The tool sums total wall square footage based on the combined area of walls, doors and windows for the façade being evaluated.

Users may input STC values for materials in one of two ways. The tool includes a dropdown menu

of common construction materials with STC values prefilled. If selected construction materials are not included in this dropdown menu, the user may also enter the STC for a given component manually. Verification of the component STC must be included in the ERR. Documentation includes the architect or construction manager's project plans showing wall material specifications. For new construction or for components that will be newly installed in an existing wall, documentation also includes the manufacturer's product specification sheet (cut sheet) documenting the STC rating of selected doors and windows.

Required STC Rating and Determination of Compliance

Finally, based on project information entered the tool will indicate the required STC rating for the wall assembly being evaluated and whether or not the materials specified will produce a combined rating that meets this requirement. Note that for noise levels above 75 dB DNL, either HUD (for 24 CFR Part 50 reviews) or the Responsible Entity (for 24 CFR Part 58 reviews) must approve the level and type of attenuation, among other processing requirements. Required attenuation values generated by STraCAT for NALs above 75 dB DNL should therefore be considered tentative pending approval by HUD or the RE.

Part I - Description

Project

BUERSMEYER DETROIT

Sponsor/Developer

COTS

Location

DETROIT, MI

Prepared by

Fusco, Shaffer & Pappas

Noise Level

69

Date

1/8/2024



Primary Source(s)

Part II - Wall Components

Part II - Wall Components

Wall Construction Detail

Area

STC

3 5/8" masonry brick with 7/8" thermal/air layer,
1/2" plywood, 3 1/2" wood studs, 1/2, gypsum wall
board

850

49

Add new wall

850 Sq. Feet

49

Window

Construction Detail

Quantity

Sq Ft/Unit

STC

Window "1"

8

9

28

Window "2"

2

12

28

Window "3"

2

18

28

Add new window

Door Construction Detail

Quantity

Sq Ft/Unit

STC

Add new door

Part III - Results

Part III - Results**Wall Statistics**

Stat	Value
Area:	850 ft ²
Wall STC:	49

Aperture Statistics

Aperture	Count	Area	% of wall
Windows:	12	132 ft ²	15.53%
Doors:	0	0 ft ²	0%

Evaluation Criteria

Criteria	Value
Noise source sound level (dB):	69
Combined STC for wall assembly:	35.9
Required STC rating:	27
Does wall assembly meet requirements?	Yes

[Print](#)

Part 4 - Tins

Quick Tips

What do you do if the preferred wall design is not sufficient to achieve the required attenuation? Another wall design with more substantial materials will work, but may not be the most cost-effective solution. Try adding some other elements for just a little more attenuation.

For example:

- Staggering the studs in a wall offers approximately 4dB of additional protection.
- Increasing the stud spacing from 16" on center to 24" can increase the STC from 2-5dB.
- Adding a 2" air space can provide 3dB more attenuation.
- Increasing a wall's air space from 3" to 6" can reduce noise levels by an additional 5dB.
- Adding a layer of ½" gypsum board on "Z" furring channels adds 2dB of attenuation.
- Using resilient channels and clips between wall panels and studs can improve the STC from 2-5dB.
- Adding a layer of ½" gypsum board on resilient channels adds 5dB of attenuation.
- Adding acoustical or isolation blankets to a wall's airspace can add 4-10dB of attenuation.
- A 1" rockwool acoustical blanket adds 3dB to the wall's STC.
- Filling the cells of lightweight concrete masonry units with expanded mineral loose-fill insulation adds 2dB to the STC.

Noise Assessment
Buersmeyer Manor
8520 Wyoming Avenue
Detroit, Michigan

COTS

April 19, 2023

ASTI ENVIRONMENTAL



Noise Assessment
Buersmeyer Manor
Detroit, Michigan

April 19, 2023

Report Prepared For:

COTS
26 Peterboro
Detroit, Michigan 48201

Report Prepared By:

ASTI Environmental
10448 Citation Drive, Suite 100
Brighton, Michigan 48116
800-395-ASTI

ASTI Project No. 12757

Report Prepared by:



Christopher Yelonek
Architectural Historian/Envir. Tech.

Report Reviewed by:



Pamela Chapman, PE, EP
Phase I Group Leader



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2.1 Airports	3
2.2 Busy Roadways	3
2.3 Railroads	4
2.4 Non-Transportation Sources	4
3.0 Calculations	5
4.0 Conclusions	6
5.0 References	7

ATTACHMENTS

- A** NAL Location Map
- B** Airport Noise Contour Map
- C** AADT Information
- D** Day-Night Level Electronic Assessment

1.0 INTRODUCTION

COTS proposes the adaptive reuse utilizing funding provided from the Michigan State Housing Development Authority of Buersmeyer Manor, 8520 Wyoming, Detroit, Michigan, referred to herein as "Subject Property".

This assessment was conducted to provide the noise level and associated noise category at each designated Noise Assessment Location (NAL) at the Subject Property. This assessment does not include an evaluation of noise attenuation but general guidance is provided at the end of this assessment.

This evaluation was conducted per guidelines set forth in 24 CFR 51B. This noise analysis evaluates the Subject Property's exposure to three major sources of noise: aircraft, roadways, and railways. If identified, additional non-transportation noise sources such as loud impulse sounds from nearby industry are also evaluated.

The following three sources of transportation noise and their applicable search distances are outlined below when evaluating noise at a site.

1. Aircraft - All military and FAA-regulated civil airfields within 15 miles of the Subject Property.
2. Roadways - Major roadways and limited access highways/freeways within 1,000 feet of the Subject Property utilizing a 10-year projection. Roadways considered are generally based on number of lanes, speed limit, presence of stop signs or lights, overall traffic counts, and/or number of medium or heavy trucks.
3. Railroad - All active railroads within 3,000 feet of the Subject Property.

The noise level calculated at a NAL is known as the day-night average sound level or DNL. A calculated DNL can fall within three categories as follow.

1. Acceptable - DNL not exceeding 65 decibels (dB)
2. Normally Unacceptable - DNL above the 65 dB threshold but not exceeding 75 dB
3. Unacceptable - DNL above 75 dB

One NAL (NAL #1) was selected on the Subject Property for this analysis based on proximity to noise sources. A map with the Subject Property boundaries and NAL location is included as Attachment A.

The following is a summary of the applicable noise sources identified at the NAL.

NAL #1

Noise Source with Applicable Distance	Name	Distance to NAL
Airport(s)	Coleman A. Young International Airport	7.88 Miles
	Windsor International Airport	11.21 Miles
	Detroit Metropolitan Wayne County Airport	12.72 Miles
Busy Road(s)	Wyoming Avenue	60 Feet
	Joy Road	291 Feet
	Esper Street	351 Feet
	Oakman Boulevard	878 Feet
Railroad(s)	None	NA
Non-Transportation	None	NA

2.0 EVALUATION OF NOISE SOURCES

2.1 Airports

Coleman A. Young International Airport is approximately 7.88 miles distant. Based on the Noise Contour Map for the airport, (Attachment B), the site is not within a distance of concern.

Windsor International Airport is approximately 11.21 miles distant. Based on the Noise Contour Map for the airport, (Attachment B), the site is not within a distance of concern.

Detroit Metropolitan Wayne County Airport is approximately 12.71 miles distant. Based on the Noise Contour Map for the airport, (Attachment B), the site is not within a distance of concern.

2.2 Busy Roadways

The major roadways are:

- Wyoming Avenue
- Joy Road
- Esper Street
- Oakman Boulevard

Wyoming Avenue is a 2-lane road with a center median/turn lane. The speed limit is 30mph near the Subject Property. The roadway is an approximate effective distance of 60 feet from the northwestern corner of the northernmost building (NAL #1).

Joy Road is a 6-lane divided road. The speed limit is 35mph near the Subject Property. The roadway is an approximate effective distance of 291 feet from the northwestern corner of the northernmost building (NAL #1).

Esper Street is a 2-lane road. The speed limit is 25mph near the Subject Property. The roadway is an approximate effective distance of 351 feet from the northwestern corner of the northernmost building (NAL #1).

Oakman Boulevard is a 4-lane divided road with two parking lanes. The speed limit is 30mph near the Subject Property. The roadway is an approximate effective distance of 878 feet from the northwestern corner of the northernmost building (NAL #1).

Traffic counts were obtained through MDOT. Projections were done through 2033. After review of the traffic count information of each street, a growth rate of 1% per year compounded was judged appropriate as traffic levels are expected to remain relatively stable or increase slightly. Traffic projections are included in Attachment C.

2.3 Railroads

Not applicable.

2.4 Non-Transportation Sources

Not applicable.

3.0 CALCULATIONS

A Noise DNL calculator worksheet for the NAL is provided in Attachment D.

Using the HUD DNL calculator, the noise level at NAL #1, as predicted in 2033, is calculated to be 69 dB and within the Normally Unacceptable range.

4.0 CONCLUSIONS

The following is a summary of the findings of this assessment.

NAL #	Combined Source DNL (dB)	Category
1	69	Normally Unacceptable

5.0 REFERENCES

- 24 CFR Part 51 Subpart B
- The Noise Guidebook, U.S. Department of Housing and Urban Development,
- U.S. DOT
- <https://mdot.ms2soft.com/>
- <https://fragis.fra.dot.gov/GISFRASafety/>
- <https://safetydata.fra.dot.gov/OfficeofSafety/PublicSite/Crossing/Crossing.aspx>
- <https://www.hudexchange.info/programs/environmental-review/dnl-calculator/>

HUD ATTENUATION GUIDANCE

<https://www.hudexchange.info/programs/environmental-review/noise-abatement-and-control/>

All sites whose environmental or community noise exposure exceeds the day night average sound level (DNL) of 65 decibels (dB) are considered noise-impacted areas. For new construction that is proposed in high noise areas, grantees shall incorporate noise attenuation features to the extent required by HUD environmental criteria and standards contained in Subpart B (Noise Abatement and Control) of 24 CFR Part 51. The interior standard is 45 dB.

The "Normally Unacceptable" noise zone includes community noise levels from above 65 dB to 75 dB. Approvals in this noise zone require a minimum of 5 dB additional sound attenuation for buildings having noise-sensitive uses if the day-night average sound level is greater than 65 dB but does not exceed 70 dB, or a minimum of 10 dB of additional sound attenuation if the day-night average sound level is greater than 70 dB but does not exceed 75 dB.

Locations with day-night average noise levels above 75 dB have "Unacceptable" noise exposure. For new construction, noise attenuation measures in these locations require the approval of the Assistant Secretary for Community Planning and Development (for projects reviewed under Part 50) or the Responsible Entity's Certifying Officer (for projects reviewed under Part 58). The acceptance of such locations normally requires an environmental impact statement.

The environmental review record should contain **one** of the following:

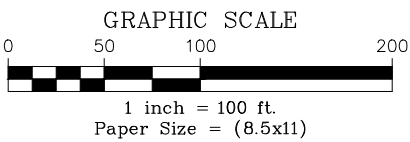
- Documentation the proposed action is not within 1000 feet of a major roadway, 3,000 feet of a railroad, or 15 miles of a military or FAA-regulated civil airfield.
- If within those distances, documentation showing the noise level is *Acceptable* (at or below 65 DNL).
- If within those distances, documentation showing that there's an effective noise barrier (i.e., that provides sufficient protection).

- Documentation showing the noise generated by the noise source(s) is *Normally Unacceptable* (66 – 75 DNL) and identifying noise attenuation requirements that will bring the interior noise level to 45 DNL and/or exterior noise level to 65 DNL.



ATTACHMENT A

NAL Location Map

Y:\Project Files\Current and Closed\1200-1299\12700-12799\12757 - 8520 Wyoming, Detroit\CAD\12757.dwg, 4/24/2023 4:21 PM



LEGEND

-  Property Line
-  Noise Assessment Location



Buersmeyer Manor
8520 Wyoming Avenue

Client: COTS

ASTI Project 12757, JRN, April 24, 2023

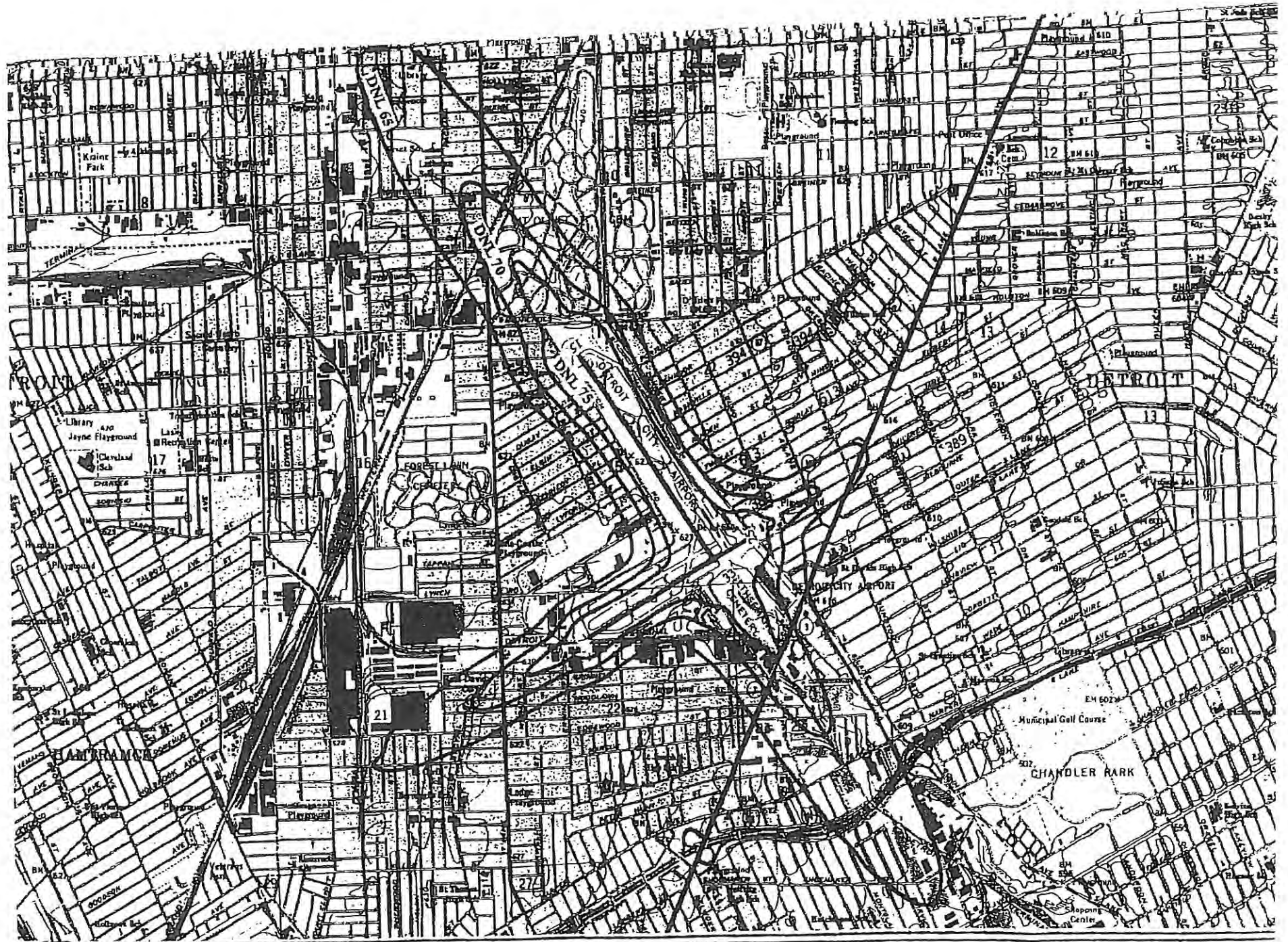
Detroit, MI

Noise Assessment Location Map



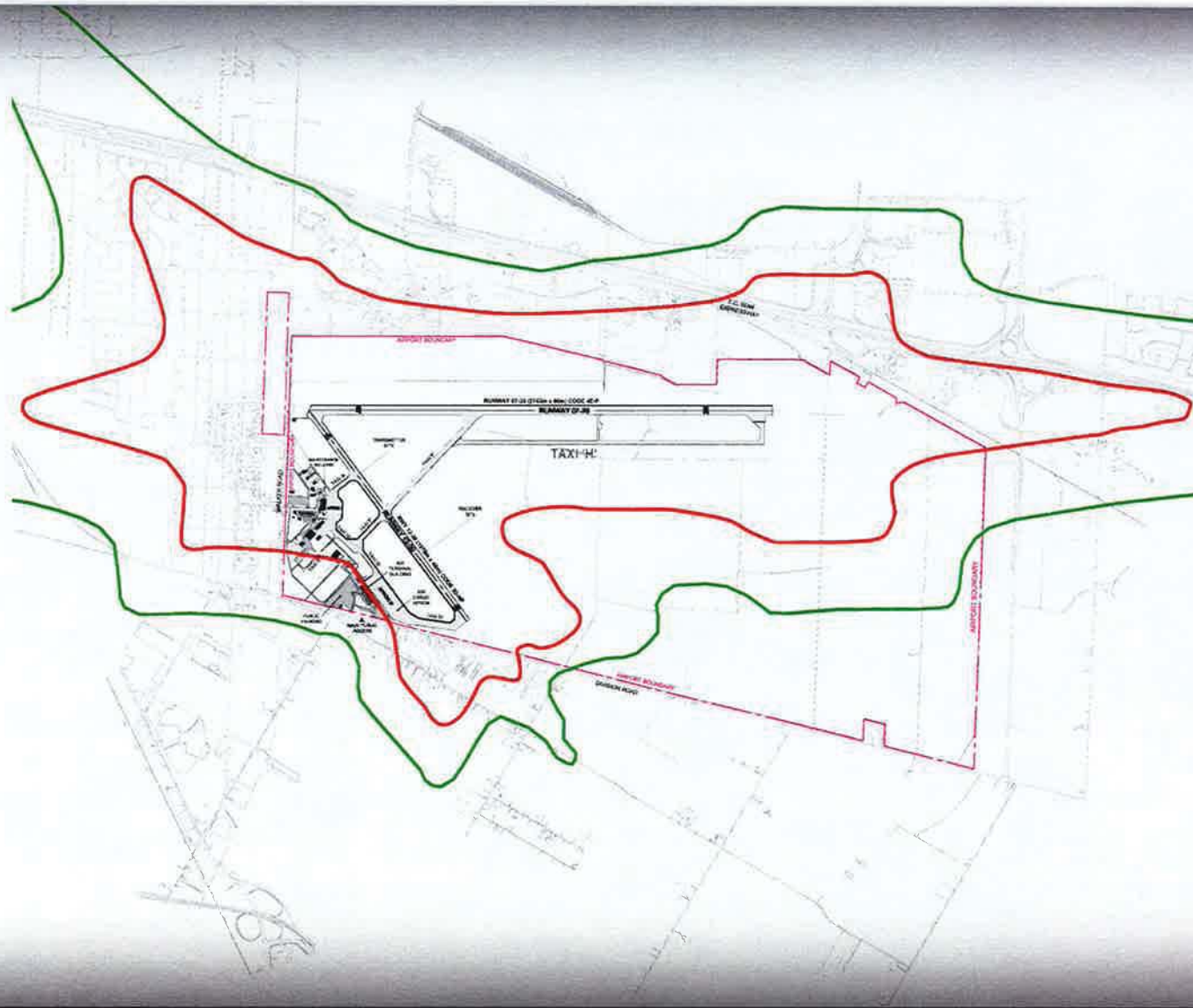
ATTACHMENT B

Airport Noise Contour Maps



CITY OF DETROIT
 AIRPORT DEPARTMENT

1996 BAS
 NOISE EXPOSURE
 CONTOURS



**WINDSOR AIRPORT
MASTER PLAN**

**FIGURE 3-4 - AIRPORT NOISE
EXPOSURE FORECAST CONTOURS**

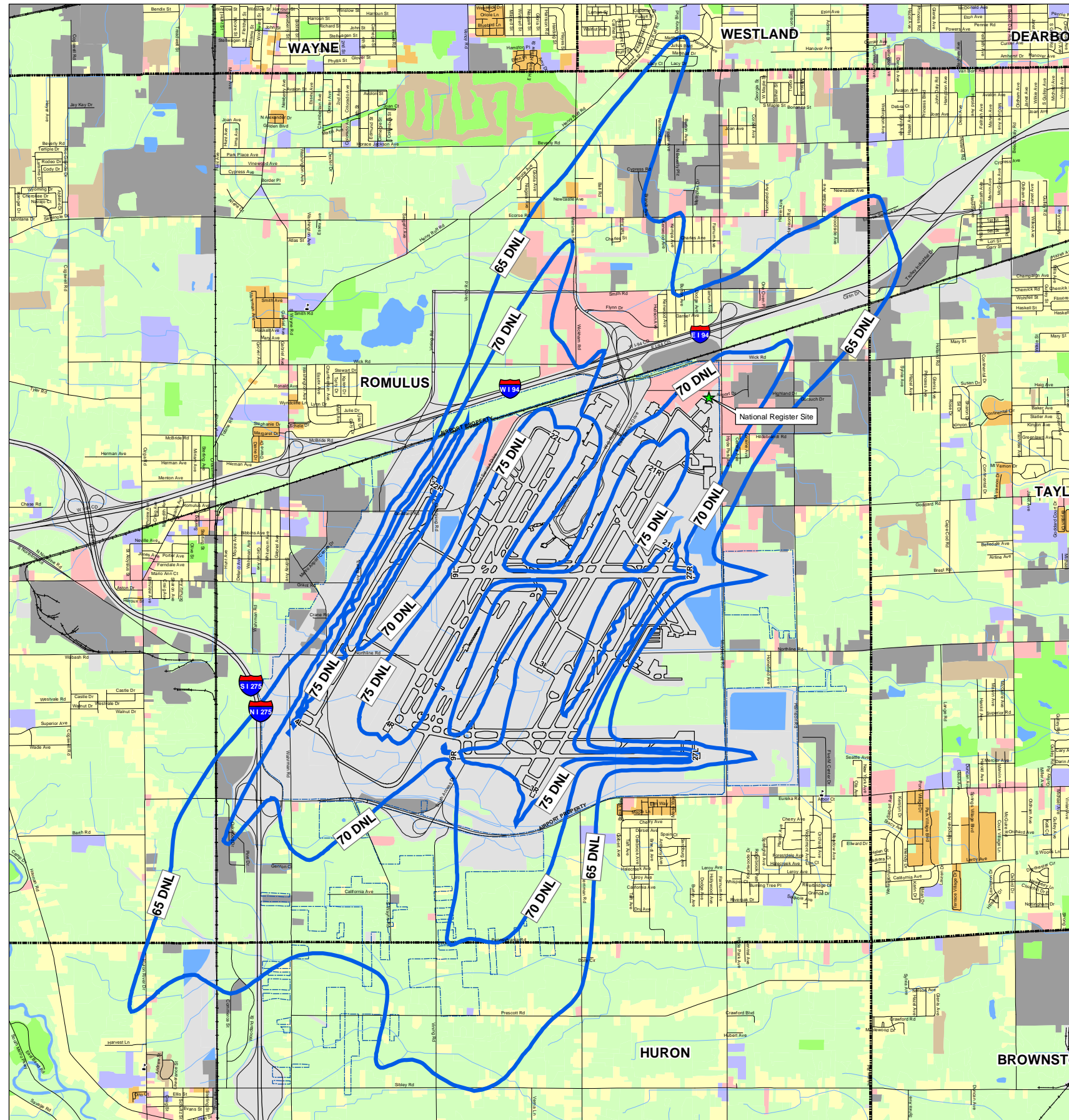
- 30 NEF (NOISE EXPOSURE FORECAST)
- 25 NEF

Notes

- 1. Conceptual Layout
- 2. All dimensions approximate
- 3. Noise Exposure Forecast provided by Windsor Airport Management



Figure D25 Existing (2004) Noise Exposure Map



Land Use Legend

- Single-family residential
- Residential areas with 25% or more vacant land
- Multiple-family residential
- Commercial and office
- Industrial
- Institutional
- Transportation, communication, and utility
- Under development
- Cultural, outdoor recreation, and cemetery
- Woodland and wetland
- Active agriculture
- Extractive and barren
- Grassland, and shrub
- Vacant nonresidential
- Water
- City Limits Boundary
- Schools

The 65 DNL contour contains approximately 9,475 acres, 750 residential structures and 1,400 people.

The 70 DNL contour contains approximately 4,505 acres, 30 residential structures and 40 people.

The 75 DNL contour contains approximately 1,580 acres, no residential structures and no people.

Planning jurisdictions are shown on the map.

Noise measurement sites and flight tracks are depicted on the Noise Measurement Sites and Flight Tracks Maps.

Residential land use, as defined by FAR Part 150, is an incompatible use without proper sound attenuation within the 65 DNL or greater contour.

The Noise Exposure Maps and accompanying documentation for the Noise Exposure Map for Detroit Metropolitan Wayne County Airport, submitted in accordance with FAR Part 150 with the best available information, are hereby certified as true and complete to the best of my knowledge and belief.

In addition, it is hereby certified that the public was afforded the opportunity to review and comment on the document and its contents.

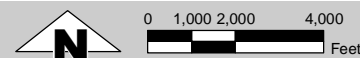
Signed *Steve Robinson* Date 3-6-06

	Existing (2004)	
	Population	Housing
65-70 DNL		
Huron Township	160	60
Romulus	1,060	490
Taylor	10	10
Westland	110	50
Subtotal	1,340	610
70-75 DNL		
Romulus	40	20
Subtotal	40	20
65 DNL & Greater		
Huron Township	160	60
Romulus	1,100	510
Taylor	10	10
Westland	110	50
Subtotal	1,380	630
60 DNL & Greater*		
Dearborn Heights	1,100	360
Huron Twp.	2,460	920
Inkster	4,420	1,870
Romulus	4,340	1,810
Sumpter Twp.	40	10
Taylor	3,860	1,500
Westland	2,970	1,250
Total	19,190	7,720

Source: 2000 US Census Numbers rounded to the nearest 10 - for digits less than 5, rounded to 10.
 Note: no residential uses are located in the 75 DNL and greater contours.
 * includes the 65 DNL & Greater

Based on 522,641 operations.

March 1, 2006



Source: Michigan Department of Natural Resources, SEMCOG

ATTACHMENT C

AADT Information

Auto and Heavy Truck 10-year ADT Projections

Wyoming Avenue

	Cars	% Change	Trucks	% Change
2016	6991		390	
2017	7547	8.0	409	4.9
2018	7749	2.7	208	-49.1
2019	7690	-0.8	424	103.8
2020	6679	-13.1	250	-41.0
2021	7665	14.8	230	-8.0
2022	7253	-5.4	286	24.3
Avg % change:		1.0	Avg % change: 5.81	
Avg % change (Last 5-yr Trend):		-5.4	Avg % change (Last 5-yr Trend): 24.35	
% Change/Year Assumption		1	% /Year Change Assumption 1	

2033 Projections

	Cars	Trucks
2022	7253	286
2023	7326	289
2024	7399	292
2025	7473	295
2026	7548	298
2027	7623	301
2028	7699	304
2029	7776	307
2030	7854	310
2031	7932	313
2032	8012	316
2033	8092	319

Predicted 2033 Auto ADT	Predicted 2033 Truck ADT
8092	319

Auto and Heavy Truck 10-year ADT Projections

Joy Road

	Cars	% Change	Trucks	% Change
2016	8473		736.8	
2017	10522	24.2	292	-60.4
2018	10522	0.0	292	0.0
2019	10340	-1.7	420	43.8
2020	8747	-15.4	442	5.2
2021	9980	14.1	490	10.9
2022	10179	2.0	301	-38.6
Avg % change:		3.9	Avg % change: -6.50	
Avg % change (Last 5-yr Trend):		2.0	Avg % change (Last 5-yr Trend): -38.57	
% Change/Year Assumption		1	% /Year Change Assumption 1	

2033 Projections

	Cars	Trucks
2022	10179	301
2023	10281	304
2024	10384	307
2025	10487	310
2026	10592	313
2027	10698	316
2028	10805	320
2029	10913	323
2030	11022	326
2031	11133	329
2032	11244	332
2033	11356	336

Predicted 2033 Auto ADT	Predicted 2033 Truck ADT
11356	336

Auto and Heavy Truck 10-year ADT Projections

Esper Street

	Cars	% Change	Trucks	% Change
2016	407		0	
2017	407	0.0	17	
2018	427	4.9	4	-76.5
2019	415	-2.8	15	275.0
2020	341	-17.8	26	73.3
2021	393	15.2	25	-3.8
2022	407	3.6	11	-56.0
Avg % change:		0.5	Avg % change: 42.40	
Avg % change (Last 5-yr Trend):		3.6	Avg % change (Last 5-yr Trend): -56.00	
% Change/Year Assumption		1	% /Year Change Assumption 1	

2033 Projections

	Cars	Trucks
2022	407	11
2023	411	11
2024	415	11
2025	419	11
2026	424	11
2027	428	12
2028	432	12
2029	436	12
2030	441	12
2031	445	12
2032	450	12
2033	454	12

Predicted 2033 Auto ADT	Predicted 2033 Truck ADT
454	12

Auto and Heavy Truck 10-year ADT Projections

Oakman Boulevard

	Cars	% Change	Trucks	% Change
2016	1116		0	
2017	1106	-0.9	56	
2018	1133	2.4	29	-48.2
2019	1111	-1.9	45	55.2
2020	918	-17.4	69	53.3
2021	763	-16.9	49	-29.0
2022	788	3.3	25	-49.0
Avg % change:		-5.2	Avg % change: -3.53	
Avg % change (Last 5-yr Trend):		3.3	Avg % change (Last 5-yr Trend): -48.98	
% Change/Year Assumption		1	% /Year Change Assumption 1	

2033 Projections

	Cars	Trucks
2022	788	25
2023	796	25
2024	804	26
2025	812	26
2026	820	26
2027	828	26
2028	836	27
2029	845	27
2030	853	27
2031	862	27
2032	870	28
2033	879	28

Predicted 2033 Auto ADT	Predicted 2033 Truck ADT
879	28

ATTACHMENT D

Day-Night Level Electronic Assessments

[Home \(/\)](#) > [Programs \(/programs/\)](#) > [Environmental Review \(/programs/environmental-review/\)](#) > DNL Calculator

DNL Calculator

The Day/Night Noise Level Calculator is an electronic assessment tool that calculates the Day/Night Noise Level (DNL) from roadway and railway traffic. For more information on using the DNL calculator, view the [Day/Night Noise Level Calculator Electronic Assessment Tool Overview \(/programs/environmental-review/daynight-noise-level-electronic-assessment-tool/\)](#).

Guidelines

- To display the Road and/or Rail DNL calculator(s), click on the "Add Road Source" and/or "Add Rail Source" button(s) below.
- All Road and Rail input values must be positive non-decimal numbers.
- All Road and/or Rail DNL value(s) must be calculated separately before calculating the Site DNL.
- All checkboxes that apply must be checked for vehicles and trains in the tables' headers.
- **Note #1:** Tooltips, containing field specific information, have been added in this tool and may be accessed by hovering over all the respective data fields (site identification, roadway and railway assessment, DNL calculation results, roadway and railway input variables) with the mouse.
- **Note #2:** DNL Calculator assumes roadway data is always entered.

DNL Calculator

Site ID

Record Date

User's Name

Road # 1 Name:

Road #1

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="60"/>	<input type="text"/>	<input type="text" value="60"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="8092"/>	<input type="text"/>	<input type="text" value="319"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="60"/>	<input type="text" value="0"/>	<input type="text" value="68"/>
<input type="button" value="Calculate Road #1 DNL"/>	<input type="text" value="69"/>	<input type="button" value="Reset"/>	

Road # 2 Name:

Road #2

Vehicle Type **Cars** **Medium Trucks** **Heavy Trucks**

Effective Distance	291		291
Distance to Stop Sign			
Average Speed	35		35
Average Daily Trips (ADT)	11356		336
Night Fraction of ADT	15		15
Road Gradient (%)			2
Vehicle DNL	53	0	58
Calculate Road #2 DNL	59	Reset	

Road # 3 Name:

Road #3

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	351		351
Distance to Stop Sign			
Average Speed	25		25
Average Daily Trips (ADT)	454		12
Night Fraction of ADT	15		15
Road Gradient (%)			2
Vehicle DNL	35	0	42
Calculate Road #3 DNL	43	Reset	

Road # 4 Name:

Road #4

Vehicle Type	Cars <input checked="" type="checkbox"/>	Medium Trucks <input type="checkbox"/>	Heavy Trucks <input checked="" type="checkbox"/>
Effective Distance	<input type="text" value="878"/>	<input type="text"/>	<input type="text" value="878"/>
Distance to Stop Sign	<input type="text"/>	<input type="text"/>	<input type="text"/>
Average Speed	<input type="text" value="30"/>	<input type="text"/>	<input type="text" value="30"/>
Average Daily Trips (ADT)	<input type="text" value="879"/>	<input type="text"/>	<input type="text" value="28"/>
Night Fraction of ADT	<input type="text" value="15"/>	<input type="text"/>	<input type="text" value="15"/>
Road Gradient (%)	<input type="text"/>	<input type="text"/>	<input type="text" value="2"/>
Vehicle DNL	<input type="text" value="33"/>	<input type="text" value="0"/>	<input type="text" value="40"/>
Calculate Road #4 DNL	<input type="text" value="41"/>	<input type="button" value="Reset"/>	

Airport Noise Level

Loud Impulse Sounds? Yes No

Combined DNL for all Road and Rail sources

Combined DNL including Airport

Site DNL with Loud Impulse Sound

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the Barrier Performance Module (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level-assessment-tool-flowcharts/>)

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ENVIRONMENTAL INVESTIGATION, REMEDIATION, COMPLIANCE AND
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- **ASBESTOS, LEAD, MOLD, AND RADON ASSESSMENTS**
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- **ECOLOGICAL ASSESSMENTS AND RESTORATION**
- **ENVIRONMENTAL ASSESSMENTS AND IMPACT STATEMENTS**
- **ENVIRONMENTAL OPPORTUNITIES ASSESSMENT**
- **GIS MAPPING**
- **HAZARD MITIGATION PLANNING**
- **MINING AND RECLAMATION ASSISTANCE**
- **REMEDIATION IMPLEMENTATION, OPERATION AND MAINTENANCE**
- **PHASE I ESA AND ENVIRONMENTAL DUE DILIGENCE ASSESSMENTS**
- **REGULATORY COMPLIANCE AND PERMITTING**
- **SOIL AND GROUNDWATER ASSESSMENTS**
- **SOIL AND GROUNDWATER REMEDIATION**
- **STORAGE TANK COMPLIANCE AND CLOSURE**
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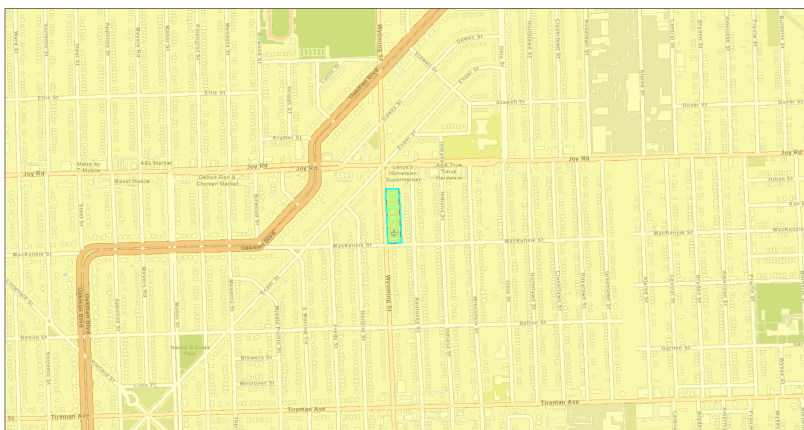
EJScreen Community Report

This report provides environmental and socioeconomic information for user-defined areas, and combines that data into environmental justice and supplemental indexes.

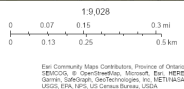
Detroit, MI

1 mile Ring around the Area
Population: 23,016
Area in square miles: 3.42

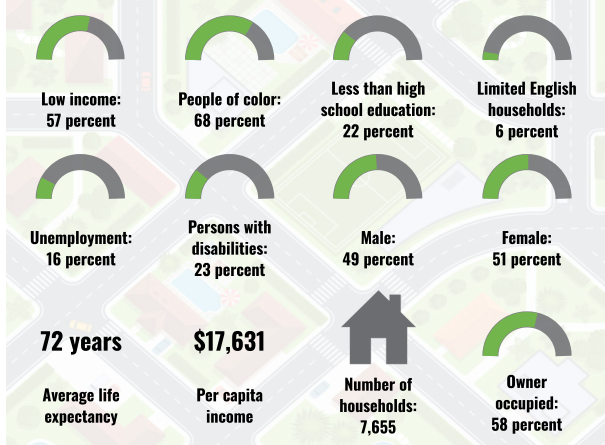
A3 Landscape



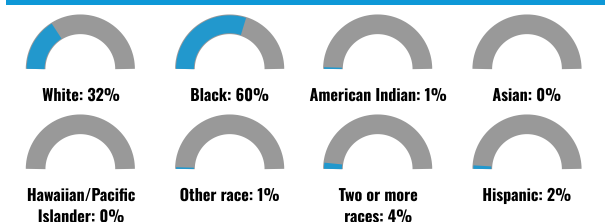
December 27, 2023
Buersmeyer Manor
Search Result (point)



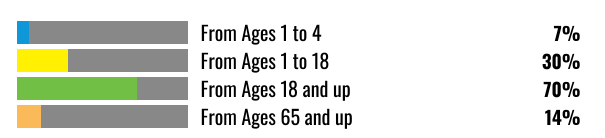
COMMUNITY INFORMATION



BREAKDOWN BY RACE



BREAKDOWN BY AGE



LIMITED ENGLISH SPEAKING BREAKDOWN



LANGUAGES SPOKEN AT HOME

LANGUAGE	PERCENT
English	72%
Spanish	2%
Arabic	25%
Total Non-English	28%

Notes: Numbers may not sum to totals due to rounding. Hispanic population can be of any race. Source: U.S. Census Bureau, American Community Survey (ACS) 2017-2021. Life expectancy data comes from the Centers for Disease Control.

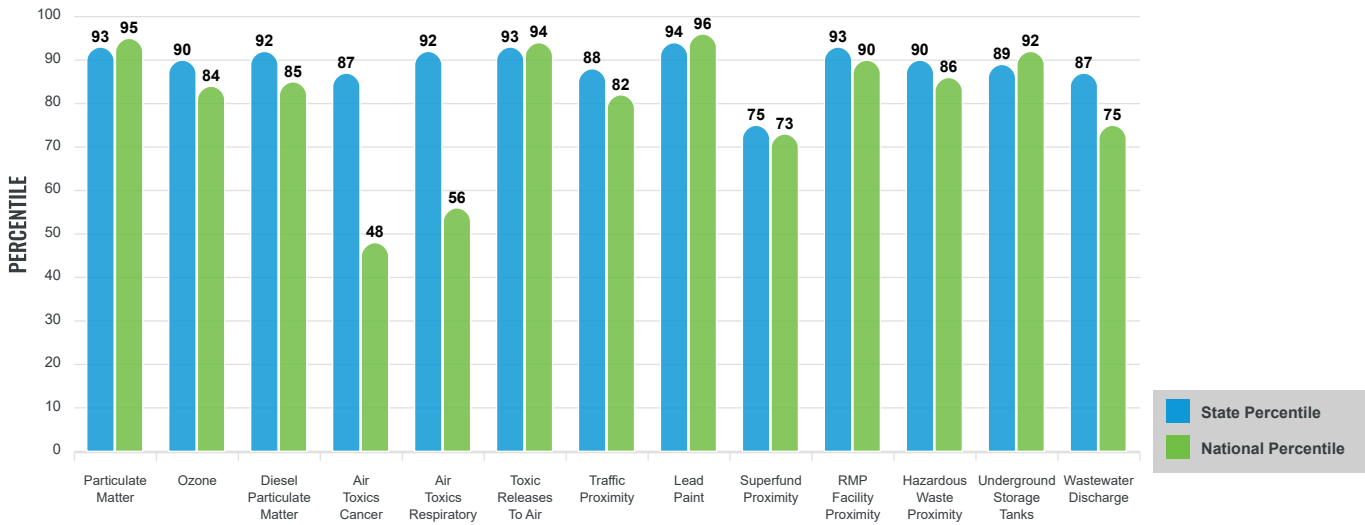
Environmental Justice & Supplemental Indexes

The environmental justice and supplemental indexes are a combination of environmental and socioeconomic information. There are thirteen EJ indexes and supplemental indexes in EJScreen reflecting the 13 environmental indicators. The indexes for a selected area are compared to those for all other locations in the state or nation. For more information and calculation details on the EJ and supplemental indexes, please visit the [EJScreen website](#).

EJ INDEXES

The EJ indexes help users screen for potential EJ concerns. To do this, the EJ index combines data on low income and people of color populations with a single environmental indicator.

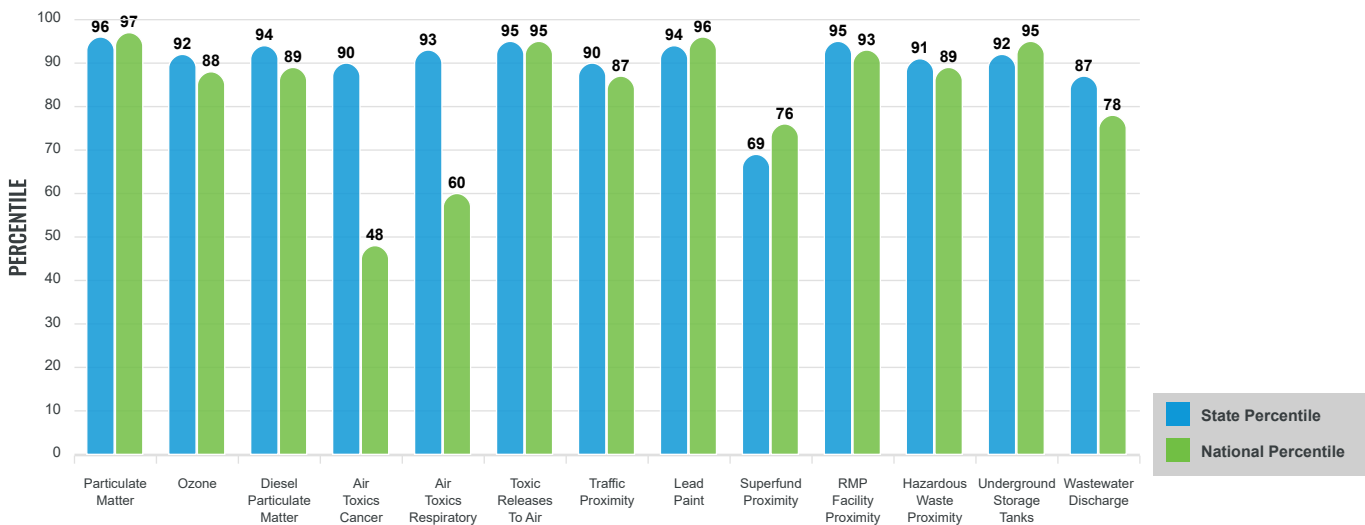
EJ INDEXES FOR THE SELECTED LOCATION



SUPPLEMENTAL INDEXES

The supplemental indexes offer a different perspective on community-level vulnerability. They combine data on percent low-income, percent linguistically isolated, percent less than high school education, percent unemployed, and low life expectancy with a single environmental indicator.

SUPPLEMENTAL INDEXES FOR THE SELECTED LOCATION



These percentiles provide perspective on how the selected block group or buffer area compares to the entire state or nation.

Report for 1 mile Ring around the Area

EJScreen Environmental and Socioeconomic Indicators Data

SELECTED VARIABLES	VALUE	STATE AVERAGE	PERCENTILE IN STATE	USA AVERAGE	PERCENTILE IN USA
POLLUTION AND SOURCES					
Particulate Matter (µg/m ³)	10.6	8.51	98	8.08	97
Ozone (ppb)	62.5	60	71	61.6	60
Diesel Particulate Matter (µg/m ³)	0.286	0.183	84	0.261	65
Air Toxics Cancer Risk* (lifetime risk per million)	20	19	14	25	5
Air Toxics Respiratory HI*	0.25	0.2	11	0.31	4
Toxic Releases to Air	5,300	2,500	92	4,600	87
Traffic Proximity (daily traffic count/distance to road)	140	120	73	210	65
Lead Paint (% Pre-1960 Housing)	0.84	0.38	89	0.3	93
Superfund Proximity (site count/km distance)	0.046	0.15	33	0.13	41
RMP Facility Proximity (facility count/km distance)	0.75	0.31	88	0.43	83
Hazardous Waste Proximity (facility count/km distance)	1.6	1.1	75	1.9	69
Underground Storage Tanks (count/km ²)	17	8	84	3.9	94
Wastewater Discharge (toxicity-weighted concentration/m distance)	0.00079	0.13	56	22	46
SOCIOECONOMIC INDICATORS					
Demographic Index	62%	28%	89	35%	85
Supplemental Demographic Index	25%	14%	92	14%	89
People of Color	68%	26%	88	39%	77
Low Income	57%	31%	85	31%	86
Unemployment Rate	16%	7%	90	6%	92
Limited English Speaking Households	6%	2%	92	5%	78
Less Than High School Education	22%	9%	92	12%	84
Under Age 5	7%	5%	74	6%	71
Over Age 64	14%	18%	39	17%	43
Low Life Expectancy	22%	20%	70	20%	73

*Diesel particulate matter, air toxics cancer risk, and air toxics respiratory hazard index are from the EPA's Air Toxics Data Update, which is the Agency's ongoing, comprehensive evaluation of air toxics in the United States. This effort aims to prioritize air toxics, emission sources, and locations of interest for further study. It is important to remember that the air toxics data presented here provide broad estimates of health risks over geographic areas of the country, not definitive risks to specific individuals or locations. Cancer risks and hazard indices from the Air Toxics Data Update are reported to one significant figure and any additional significant figures here are due to rounding. More information on the Air Toxics Data Update can be found at: <https://www.epa.gov/haps/air-toxics-data-update>.

Sites reporting to EPA within defined area:

Superfund	0
Hazardous Waste, Treatment, Storage, and Disposal Facilities	0
Water Dischargers	1
Air Pollution	5
Brownfields	1
Toxic Release Inventory	3

Other community features within defined area:

Schools	5
Hospitals	0
Places of Worship	14

Other environmental data:

Air Non-attainment	Yes
Impaired Waters	No

Selected location contains American Indian Reservation Lands*	No
Selected location contains a "Justice40 (CEJST)" disadvantaged community	Yes
Selected location contains an EPA IRA disadvantaged community	Yes

Report for 1 mile Ring around the Area

EJScreen Environmental and Socioeconomic Indicators Data

HEALTH INDICATORS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Low Life Expectancy	22%	20%	70	20%	73
Heart Disease	8.7	6.6	90	6.1	91
Asthma	15.8	11.6	94	10	99
Cancer	5.7	6.6	24	6.1	39
Persons with Disabilities	21.9%	14.6%	88	13.4%	90

CLIMATE INDICATORS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Flood Risk	3%	7%	31	12%	28
Wildfire Risk	0%	0%	0	14%	0

CRITICAL SERVICE GAPS					
INDICATOR	HEALTH VALUE	STATE AVERAGE	STATE PERCENTILE	US AVERAGE	US PERCENTILE
Broadband Internet	28%	14%	89	14%	87
Lack of Health Insurance	7%	5%	71	9%	49
Housing Burden	Yes	N/A	N/A	N/A	N/A
Transportation Access	Yes	N/A	N/A	N/A	N/A
Food Desert	No	N/A	N/A	N/A	N/A

Footnotes

Report for 1 mile Ring around the Area



United States
Department of
Agriculture

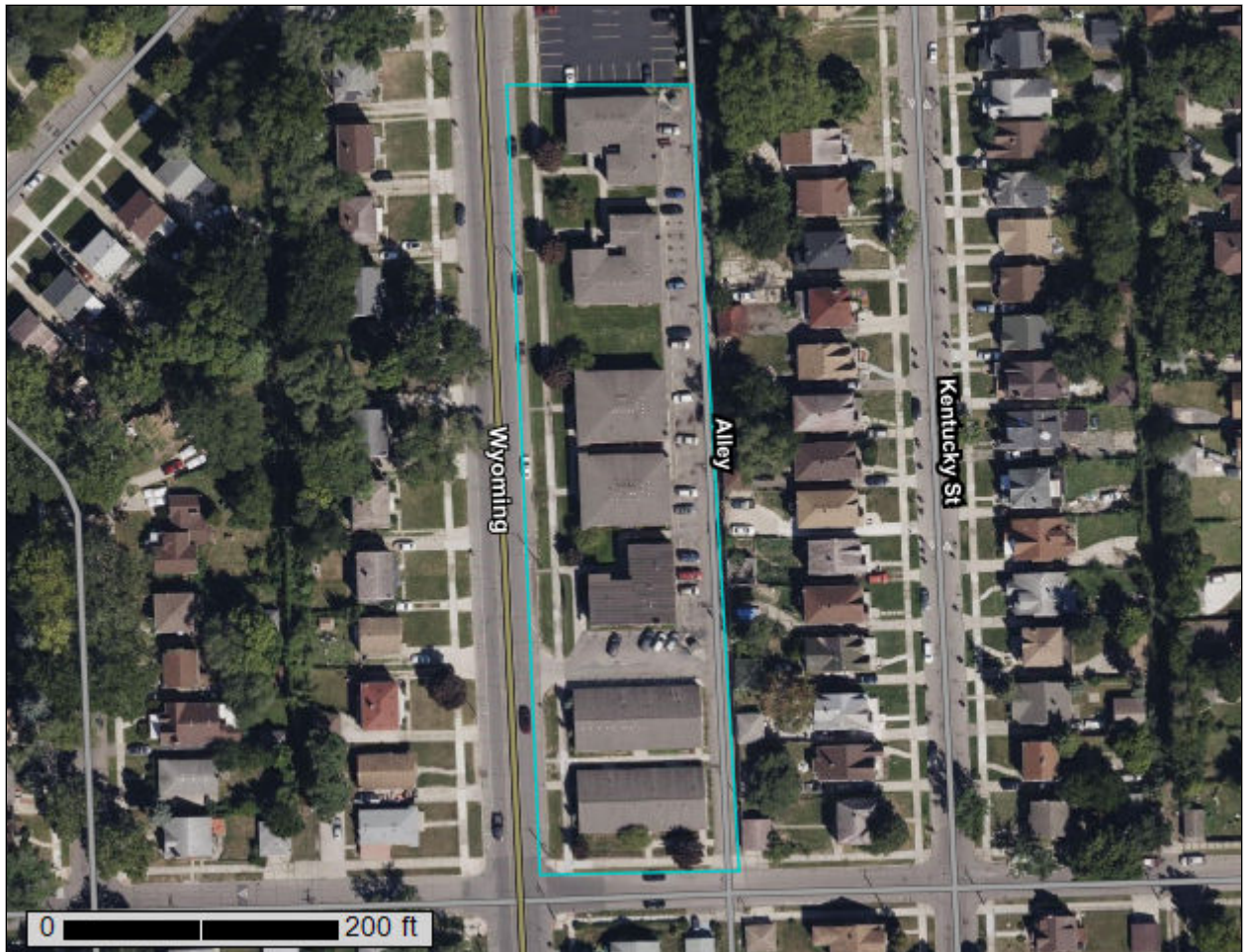
NRCS

Natural
Resources
Conservation
Service

A product of the National
Cooperative Soil Survey,
a joint effort of the United
States Department of
Agriculture and other
Federal agencies, State
agencies including the
Agricultural Experiment
Stations, and local
participants

Custom Soil Resource Report for **Wayne County, Michigan**

Buersmeyer Manor



Preface

Soil surveys contain information that affects land use planning in survey areas. They highlight soil limitations that affect various land uses and provide information about the properties of the soils in the survey areas. Soil surveys are designed for many different users, including farmers, ranchers, foresters, agronomists, urban planners, community officials, engineers, developers, builders, and home buyers. Also, conservationists, teachers, students, and specialists in recreation, waste disposal, and pollution control can use the surveys to help them understand, protect, or enhance the environment.

Various land use regulations of Federal, State, and local governments may impose special restrictions on land use or land treatment. Soil surveys identify soil properties that are used in making various land use or land treatment decisions. The information is intended to help the land users identify and reduce the effects of soil limitations on various land uses. The landowner or user is responsible for identifying and complying with existing laws and regulations.

Although soil survey information can be used for general farm, local, and wider area planning, onsite investigation is needed to supplement this information in some cases. Examples include soil quality assessments (<http://www.nrcs.usda.gov/wps/portal/nrcs/main/soils/health/>) and certain conservation and engineering applications. For more detailed information, contact your local USDA Service Center (<https://offices.sc.egov.usda.gov/locator/app?agency=nrcs>) or your NRCS State Soil Scientist (http://www.nrcs.usda.gov/wps/portal/nrcs/detail/soils/contactus/?cid=nrcs142p2_053951).

Great differences in soil properties can occur within short distances. Some soils are seasonally wet or subject to flooding. Some are too unstable to be used as a foundation for buildings or roads. Clayey or wet soils are poorly suited to use as septic tank absorption fields. A high water table makes a soil poorly suited to basements or underground installations.

The National Cooperative Soil Survey is a joint effort of the United States Department of Agriculture and other Federal agencies, State agencies including the Agricultural Experiment Stations, and local agencies. The Natural Resources Conservation Service (NRCS) has leadership for the Federal part of the National Cooperative Soil Survey.

Information about soils is updated periodically. Updated information is available through the NRCS Web Soil Survey, the site for official soil survey information.

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How Soil Surveys Are Made

Soil surveys are made to provide information about the soils and miscellaneous areas in a specific area. They include a description of the soils and miscellaneous areas and their location on the landscape and tables that show soil properties and limitations affecting various uses. Soil scientists observed the steepness, length, and shape of the slopes; the general pattern of drainage; the kinds of crops and native plants; and the kinds of bedrock. They observed and described many soil profiles. A soil profile is the sequence of natural layers, or horizons, in a soil. The profile extends from the surface down into the unconsolidated material in which the soil formed or from the surface down to bedrock. The unconsolidated material is devoid of roots and other living organisms and has not been changed by other biological activity.

Currently, soils are mapped according to the boundaries of major land resource areas (MLRAs). MLRAs are geographically associated land resource units that share common characteristics related to physiography, geology, climate, water resources, soils, biological resources, and land uses (USDA, 2006). Soil survey areas typically consist of parts of one or more MLRA.

The soils and miscellaneous areas in a survey area occur in an orderly pattern that is related to the geology, landforms, relief, climate, and natural vegetation of the area. Each kind of soil and miscellaneous area is associated with a particular kind of landform or with a segment of the landform. By observing the soils and miscellaneous areas in the survey area and relating their position to specific segments of the landform, a soil scientist develops a concept, or model, of how they were formed. Thus, during mapping, this model enables the soil scientist to predict with a considerable degree of accuracy the kind of soil or miscellaneous area at a specific location on the landscape.

Commonly, individual soils on the landscape merge into one another as their characteristics gradually change. To construct an accurate soil map, however, soil scientists must determine the boundaries between the soils. They can observe only a limited number of soil profiles. Nevertheless, these observations, supplemented by an understanding of the soil-vegetation-landscape relationship, are sufficient to verify predictions of the kinds of soil in an area and to determine the boundaries.

Soil scientists recorded the characteristics of the soil profiles that they studied. They noted soil color, texture, size and shape of soil aggregates, kind and amount of rock fragments, distribution of plant roots, reaction, and other features that enable them to identify soils. After describing the soils in the survey area and determining their properties, the soil scientists assigned the soils to taxonomic classes (units). Taxonomic classes are concepts. Each taxonomic class has a set of soil characteristics with precisely defined limits. The classes are used as a basis for comparison to classify soils systematically. Soil taxonomy, the system of taxonomic classification used in the United States, is based mainly on the kind and character of soil properties and the arrangement of horizons within the profile. After the soil

Custom Soil Resource Report

scientists classified and named the soils in the survey area, they compared the individual soils with similar soils in the same taxonomic class in other areas so that they could confirm data and assemble additional data based on experience and research.

The objective of soil mapping is not to delineate pure map unit components; the objective is to separate the landscape into landforms or landform segments that have similar use and management requirements. Each map unit is defined by a unique combination of soil components and/or miscellaneous areas in predictable proportions. Some components may be highly contrasting to the other components of the map unit. The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The delineation of such landforms and landform segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Soil scientists make many field observations in the process of producing a soil map. The frequency of observation is dependent upon several factors, including scale of mapping, intensity of mapping, design of map units, complexity of the landscape, and experience of the soil scientist. Observations are made to test and refine the soil-landscape model and predictions and to verify the classification of the soils at specific locations. Once the soil-landscape model is refined, a significantly smaller number of measurements of individual soil properties are made and recorded. These measurements may include field measurements, such as those for color, depth to bedrock, and texture, and laboratory measurements, such as those for content of sand, silt, clay, salt, and other components. Properties of each soil typically vary from one point to another across the landscape.

Observations for map unit components are aggregated to develop ranges of characteristics for the components. The aggregated values are presented. Direct measurements do not exist for every property presented for every map unit component. Values for some properties are estimated from combinations of other properties.

While a soil survey is in progress, samples of some of the soils in the area generally are collected for laboratory analyses and for engineering tests. Soil scientists interpret the data from these analyses and tests as well as the field-observed characteristics and the soil properties to determine the expected behavior of the soils under different uses. Interpretations for all of the soils are field tested through observation of the soils in different uses and under different levels of management. Some interpretations are modified to fit local conditions, and some new interpretations are developed to meet local needs. Data are assembled from other sources, such as research information, production records, and field experience of specialists. For example, data on crop yields under defined levels of management are assembled from farm records and from field or plot experiments on the same kinds of soil.

Predictions about soil behavior are based not only on soil properties but also on such variables as climate and biological activity. Soil conditions are predictable over long periods of time, but they are not predictable from year to year. For example, soil scientists can predict with a fairly high degree of accuracy that a given soil will have a high water table within certain depths in most years, but they cannot predict that a high water table will always be at a specific level in the soil on a specific date.

After soil scientists located and identified the significant natural bodies of soil in the survey area, they drew the boundaries of these bodies on aerial photographs and

Custom Soil Resource Report

identified each as a specific map unit. Aerial photographs show trees, buildings, fields, roads, and rivers, all of which help in locating boundaries accurately.

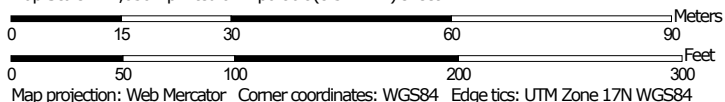
Soil Map

The soil map section includes the soil map for the defined area of interest, a list of soil map units on the map and extent of each map unit, and cartographic symbols displayed on the map. Also presented are various metadata about data used to produce the map, and a description of each soil map unit.

Custom Soil Resource Report Soil Map




Map Scale: 1:1,030 if printed on A portrait (8.5" x 11") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 17N WGS84


MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils







 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Wayne County, Michigan
 Survey Area Data: Version 9, Aug 25, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 8, 2022—Oct 4, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
KibuaB	Kibbie-Urban land complex, 0 to 4 percent slopes	1.9	100.0%
Totals for Area of Interest		1.9	100.0%

Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however, onsite investigation is needed to define and locate the soils and miscellaneous areas.

Custom Soil Resource Report

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.

Wayne County, Michigan

KibuaB—Kibbie-Urban land complex, 0 to 4 percent slopes

Map Unit Setting

National map unit symbol: 2tx7r
Elevation: 580 to 640 feet
Mean annual precipitation: 28 to 38 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 135 to 210 days
Farmland classification: Not prime farmland

Map Unit Composition

Kibbie, human transported surface, and similar soils: 50 percent
Urban land: 35 percent
Minor components: 15 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Kibbie, Human Transported Surface

Setting

Landform: Lakebeds (relict), deltas
Down-slope shape: Linear
Across-slope shape: Linear, convex
Parent material: Loamy human-transported material over loamy glaciolacustrine deposits

Typical profile

^Au - 0 to 9 inches: sandy loam
^Cu - 9 to 12 inches: loam
Bwb - 12 to 36 inches: silty clay loam
C - 36 to 80 inches: silt loam

Properties and qualities

Slope: 0 to 4 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Somewhat poorly drained
Runoff class: Medium
Capacity of the most limiting layer to transmit water (Ksat): Moderately low (0.01 to 0.14 in/hr)
Depth to water table: About 30 to 36 inches
Frequency of flooding: None
Frequency of ponding: None
Calcium carbonate, maximum content: 42 percent
Gypsum, maximum content: 1 percent
Maximum salinity: Nonsaline (0.1 to 1.5 mmhos/cm)
Available water supply, 0 to 60 inches: High (about 11.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8
Hydrologic Soil Group: D
Ecological site: F099XY007MI - Lake Plain Flats
Hydric soil rating: No

Description of Urban Land

Properties and qualities

Slope: 0 to 1 percent

Depth to restrictive feature: 0 inches to manufactured layer

Runoff class: High

Capacity of the most limiting layer to transmit water (Ksat): Very low (0.00 to 0.00 in/hr)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 8

Hydrologic Soil Group: D

Hydric soil rating: No

Minor Components

Colwood, human transported surface

Percent of map unit: 7 percent

Landform: Deltas, lakebeds (relict)

Microfeatures of landform position: Open depressions

Down-slope shape: Linear, concave

Across-slope shape: Convex, linear

Ecological site: F099XY013MI - Wet Lake Plain Flats

Hydric soil rating: No

Anthroportic udorthents

Percent of map unit: 5 percent

Landform: Deltas, lakebeds (relict)

Down-slope shape: Linear

Across-slope shape: Convex, linear

Ecological site: F099XY007MI - Lake Plain Flats

Hydric soil rating: No

Rapson, human transported surface

Percent of map unit: 2 percent

Landform: Deltas, lakebeds (relict)

Down-slope shape: Linear

Across-slope shape: Convex, linear

Ecological site: F099XY003MI - Warm Moist Sandy Depression

Hydric soil rating: No

Freesoil, human transported surface

Percent of map unit: 1 percent

Landform: Deltas, lakebeds (relict)

Down-slope shape: Linear

Across-slope shape: Convex, linear

Ecological site: F099XY007MI - Lake Plain Flats

Hydric soil rating: No

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Custom Soil Resource Report

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GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
LANSING



PHILLIP D. ROOS
DIRECTOR

January 5, 2024

Penny Dwoinen
City of Detroit, Housing and Revitalization Department
Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 908
Detroit, Michigan 48226

Via Email Only

Dear Penny Dwoinen:

Subject: Buersmeyer Manor Rehabilitation Project, Wayne County, Detroit, Michigan

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has reviewed the federal regulations related to general conformity of projects with state implementation plans (SIP) for air quality. In particular, 40 Code of Federal Regulations (CFR) Section 93.150 et seq, which states that any federally funded project in a nonattainment or maintenance area must conform to the Clean Air Act requirements, including the State's SIP if they may constitute a significant new source of air pollution.

On August 3, 2018, Wayne County was designated nonattainment for the 2015 ozone standard; and thus, general conformity must be evaluated when completing construction projects of a given size and scope. EGLE has completed the required SIP submittals for this area and on May 19, 2023, the United States Environmental Protection Agency (USEPA) redesignated the seven-county southeast Michigan area (including Wayne County) from nonattainment to attainment/maintenance. General conformity does, however, still require an evaluation during the maintenance period. For this evaluation, EGLE considered the following information from the USEPA general conformity guidance, which states, "historical analysis of similar actions can be used in cases where the proposed projects are similar in size and scope to previous projects."

EGLE has reviewed the Buersmeyer Manor Rehabilitation Project, proposed to be completed with federal grant monies, including the rehabilitation of an apartment complex located at 8500, 8508, 8520, 8534, 8550, 8564, 8580, and 8600 Wyoming Avenue, Detroit, Michigan 48204. The property consists of six apartment buildings and one community building, which contain affordable units. The exterior portion of the proposed rehabilitation will consist of milling and capping of the parking lot, replacement of decorative fence, landscaping, parking bollards, dumpster enclosure, alley curb, fabric canopies, roof, building gutters, windows, exterior exhaust vents, doors, light fixtures, air conditioning units, masonry repair, soffit replacement as needed, building cleaning and repair of damaged trim, seal coat all exterior concrete floors and installation of new signage. The interior portion of the rehabilitation project will consist of installation of new window blinds, vinyl plank floors with wood trim, replacement of all stairwell handrails, installation of energy star kitchen appliances and new cabinetry, along with many other upgrades of flooring, bathroom plumbing, sinks, LED fixtures and

Penny Dwoinen
Page 2
January 5, 2024

the replacement of all furnaces and water heaters. The community building will also be rehabilitated inside and out as part of the project. The proposed project is anticipated to begin in June 2024 and last 12 months.

In reviewing the "*Air Quality and Greenhouse Gas Study: Uptown Orange Apartments in Orange, California*," dated December 2012, prepared for KTG Group, Inc. by UltraSystems Environmental, Inc., it was determined that emission levels for the project were below the de minimis levels for general conformity. The Uptown Orange Apartments project and related parking structure construction was estimated to take 33 months to complete, would encompass an area of 5.57 acres, and included two four-story residential units with a total of 334 apartments, and two parking structures with a total of 494 and 679 parking spaces, respectively.

The size, scope and duration of the Buersmeyer Manor Rehabilitation Project proposed for completion in Wayne County is much smaller in scale than the Uptown Orange Apartments project described above and should not exceed the de minimis levels included in the federal general conformity requirements. Therefore, it does not require a detailed conformity analysis.

If you have any questions regarding this matter, please contact me at 517-648-6314; BukowskiB@Michigan.gov; or EGLE, AQD, P.O. Box 30260, Lansing, Michigan 48909-7760.

Sincerely,



Breanna Bukowski
Environmental Quality Analyst
Air Quality Division

cc: Michael Leslie, USEPA Region 5
Joseph Heaphy, Ethos Development Partners
Dawn Walker, Coalition on Temporary Shelter
Christopher Yelonek, ASTI Environmental

Attainment Status for the National Ambient Air Quality Standards

The National Ambient Air Quality Standards (NAAQS) are health-based pollution standards set by EPA.

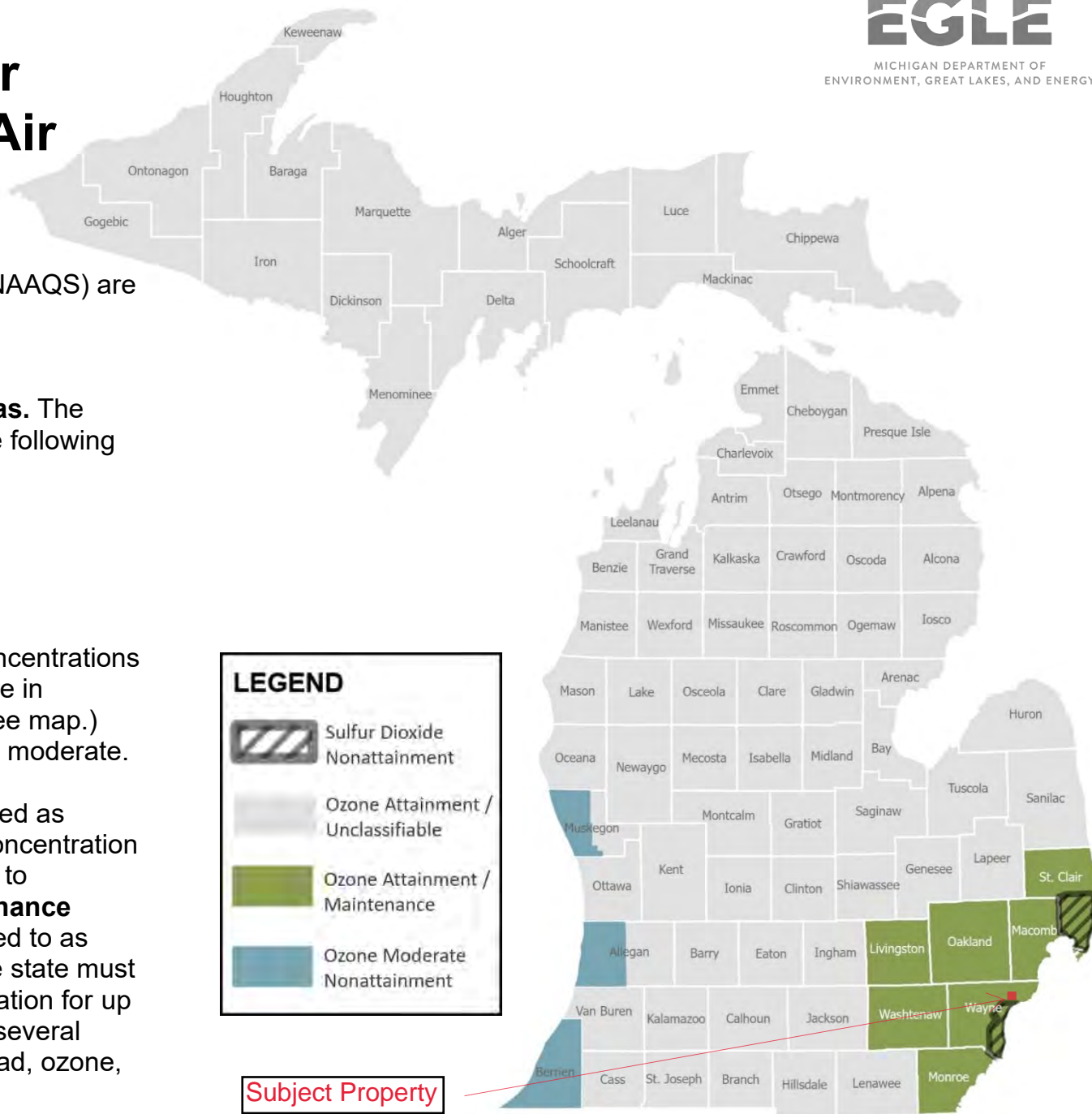
Areas of the state that are below the NAAQS concentration level are called **attainment areas**. The entire state of Michigan is in attainment for the following pollutants:

- Carbon Monoxide (CO)
- Lead (Pb)
- Nitrogen Dioxide (NO₂)
- Particulate Matter (PM₁₀ & PM_{2.5})

Nonattainment areas are those that have concentrations over the NAAQS level. Portions of the state are in nonattainment for sulfur dioxide and ozone (see map.) The ozone nonattainment area is classified as moderate.

Areas of the state that were previously classified as nonattainment but have since reduced their concentration levels below the NAAQS can be redesignated to attainment and are called **attainment/maintenance areas**. These areas are also commonly referred to as “attainment” after reclassification, however the state must continue monitoring and submitting documentation for up to 20 years after the redesignated. There are several maintenance areas throughout the state for lead, ozone, and particulate matter.

**For readability purposes the map only includes the most recently reclassified ozone maintenance area in southeast Michigan. For more information, please consult the Michigan.gov/AIR webpage or contact the division directly.*



**See Page 2 for close-up maps of partial county nonattainment areas.*

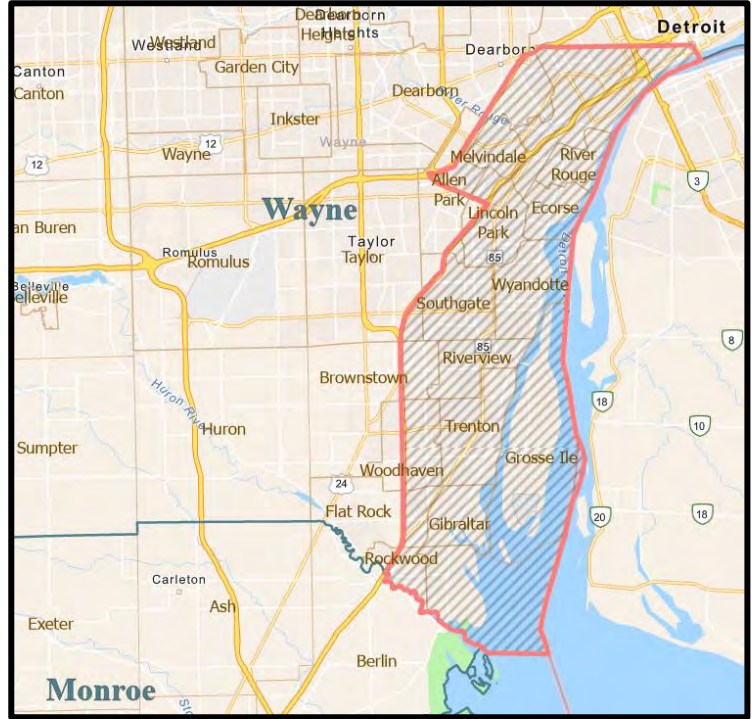
Close-Up Maps of Partial County Nonattainment Areas

Sulfur Dioxide Nonattainment Areas

St. Clair County



Wayne County

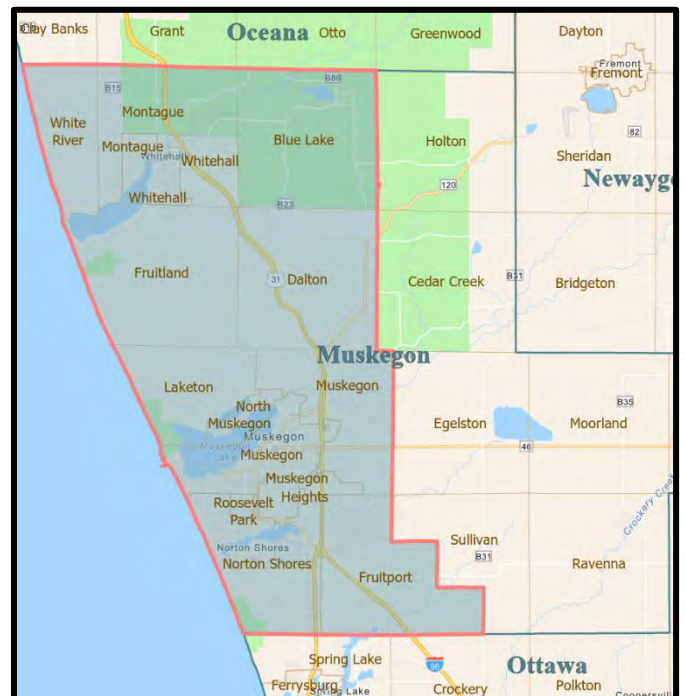


Ozone Moderate Nonattainment Areas

Allegan County



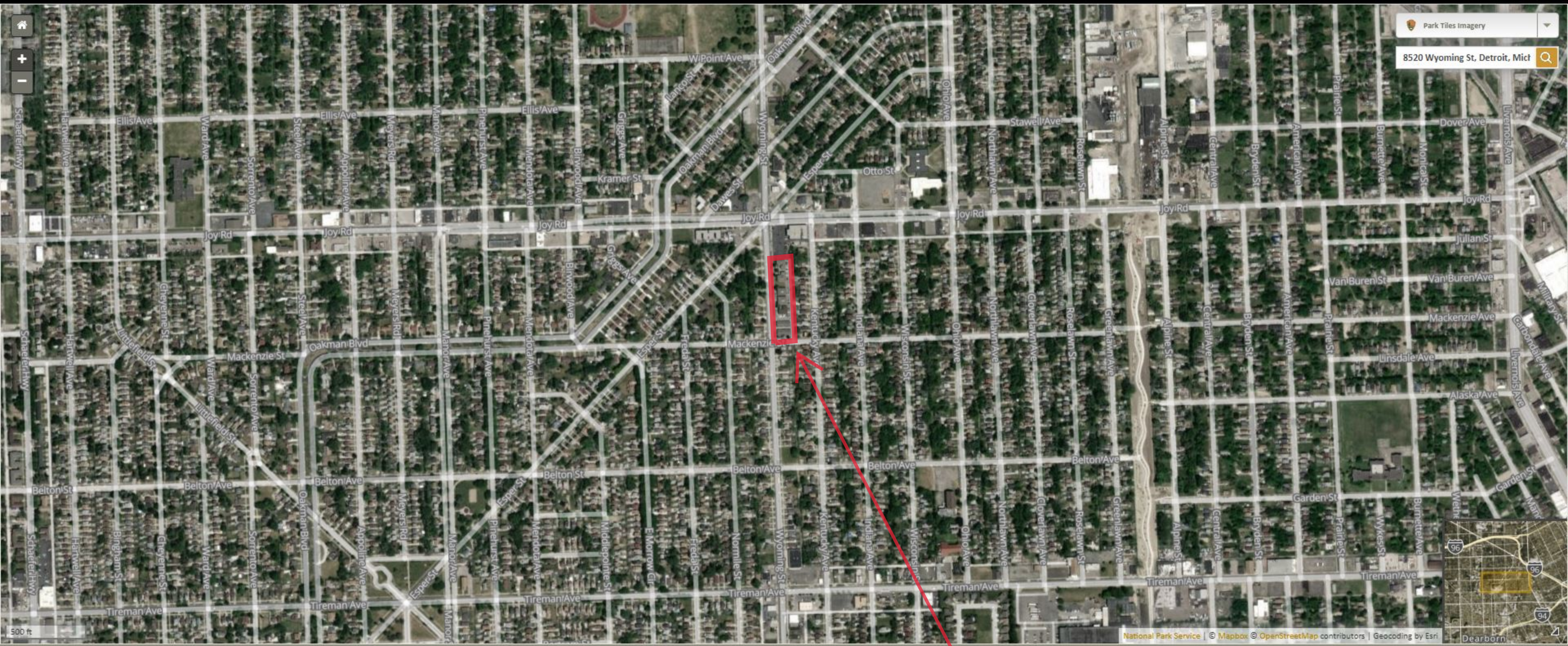
Muskegon County



Nationwide Rivers Inventory



This is a listing of more than 3,200 free-flowing river segments in the U.S. that are believed to possess one or more "outstandingly remarkable" values.



Subject Property

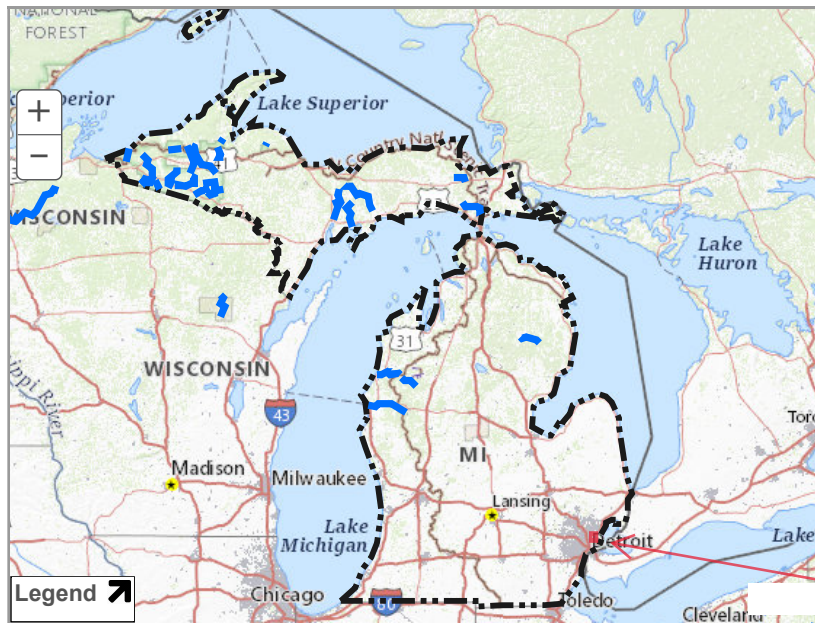




NATIONAL SYSTEM | MANAGEMENT | RESOURCES | PUBLICATIONS | CONTACT US | 50 YEARS | SITE INDEX

MICHIGAN

Michigan has approximately 51,438 miles of river, of which 656.4 miles are designated as wild & scenic—just a bit more than 1% of the state's river miles.



Choose A State

Choose A River

Nourished by the fertile soils of the region, rivers of the Midwest explode with life, from great avian migrations to ancient fishes.

Subject Property

[+ View larger map](#)

- AuSable River
- Bear Creek
- Black River
- Carp River
- Indian River
- Manistee River
- Ontonagon River
- Paint River
- Pere Marquette River
- Pine River
- Presque Isle River
- Sturgeon River (Hiawatha National Forest)
- Sturgeon River (Ottawa National Forest)
- Tahquamenon River (East Branch)
- Whitefish River
- Yellow Dog River

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[Profile Pages](#)

National System

[WSR Table](#)
[Study Rivers](#)
[Stewardship](#)
[WSR Legislation](#)

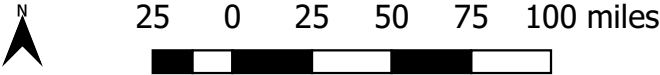
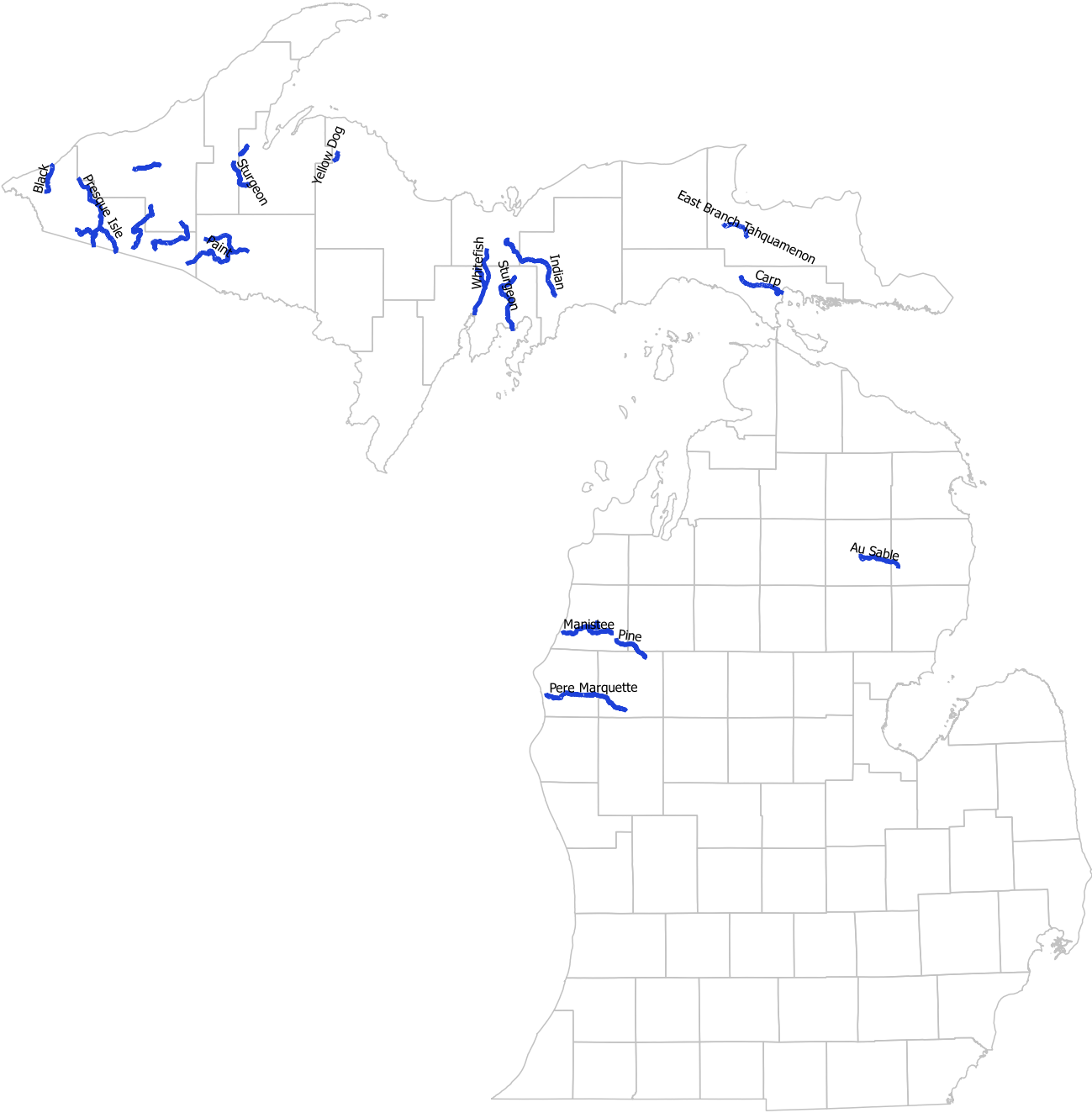
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[Agencies](#)
[Management Plans](#)
[River Mgt. Society](#)
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Resources

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Michigan Wild and Scenic Rivers



Legend

— National Wild and Scenic Rivers System

Source: National Wild and Scenic Rivers System
Website (<https://www.rivers.gov/mapping-gis.php>).



U.S. Fish & Wildlife Service

ECOS[ECOS](#) / [Species Reports](#)

/ Listed species with spatial current range believed to or known to occur in MI

Listed species with spatial current range believed to or known to occur in Michigan

Notes:

- This report includes species only if they have a **Spatial Current Range** in ECOS.
- **As of 02/13/2015 the data in this report has been updated to use a different set of information.** Results are based on where the species is believed to or known to occur. The FWS feels utilizing this data set is a better representation of species occurrence. Note: there may be other federally listed species that are not currently known or expected to occur in this state but are covered by the ESA wherever they are found; Thus if new surveys detected them in this state they are still covered by the ESA. The FWS is using the best information available on this date to generate this list.
- This report shows listed species or populations believed to or known to occur in MI
- This list does not include experimental populations and similarity of appearance listings.
- Click on the highlighted scientific names below to view a Species Profile.

Listed Species

Sort by group:

CSV

Show entriesSearch:

26 Species Listings

Scientific Name	Common Name	Where Listed	Region	ESA Listing Status
Birds				

Scientific Name	Common Name	Where Listed	Region ⓘ	ESA Listing Status ⓘ
<u>Charadrius melodus</u>	Piping Plover	[Great Lakes watershed DPS] - Great Lakes, watershed in States of IL, IN, MI, MN, NY, OH, PA, and WI and Canada (Ont.)	3	Endangered
<u>Calidris canutus rufa</u>	Red knot	Wherever found	5	Threatened
<u>Grus americana</u>	Whooping crane	U.S.A. (AL, AR, CO, FL, GA, ID, IL, IN, IA, KY, LA, MI, MN, MS, MO, NC, NM, OH, SC, TN, UT, VA, WI, WV, western half of WY)	2	Experimental Population, Non-Essential
Clams				
<u>Pleurobema clava</u>	Clubshell	Wherever found; Except where listed as Experimental Populations	5	Endangered
<u>Epioblasma rangiana</u>	Northern riffleshell	Wherever found	5	Endangered
<u>Villosa fabalis</u>	Rayed Bean	Wherever found	3	Endangered
<u>Obovaria subrotunda</u>	Round hickorynut	Wherever found	4	Threatened
<u>Epioblasma triquetra</u>	Snuffbox mussel	Wherever found	3	Endangered
Ferns and Allies				

Scientific Name	Common Name	Where Listed	Region ⓘ	ESA Listing Status ⓘ
<u>Asplenium scolopendrium</u> var. <u>americanum</u>	American hart's-tongue fern	Wherever found	5	Threatened
Flowering Plants				
<u>Iris lacustris</u>	Dwarf lake iris	Wherever found	3	Threatened
<u>Platanthera leucophaea</u>	Eastern prairie fringed orchid	Wherever found	3	Threatened
<u>Solidago houghtonii</u>	Houghton's goldenrod	Wherever found	3	Threatened
<u>Hymenoxys herbacea</u>	Lakeside daisy	Wherever found	3	Threatened
<u>Mimulus michiganensis</u>	Michigan monkey-flower	Wherever found	3	Endangered
<u>Cirsium pitcheri</u>	Pitcher's thistle	Wherever found	3	Threatened
Insects				
<u>Somatochlora hineana</u>	Hine's emerald dragonfly	Wherever found	3	Endangered
<u>Brychius hungerfordi</u>	Hungerford's crawling water Beetle	Wherever found	3	Endangered
<u>Lycaeides melissa samuelis</u>	Karner blue butterfly	Wherever found	3	Endangered

Scientific Name	Common Name	Where Listed	Region ⓘ	ESA Listing Status ⓘ
<u>Neonympha mitchellii mitchellii</u>	Mitchell's satyr Butterfly	Wherever found	3	Endangered
<u>Oarisma poweshiek</u>	Poweshiek skipperling	Wherever found	3	Endangered
Mammals				
<u>Lynx canadensis</u>	Canada Lynx	Wherever Found in Contiguous U.S.	6	Threatened
<u>Canis lupus</u>	Gray wolf	U.S.A.: All of AL, AR, CA, CO, CT, DE, FL, GA, IA, IN, IL, KS, KY, LA, MA, MD, ME, MI, MO, MS, NC, ND, NE, NH, NJ, NV, NY, OH, OK, PA, RI, SC, SD, TN, TX, VA, VT, WI, and WV; and portions of AZ, NM, OR, UT, and WA. Mexico.	6	Endangered
<u>Myotis sodalis</u>	Indiana bat	Wherever found	3	Endangered
<u>Myotis septentrionalis</u>	Northern Long-Eared Bat	Wherever found	3	Endangered
Reptiles				
<u>Nerodia erythrogaster neglecta</u>	Copperbelly water snake	Indiana north of 40 degrees north latitude, Michigan, Ohio	3	Threatened

Scientific Name	Common Name	Where Listed	Region ⓘ	ESA Listing Status ⓘ
<u>Sistrurus catenatus</u>	Eastern Massasauga (=rattlesnake)	Wherever found	3	Threatened

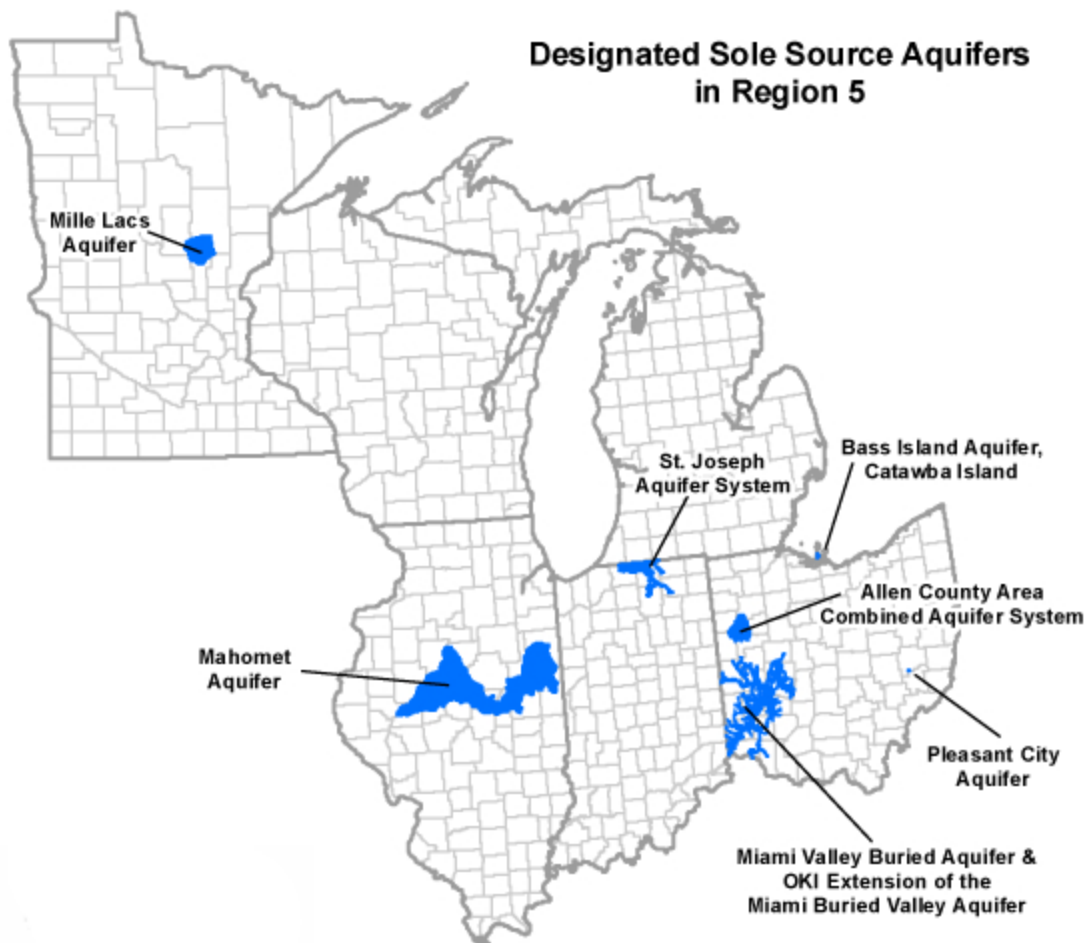
Showing 1 to 26 of 26 entries

Previous

1

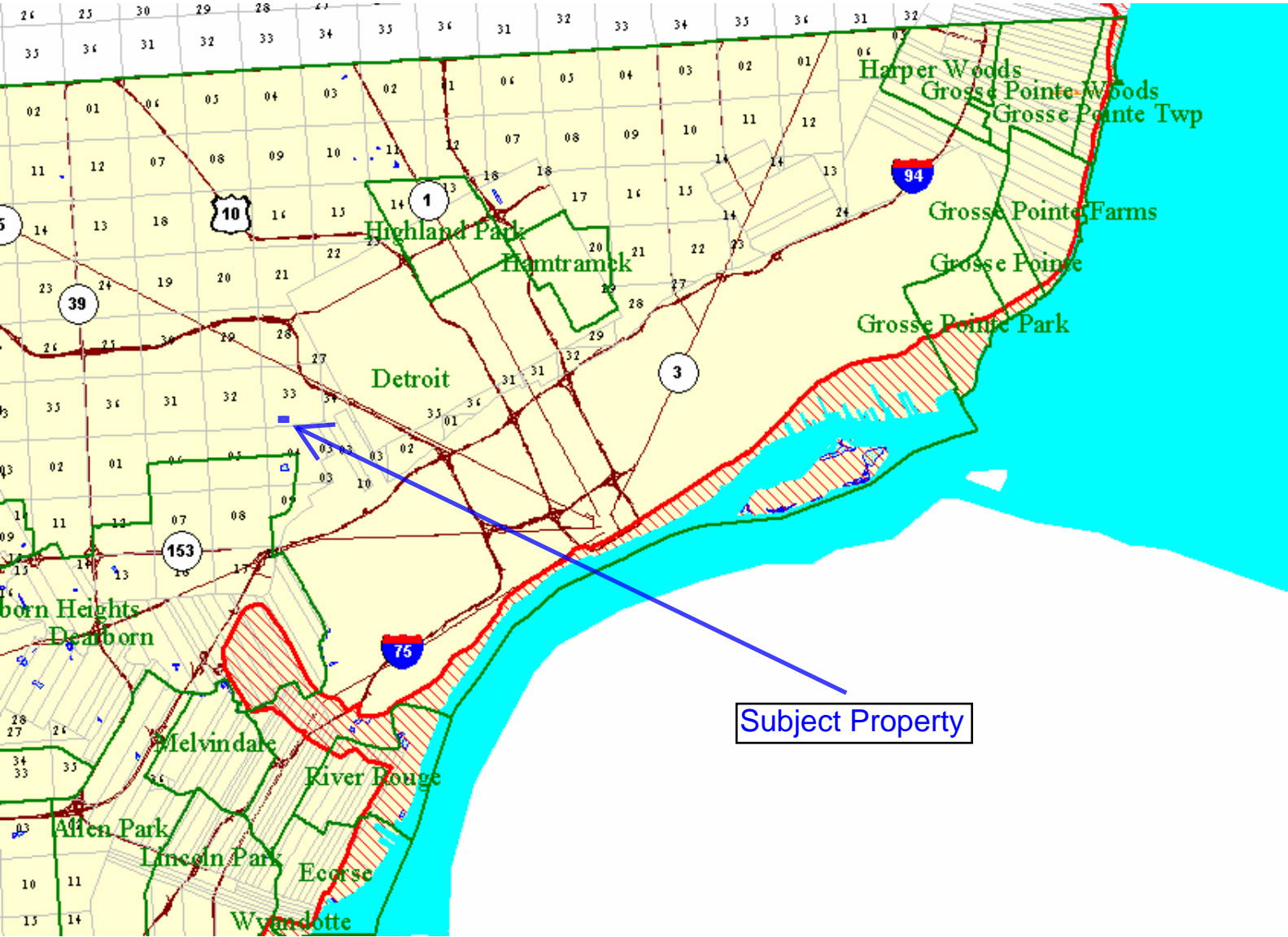
Next

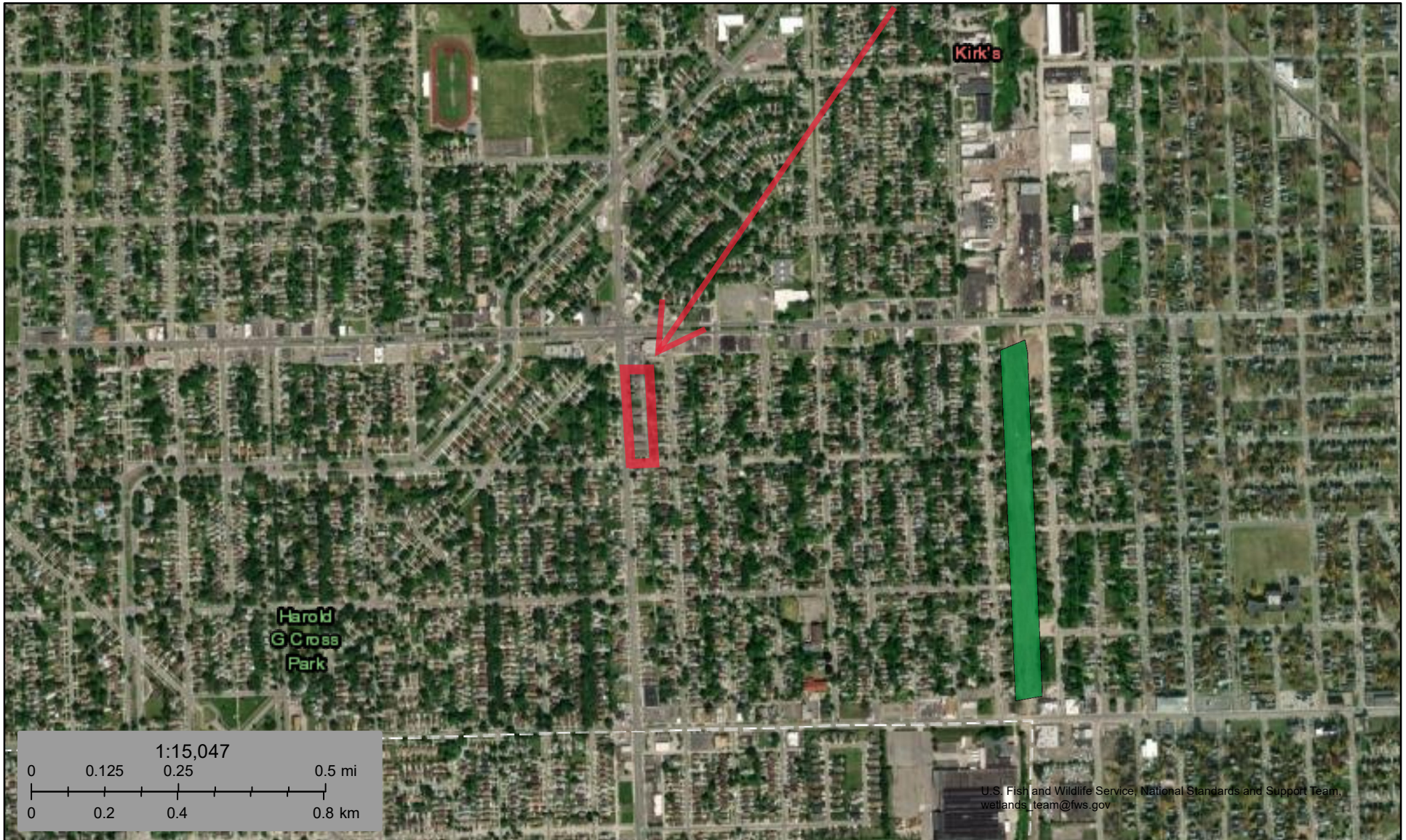
Designated Sole Source Aquifers in Region 5



Wayne County
Grosse Pointe Township, Grosse Pointe Woods, Grosse Pointe Farms
Grosse Pointe, Grosse Pointe Park, and Detroit, T1S R14E
Detroit, T1S R14E, T2S R13E, and T2S R12E
River Rouge, T2S R11E

The heavy red line is the **Coastal Zone Management Boundary**
The red hatched area is the **Coastal Zone Management Area**.





December 27, 2023

Wetlands

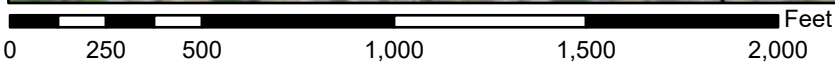
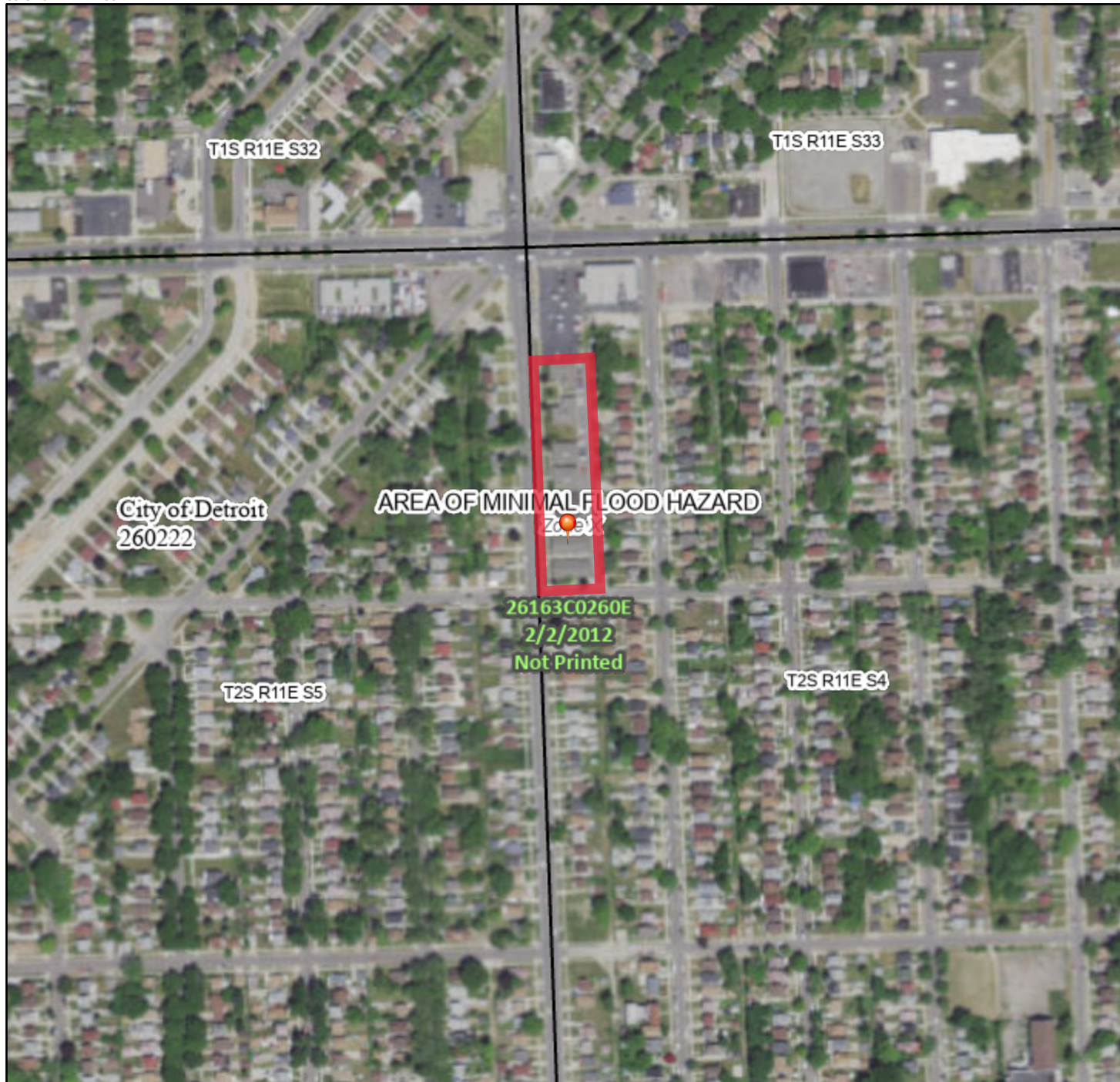
- | | | |
|--------------------------------|-----------------------------------|----------|
| Estuarine and Marine Deepwater | Freshwater Emergent Wetland | Lake |
| Estuarine and Marine Wetland | Freshwater Forested/Shrub Wetland | Other |
| | Freshwater Pond | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

National Flood Hazard Layer FIRMMette



83°9'46"W 42°21'38"N



1:6,000

83°9'8"W 42°21'12"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.



This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **12/27/2023 at 3:11 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 908
Detroit, Michigan 48226

Phone: 313.224.6380
Fax: 313.224.1629
www.detroitmi.gov

May 16, 2024

Penny Dwoinen
City of Detroit Housing & Revitalization Department
Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 908
Detroit, MI 48226

RE: Section 106 Review of the HOME Funded Buersmeyer Manor Project Located at 8500-8600 Wyoming Avenue in the City of Detroit, Wayne County, Michigan

Dear Mrs. Dwoinen,

In accordance with Section 106 of the National Historic Preservation Act and its implementing regulations, 36 CFR Part 800, I am providing a determination of historic eligibility regarding the above-referenced project under the authority of the "Programmatic Agreement between the Michigan State Historic Preservation Office and the City of Detroit, Michigan..." dated December 21, 2022.

The proposed project involves the rehabilitation of seven apartment buildings.

The direct APE consists of the seven buildings at the Subject Property. The indirect APE features 8357, 8360, 8501, 8511, 8519, 8531, 8539, 8549, 8559, 8569, 8583, 8593, 8603, 8613, and 8641 Wyoming Avenue; 8901 Joy Road; and 8365, 8503, 8511, 8519, 8527, 8535, 8541, 8549, 8555, 8569, 8575, 8579, 8585, 8595, 8603, and 8623 Kentucky Street.

Per Stipulation VI of the Programmatic Agreement, the proposed undertaking is exempt from review by SHPO's archaeologist and consultation with Tribes.

Based on historic research of the property, it has been determined that within in the APE, there are no properties listed or eligible for listing in the National Register of Historic Places. Therefore, **no historic properties will be affected** by the proposed undertaking. This project may proceed without further coordination with the Preservation Specialist unless the project scope changes or artifacts are uncovered during the course of construction. If you have any questions, please contact Tiffany Ciavattone at CiavattoneT@detroitmi.gov.

Sincerely,

A handwritten signature in blue ink that reads "Tiffany Ciavattone". The signature is written in a cursive style with a long horizontal line extending from the end of the name.

Tiffany Ciavattone
Preservation Specialist
City of Detroit
Housing & Revitalization Department



**Housing and Revitalization
Department**

Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 908
Detroit, Michigan 48226

Phone: 313.224.6380
Fax: 313.224.1629
www.detroitmi.gov



APPLICATION FOR SHPO SECTION 106 CONSULTATION

Submit one application for each project for which comment is requested. Consult the *Instructions for the Application for SHPO Section 106 Consultation Form* when completing this application.

Submit application materials online at www.michigan.gov/shposection106 or mail to: Michigan State Historic Preservation Office, 300 North Washington Square, Lansing, MI 48913

- I. **GENERAL INFORMATION** New submittal
 More information relating to SHPO ER# *SHPO Project #*
 Submitted under a Programmatic Agreement (PA)
 PA Name/Date: *PA name/date, if applicable*

- a. **Project Name:** Buersmeyer Manor
- b. **Project Location(s):** 8500, 8520, 8534, 8550, 8560, 8580, and 8600 Wyoming Avenue, Detroit, Wayne County, Michigan 48204

If there is more than one location for your project, additional rows may be added to the table below. Township, Range, Section/Private Claim refer to the public land survey sections. Each Township/Range group must have its own row in the table below and must include the corresponding county and municipal unit.

County	Municipality	Street Address	Township (N/S)	Range (E/W)	Section(s) or Private Claim
Wayne County	Detroit	8500-8600 Wyoming Avenue	Township 2 South	Range 11 East	NW ¼ of the NW ¼ of Section 04

II. FEDERAL AGENCY INVOLVEMENT AND RESPONSE CONTACT INFORMATION

- a. **Federal Agency:** *Name of federal agency*
Contact Name: *Name of federal contact*
Contact Address: *Federal contact mailing address* **City:** *Federal contact city* **State:** *Federal contact state*
Zip: *Federal contact zip code*
Email: *Federal contact email*
Specify the federal agency involvement in the project: *Specifically identify the federal involvement with the project*
- b. **If HUD is the Federal Agency:** 24 CFR Part 50 or Part 58
Responsible Entity (RE): City of Detroit: Housing and Revitalization Department
Contact Name: Julie Schneider, HRD Director
Contact Address: Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 908 **City:** Detroit
State: Michigan **Zip:** 48226
RE Email: *RE contact's email* **Phone:** 313-224-6380
- c. **State Agency Contact (if applicable):** Michigan State Housing Development Authority
Contact Name: Amy Hovey, MSHDA Director
Contact Address: 735 East Michigan Avenue **City:** Lansing **Zip:** 48909
Email: MSHDA@michigan.gov **Phone:** 517-335-9885
- d. **Applicant (if different than federal agency):** COTS
Contact Name: Andrew Gilroy



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Contact Address: 26 Peterboro Street, Suite 100 **City:** Detroit **State:** Michigan **Zip:** 48201-2757
Email: Redacted **Phone:** Redacted

- e. **Consulting Firm (if applicable):** ASTI Environmental
 Contact Name: Christopher Yelonek
 Contact Address: 10448 Citation Drive, Suite 100 **City:** Brighton **State:** Michigan **Zip:** 48116
Email: cyelonek@asti-env.com **Phone:** 810-225-2800

III. PROJECT INFORMATION

a. Project Work Description

Describe all work to be undertaken as part of the project:

The proposed project seeks to rehabilitate seven apartment buildings at 8500, 8520, 8534, 8550, 8560, 8580, and 8600 Wyoming Avenue, Detroit, Wayne County, Michigan 48204 (Subject Property). The exterior portion of the proposed rehabilitation is to consist of the milling and capping of the parking lot, replacement of the decorative fence, landscaping, replacement of parking bollards, replacement of the dumpster enclosure, alley curb replacement, masonry repair, soffit replacement as needed, building cleaning, repair of damaged trim, seal coat all exterior concrete floors, replacement of fabric canopies, roof replacements, building gutter replacement, install new windows, replacement of exterior exhaust vents, door replacements, install new light fixtures, replacement of air conditioning units, and install new wayfinding signage. The interior portions of the proposed project are to occur in all apartment buildings. The rehabilitation work to occur in the interior of the apartment buildings constituents installation of new window blinds, install vinyl plank floors with wood trim, replacement of all stairwell handrails, install energy star kitchen appliances, install new cabinetry along with plastic laminate countertops, replacement of all bathroom accessories, install a new intercom system, replacement of all laundry equipment, complete all new corridor finishes including new flooring, install new bathroom plumbing, install new kitchen sinks with garbage disposals, install new kitchen exhaust hoods, replace all lighting with LED fixtures, replacement of all furnaces, replacement of water heaters, repair all plumbing fixtures as needed, repair bath tubs as needed, replacement of bathroom exhaust vents, repair bowing basement stair wall, and repair cracks of the basement stair wall. As part of the rehabilitation the community building on the Subject Property is to undergo the installation of new flooring, replacement of all furniture, repair existing tile as needed, repaint the community building interiors, install new energy star appliances in the common kitchen, install new cabinetry with laminate countertops, replace the mailboxes, and replace all acoustic ceiling tiles.

b. Project Location and Area of Potential Effect (APE)

- i. **Maps.** Please indicate all maps that will be submitted as attachments to this form.

- Street map, clearly displaying the direct and indirect APE boundaries
- Site map
- USGS topographic map Name(s) of topo map(s): Dearborn and Royal Oak
- Aerial map
- Map of photographs
- Other: Identify type(s) of map(s)

ii. Site Photographs

iii. Describe the APE:

The direct APE consists of the buildings at the Subject Property. The indirect APE features 8357, 8360, 8501, 8511, 8519, 8531, 8539, 8549, 8559, 8569, 8583, 8593, 8603, 8613, and 8641 Wyoming Avenue; 8901 Joy Road; and 8365, 8503, 8511, 8519, 8527, 8535, 8541, 8549, 8555, 8569, 8575, 8579, 8585, 8595, 8603, and 8623 Kentucky Street.

iv. Describe the steps taken to define the boundaries of the APE:



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The direct APE was determined through the proposed scope of work. The indirect APE was defined through the direct views of the Subject Property.

IV. IDENTIFICATION OF HISTORIC PROPERTIES

a. Scope of Effort Applied

- i. **List sources consulted for information on historic properties in the project area** (including but not limited to SHPO office and/or other locations of inventory data).
 1. Detroit, City of. "Barton-McFarland." Accessed October 31, 2023. <https://theneighborhoods.org/neighborhoods/barton-mcfarland>.
 2. Ibid. "Local Historic District Map." Accessed October 30, 2023. <https://detroitmi.gov/webapp/local-historic-district-map>.
 3. EDR. *Certified Sanborn Map Report: 8520 Wyoming Street, Detroit, Michigan 48204*. Shelton, CT: EDR, 2023.
 4. Ibid. *The EDR Aerial Photo Decade Package: 8520 Wyoming Street, Detroit, Michigan 48204*. Shelton, CT: EDR, 2023.
 5. Ibid. *EDR Historical Topo Map Report: 8520 Wyoming Street, Detroit, Michigan 48204*. Shelton, CT: EDR, 2023.
 6. Keene, Samantha. "Detroit's Streetcars: Past and Present." Detroit Historical Society, July 18, 2016. <https://detroithistorical.org/blog/2016-07-18-detroits-streetcars-past-and-present>.
 7. Michigan Legislature: House Testimony: Committee 13-3-31-2009. *Transit History of the Detroit Region*. PDF. Accessed December 27, 2023.
 8. Michigan State Historic Preservation Office. ArcGIS. November 14, 2023.
- ii. Provide documentation of previously identified sites as attachments.
- iii. **Provide a map** showing the relationship between the previously identified properties and sites, your project footprint and project APE.
- iv. Have you reviewed existing site information at the SHPO: Yes No
- v. Have you reviewed information from non-SHPO sources: Yes No

b. Identification Results

i. Above-ground Properties

- A. **Are you submitting above-ground identification information?** Yes No
- B. **If yes, please indicate level:**
 - Literature Review Reconnaissance Survey Report Intensive Survey Report
- C. **Total number of properties surveyed** 36:
- D. **Total number of previously identified Historic Properties in your APE** 0
- E. **Total number of newly identified properties recommended eligible for listing in the National Register of Historic Places** 0
- F. **Summarize, briefly, your findings for above-ground resources.**



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The building at 8901 Joy Road is less than 45 years of age, therefore it is not eligible for the National Register of Historic Places (NRHP). Of the 35 building over 45 years of age, all buildings were determined to be either typical examples of their respective architectural styles or have been significantly altered with the inclusion of inappropriate building materials.

- G. **Attach the appropriate Michigan SHPO Architectural Identification Form for each resource or site 50 years of age or older in the APE.** Refer to the *Instructions for the Application for SHPO Section 106 Consultation Form* for guidance on this.
- H. **Provide the name and qualifications of the person who made recommendations of eligibility for the above-ground identification forms.**

Name Christopher Yelonek **Agency/Consulting Firm:** ASTI Environmental

Is the individual a 36CFR Part 61 Qualified Historian or Architectural Historian Yes No

Are their credentials currently on file with the SHPO? Yes No

If NO attach this individual's qualifications form and resume.



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ii. Archaeology

Submit the following information using attachments, as necessary.

A. Are you submitting archaeological information? Yes No

B. If yes, please indicate: Assessment (Desktop Review) Archeological Report

C. Width(s), length(s), and depth(s) of proposed ground disturbance(s): [Width, length, depth of proposed ground disturbance](#)

D. Is a portion of the APE underwater? Yes No

If the assessment did not include the underwater portions of the APE, please briefly justify:

[Justification for not assessing the potential for submerged historic resources:](#)

E. Potential to adversely affect significant archaeological resources:

Low Moderate High

Is fieldwork recommended? Yes No

Briefly justify the recommendation:

[Justification for recommendation of fieldwork](#)

F. Have you attached an Archaeological Sensitivity Map? Yes No

G. Summary of previously reported archaeological sites and surveys:

[Previously reported archaeological sites and surveys](#)

H. Summarize past and present land use:

[Summary of past and present land use](#)

I. If archaeological fieldwork has been conducted, please attach a copy of the report copy and provide full report reference here:

[Full report reference](#)

J. Provide the name and qualifications of the person who provided the information for the Archaeology section:

Name: [Name of archaeologist](#) Agency/Firm: [Archaeologist's agency or firm](#)

Is the person a 36CFR Part 61 Qualified Archaeologist? Yes No

Are their credentials currently on file with the SHPO? Yes No

If NO, attach this individual's qualifications form and resume.

Archaeological site locations are legally protected.

This application may not be made public without first redacting sensitive archaeological information.

V. IDENTIFICATION OF CONSULTING PARTIES

a. Provide a list of all consulting parties, including Native American tribes, local governments, applicants for federal assistance/permits/licenses, parties with a demonstrated interest in the undertaking, and public comment:

1. City of Detroit: Planning and Development Department, Gregory Moots, Lead Planner, Coleman A. Young Municipal Center, 2 Woodward Avenue, Suite 808, Detroit, Michigan 48226, 313-224-1358, greg@detroitmi.gov.
2. Wayne County: Economic Development, Hassan Sheikh, Director, 600 Randolph Street, Detroit, Michigan 48226, 313-224-0420, hsheikh@waynecounty.com.
3. Forest County Potawatomi Community of Wisconsin, Ben Rhodd, THPO, P.O. Box 340, Crandon, Wisconsin 54520, 715-478-7354, benjamin.rhodd@fcp-nsn.gov.



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4. Hannahville Indian Community of Michigan, Kenneth Meshigaud, Chairperson, N14911 Hannahville B1 Road, Wilson, Michigan 49896-9728, 906-723-2602, tyderyien@hannahville.org.
 5. Lac Vieux Desert Band of Lake Superior Chippewa Indians of Michigan, Alina Shively, THPO Director, P.O. Box 249, Watersmeet, Michigan 49969, 906-358-0137, alina.shively@lvd-nsn.gov.
 6. Little Travers Bay Bands of Odawa Indians of Michigan, Melissa Wiatrolik, THPO, 7500 Odawa Circle, Harbor Springs, Michigan 49740, 231-242-1408, mwiatrolik@ltbbodawa-nsn.gov.
 7. Menominee Indian Tribe of Wisconsin, David Grignon, Tribal Historic Preservation Officer, P.O. Box 910, Keshena, Wisconsin 54135, 715-799-5258, histroicpreservationgroup@mitw.org.
 8. Miami Tribe of Oklahoma, Logan York, THPO, P.O. Box 1326, Miami, Oklahoma 74355, 918-541-8966, thpo@miamination.com.
 9. Pokagon Band of Potawatomi Indians of Michigan and Indiana, Matthew Bussler, THPO, P.O. Box 180, Dowagiac, Michigan 49047, 269-462-4316, matthew.bussler@pokagonband-nsn.gov.
 10. Sault Sainte Marie Tribe of Chippewa Indians of Michigan, Marie Richards, Cultural Repatriation Specialist, 531 Ashmun Street, Sault Sainte Marie, Michigan 49783, 906-635-6050, mrichards@saulttribe.net.
 11. Seneca-Cayuga Nation, William Tarrant, THPO, P.O. Box 453220, Grove, Oklahoma 74345, 918-791-6061, wtarrant@sctribe.com.
- b. **Provide a summary of consultation with consultation parties:**
Consultation will be completed by the Responsible Entity at a later date.
- c. **Provide summaries of public comment and the method by which that comment was sought:**
Public comment will be sought by the Responsible Entity at a later date.

VI. DETERMINATION OF EFFECT

Guidance for applying the Criteria of Adverse Effect can be found in *the Instructions for the Application for SHPO Section 106 Consultation Form*.

a. **Basis for determination of effect:**

The Subject Property was initially developed in 1953, as apartments, during the last years of the City of Detroit: Department of Street Railways' (DSR) existence, which was fully disbanded in 1956. The Subject Property has retained its initial streetcar neighborhood character with additionally apartment buildings being constructed in the 1950s and 1960s. By 1967, the Subject Property was fully developed as seven apartment buildings with a large parking lot on the rear elevations of the buildings. The area east of the Subject Property is a typical streetcar neighborhood development, likely due to the line running on Oakman Boulevard, as seen in the 1941 DSR map. Much of the area to the west and the south of the Subject Property was largely developed after World War II, still, retaining the character of a streetcar neighborhood. The automotive period of the City of Detroit has eroded portions of the streetcar neighborhood surrounding the Subject Property, with vacant lots and automotive depended developments along Joy Road.

Through this literature review of the proposed project, it has been determined that the property at 8901 Joy Road is less than 50 years of age and cannot be considered for the National Register of Historic Places (NRHP). The Subject Property and the other properties within the APE are not eligible for the NRHP since all the buildings are typical examples of their respective architectural styles. Additionally, nearly all the properties within the APE have been inappropriately altered for their respective architectural styles through the inclusion of vinyl building materials. The nearest previously identified property eligible for listing in the NRHP is Royal Coney Island, which is outside of the proposed project's APE. Due to the scope of work for the proposed project, there are no ground disturbing activities. For the above-ground portion of this application, ASTI recommends the determination of no historic properties will be affected by the proposed project.



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b. **Determination of effect**

No historic properties will be affected

Historic properties will be affected and the project will (check one):

have **No Adverse Effect** on historic properties within the APE.

have an **Adverse Effect** on one or more historic properties in the APE and the federal agency, or federally authorized representative, will consult with the SHPO and other parties to resolve the adverse effect under 800.6.

More Information Needed: We are initiating early consultation. A determination of effect will be submitted to the SHPO at a later date, pending results of survey.

Federally Authorized Signature: _____ Date: _____

Type or Print Name: _____

Title: _____



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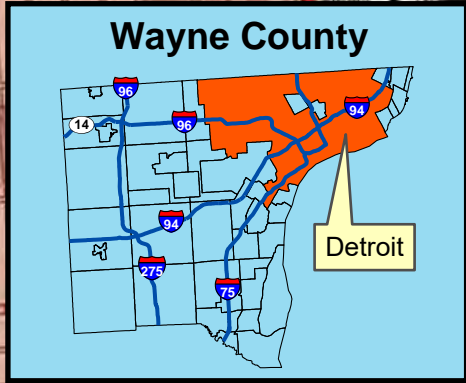
ATTACHMENT CHECKLIST

Identify any materials submitted as attachments to the form:

- Additional federal, state, local government, applicant, consultant contacts
- Maps of project location
 - Number of maps attached: 1
- Site Photographs
 - Map of photographs
- Plans and specifications
- Other information pertinent to the work description: Project narrative.
- Updated documentation of previously identified historic properties
- New Architectural Properties Identification Forms
- Map showing the relationship between identified historic properties, your project footprint, and project APE
- Above-ground qualified person's qualification form and resume
- Above-ground survey report
- Archaeological sensitivity map
- Archaeology survey report
- Archaeologist and Historian qualifications and resume- if not on file already.
- Other: Aerial photographs, Sanborn Fire Insurance Maps, and USGS Topographic Maps.

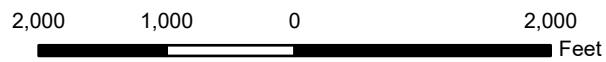
Appendix A

Site Location Map/USGS 7.5 min. Topographic Map



Buersmeyer Manor

8520 Wyoming Ave,
Detroit, MI



Created for: COTS
Created by: RMH, April 26, 2023, ASTI Project 1-12757

Site Location Map

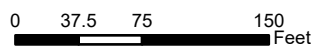
Appendix B
Area of Potential Effect Map



Service Layer Credits: Michigan_imagery_public

Buersmeyer Manor

8520 Wyoming Street,
Detroit, MI



Created for: COTS
Created by: RMH, November 8, 2023, ASTI Project 1-12757

Area of Potential Effects Map

Appendix C
APE Photo Log

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 1. Subject Property: 8500 Wyoming Avenue



Photo 2. Subject Property: 8520 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 3. Subject Property: 8534 Wyoming Avenue



Photo 4. Subject Property: 8550 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 5. Subject Property: 8560 Wyoming Avenue



Photo 6. Subject Property: 8580 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 7. Subject Property: 8600 Wyoming Avenue



Photo 8. Wyoming Avenue Landscape, looking Southwest.

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 9. 8357 Wyoming Avenue



Photo 10. 8360 Wyoming Avenue



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 11. 8501 Wyoming Avenue



Photo 12. 8511 Wyoming Avenue



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 13. 8519 and 8523 Wyoming Avenue



Photo 14. 8531 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 15. 8539 and 8543 Wyoming Avenue



Photo 16. 8549 and 8553 Wyoming Avenue



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 17. 8559 and 8563 Wyoming Avenue



Photo 18. 8569 and 8573 Wyoming Avenue



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 19. 8583 and 8587 Wyoming Avenue



Photo 20. 8593 and 8597 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 21. 8603 and 8607 Wyoming Avenue



Photo 22. 8613 and 8641 Wyoming Avenue

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 23. 8901 Joy Road



Photo 24. Kentucky Street landscape, looking Northwest.



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 25. 8365 Kentucky Street



Photo 26. 8503 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan



Photo 27. 8511 Kentucky Street



Photo 28. 8519 Kentucky Street

PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 29. 8527 Kentucky Street



Photo 30. 8535 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 31. 8541 Kentucky Street



Photo 32. 8549 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 33. 8555 Kentucky Street



Photo 34. 8569 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 35. 8575 Kentucky Street



Photo 36. 8579 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 37. 8585 Kentucky Street



Photo 38. 8595 Kentucky Street



PHOTO LOG

8520 Wyoming Avenue, Detroit, Michigan

Photo 39. 8603 Kentucky Street



Photo 40. 8623 Kentucky Street



Appendix D

Preliminary Site Plans



Documents Removed to Avoid Duplication and Reduce Length

Appendix E
Architectural Identification Form

Section 106 Above-Ground Identification Table

Address (Street number, Street name, City, County)	Date of Construction/ Alterations	Architect	Building style	Materials	Window types	Current Conditions	Historic Integrity	NRHP Criteria	Area of Significance	Period of Significance	NRHP Eligibility Recommendation (eligible, not eligible)	Statement of Significance (provide justification for NRHP eligibility recommendation)	Photograph Thumbnail
8500 Wyoming Street, Detroit, Wayne County	Circa 1953	Unknown	FHA: Side Gabled	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	The apartment building at 8500 Wyoming Street is in the Federal Housing Authority: Side Gabled architectural style. The building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8520 Wyoming Street, Detroit, Wayne County	Circa 1953	Unknown	FHA: Side Gabled	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	The apartment building at 8520 Wyoming Street is in the Federal Housing Authority: Side Gabled architectural style. The building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8534 Wyoming Street, Detroit, Wayne County	Circa 1956	Unknown	Miesian	Brick, Concrete, Aluminum, and Rubber Membrane	Vinyl Picture, Aluminum Fixed, and Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	The apartment building at 8534 Wyoming Street is in the Miesian architectural style. The building is a typical example of the Miesian style. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.	
8550 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	Colonial Revival	Brick, Concrete, Wood, and Asphalt Shingle	Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	The apartment building at 8550 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.	
8560 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	Colonial Revival	Brick, Concrete, Wood, and Asphalt Shingle	Vinyl Picture and Slide	Good	Altered	C	NA	NA	Not Eligible	The apartment building at 8560 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.	

8580 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	Mid-Century Modern	Brick, Concrete, Aluminum, and Rubber Membrane	Aluminum Fixed and Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	<p>The apartment building at 8580 Wyoming Street is in the Mid-Century Modern architectural style. The building is a typical example of the Mid-Century Modern style. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8600 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	Mid-Century Modern	Brick, Concrete, Aluminum, and Rubber Membrane	Aluminum Fixed and Vinyl Slide	Good	Altered	C	NA	NA	Not Eligible	<p>The apartment building at 8600 Wyoming Street is in the Mid-Century Modern architectural style. The building is a typical example of the Mid-Century Modern style. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8357 Wyoming Street, Detroit, Wayne County	Circa 1953	Unknown	FHA: Center Gabled	Brick, Aluminum, Concrete, and Asphalt Shingle	Glass Block and Aluminum Casement	Good	Intact	A and C	NA	NA	Not Eligible	<p>The building at 8357 Wyoming Street is in the Federal Housing Authority (FHA) architectural style, center gabled variation. The building is a typical example of the FHA style and post-World War II, single family urban development. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8360 Wyoming Street, Detroit, Wayne County	Circa 1950	Unknown	FHA: Side Gabled	Brick, Vinyl, Concrete, and Asphalt Shingle	Aluminum Casement	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8360 Wyoming Street is in the Federal Housing Authority (FHA): Side Gabled architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8501 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	FHA: Hipped	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Picture and Slide	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8501 Wyoming Street is in the Federal Housing Authority (FHA): Hipped Roofed architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8511 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	FHA: Front Gabled	Brick, Wood, Concrete, and Asphalt Shingle	Vinyl Picture and Slide	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8511 Wyoming Street is in the Federal Housing Authority (FHA): Front Gabled architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	

8519-8523 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	Colonial Revival	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Sash and Slide	Good	Altered	A and C	NA	NA	Not Eligible	The building at 8519-8523 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8531 Wyoming Street, Detroit, Wayne County	Circa 1967	Unknown	Split Level: Tri Level	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Slide	Good	Altered	A and C	NA	NA	Not Eligible	The building at 8531 Wyoming Street is in the Split Level: Tri Level architectural style. The building is a typical example of the Split Level style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8539-8543 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	Colonial Revival	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Slide	Good	Altered	A and C	NA	NA	Not Eligible	The duplex building at 8539-8543 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8549-8553 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	FHA: Hipped Duplex	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Picture, Slide, and Sash	Good	Altered	A and C	NA	NA	Not Eligible	The duplex building at 8549-8553 Wyoming Street is in the Federal Housing Authority (FHA): Hipped Roofed Duplex architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8559-8563 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	Colonial Revival	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Sash and Slide	Good	Altered	A and C	NA	NA	Not Eligible	The duplex building at 8559-8563 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	
8583-8587 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	FHA: Side Gabled Duplex	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Picture and Sash	Good	Altered	A and C	NA	NA	Not Eligible	The duplex building at 8583-8587 Wyoming Street is in the Federal Housing Authority (FHA): Side Gabled Duplex architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.	

8593-97 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	FHA: Hipped Duplex	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Sash and Slide	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8593-8597 Wyoming Street is in the Federal Housing Authority (FHA): Hipped Roofed Duplex architectural style. The building is a typical example of the FHA style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8603-8607 Wyoming Street, Detroit, Wayne County	Circa 1952	Unknown	Colonial Revival	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Sash and Slide	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8603-8607 Wyoming Street is in the Colonial Revival architectural style. The building is a typical example of the Colonial Revival style and post-World War II, single family urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8365 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Vinyl, Aluminum, Concrete, and Asphalt Shingle	Vinyl Picture, Square, Sash, and Glass Block	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8365 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8503 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Concrete, and Asphalt Shingle	Vinyl Sash and Glass Block	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8503 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8511 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Concrete, Wood, and Asphalt Shingle	Vinyl Picture, Sash, and Square	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8511 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8519 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8519 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with vinyl the inclusion of building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p>	


8527 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Concrete, Aluminum, and Asphalt Shingle	Vinyl Casement and Picture	Fair	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8527 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8535 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Wood, Concrete, and Asphalt Shingle	Vinyl and Wood Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8535 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8541 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Wood, Concrete Block, Concrete, and Asphalt Shingle	Vinyl Sash	Fair	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8541 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows along with a concrete block porch. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8549 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Concrete, and Asphalt Shingle	Vinyl Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8549 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows along with a concrete block porch. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8555 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Concrete, and Asphalt Shingle	Wood Sash and Rectangle	Good	Intect	A and C	NA	NA	Not Eligible	<p>The building at 8555 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Therefore, the building is not eligible for the National Register of Historic Places.</p>	
8569 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Aluminum, Concrete, and Asphalt Shingle	Vinyl Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8569 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p>	

8575 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Aluminum, Concrete, and Asphalt Shingle	Wood Arched, Wood Square, Vinyl Sash, Glass Block, and Wood Picture	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8575 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Therefore, the building is not eligible for the National Register of Historic Places.</p> 
8579 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Wood, Concrete, and Asphalt Shingle	Vinyl Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8579 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p> 
8585 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Wood, Concrete, and Asphalt Shingle	Vinyl Sash and Slide	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8585 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p> 
8595 Kentucky Street, Detroit, Wayne County	Circa 1952	Unknown	Bungalow	Brick, Concrete, and Asphalt Shingle	Vinyl Picture, Sash, and Glass Block	Fair	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8595 Kentucky Street is in the Bungalow architectural style. The building is a typical example of the Bungalow style and is a typical single family, post-World War II urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p> 
8603 Kentucky Street, Detroit, Wayne County	Circa 1937	Unknown	Tudor Revival	Brick, Vinyl, Concrete, and Asphalt Shingle	Vinyl Sash and Square	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8603 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered with the inclusion of vinyl building materials. Therefore, the building is not eligible for the National Register of Historic Places.</p> 
8623 Kentucky Street, Detroit, Wayne County	Circa 1949	Unknown	Tudor Revival	Brick, Stone, Concrete, and Asphalt Shingle	Vinyl Sash	Good	Altered	A and C	NA	NA	Not Eligible	<p>The building at 8623 Kentucky Street is in the Tudor Revival architectural style. The building is a typical example of the Tudor Revival style and is a typical single family, streetcar neighborhood urban development. Additionally, the building has been inappropriately altered due to the inclusion of vinyl windows. Therefore, the building is not eligible for the National Register of Historic Places.</p> 

Appendix F

Aerial Photographs

Documents Removed to Reduce Length



12757

8520 Wyoming

Detroit, MI 48204

Inquiry Number: 7305732.8

April 11, 2023

The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Aerial Photo Decade Package

04/11/23

Site Name:

12757
8520 Wyoming
Detroit, MI 48204
EDR Inquiry # 7305732.8

Client Name:

Applied Science & Technology
10448 Citation Drive
Brighton, MI 48116
Contact: Kate Young



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

Search Results:

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2020	1"=500'	Flight Year: 2020	USDA/NAIP
2016	1"=500'	Flight Year: 2016	USDA/NAIP
2012	1"=500'	Flight Year: 2012	USDA/NAIP
2009	1"=500'	Flight Year: 2009	USDA/NAIP
2005	1"=500'	Flight Year: 2005	USDA/NAIP
1999	1"=500'	Acquisition Date: March 28, 1999	USGS/DOQQ
1997	1"=500'	Flight Date: May 04, 1997	DTE
1987	1"=500'	Flight Date: June 17, 1987	USDA
1983	1"=500'	Flight Date: May 05, 1983	USDA
1981	1"=500'	Flight Date: September 24, 1981	DTE
1972	1"=500'	Flight Date: July 01, 1972	USDA
1967	1"=500'	Flight Date: May 22, 1967	DTE
1961	1"=500'	Flight Date: May 28, 1961	DTE
1957	1"=500'	Flight Date: May 16, 1957	DTE
1952	1"=500'	Flight Date: April 26, 1952	DTE
1949	1"=500'	Flight Date: May 03, 1949	DTE
1937	1"=500'	Flight Date: July 23, 1937	USDA

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Appendix G

Sanborn Fire Insurance Maps

Documents Removed to Reduce Length

12757

8520 Wyoming

Detroit, MI 48204

Inquiry Number: 7305732.3

April 12, 2023

Certified Sanborn® Map Report



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

Certified Sanborn® Map Report

04/12/23

Site Name:

12757
8520 Wyoming
Detroit, MI 48204
EDR Inquiry # 7305732.3

Client Name:

Applied Science & Technology
10448 Citation Drive
Brighton, MI 48116
Contact: Kate Young



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The Sanborn Library is continually enhanced with newly identified map archives. This report accesses all maps in the collection as of the day this report was generated.

Certified Sanborn Results:

Certification # 0CC0-4A13-9502

PO # NA

Project 12757

Maps Provided:

2002	1956
1996	1953
1992	1950
1990	
1986	
1983	
1978	
1961	



Sanborn® Library search results

Certification #: 0CC0-4A13-9502

The Sanborn Library includes more than 1.2 million fire insurance maps from Sanborn, Bromley, Perris & Browne, Hopkins, Barlow and others which track historical property usage in approximately 12,000 American cities and towns. Collections searched:

- Library of Congress
- University Publications of America
- EDR Private Collection

The Sanborn Library LLC Since 1866™

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Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



2002 Source Sheets



Volume 17, Sheet 94
2002

1996 Source Sheets



Volume 17, Sheet 94
1996

1992 Source Sheets



Volume 17, Sheet 94
1992

1990 Source Sheets



Volume 17, Sheet 94
1990

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1986 Source Sheets



Volume 17, Sheet 94
1986

1983 Source Sheets



Volume 17, Sheet 94
1983

1978 Source Sheets



Volume 17, Sheet 94
1978

1961 Source Sheets



Volume 17, Sheet 94
1961

Sanborn Sheet Key

This Certified Sanborn Map Report is based upon the following Sanborn Fire Insurance map sheets.



1956 Source Sheets



Volume 17, Sheet 94
1956

1953 Source Sheets



Volume 17, Sheet 94
1953

1950 Source Sheets



Volume 17, Sheet 94
1950

Appendix H

USGS Topographic Maps

Documents Removed to Reduce Length

12757

8520 Wyoming

Detroit, MI 48204

Inquiry Number: 7305732.4

April 11, 2023

EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor
Shelton, CT 06484
Toll Free: 800.352.0050
www.edrnet.com

EDR Historical Topo Map Report

04/11/23

Site Name:

12757
8520 Wyoming
Detroit, MI 48204
EDR Inquiry # 7305732.4

Client Name:

Applied Science & Technology
10448 Citation Drive
Brighton, MI 48116
Contact: Kate Young



EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by Applied Science & Technology were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDR's Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

Search Results:**Coordinates:**

P.O.#	NA	Latitude:	42.356848 42° 21' 25" North
Project:	12757	Longitude:	-83.157459 -83° 9' 27" West
		UTM Zone:	Zone 17 North
		UTM X Meters:	322322.19
		UTM Y Meters:	4691652.27
		Elevation:	609.00' above sea level

Maps Provided:

2019	1934
2017	1924
2014	1918
1981, 1983	1905
1973	
1968	
1952	
1941, 1942	

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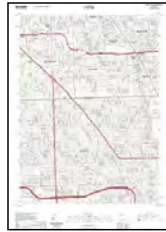
Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

2019 Source Sheets



Dearborn
2019
7.5-minute, 24000

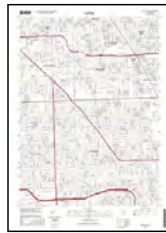


Royal Oak
2019
7.5-minute, 24000

2017 Source Sheets



Dearborn
2017
7.5-minute, 24000

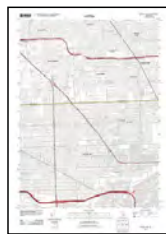


Royal Oak
2017
7.5-minute, 24000

2014 Source Sheets

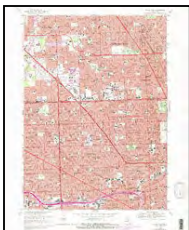


Dearborn
2014
7.5-minute, 24000

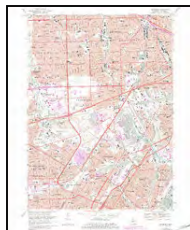


Royal Oak
2014
7.5-minute, 24000

1981, 1983 Source Sheets



Royal Oak
1981
7.5-minute, 24000
Aerial Photo Revised 1981



Dearborn
1983
7.5-minute, 24000
Aerial Photo Revised 1982

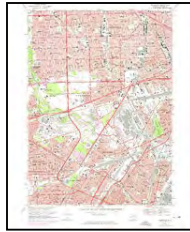
Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1973 Source Sheets



Royal Oak
1973
7.5-minute, 24000
Aerial Photo Revised 1973

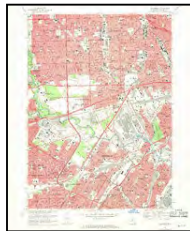


Dearborn
1973
7.5-minute, 24000
Aerial Photo Revised 1973

1968 Source Sheets



Royal Oak
1968
7.5-minute, 24000
Aerial Photo Revised 1967



Dearborn
1968
7.5-minute, 24000
Aerial Photo Revised 1967

1952 Source Sheets



Royal Oak
1952
7.5-minute, 24000



Dearborn
1952
7.5-minute, 24000

1941, 1942 Source Sheets



Royal Oak
1941
7.5-minute, 24000

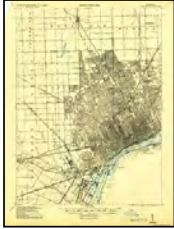


Dearborn
1942
7.5-minute, 24000

Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

1934 Source Sheets



Detroit
1934
15-minute, 62500

1924 Source Sheets



Detroit
1924
15-minute, 62500

1918 Source Sheets



DETROIT
1918
15-minute, 62500

1905 Source Sheets



Detroit
1905
15-minute, 62500

Appendix I

City of Detroit: Department of Street Railways, 1941 Map



December 1941

DETROIT STREET CAR LINES

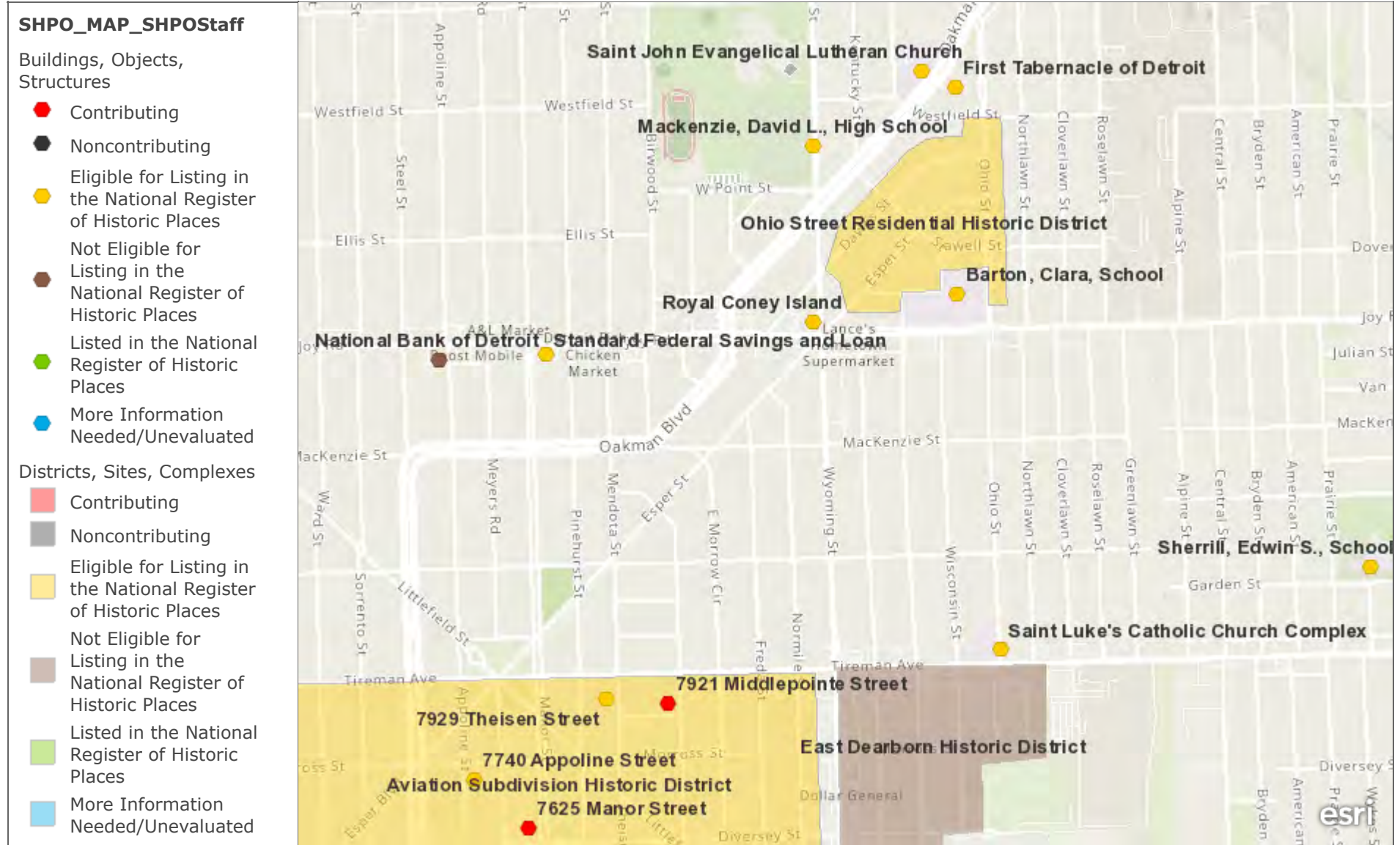
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|----------------|-------------|-------------|
| BAKER | GRAND BELT | MICHIGAN |
| CHARLEVOIX | GRAND RIVER | MT. ELLIOTT |
| CLAIRMOUNT | GRATIOT | OAKLAND |
| CROSBTOWN | HAMILTON | OAKMAN |
| FORT-KERCHEVAL | HARPER | TRUMBULL |
| FOURTEENTH | JEFFERSON | WOODMERE |
| | MACK | WOODWARD |



Appendix J

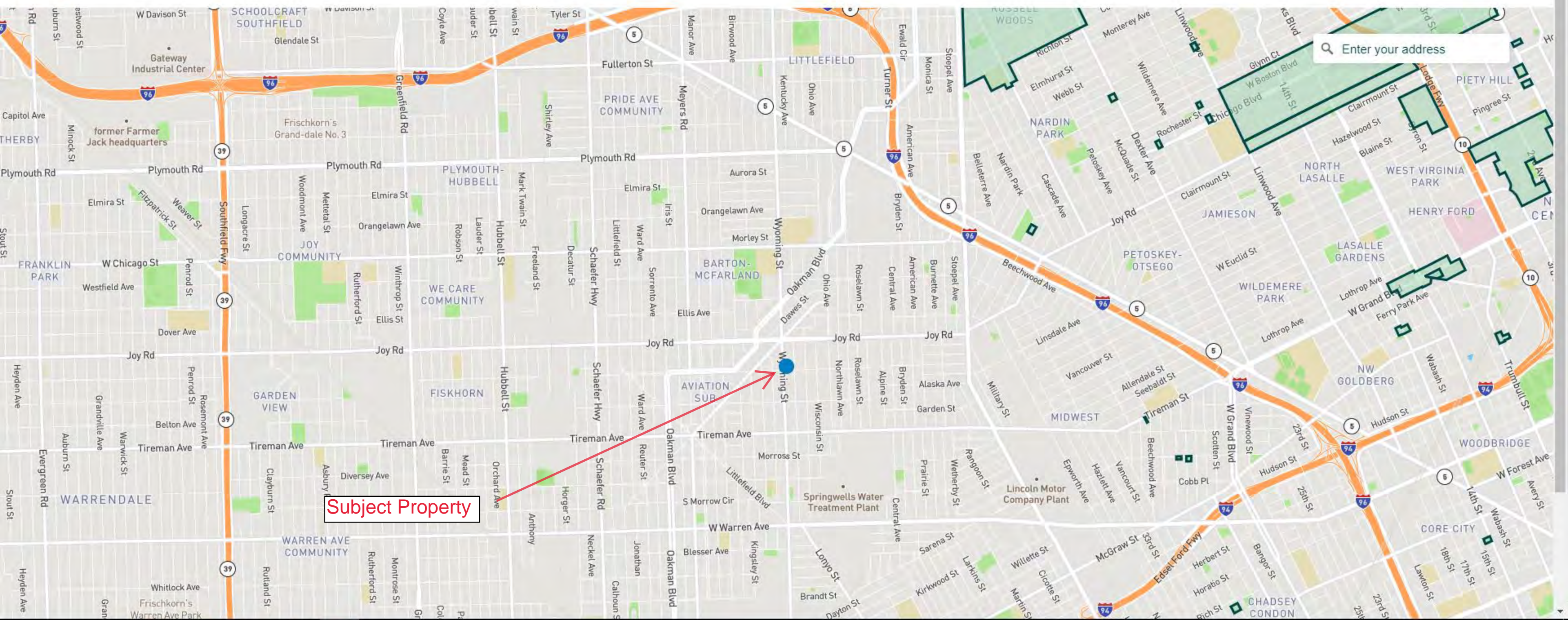
**Michigan State Historic Preservation Office ArcGIS Map
City of Detroit: Local Historic Districts Map
Michigan State Historic Preservation Office Record**

My Map



0.2mi

Local Historic District Map



Enter your address

Subject Property

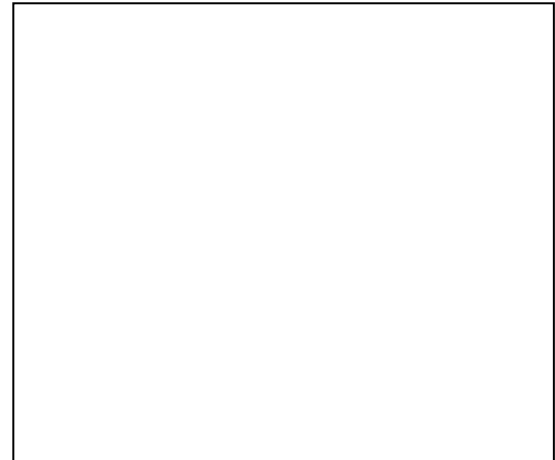
Michigan SHPO Architectural Properties Individual Property Report



Property Name	Royal Coney Island
Site ID	P55244
Other Name(s)	
Resource Type	Building
Street Address	10010 Joy Rd
City/Township, State, Zip Code	Detroit, MI
County	Wayne
Lat: 42.35923	Long: -83.15816

Architectural Information

Significant Dates	
Architectural Style	
Foundation Materials	
Exterior Wall Materials	Metal
Roof Materials	
Architect	
Historic Use	COMMERCE/TRADE/restaurant
Current Use	COMMERCE/TRADE/restaurant



Eligibility

Current National Register Status	Eligible for Listing in the National Register of Historic Places
National Register Listed Date	
National Register Criteria	A. No B. No C. Yes D. No
Criteria Considerations:	a. No b. No c. No d. No e. No f. No g. No
Area(s) of Significance	
Period(s) of Significance	

Narrative Architectural Description

Porcelain enamel prefabricated building. Design very similar to P55240, Elmer's Hamburgers.

Statement of Significance

Site Assessments

Site Assessment	Site Assessment Date	Assessment Made By	Argus Assessment Made By
determined NR eligible by staff	5/1/2013		Survey/ROC

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MICHIGAN STATE HOUSING DEVELOPMENT AUTHORITY

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LANSING, MICHIGAN 48909
MICHIGAN.GOV/MSHDA

M E M O R A N D U M

Date: February 22, 2024

To: Drew Brown
Kathy French

From: Michael Vollick 

Re: Direct Lending and PBV Proposal #2355-2 Buersmeyer Manor, Detroit

Environmental Recommendation: Go for Loan Committee/Board

The Phase I ESA documentation as submitted by the Sponsor for the above referenced development conditionally satisfies the Authority's environmental review requirements for the Direct Lending and Project Based Voucher (PBV) programs.

~~**Prior to Loan Committee**, the sponsor will complete the items below and submit to MSHDA for review:~~

- ~~1. **RECs**—The Phase I Environmental Site Assessment identified the following Recognized Environmental Condition (RECs) and/or Vapor Encroachment Conditions (VEC):~~
 - ~~i. In June 2001, a 1,000-gallon fuel oil UST which was located on the east side of buildings 8500 and 8520 was removed from the ground at the Subject Property. During removal activities, a release was detected. Verification of soil remediation sample analytical results indicated that ethylbenzene was detected at a concentration exceeding the VIAP screening level. The exceedance of the EGLE VIAP screening level is considered a REC for the Subject Property.~~

~~Complete Phase II investigation as necessary to address each REC/VEC and evaluate for applicable due care obligations. Coordinate investigation activities including sampling plans with MSHDA. Provide copies of Phase II report to MSHDA.~~

~~*Phase II ESA – ASTI 12/19/23, report indicates the subject property is not a facility, no further investigation recommended.*~~

~~**Prior to Initial Closing**, the sponsor will complete items below and submit to MSHDA for review:~~

- ~~2. **Asbestos**—A Pre-Renovation asbestos survey satisfying NESHAP requirements must be performed and report provided under separate cover.~~

~~*Drawings and specifications detailing where proposed renovation activities may affect any ACM should be reviewed by the project architect, engineer and contractors as needed.*~~

~~*If abatement of RACMs is required, an abatement plan must be provided to MSHDA and the sponsor's environmental consultant and the work performed by an appropriately licensed and insured abatement contractor.*~~

~~*ACM Inspection – ASTI 1/15/24, no materials samples were identified as ACM. Materials not sampled and assumed to be ACM include vibrations dampers, bathtub undercoating, roofing.*~~

- ~~3. **Lead-Based Paint**—Lead-Based Paint—A combination lead paint inspection/risk assessment using XRF must be performed and report provided under separate cover. Deteriorated lead-based paint or lead~~

hazards must be remediated using EPA lead safe renovation/interim control/abatement activities, as appropriate. Drawings and specifications detailing the proposed renovation activities affecting any LBP should be reviewed by the project architect (or CNA):

If remediation/abatement is required, remediation plan must be provided to MSDHA and the sponsor's environmental consultant and the work performed by an appropriately certified and insured contractor for all regulated activities. Lead remediation costs must be identified by a separate line item in the trade payment breakdown.

LBP Inspection/Risk Assessment – ASTI 1/10/24, Lead paint was identified, based on the results of LBP inspection, some components are assumed LBP property wide including door lintels, window lintels, (exterior) soffits & fascia boards. ASTI was unable to access units 8500-101, 8534-202, 8560-202,8600-103. Therefore, all surfaces in these dwellings are presumed dust-lead hazards.

4. **Noise** – A HUD noise assessment was performed for the subject property. A DNL of 69 dB was reported, which may require mitigation. Provide documentation of STraCAT calculations signed by the project architect demonstrating that the affected building envelope will meet interior noise threshold (45db). Describe any additional mitigation measures necessary.
5. **NEPA** – Retain consultant from MSHDA “Group B” qualified consultant list to provide NEPA documentation demonstrating compliance with 24 CFR Part 58 environmental review requirements for the use of federal funds.
6. An **executed scope of services agreement** between the sponsor and the sponsor's environmental consultant for completion of the items required prior to final closing or placing the tax credits into service (8609), listed below. The agreement should provide for access and oversight sufficient for the consultant to document and opine as required.

Prior to placing the tax credits into service (8609), the sponsor's environmental consultant will complete the items below and submit to MSHDA for review and approval:

7. An **asbestos closeout report** (with environmental consultant's letter of reliance to MSHDA) detailing all of the following, as applicable:
 - a) Firm license for regulated abatement activities, if any.
 - b) Ensure that all regulated asbestos containing materials were properly abated in accordance with project scope of work. Recommend additional abatement or assessment, if any.
 - c) Provide a copy of the project's “Notice of Intent to Renovate/Demolish” filed with LARA, if required.
 - d) Include all third-party clearance reports.
 - e) Complete an Operations and Maintenance (O&M) plan for all non-friable asbestos containing materials that were not removed but will be managed in place and provide a copy of this plan to the owner and MSHDA.
 - f) Opine on whether the asbestos work was conducted in accordance with the project plans/specifications and applicable regulations.
8. A **lead closeout report** (with environmental consultant's letter of reliance to MSHDA) detailing all of the following, as applicable:
 - a) Appropriate firm certifications for regulated lead hazard reduction activities, if any.
 - b) Ensure that all lead hazards identified were properly remediated per the scope of work using lead safe renovation, interim controls, or abatement as appropriate. Recommend additional assessment or remediation, if any.

- c) When abatement was performed, provide abatement contractor's "Notification of Lead Abatement Activity" filed with MDHHS.
- d) Include all third-party clearance reports.
- e) Complete an O&M plan for any lead-based paint that was not removed but will be managed in place and provide a copy of this plan to the owner and MSHDA.
- f) Opine on whether the lead hazard control work was conducted in accordance with the project plans/specifications and applicable regulations.

NEPA Review: pending

MSHDA Project Based Vouchers (PBV) have been requested for this project, HOME funds through the City of Detroit are also included. A MSHDA Group B consultant must be retained to prepare Environmental Review documentation demonstrating compliance with 24 CFR Part 58 requirements.

Upon successful preparation of the NEPA documentation, if necessary MSHDA will publish a notice for the use of federal funds and request from HUD an Authority to Use Grant Funds letter upon expiration of a public comment period. *Parties to this activity are advised not to take any irreversible or choice limiting actions until the release of funds is received.*