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Chairperson  
**Melanie Markowicz**  
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Director

# City of Detroit

**CITY PLANNING COMMISSION**  
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July 16, 2024

## HONORABLE CITY COUNCIL

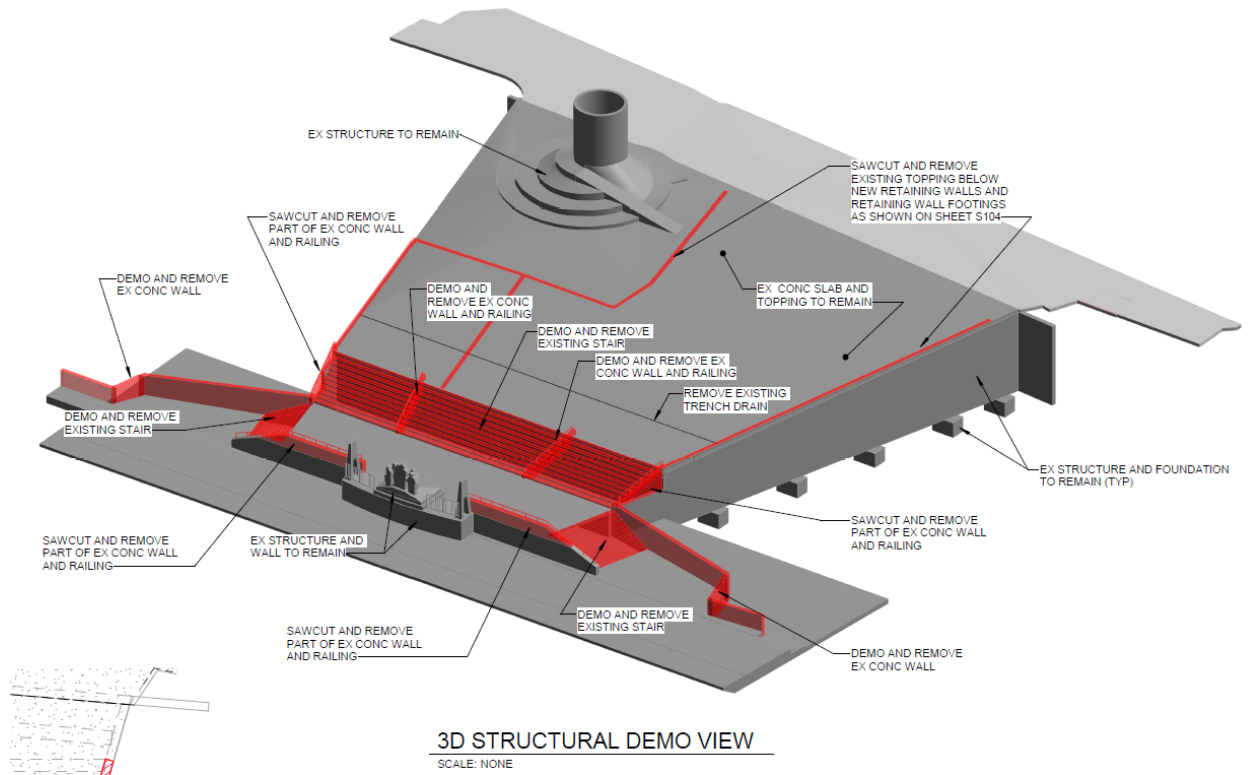
**RE:** Request of Smith Group on behalf of the City of Detroit General Services Department for PC (Public Center) Special District Review of proposed renovation of the “grand staircase” in Hart Plaza including new paving, landscaping, and seating. **(RECOMMEND APPROVAL WITH CONDITIONS)**

## REQUEST

The City Planning Commission (CPC) has received a request from Smith Group on behalf of the City of Detroit General Services Department for PC (Public Center) Special District Review of proposed renovation of the “grand staircase” in Hart Plaza including new paving, landscaping, and seating. This request is being made consistent with the provisions of Section 50-3-222 of the Detroit Zoning Ordinance. Because this site is zoned PC, all exterior changes require review by Your Honorable Body.



**VIEW OF EXISTING PLAZA WITH  
APPROXIMATE AREA OF CONSTRUCTION  
MARKED**



*Aerial view of area to be demolished – note that Gateway to Freedom sculpture and surrounding wall will remain*

## PROPOSED PROJECT

The petitioner proposes to renovate the area of Hart Plaza between the Atwater Tunnel and the Detroit Riverwalk. The existing area consists of a sloped plaza that is too steep to be compliant with the Americans with Disabilities Act (ADA). It will be regraded into two flat plaza areas with retaining walls and railings. The stairs will be reconfigured and paved paths will be added with ADA-compliant slopes. The existing light fixtures will be refurbished and reinstalled within the renovated area, and additional lighting will be added. New seating areas and additional landscape beds will be added to improve the space and make it more inviting.



The Gateway to Freedom statue and its perimeter granite wall will be preserved and protected in its current location. The existing stainless-steel railings will be removed and new railings will be installed to match the remainder of the new railings.

# HART PLAZA BIRDSEYE



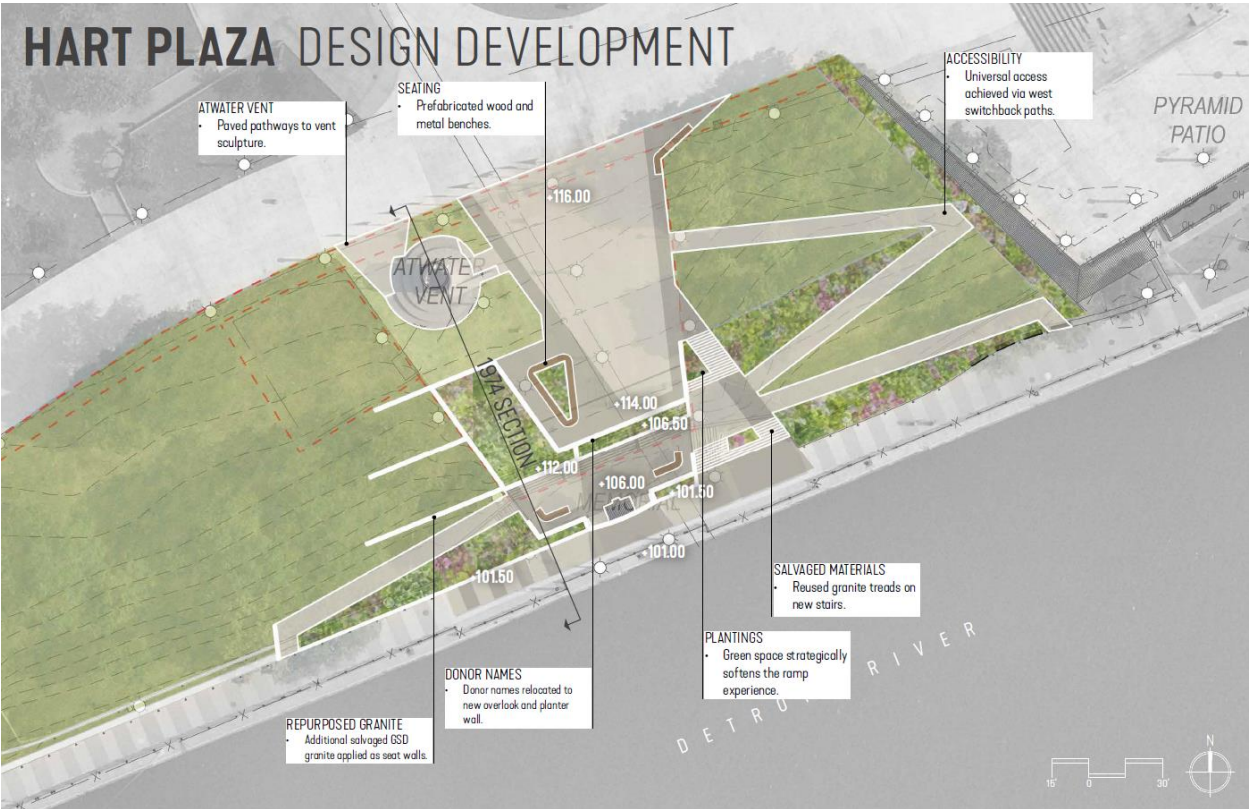
BIRDSEYE NORTH

5

**MAJOR CONTRACTING** **SMITHGROUP**

*Rendering of Proposed Changes – looking north toward Jefferson Avenue*

# HART PLAZA DESIGN DEVELOPMENT



*Plan View Rendering of Proposed Changes*

## **REVIEW & ANALYSIS – PC District Review Criteria**

The purpose of PC District review is to ensure that proposed changes are consistent with the spirit, purpose, and intent of the district. To guide the review, eighteen PC District Review Criteria are listed in Section 50-11-67 of the Zoning Ordinance. The relevant criteria follows with staff analysis in italics:

**(1)** The proposed development should reflect applicable policies stated in the Master Plan. *Increasing open space and recreational opportunities is Goal 8 of the Central Business District subsector. Policy 8.2 states that the condition of public areas should be improved to encourage river-related recreation activities including fishing and picnicking. The proposed renovations to Hart Plaza will further these goals with new seating, additional landscaping, and accessible pathways.*

**(3)** The proposed development should be compatible with surrounding development in terms of land use, general appearance and function and should not adversely affect the value of adjacent properties. *The proposed changes will improve the appearance of Hart Plaza which will be beneficial to adjacent properties.*

**(8)** Public access should be provided where appropriate, including provision of adequate right-of-way for the continuous pedestrian/bicycle pathway being developed along the Detroit River. *The proposed renovations will increase accessibility to the Riverwalk for both pedestrians and bicyclists.*

**(13)** Barrier-free access and public safety features should be carefully planned. *This project will provide barrier-free access between Hart Plaza and the Riverwalk which is currently inadequate. New paved paths with ADA-compliant slopes are proposed where there is currently no accessible route.*

**(15)** Urban design elements of form and character should be carefully considered; such elements include, but are not limited to: richness/interest of public areas through the provision of storefronts, window displays, landscaping, and artwork; color, texture and quality of structural materials; enclosure of public spaces; variations in scale; squares, plazas and/or "vest pocket parks" where appropriate; continuity of experience, visual activity and interest; articulation and highlighting of important visual features; preservation/enhancement of important views and vistas. *Existing granite will be salvaged from the site and repurposed as seating and stair treads which will retain the existing character of the site. The distinctive light fixtures will be refurbished and reinstalled, and the Gateway to Freedom sculpture will be preserved in its current location.*

### ***Design***

The Planning & Development Department has reviewed the proposed changes and recommends approval. The full recommendation is attached.

## CONCLUSION & RECOMMENDATION

The proposed renovation was presented to the City Planning Commission on July 11, 2024, and was favorably received with two comments—ensure that the accessible paths have an appropriate surface and that there is adequate visibility where the stairs meet the Riverwalk. These are long awaited improvements addressing old design flaws. Consistent with the above, approval of the proposed changes is recommended with the following condition:

- That final plans be reviewed by CPC staff for consistency with approval prior to application being made for applicable permits.

Respectfully submitted,

DONOVAN SMITH, CHAIRPERSON



Marcell R. Todd, Jr., Director  
Jamie J. Murphy, City Planner

Attachments: Construction Drawings dated 6/14/2024  
Renderings of proposed design  
PDD Recommendation  
Resolution

cc: Antoine Bryant, Director, PDD  
Russell Baltimore, PDD  
Greg Moots, PDD  
Bruce Goldman, Law Dept.  
David Bell, Director, BSEED  
Tim Karl, Chief of Landscape Architecture  
LaJuan Counts, Director, Construction and Demolition  
Samuel Krassenstein, Chief of Infrastructure

**A RESOLUTION REGARDING ALTERATIONS IN A PC ZONING DISTRICT  
IN HART PLAZA.**

**BY COUNCIL MEMBER \_\_\_\_\_:**

**WHEREAS**, Smith Group on behalf of the City of Detroit General Services Department proposes renovation of the “grand staircase” in Hart Plaza including new paving, landscaping, and seating; and

**WHEREAS**, Hart Plaza is located within an established PC (Public Center) zoning district; and

**WHEREAS**, work to be performed within a PC zoning district requires Special District Review and the purpose of the PC zoning district classification is provided for in Section 50-11-51 of the Zoning Ordinance as follows:

*This district includes areas used or to be used for governmental, recreational, and cultural purposes of particular or special civic importance. All construction or other improvement within this district requires that the Planning and Development Department and the City Planning Commission review and make recommendation to City Council, so as to ensure a completely harmonious, pleasing, and functional public center; and*

**WHEREAS**, the Planning and Development Department has provided favorable review; and

**WHEREAS**, the City Planning Commission has reviewed and recommended approval of the proposed alterations; and

**NOW, THEREFORE, BE IT RESOLVED**, that the Detroit City Council hereby approves the proposed changes as depicted in the construction drawings and renderings prepared by Smith Group and dated 6/14/2024, with the following condition:

1. That final plans be reviewed by CPC staff for consistency with approval prior to application being made for applicable permits.



**PLANNING AND  
DEVELOPMENT DEPARTMENT**

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2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

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Detroit City Planning Commission  
208 CAYMC  
Detroit, MI 482266

June 28, 2024

RE: Public Center Adjacent (PC) Review of exterior changes at 1 Hart Plaza.  
**(RECOMMEND APPROVAL)**

The following is the Planning and Development Department's (PDD) review of the proposed maintenance of the Hart Plaza Grand Stairway which extends from the north edge of the Atwater Tunnel, south to the Detroit Riverwalk. The eastern boundary is the Detroit Police Department offices and the western boundary is the Detroit Riverwalk and the approach from the Detroit River Princess to the upper plaza.

The proposed improvements include the repair, cleaning and grading of a uniform finished paved surface across the entire plaza. The proposed improvements will address inaccessible slopes, replace guard rails, provide seat walls and provide site furnishings, upgrade lighting, increase green space and improve landscaping.

This is adjacent to currently vacant land zoned PD, located at 50 E. Jefferson Ave. This review is carried out per Sec. 50-11-66 for the review of developments located in the Public Center District (PC) zoning district.

Following is our response to the applicable criteria from Sec. 50-11-67, with our response in italics.

(1) The proposed development should reflect applicable policies stated in the Master Plan; *Increasing open space and recreational opportunities is Goal 8 of the Central Business District subsector. Policy 8.2 states that the condition of public areas should be improved to encourage river-related recreation activities including fishing and picnicking. Proposed landscaping and drainage improvements and additional seating can accommodate this goal by creating spaces where active and passive recreation can occur.*

(3) The proposed development should be compatible with surrounding development in terms of land use, general appearance and function and should not adversely affect the value of adjacent properties; *The proposed improvements and the maintenance of the Hart Plaza Grand Stairway should improve the appearance of the site and alleviate existing grading and accessibility deficiencies while improving the condition of furnishings, landscaping, drainage and lighting. This should be of benefit to visitors to the site and to the value of surrounding land uses.*

(8) Public access should be provided where appropriate, including provision of adequate right-of-way for the continuous pedestrian/bicycle pathway being developed along the Detroit River; *The*

*proposed maintenance of the Hart Plaza Grand Stairway will increase accessibility by the public to the Detroit Riverwalk which currently supports pedestrian and bicycle circulation.*

(15) Urban design elements of form and character should be carefully considered; such elements include, but are not limited to: richness/interest of public areas through the provision of storefronts, window displays, landscaping, and artwork; color, texture and quality of structural materials; enclosure of public spaces; variations in scale; squares, plazas and/or "vest pocket parks" where appropriate; continuity of experience, visual activity and interest; articulation and highlighting of important visual features; preservation/enhancement of important views and vistas; *Public areas will be enhanced by the use of salvaged granite for benches, pavers, bench walls and stairs, maintaining the character of the use of these materials throughout the existing site.*

(16) Special attention should be given to amenity and comfort considerations such as provision for outdoor seating, restrooms for public use, bicycle storage, convenience of access points and protection from harsh weather through such features as enclosed walkways and arcaded pedestrian areas; *Benches will be added to provide the opportunity to Hart Plaza visitors to appreciate the changes in grade from the river to the street level at Jefferson. Also, the additional seating will allow visitors to rest and contemplate the memorials and sculptures located around the Grand Staircase.*

Because of the conformance to the above standards for development in the PC district, the PDD is pleased to support the proposed changes to the Hart Plaza Grand Stairway.

Respectfully submitted,



Gregory F. Moots, Lead Planner  
Office of Zoning Innovation

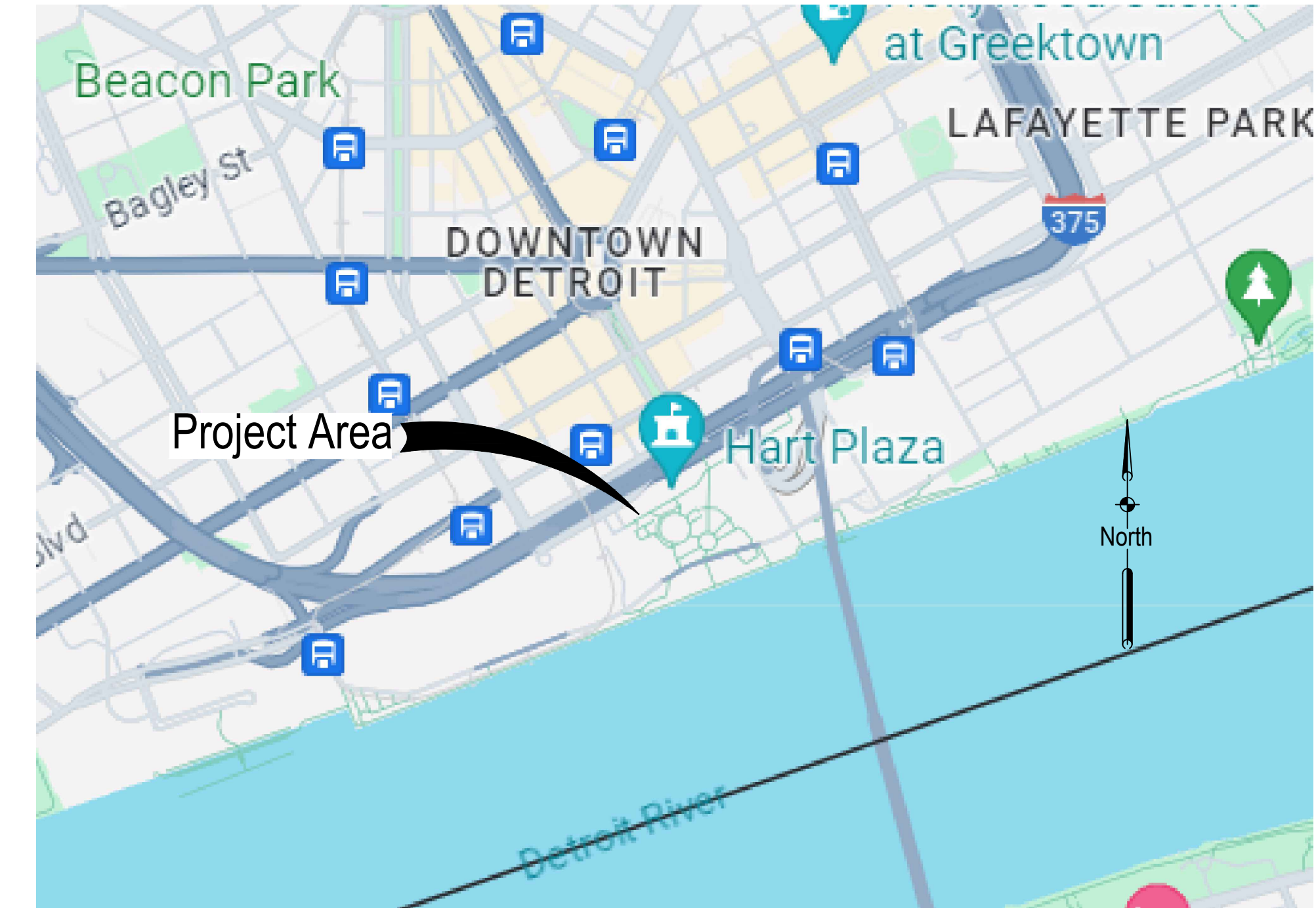
CC: Antoine Bryant, Director P&DD  
Marcel Todd, Director CPC/LPD, HDC  
Karen Gage, Zoning Innovation Director P&DD  
Russell Baltimore, Design Director P&DD  
Greg Moots, Lead Planner P&DD



# HART PLAZA GRAND STAIRCASE DETROIT, MI

14 JUNE, 2024  
CONSTRUCTION DOCUMENTS

SmithGroup Project Number: 15004.00



PROJECT VICINITY MAP

## Sheet List Table

Sheet Number	Sheet Title
G100	COVER SHEET
G101	GENERAL NOTES
CD101	SITE PREP AND SELECTIVE DEMOLITION PLAN
CS101	LAYOUT AND MATERIALS PLAN
CS102	LAYOUT AND MATERIALS PLAN ENLARGEMENTS
CS103	LAYOUT AND MATERIALS PLAN ENLARGEMENTS
CS501	SITE DETAILS
CS502	SITE DETAILS
CS503	SITE DETAILS
CS504	SITE DETAILS
CS505	SITE DETAILS
CS506	SITE DETAILS
CG101	GRADING & UTILITY PLAN
CG401	GRADING & UTILITY ENLARGEMENT
CU501	UTILITY DETAILS
CU502	UTILITY DETAILS
LP101	PLANTING PLAN
LP501	PLANTING DETAILS
ES001	ELECTRICAL SPECIFICATIONS
ES100	LIGHTING FIXTURE SCHEDULE
ES101	LIGHTING AND ELECTRICAL PLAN
S001	STRUCTURAL NOTES, TABLES, AND ABBREVIATIONS
S100	STRUCTURAL DEMOLITION AND REMOVAL PLAN AND 3D DEMO VIEW
S101	DEMOLITION SECTIONS AND DETAILS
S103	PROPOSED RETAINING WALLS
S104	PROPOSED RETAINING WALL SECTIONS AND DETAILS
S105	CONCRETE REPAIR DETAILS

## Prepared for:

CITY OF DETROIT  
2 WOODWARD AVE  
DETROIT, MI

## Prepared by:

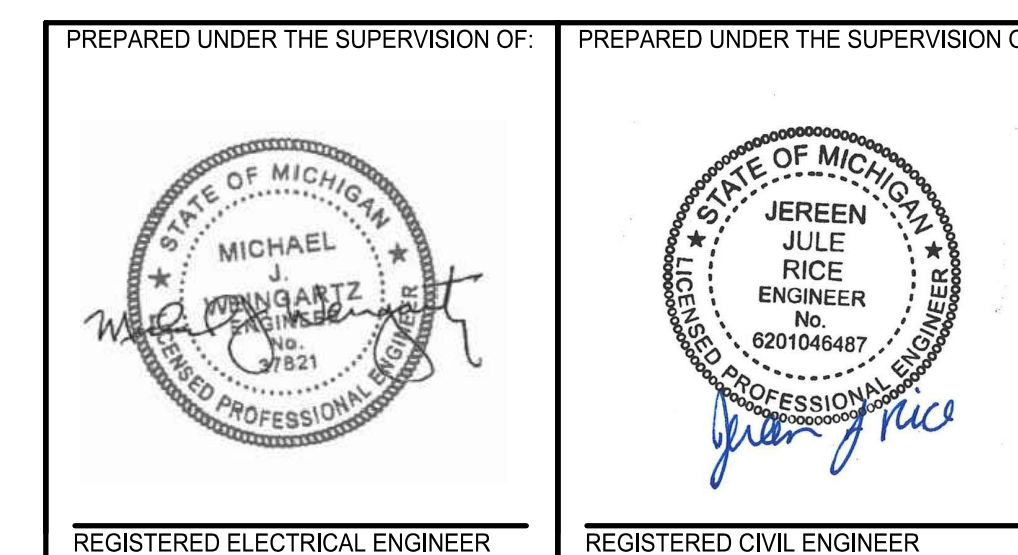
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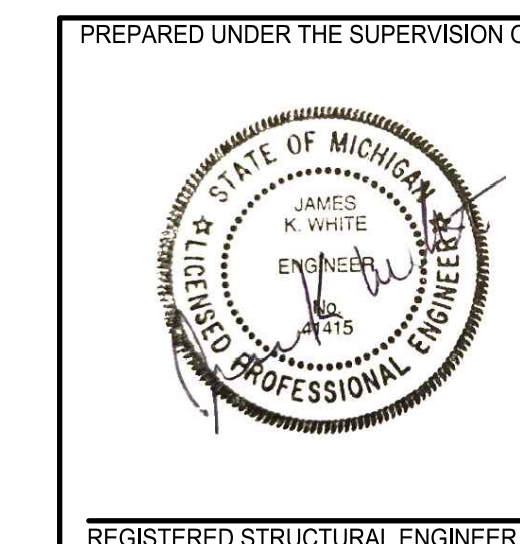
### PROJECT DESCRIPTION:

THE HART PLAZA GRAND STAIRCASE PROJECT BEGINS IN THE NORTH AT THE EDGE OF THE ATWATER TUNNEL AND EXTENDS SOUTH TO THE EDGE OF THE ATWATER TUNNEL AND EXTENDS SOUTH TO THE DETROIT RIVERWALK. EAST-WEST THE PROJECT LIMITS ARE BOUNDED BY THE DETROIT POLICE DEPARTMENT IN THE EAST AND EXTEND WEST TOWARD THE EXISTING PAVEMENT PATH THAT CONNECTS THE RIVERWALK AND PRINCESS RIVERBOAT WITH THE UPPER HART PLAZA AREA. THE EXISTING PLAZA AREA IS CHARACTERIZED BY INACCESSIBLE SLOPES (>5%), EXTENSIVE CONCRETE PAVEMENT, AGING LIGHT POLES, GRANITE STAIRS, SLOPED LAWN AND TREES, AND THE GATEWAY TO FREEDOM STATUE. PROPOSED PLAZA IMPROVEMENTS RENOVATE THE SITE TO INCLUDE ADA ACCESSIBLE WALKWAYS AND PLAZA AREA, GUARDRAILS, OVERLOOK WALLS, REPURPOSED SALVAGED GRANITE SEAT WALLS WITH NEW HANDRAILS, REPURPOSED SALVAGED GRANITE SEAT WALLS, INCREASED GREEN SPACE AND LANDSCAPE FEATURES, SITE FURNISHINGS WITH BENCHES AND ENHANCED LIGHTING, MINOR DRAINAGE IMPROVEMENTS, AND THE PRESERVED AND PROTECTED GATEWAY TO FREEDOM STATUE.

CONSTRUCTION LIMITS = +/- 44,883 SF [1.03 AC]  
IMPERVIOUS HARDSCAPE = +/- 17,019 SF [39 AC]



## Wade Trim Structural:



PROJECT LOCATION MAP

## ALL SITE/CIVIL NOTES

1. THE FOLLOWING NOTES APPLY TO ALL LANDSCAPE, SITE, AND CIVIL SHEETS INCLUDED IN THIS SCOPE OF WORK.

## DEMOLITION NOTES

1. SECURE AND COMPLY WITH ALL REQUIREMENTS OF ALL PERMITS REQUIRED FOR THIS WORK.
2. CONTRACTOR TO VERIFY INVERT ELEVATIONS, PIPE DIAMETERS AND UNDERGROUND FLOW PATH OF STORMWATER STRUCTURES WITHIN THE PLAZA, STATUE AND RIVER WALK AREAS. PRIOR TO REMOVAL, IF NECESSARY, OF THESE STRUCTURES VERIFY WITH ENGINEER.
3. SUPPLY, ERECT AND MAINTAIN TEMPORARY CONSTRUCTION FENCING AND BARRICADES AS REQUIRED TO PROVIDE FOR THE PROTECTION OF THE GENERAL PUBLIC. PROVIDE ALL NECESSARY PROTECTION MEASURES, FENCING, BARRICADES, PLANKS, ETC. AS REQUIRED PER APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL EXCAVATION, TRENCHING, AND ASSOCIATED HAZARDS.
4. ALL CONSTRUCTION STAGING, MATERIALS STORAGE, CONSTRUCTION WASHING STATIONS, PROJECT MOCK-UP AREAS, AND ALL ASSOCIATED NEEDS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ALL CONSTRUCTION ACCESS POINTS. THE USE OF ADJACENT STREET R.O.W. WILL NOT BE PERMITTED FOR MATERIAL STAGING, STOCK PILING AND CONTRACTOR PARKING WITHOUT PRIOR WRITTEN CONSENT.
5. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, AS AMENDED, THE CONTRACTOR SHALL CALL "MISS DIG" AT 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS (72 HOURS), EXCLUDING SATURDAYS, SUNDAYS AND HOLIDAYS, PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES INCLUDING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. "MISS DIG" MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
6. THE ACTUAL CONSTRUCTION LIMIT LINE IS AT THE R.O.W. LINE. PROPERTY LINE OR LIMITS OF DISTURBANCE. THE CONSTRUCTION LIMIT LINE IS GRAPHICALLY SHOWN OFFSET FROM THE R.O.W. LINE. PROPERTY LINE OR LIMITS OF DISTURBANCE TO ALLOW IT TO BE VISIBLE ON THE DRAWINGS.
7. TAKE GREAT CARE TO AVOID DAMAGE TO THE BUILDING AND TO EXISTING SITE ELEMENTS THAT ARE TO REMAIN. REPAIR AND/OR REPLACE ANY BUILDING DAMAGE AND/OR SITE ELEMENT THAT IS TO REMAIN THAT IS DAMAGED BY CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST.
8. COORDINATE ANY UTILITY DEMOLITION WITH UTILITY SERVICE PROVIDERS, OWNER, AND THE CITY OF DETROIT.
9. ANY MISCELLANEOUS LITTER AND DEBRIS INCLUDING SUCH ITEMS BUT NOT LIMITED TO: FOUNDATION AND ATTACHMENTS, TREE STUMPS AND ROOT STRUCTURES, PAVEMENT BASE MATERIAL, ABANDONED FENCES, ABANDONED PIPES, ABANDONED VEHICLES, CONSTRUCTION DEBRIS, TRASH, ETC. IDENTIFIED ON THE PLANS AND ENCOUNTERED WITHIN THE PROJECT LIMITS SHALL BE REMOVED AND DISPOSED OF LEGALLY OFF-SITE BY THE CONTRACTOR.
10. COORDINATE PAVEMENT REMOVAL, CURB REMOVAL, SIDEWALK REMOVAL, COLD MILLING, AND SAW CUT LINES WITH LAYOUT PLANS. NOTIFY OWNERS REPRESENTATIVE OF ANY DISCREPANCIES. MARK SAW CUT LINES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH REMOVAL ACTIVITIES.
11. PAVEMENT AND CURB REMOVALS SHALL BE TERMINATED WITH A SAW CUT JOINT UNLESS THE REMOVAL LIMIT IS WITHIN 3 FEET OF AN EXISTING PAVEMENT OR CURB JOINT THEN THE REMOVAL SHALL BE EXPANDED TO THE JOINT. SAW CUT LINES FOR NEW PAVEMENT SHALL BE CUT STRAIGHT LEAVING A CONSISTENT, SMOOTH EDGE ALONG THE EXISTING PAVEMENT TO REMAIN. NEW PAVEMENT TO DIRECTLY ABUT EXISTING PAVEMENT TO REMAIN. IF NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, RE-SAW CUT THE PAVEMENT IF THE EDGE OF THE PAVEMENT IS DAMAGED BY CONSTRUCTION ACTIVITIES. ADDITIONAL SAW CUTS AND THE REQUIRED ADDITIONAL PAVEMENT REPLACEMENT SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
12. PROTECT ANY EXISTING UTILITIES, FIBER OPTIC, AND COMMUNICATION LINES WITHIN THE PROJECT LIMITS. EXISTING FIBER OPTIC LINES WITHIN THE PROPERTY LIMITS MAY HAVE VERY SHALLOW BURIAL DEPTHS. IMMEDIATELY CONTACT UTILITY PROVIDER FOR ANY DISTURBANCES TO EXISTING LINES.
13. COORDINATE SILT FENCE LOCATIONS WITH THE SURVEY AND SLOPES. PROVIDE ADDITIONAL SILT FENCE AS DIRECTED BY OWNER'S REPRESENTATIVE.
14. THE PROPOSED WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH ALL REQUIREMENTS OF PART 91 OF ACT 451 OF THE PUBLIC ACTS OF 1994 AS AMENDED, AND RULES PROMULGATED THEREUNDER.
15. PRIOR TO ANY CONSTRUCTION ACTIVITY, SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THESE DRAWINGS AND ANY PERMIT REQUIREMENTS.
16. APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS.
17. ALL EXISTING STORM INLETS AND CATCH BASINS TO BE PROVIDED WITH INLET PROTECTION FABRIC DROP OR INLET PROTECTION GEOTEXTILE AND STONE AS APPROPRIATE AND PER MDT DETAIL R-96-E.
18. CONDUCT ALL CONSTRUCTION ACTIVITIES AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SILTACEOUS SOIL MATERIALS AND WATERBORNE OBJECTS ARE NOT DISCHARGED INTO ANY STORM SEWER DRAINAGE PIPE, OR UNDERGROUND UTILITY SYSTEM.
19. SOIL EROSION AND SEDIMENTATION EXTENDING BEYOND THE PROJECT LIMITS WILL NOT BE PERMITTED. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIALS SPILLED, DUMPED, OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS, OTHER PUBLIC THOROUGHFARES OR IN UNDERGROUND UTILITY SYSTEMS DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY BY THE CONTRACTOR AT NO ADDITIONAL COST.
20. INSPECT DAILY THE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS WITHOUT DELAY.
21. SAFELY TERMINATE ALL ELECTRICAL CONNECTIONS AT THE POWER SOURCE AND PER DIRECTION BY OWNER'S REPRESENTATIVE. DISPOSE OF ALL UNWANTED MATERIALS. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH REMOVAL AND SALVAGE ACTIVITIES.
22. SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND REQUIREMENTS FOR SITE WALLS ON EXISTING SUPERSTRUCTURE.
23. SSTL DONOR PANELS INCLUDE ENGRAVED DONOR NAMES THAT ARE CURRENTLY SHOWN ON EXISTING GRANITE SITE WALLS AND PAVERS AT THE RIVERWALK. EXISTING DONOR NAMES MUST BE RECORDED AND TRANSCRIBED IN ORDER TO REPLICATE AND ENGRAVE THEM ON THE NEW SSTL DONOR PANELS. THE EXISTING DONOR NAMES MUST BE V.I.F. PRIOR TO ANY DEMOLITION.

## LAYOUT NOTES

1. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS IN ADVANCE OF CONSTRUCTION ACTIVITIES AND INSTALLATION OF SITE ELEMENTS.
2. PRIOR TO ANY CONSTRUCTION ACTIVITIES SEE ELECTRICAL PLANS FOR LIGHTING AND ELECTRICAL IMPROVEMENTS INCLUDING CONDUIT LOCATIONS, VERIFY ANY PROPOSED IRRIGATION PLANS FOR PIPING AND ROUTING LOCATIONS, AND SEE UTILITY PLANS FOR PIPING AND DRAINAGE LOCATIONS.
3. CRUSHED CONCRETE WILL NOT BE ACCEPTED AND SHALL NOT BE USED FOR ANY OF THE AGGREGATE MATERIALS.
4. DIGITAL FILES TO BE MADE AVAILABLE TO THE SELECTED CONTRACTOR FOR CONTRACTOR STAKING REFERENCE. THE HARD COPY OF THE BID DOCUMENTS TAKE PRECEDENCE AND SHALL BE THE OVERRIDING DOCUMENT FOR LAYOUT CONTROL.
5. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES FOR SUPPLEMENTAL DIRECTIONS.
6. ALL DIMENSIONS ARE FROM BACK OF CURB, EDGE OF PAVEMENT, OR CENTER OF FIXTURE UNLESS OTHERWISE NOTED.
7. THE LAYOUT AND ORIENTATION OF ALL PROPOSED SITE IMPROVEMENTS SHALL BE FIELD APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATION AND ORIENTATION CHANGES WILL BE PROVIDED AT NO ADDITIONAL COST.
8. THERE SHALL BE 1/2" SEALED EXPANSION JOINTS AT ALL CURBS/SIDEWALK, BUILDING/SIDEWALK, LIGHT POLE, OR ANY OTHER FIXED OBJECTS (I.E. EXISTING PAVEMENT, WALLS, POLES, FOUNDATIONS). PLANS DO NOT SHOW EVERY REQUIRED SEALED EXPANSION JOINT.
9. ALL DISTURBED SEEDING AREAS SHALL RECEIVE A MINIMUM OF 4" DEEP TOPSOIL. TOPSOIL REMOVED DURING DEMOLITION / SITE PREPARATION CAN BE RE-USED, HOWEVER IT MUST MEET OR EXCEED THE TOPSOIL REQUIREMENTS OF CITY OF DETROIT SPECIFICATIONS. ADDITIONAL TOPSOIL REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR FROM OFF SITE SOURCES.
11. PROVIDE ALL NECESSARY PROTECTION MEASURES, FENCING, BARRICADES, PLANKS, ETC. AS REQUIRED PER APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL EXCAVATION, TRENCHING, AND ASSOCIATED HAZARDS.
12. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PROPOSED FOOTING LOCATIONS FOR SITE FURNISHINGS WITH UTILITIES PRIOR TO INSTALLATION. SEE TOPOGRAPHIC SURVEY.
13. COORDINATE IRRIGATION SLEEVES WITH HARDSCAPES AND SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. IRRIGATION SCOPE BY OTHERS (I.L.C.). COORDINATE WITH GSD ON IRRIGATION DESIGN AND INSTALLATION. SEE SPECIAL PROVISION FOR DELEGATED IRRIGATION DESIGN AND INSTALLATION.

## GRADING NOTES

1. PROVIDE DRAINAGE AWAY FROM ALL HARDSCAPE SURFACES AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ENSURE ALL AREAS WILL PROPERLY DRAIN WITHOUT STANDING OR PONDING WATER.
2. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE SURVEY GRADES AND THE ACTUAL SITE ELEVATIONS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE FROM PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND SHALL BE MODIFIED AS REQUIRED AND APPROVED.
3. MEET EXISTING GRADE WITHIN THE R.O.W. AT THE SAW CUT LINE.
4. PROVIDE MINIMUM CROSS-SLOPE OF 1%, MAXIMUM CROSS-SLOPE OF 2%, AND MAXIMUM LONGITUDINAL SLOPE OF 5% (EXCEPT WHERE NOTED) ON SIDEWALKS (INCLUSIVE OF ALL SPECIFIED TOLERANCES).
5. GRADE ALL PAVED SURFACES UNIFORMLY BETWEEN SPOT ELEVATIONS NOTED ON THE PLANS. (EXCEPT WHERE NOTED OTHERWISE)
6. GRADE LONGITUDINAL GUTTER SLOPES UNIFORMLY BETWEEN SPOT ELEVATIONS AND AS ILLUSTRATED WITH DRAINAGE ARROWS ON THE PLANS. ENSURE PROPER DRAINAGE IS MAINTAINED ACROSS AND AWAY FROM ALL SIDEWALK, ADA RAMP TO ENSURE WATER DOES NOT POND AT THE BASE OF THE RAMPS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE AND SHALL BE MODIFIED AS REQUIRED AND APPROVED. GRADING MODIFICATIONS SHALL BE PROVIDED AT NO ADDITIONAL COST AND IS INCIDENTAL TO DEMOLITION AND GRADING WORK.
7. REFERENCE CURB TRANSITIONS NOTED ON GRADING PLANS, AT SIDEWALK, ADA, AND RAMPS. CURB TRANSITIONS SHALL BE MADE UNIFORMLY WITHOUT ABRUPT CHANGES OR IRREGULARITIES. ENSURE THAT THE TOP OF CURB ELEVATION IS THE SAME AT INTERSECTIONS WITH DIFFERENT CURB TYPES AND EXISTING CURBS.
8. CONTRACTOR TO VERIFY ALL EXISTING SPOT ELEVATIONS ALONG LIMITS OF EXISTING AND NEW PAVEMENT WHERE THE GRADING PLANS NOTE MEET EXISTING (M.E.). NOTIFY THE ENGINEER OF ANY INCONSISTENCIES, DRAINAGE ISSUES, OR SLOPE DISCREPANCIES. COORDINATE AND ADJUST TOP OF FOOTING ELEVATIONS TO COORDINATE WITH ALL APPROVED GRADING MODIFICATIONS.
9. CONTRACTOR TO VERIFY ALL EXISTING SPOT ELEVATIONS ALONG LIMITS OF EXISTING AND NEW PAVEMENT WHERE THE GRADING PLANS NOTE MEET EXISTING (M.E.). NOTIFY THE OWNER'S REPRESENTATIVE OF ANY INCONSISTENCIES, DRAINAGE ISSUES, OR SLOPE DISCREPANCIES.

## PLANTING NOTES

1. OWNER'S REPRESENTATIVE WILL REVIEW PLANT MATERIAL AND RESERVES THE RIGHT TO REJECT ANY MATERIAL THAT DOES NOT MEET THE DESIGN REQUIREMENTS OR PLANT SCHEDULE OF THE PROJECT. PLANTS INSTALLED THAT DO NOT COMPLY TO BE IMMEDIATELY REMOVED.
2. ALL MATERIAL SUPPLIED FOR AN INDIVIDUAL ITEM ON THE PLANT LIST SHALL MATCH SIZE, SHAPE, FORM, AND NOTED REQUIREMENTS. IN ADDITION THE PLANT MATERIAL SHALL CONFORM TO CITY OF DETROIT SPECIFICATIONS. OWNER'S REPRESENTATIVE SHALL REVIEW PLACEMENT OF PLANT MATERIAL PRIOR TO INSTALLATION, AND RESERVES THE RIGHT TO ADJUST LAYOUT TO ACCOMMODATE SITE CONDITIONS AND DESIGN INTENT AT NO ADDITIONAL COST. ALL PLANTINGS SHALL BE INSTALLED IN A LOGICAL SEQUENCE WITHIN THE SAME PLANTING TIME FRAME. IF THE PLANT MATERIAL IS INSTALLED WITHOUT PRIOR APPROVAL THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REQUEST LAYOUT ADJUSTMENTS AT NO ADDITIONAL COST.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT PLANTS AND ENSURE HEALTH AND PLANT QUALITY DURING SHIPMENT, HANDLING, INSTALLATION AND ESTABLISHMENT.
4. ALL LANDSCAPE BEDS SHALL RECEIVE 12" OF PLANTING MIX UNLESS NOTED OTHERWISE.
5. ALL PLANTINGS SHALL RECEIVE A MIN. OF 2" OF DOUBLE PROCESSED SHREDDED HARDWOOD BARK MULCH. WHERE LANDSCAPE BEDS MEET PAVEMENTS OR LAWN, CUT THE GRADE TO ALLOW FOR MULCH AND 1" DROP FROM THE ADJOINING FINISH GRADE. KEEP MULCH 4" FROM TREE TRUNKS AND SHRUB CROWNS.
6. ALL DISTURBED SEEDING AREAS SHALL RECEIVE A MINIMUM OF 4" DEEP TOPSOIL. TOPSOIL REMOVED DURING DEMOLITION / SITE PREPARATION CAN BE RE-USED, HOWEVER IT MUST MEET OR EXCEED THE TOPSOIL REQUIREMENTS OF CITY OF DETROIT SPECIFICATIONS. ADDITIONAL TOPSOIL REQUIRED SHALL BE PROVIDED BY THE CONTRACTOR FROM OFF SITE SOURCES.
7. SPACE PLANT MATERIALS AS SHOWN ON PLANS AND INDICATED IN PLANT SCHEDULE. PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES AND SIZES SHALL BE THE MINIMUM INDICATED ON THE PLANT SCHEDULE OR LARGER. INSTALLATION OF LARGER PLANTS AT NO ADDITIONAL COST TO OWNER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANLA "STANDARDS FOR NURSERY STOCK".
8. PRIOR TO INSTALLATION, DEMARCATOE LAYOUT OF ALL PLANTING BEDS, SEED AREAS, AND INDIVIDUAL TREES FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE. INCLUDE PERENNIAL GROUPINGS BY SPECIES FOR INTERNAL BED LAYOUTS. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE OWNER'S REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAY MAKE MINOR ADJUSTMENTS AS NECESSARY. SUCH ADJUSTMENTS WILL BE AT NO ADDITIONAL COST TO THE OWNER.
9. SEEDING AND LAWN RESTORATION APPLIES TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES EVEN IF ACTIVITIES EXTEND BEYOND THE APPROXIMATED LAWN RESTORATION LIMITS INDICATED ON THE DRAWINGS. REPAIR ANY DISTURBED AREAS TO THE SAME CONDITION AS ORIGINALLY FOUND AND TO THE OWNER'S SATISFACTION. IN AREAS WHERE LAWN IS DISTURBED BEYOND THE LIMITS OF CONSTRUCTION, REPLACE LAWN WITH NEW SEED (INCLUDING TOPSOIL, SEED AND MULCH) AT NO ADDITIONAL COST TO THE OWNER. COORDINATE WITH THE OWNER PRIOR TO CONSTRUCTION ACTIVITIES FOR GSD SPECIFICATIONS FOR ACCEPTABLE SEED MIXES.
10. REFER TO DEMOLITION PLANS FOR EROSION CONTROL MEASURES.
11. LEGALLY DISPOSE OF DEBRIS ASSOCIATED WITH PLANTING OFF-SITE.
12. MINIMIZE CULTIVATION WITHIN THE DRIP LINES OF EXISTING TREES. PREPARE SOIL FOR SEEDING AREAS BY MINIMIZING DISTURBANCE TO 4 INCH DEPTH. HAND CULTIVATE WHEN ENCOUNTERING ROOTS. NO HEAVY EQUIPMENT ALLOWED WITHIN DRIP LINE OF EXISTING TREES.
13. REFER TO DEMOLITION PLANS FOR TREE REMOVALS.
14. THE LANDSCAPE BEDS SHOWN ON THE PLANTING PLANS ARE COMPOSED OF A NUMBER OF INDIVIDUAL GRASS AND PERENNIAL SPECIES. THE AREAS HATCHED ON THE PLANS SHALL BE PLANTED WITH THE SPECIES AND QUANTITIES NOTED. PERENNIALS ARE INTENDED TO BE DISTRIBUTED ACROSS THE ENTIRE HATCHED AREA. CONTRACTOR TO LAY OUT ONE PLANTING BED AS A MOCKUP FOR OWNER'S REPRESENTATIVE REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH PLANTING THE PLANTING BEDS. ADJUSTMENTS TO THE PLANTING LAYOUT MAY BE REQUESTED AT NO ADDITIONAL COST IN ORDER TO ENSURE A SATISFACTORY BLENDING OF PLANT MATERIAL TO CREATE THE DESIRED PLANTING ARRANGEMENT. THE APPROVED PLANTING BED MOCKUP SHALL BE USED AS THE MODEL AND STANDARD OF REFERENCE FOR ALL SUBSEQUENT LANDSCAPE BEDS. ALL PLANT BEDS SHALL BE IRRIGATED. COORDINATE IRRIGATION SLEEVES PRIOR TO CONSTRUCTION. IRRIGATION SCOPE BY OTHERS (I.L.C.). COORDINATE WITH GSD ON IRRIGATION DESIGN AND INSTALLATION. SEE SPECIAL PROVISION FOR DELEGATED IRRIGATION DESIGN AND INSTALLATION.

## UTILITY NOTES

1. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE.
2. VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY TO AVOID SCHEDULE RISKS.
3. PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES WITHIN AND ADJACENT TO PROJECT.
4. DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
5. PROVIDE AND MAINTAIN INLET FILTERS AT ALL CATCH BASIN INLETS, DURING CONSTRUCTION.
6. PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.
7. ADJUST ALL CASTINGS TO FINISH GRADES.
8. PIPE LENGTHS ARE TO CENTER OF STRUCTURES UNLESS NOTED OTHERWISE. ALL PIPE LENGTHS MUST BE V.I.F. PRIOR TO CONSTRUCTION ACTIVITIES.
9. STORM SEWER WORK INDICATED ON THESE DRAWINGS SHALL REQUIRE A DETROIT WATER AND SEWERAGE DEPARTMENT (DWSD) PERMIT TO BE OBTAINED BY THE CONTRACTOR. NOTIFY AND COORDINATE WITH MOHAMED BOUDIAI PERMIT INSPECTOR (313-267-1375) A MINIMUM OF 48 HOURS PRIOR TO THE INITIATION OF STORM SEWER CONSTRUCTION.
10. IN COMPLIANCE WITH PUBLIC ACT 53 OF THE STATE OF MICHIGAN (EFFECTIVE) AUGUST 1, 1974, AS AMENDED, NOTIFY IN ADVANCE OF CONSTRUCTION (72 HOURS/3 WORKING DAYS) ALL PUBLIC AND PRIVATE UTILITY PROVIDERS HAVING FACILITIES IN OR NEAR THE IMMEDIATE WORKING AREA. VERIFY UTILITY LOCATIONS AND NOTIFY ALL UTILITY OWNERS AND MISS DIG (1-800-482-7171).
11. REPLACE SIDEWALKS, CURBS AND PAVEMENT DISTURBED AS PART OF UTILITY WORK OR OTHER CONSTRUCTION ACTIVITIES AND MATCH EXISTING CONDITIONS. PAVEMENT REMOVAL, TRENCHING, BACKFILL, PAVEMENT REPLACEMENT AND OTHER ASSOCIATED WORK AND MATERIALS REQUIRED FOR THE ADJUSTMENT, REMOVAL, REPLACEMENT AND INSTALLATION THAT IS NOT SHOWN ON THE DEMOLITION PLANS OR MATERIAL PLANS SHALL BE INCIDENTAL TO THE UTILITY LINE AND/OR STRUCTURE PLAN ITEM.
12. UTILITY ADJUSTMENTS REQUIRED TO COMPLETE THE PROJECT ARE TO BE COORDINATED BY THE CONTRACTOR WITH THE INDIVIDUAL UTILITY PROVIDERS.
13. REVIEW, PERMIT AND INSPECTION FEES REQUIRED TO PERFORM THE UTILITY WORK SHALL BE COORDINATED BY THE CONTRACTOR AND ARE INCLUDED AS PART OF THIS PROJECT.
14. ADJUST ALL SEWER, WATER, AND ELECTRICAL STRUCTURES OR INFRASTRUCTURE AS INDICATED ON DRAWINGS. COORDINATE WITH APPROPRIATE CITY DEPARTMENTS AS NECESSARY.
15. COORDINATE ADJUSTMENT OF ALL GAS, STEAM, FIBER AND COMMUNICATION STRUCTURES OR INFRASTRUCTURE WITH APPROPRIATE UTILITY PROVIDER. APPROPRIATE UTILITY PROVIDER TO MAKE ANY ADJUSTMENTS TO GAS, STEAM, FIBER AND COMMUNICATION STRUCTURES AS NECESSARY.
16. RELOCATION OF UTILITY POLES TO BE COORDINATED WITH DETROIT PUBLIC LIGHTING AUTHORITY (PLA) AND DTE ENERGY.
17. ALL SEWER MANHOLES SHALL BE PRECAST CONCRETE IN ACCORDANCE WITH ASTM C478 WITH ECCENTRIC CONE OR FLAT-SLAB-TOP AS INDICATED.
18. PIPE CONNECTORS AT MANHOLES TO BE IN ACCORDANCE WITH ASTM C923, OR PER PIPE MANUFACTURER'S AND DWSD SPECIFICATIONS.
19. SEWER PIPE TO BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C76, CLASS IV, WALL B. MINIMUM INSIDE DIAMETER TO BE 8 INCHES OR PVC, ASTM D3034, SDR26 FOR SIZES 8 INCHES AND SMALLER.
20. PROPOSED INVERT FOR NEW SEWER CONNECTIONS TO EXISTING PIPES NOT AT EXISTING MANHOLES ARE ESTIMATED. VERIFY INVERT ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
21. EXISTING OUTLET SEWER INVERT ELEVATIONS TO BE FIELD VERIFIED.
22. EXTENSIONS OF EXISTING SEWER PIPE TO BE PERFORMED USING PIPE MATERIALS AND DIAMETERS TO MATCH THE EXISTING SEWER.
23. FOR ALL DIRECT TAPS TO EXISTING STRUCTURES, FIELD CORE DRILL EXISTING STRUCTURE TO ACCOMMODATE PROPOSED PIPE SIZE. GROUT PIPE OPENING TO BE WATERTIGHT.
24. ALL MANHOLE AND CATCH BASIN COVERS SHALL BE BOLTED DOWN.
25. PROTECT EXISTING IRRIGATION SPRINKLER HEADS DURING EXCAVATION.
26. THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTORS OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH THE DWSD STANDARD SPECIFICATIONS.
27. PROPOSED TRENCH DRAIN AND OUTLETS SHOULD BE CONSTRUCTED TO CONNECT TO EXISTING STRUCTURES AND FOLLOW THE EXISTING METHOD OF STORMWATER DISCHARGE.

## HART PLAZA

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CONSTRUCTION DOCUMENTS 0 14JUNE2024

SEALS

DRAWING TITLE  
GENERAL NOTES

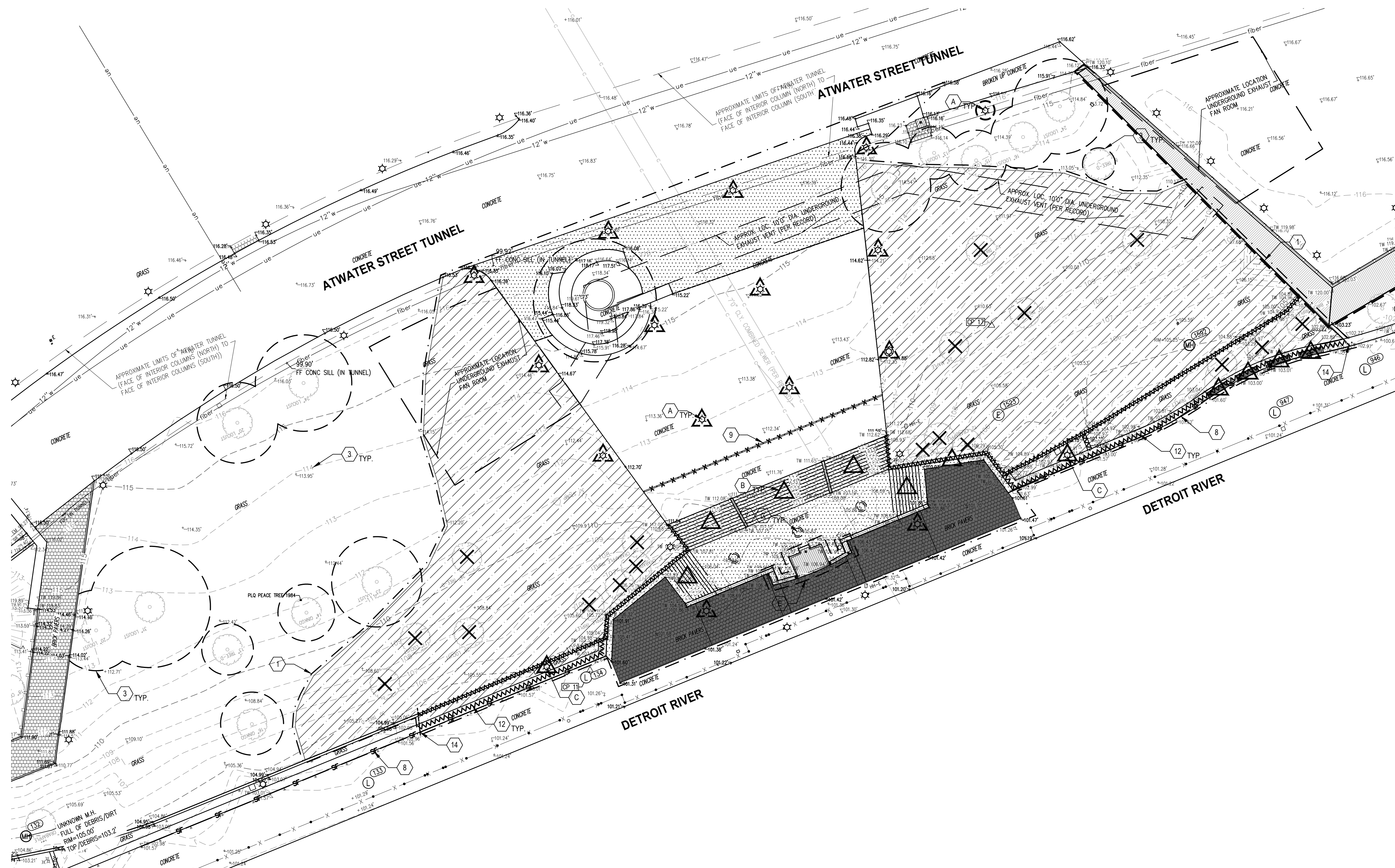
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PROJECT NUMBER

DRAWING NUMBER

G101

FILE: C:\Users\lgibbons\SmithGroup\Companies\Inc\PRJ\15004 - SmithGroup - SmithGroup\CAD\06 Landscaping\Sheet\5004-CD100.dwg USER: lgibbons DATE: Jun, 24, 2024 TIME: 03:41 pm



**SHEET NOTES**

1. SEE SHEET G100 FOR SITE PREP AND SELECTIVE DEMOLITION PLAN NOTES.

**KEYED NOTES**

- (A) SALVAGE EXISTING LIGHT POLES FOR REFURBISHING AND REINSTALLATION. SEE LAYOUT AND ELECTRICAL PLANS FOR NEW LOCATIONS. COORDINATE WITH GSD FOR STORAGE OF ADDITIONAL UNITS. DEMO ALL ASSOCIATED CONDUIT.
- (B) SALVAGE GRANITE STAIRS FOR REFURBISHING AND REINSTALLATION. SEE LAYOUT PLANS FOR NEW LOCATIONS. COORDINATE WITH GSD FOR STORAGE OF ADDITIONAL UNITS.
- (C) SALVAGE CAMERA EQUIPMENT FOR REINSTALLATION. REINSTALLATION BY OTHERS. SAFELY TERMINATE CONNECTIONS AND ENSURE THAT PRESERVED RIVERWALK LIGHTING AND EQUIPMENT IS NOT DISRUPTED. NOTIFY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION TO ALLOW FOR COORDINATION WITH CAMERA EQUIPMENT OPERATOR AND POTENTIAL REINSTALLATION IN PARALLEL TO PROJECT SITE DISTURBANCES.
- (D) COORDINATE STRUCTURAL PLANS PRIOR TO CONSTRUCTION ACTIVITIES AND ANY WALL DEMOLITION.
- (E) EXISTING GATEWAY TO FREEDOM STATUE AND ITS PERIMETER GRANITE WALL TO BE PRESERVED AND PROTECTED. THE EXISTING SSSL RAIL ON TOP OF THE PROTECTED GRANITE WALL TO BE SALVAGED AND REMOVED. THE (2) EXISTING STATUE FLAPS CURRENTLY MOUNTED TO THE SSSL RAIL SHALL BE SALVAGED FOR REINSTALLATION ON THE NEW GUARD RAIL END POSTS IN THE SAME CONFIGURATION. V.I.F. AND NOTIFY OWNER'S REPRESENTATIVE PRIOR TO SALVAGE AND REINSTALLATION. SEE LAYOUT AND MATERIALS PLANS FOR REINSTALLATION LOCATIONS.
- (F) SALVAGE EXISTING SITE FURNISHINGS OR MATERIAL FOR OWNER. COORDINATE WITH OWNER FOR STORAGE LOCATION.
- (G) EXISTING 4" DRAINS TO REMAIN. REPLACE COVERS PER DETAIL.

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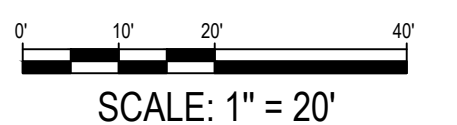
**LEGEND**

- (1) --- LIMITS OF CONSTRUCTION
- (2) X TREE REMOVAL
- (3) --- TREE PROTECTION FENCE, AT DRIP LINE
- (4) C PROTECT
- (5) X REMOVE
- (6) A SALVAGE
- (7) C INLET PROTECTION
- (8) S SILT FENCE
- (9) X X X X X UTILITY REMOVAL
- (10) [Pattern] PARTIAL PAVEMENT TOPPING SLAB REMOVAL V.I.F. - SEE LAYOUT AND MATERIALS PLAN
- (11) [Pattern] BRICK PAVEMENT REMOVAL
- (12) [Pattern] REMOVE WALL, SEE STRUCTURAL PLANS
- (13) [Pattern] CLEARING (REMOVE LAWN / GRASS / SHRUB MASS / ORGANIC MATERIAL / STUMP / ROOT / STRUCTURE / EDGING / GRAVEL / DEBRIS)
- (14) --- SAW CUT

SEALS



DRAWING TITLE  
**SITE PREP AND SELECTIVE  
DEMOLITION PLAN**



SCALE

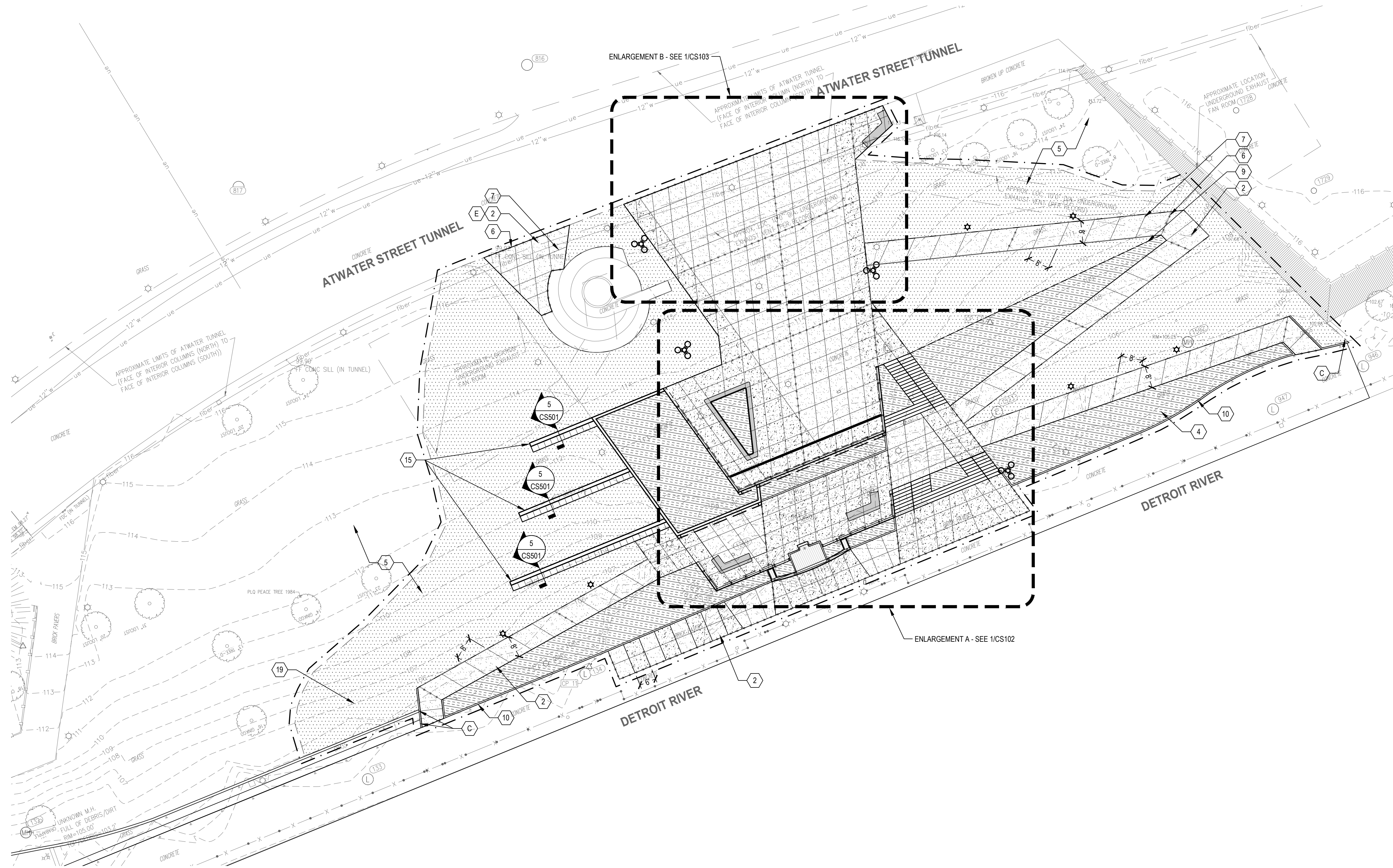
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DRAWING NUMBER

**CD101**



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### SHEET NOTES

1. SEE SHEET G101 FOR LAYOUT AND MATERIALS PLAN NOTES.

### KEYED NOTES

- (A) EXISTING GATEWAY TO FREEDOM STATUE AND ITS PERIMETER GRANITE WALL PRESERVED AND PROTECTED.
- (B) LINEAR TRENCH DRAIN. SEE UTILITY PLANS.
- (C) V.I.F. SURFACE CONDITION OF THE EXPOSED EXISTING WALL. ANY EXISTING WALL THAT IS EXPOSED, CUT, OR TIED-IN WITH NEW C.I.P. CONCRETE WALL AS DIRECTED BY STRUCTURAL PLANS WILL REQUIRE FIELD ASSESSMENT, CLEANING, AND SKIM COAT FOR A COMPLETE AND FINISHED LOOKING WALL SURFACE.
- (D) V.I.F. MONUMENT LEVEL PLAZA DRAINAGE SYSTEM IS FUNCTIONAL PRIOR TO INSTALLATION OF HARDSCAPE. COMPLIANT SLOPES AND DRAINAGE ARE COORDINATED IN THE GRADING PLANS, BUT THE EXISTING UTILITY SYSTEM REQUIRES ADDITIONAL INVESTIGATION - DRAIN INLET LOCATIONS WILL BE FINALIZED DURING EXPLORATORY DEMOLITION.
- (E) NEAR THE NORTH END OF PROJECT LIMITS AT THE ATWATER TUNNEL AND VENT, V.I.F. EXTENT OF NEW CONCRETE PAVEMENT THAT MUST BE POURED IN DIRECT CONTACT WITH EXISTING SUPERSTRUCTURE TO MEET FLUSH WITH EXISTING GRADE AND PROVIDE 4" MIN. THICKNESS OF NEW PAVEMENT WITH CONCRETE BONDING AGENT AT THE SLAB INTERFACE - SEE SITE PREP AND SELECTIVE DEMOLITION PLAN FOR ANTICIPATED APPROXIMATE EXTENT OF THIS CONDITION. FINISHED PAVEMENT SURFACE SHALL APPEAR UNIFORM AND CONTINUOUS ACROSS PLAZA AREA.
- (F) LEGRAND 'OUTDOOR POWER BOX' IS SITUATED IN THE PLANTER AS SHOWN, FLUSH WITH FINISH GRADE NEXT TO PAVEMENT, COLOR: GRAY - SEE ELECTRICAL PLANS.
- (G) REINSTALL (2) SALVAGED STATUE FLAPS ONTO NEW GUARD RAIL END POSTS AS SHOWN, IN THE SAME CONFIGURATION WITH STATUE AS PRIOR TO SALVAGE, V.I.F. AND NOTIFY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- (H) DASHED LINE SHOWS EDGE OF THE INTEGRAL CONC. CAP. SEE SHEET CS506 - SITE DETAILS FOR WALL ELEVATION AND SECTIONS FOR ADDITIONAL CLARIFICATION.
- (I) PRESERVED AND PROTECTED ATWATER VENT TO BE SEALED AND PRIMED FOR FUTURE ARTWORK, BY OTHERS

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### LEGEND

- (1) --- LIMITS OF CONSTRUCTION
- (2) [Pattern] 6-INCH CONCRETE PAVEMENT
- (3) [Pattern] 6-INCH CONCRETE PAVEMENT, MEDIUM SANDBLAST
- (4) [Pattern] PERENNIAL PLANTINGS
- (5) [Pattern] MDO TUF - LAWN RESTORATION
- (6) [Symbol] SEALED EXPANSION JOINT
- (7) [Symbol] CONTROL JOINT
- (8) [Symbol] LIGHT LOCATION, SEE LIGHTING AND ELECTRICAL PLANS
- (9) [Symbol] SPADE CUT EDGE
- (10) [Symbol] STRAIGHT CURB
- (11) [Symbol] SALVAGED GRANITE STAIRS
- (12) [Symbol] GUARD RAIL
- (13) [Symbol] HANDRAIL
- (14) [Symbol] BENCH - SURFACE MOUNTED
- (15) [Symbol] SEAT WALL, SALVAGED GRANITE
- (16) [Symbol] CONCRETE RETAINING WALL, SEE STRUCTURAL PLANS
- (17) [Symbol] CONCRETE WALL OVER EXISTING STRUCTURE, SEE STRUCTURAL PLANS
- (18) [Symbol] SALVAGED GRANITE PAVER SQUARES
- (19) [Symbol] DECIDUOUS TREE
- (20) [Pattern] 6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION
- (21) [Pattern] 6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION, MEDIUM SANDBLAST

SEALS



DRAWING TITLE  
**LAYOUT AND MATERIALS PLAN**

SCALE: 1" = 20'

SCALE

PROJECT NUMBER

DRAWING NUMBER

# CS101



**SHEET NOTES**

1. SEE SHEET G101 FOR LAYOUT AND MATERIALS PLAN NOTES.

**KEYED NOTES**

- (A) EXISTING GATEWAY TO FREEDOM STATUE AND ITS PERIMETER GRANITE WALL PRESERVED AND PROTECTED.
- (B) LINEAR TRENCH DRAIN. SEE UTILITY PLANS.
- (C) V.I.F. SURFACE CONDITION OF THE EXPOSED EXISTING WALL. ANY EXISTING WALL THAT IS EXPOSED, CUT, OR TIED-IN WITH NEW C.I.P. CONCRETE WALL AS DIRECTED BY STRUCTURAL PLANS WILL REQUIRE FIELD ASSESSMENT, CLEANING, AND SKIM COAT FOR A COMPLETE AND FINISHED LOOKING WALL SURFACE.
- (D) V.I.F. MONUMENT LEVEL PLAZA DRAINAGE SYSTEM IS FUNCTIONAL PRIOR TO INSTALLATION OF HARDSCAPE. COMPLIANT SLOPES AND DRAINAGE ARE COORDINATED IN THE GRADING PLANS, BUT THE EXISTING UTILITY SYSTEM REQUIRES ADDITIONAL INVESTIGATION - DRAIN INLET LOCATIONS WILL BE FINALIZED DURING EXPLORATORY DEMOLITION.
- (E) NEAR THE NORTH END OF PROJECT LIMITS AT THE ATWATER TUNNEL AND VENT. V.I.F. EXTENT OF NEW CONCRETE PAVEMENT THAT MUST BE POURED IN DIRECT CONTACT WITH EXISTING SUPERSTRUCTURE TO MEET FLUSH WITH EXISTING GRADE AND PROVIDE 4" MIN. THICKNESS OF NEW PAVEMENT WITH CONCRETE BONDING AGENT AT THE SLAB INTERFACE -- SEE SITE PREP AND SELECTIVE DEMOLITION PLAN FOR ANTICIPATED APPROXIMATE EXTENT OF THIS CONDITION. FINISHED PAVEMENT SURFACE SHALL APPEAR UNIFORM AND CONTINUOUS ACROSS PLAZA AREA.
- (F) LEGRAND 'OUTDOOR POWER BOX' IS SITUATED IN THE PLANTER AS SHOWN. FLUSH WITH FINISH GRADE NEXT TO PAVEMENT. COLOR: GRAY -- SEE ELECTRICAL PLANS.
- (G) REINSTALL (2) SALVAGED STATUE FLAPS ONTO NEW GUARD RAIL END POSTS AS SHOWN, IN THE SAME CONFIGURATION WITH STATUE AS PRIOR TO SALVAGE. V.I.F. AND NOTIFY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- (H) DASHED LINE SHOWS EDGE OF THE INTEGRAL CONC CAP. SEE SHEET CS506 - SITE DETAILS FOR WALL ELEVATION AND SECTIONS FOR ADDITIONAL CLARIFICATION.
- (I) PRESERVED AND PROTECTED ATWATER VENT TO BE SEALED AND PRIMED FOR FUTURE ARTWORK, BY OTHERS

**LEGEND**

- 1 - - - - - LIMITS OF CONSTRUCTION
- 2 [Pattern] 6-INCH CONCRETE PAVEMENT
- 3 [Pattern] 6-INCH CONCRETE PAVEMENT, MEDIUM SANDBLAST
- 4 [Pattern] PERENNIAL PLANTINGS
- 5 [Pattern] MDOT TUF - LAWN RESTORATION
- 6 [Symbol] SEALED EXPANSION JOINT
- 7 [Symbol] CONTROL JOINT
- 8 [Symbol] LIGHT LOCATION, SEE LIGHTING AND ELECTRICAL PLANS
- 9 [Symbol] SPADE CUT EDGE
- 10 [Symbol] STRAIGHT CURB
- 11 [Symbol] SALVAGED GRANITE STAIRS
- 12 [Symbol] GUARD RAIL
- 13 [Symbol] HANDRAIL
- 14 [Symbol] BENCH - SURFACE MOUNTED
- 15 [Symbol] SEAT WALL, SALVAGED GRANITE
- 16 [Symbol] CONCRETE RETAINING WALL. SEE STRUCTURAL PLANS
- 17 [Symbol] CONCRETE WALL OVER EXISTING STRUCTURE. SEE STRUCTURAL PLANS
- 18 [Symbol] SALVAGED GRANITE PAVER SQUARES
- 19 [Symbol] DECIDUOUS TREE
- 20 [Symbol] 6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION
- 21 [Symbol] 6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION, MEDIUM SANDBLAST

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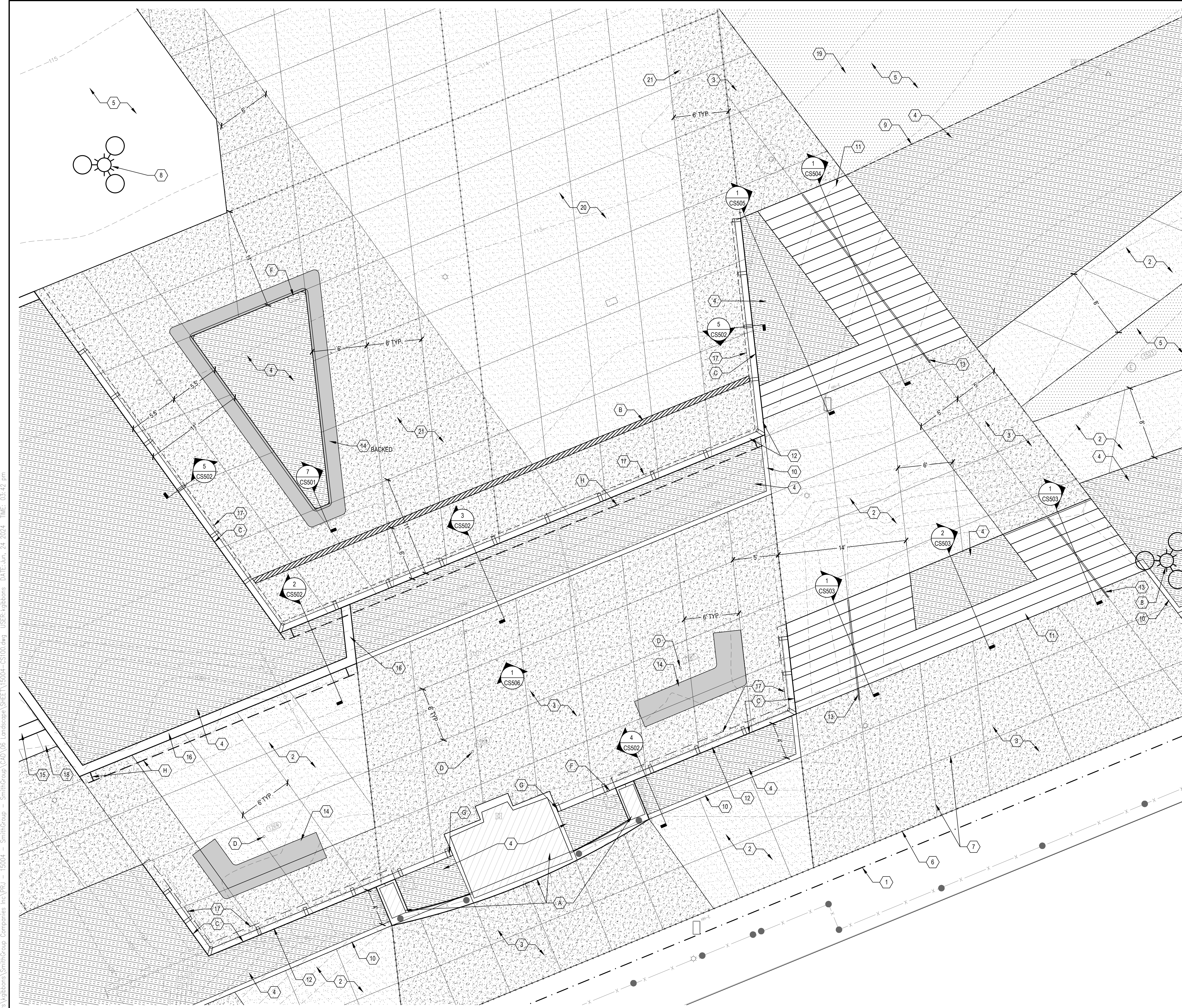
SEALS



DRAWING TITLE  
**LAYOUT AND MATERIALS  
PLAN ENLARGEMENTS**



SCALE \_\_\_\_\_  
PROJECT NUMBER \_\_\_\_\_  
DRAWING NUMBER **CS102**



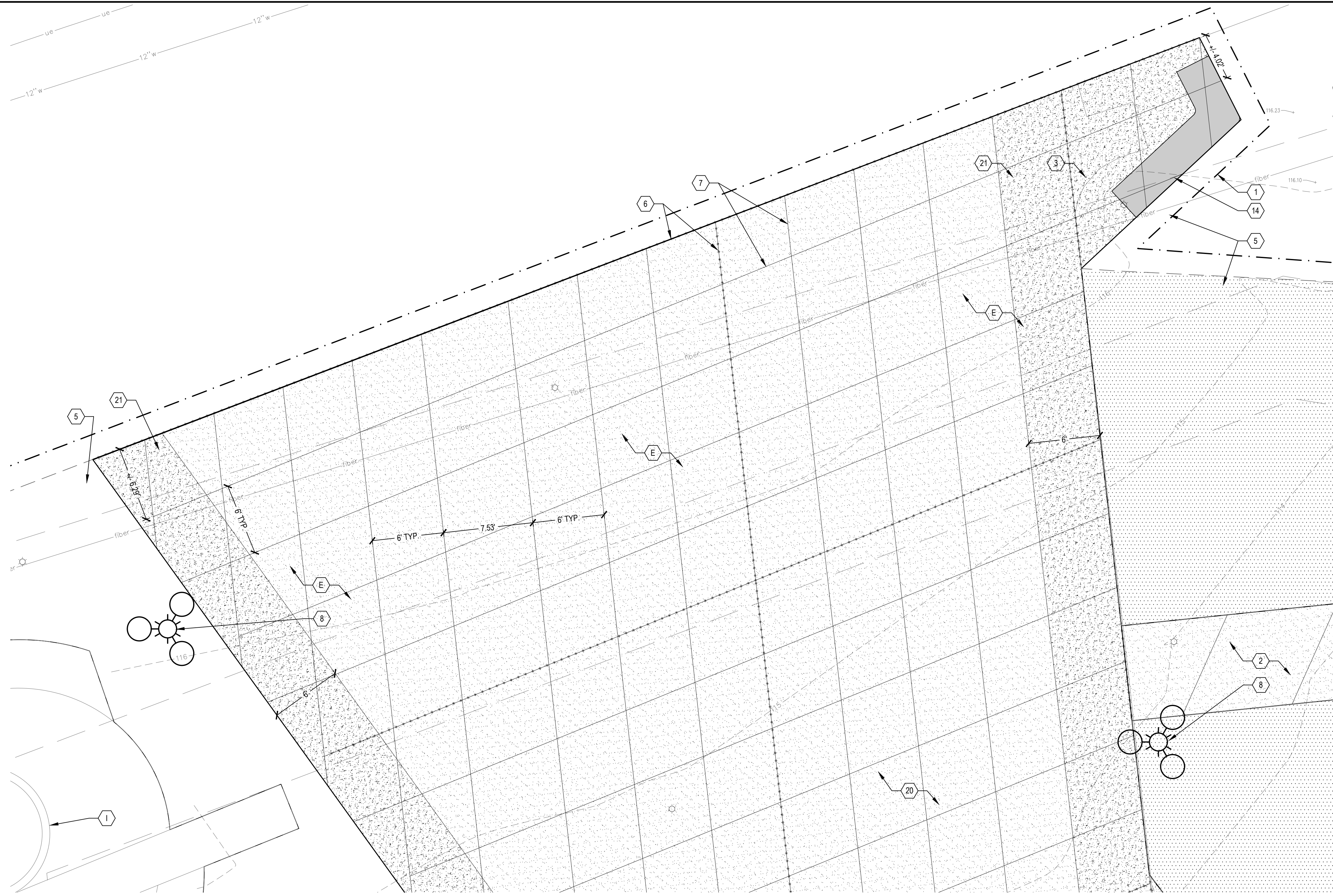
1 ENLARGEMENT A

SCALE: 1" = 5'



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1 ENLARGEMENT B

SCALE: 1" = 5'

### SHEET NOTES

- SEE SHEET G101 FOR LAYOUT AND MATERIALS PLAN NOTES.

### KEYED NOTES

- A EXISTING GATEWAY TO FREEDOM STATUE AND ITS PERIMETER GRANITE WALL PRESERVED AND PROTECTED.
- B LINEAR TRENCH DRAIN. SEE UTILITY PLANS.
- C V.I.F. SURFACE CONDITION OF THE EXPOSED EXISTING WALL. ANY EXISTING WALL THAT IS EXPOSED, CUT, OR TIED-IN WITH NEW C.I.P. CONCRETE WALL AS DIRECTED BY STRUCTURAL PLANS WILL REQUIRE FIELD ASSESSMENT, CLEANING, AND SKIM COAT FOR A COMPLETE AND FINISHED LOOKING WALL SURFACE.
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- E NEAR THE NORTH END OF PROJECT LIMITS AT THE ATWATER TUNNEL AND VENT. V.I.F. EXTENT OF NEW CONCRETE PAVEMENT THAT MUST BE POURED IN DIRECT CONTACT WITH EXISTING SUPERSTRUCTURE TO MEET FLUSH WITH EXISTING GRADE AND PROVIDE 4" MIN. THICKNESS OF NEW PAVEMENT WITH CONCRETE BONDING AGENT AT THE SLAB INTERFACE - SEE SITE PREP AND SELECTIVE DEMOLITION PLAN FOR ANTICIPATED APPROXIMATE EXTENT OF THIS CONDITION. FINISHED PAVEMENT SURFACE SHALL APPEAR UNIFORM AND CONTINUOUS ACROSS PLAZA AREA.
- F LEGRAND 'OUTDOOR POWER BOX' IS SITUATED IN THE PLANTER AS SHOWN. FLUSH WITH FINISH GRADE NEXT TO PAVEMENT. COLOR: GRAY - SEE ELECTRICAL PLANS.
- G REINSTALL (2) SALVAGED STATUE FLAPS ONTO NEW GUARD RAIL END POSTS AS SHOWN, IN THE SAME CONFIGURATION WITH STATUE AS PRIOR TO SALVAGE. V.I.F. AND NOTIFY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- H DASHED LINE SHOWS EDGE OF THE INTEGRAL CONC CAP. SEE SHEET CS506 - SITE DETAILS FOR WALL ELEVATION AND SECTIONS FOR ADDITIONAL CLARIFICATION.
- I PRESERVED AND PROTECTED ATWATER VENT TO BE SEALED AND PRIMED FOR FUTURE ARTWORK, BY OTHERS

### LEGEND

1	--- --	LIMITS OF CONSTRUCTION	1	CS501
2	[Pattern]	6-INCH CONCRETE PAVEMENT	1	CS501
3	[Pattern]	6-INCH CONCRETE PAVEMENT, MEDIUM SANDBLAST	3	LP501
4	[Pattern]	PERENNIAL PLANTINGS	2	LP501
5	[Pattern]	MDOT TUF - LAWN RESTORATION	3	CS501
6	[Symbol]	SEALED EXPANSION JOINT	2	CS501
7	[Symbol]	CONTROL JOINT	1	LP501
8	[Symbol]	LIGHT LOCATION, SEE LIGHTING AND ELECTRICAL PLANS	6	CS501
9	[Symbol]	SPADE CUT EDGE	1	CS502
10	[Symbol]	STRAIGHT CURB	1	CS501
11	[Symbol]	SALVAGED GRANITE STAIRS	1	CS501
12	[Symbol]	GUARD RAIL	1	CS502
13	[Symbol]	HANDRAIL	1 CS503, 1 CS504	
14	[Symbol]	BENCH - SURFACE MOUNTED	8 CS501	
15	[Symbol]	SEAT WALL, SALVAGED GRANITE	5 CS501	
16	[Symbol]	CONCRETE RETAINING WALL, SEE STRUCTURAL PLANS		
17	[Symbol]	CONCRETE WALL OVER EXISTING STRUCTURE, SEE STRUCTURAL PLANS		
18	[Symbol]	SALVAGED GRANITE PAVER SQUARES	4 CS501	
19	[Symbol]	DECIDUOUS TREE	4 LP501	
20	[Symbol]	6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION	9 CS501	
21	[Symbol]	6-INCH CONCRETE PAVEMENT OVER RIGID INSULATION, MEDIUM SANDBLAST	9 CS501	

## HART PLAZA

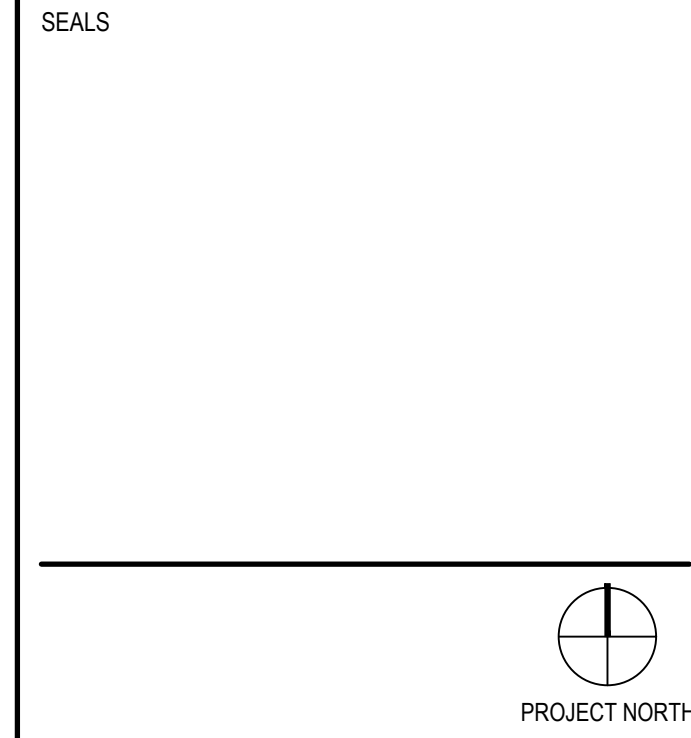
1 HART PLAZA  
DETROIT, MI 48226

Owner:  
CITY OF DETROIT

## SMITHGROUP

500 GRISWOLD  
SUITE 1700  
DETROIT, MI 48226  
313.983.3600  
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CONSTRUCTION DOCUMENTS	0	14JUNE2024



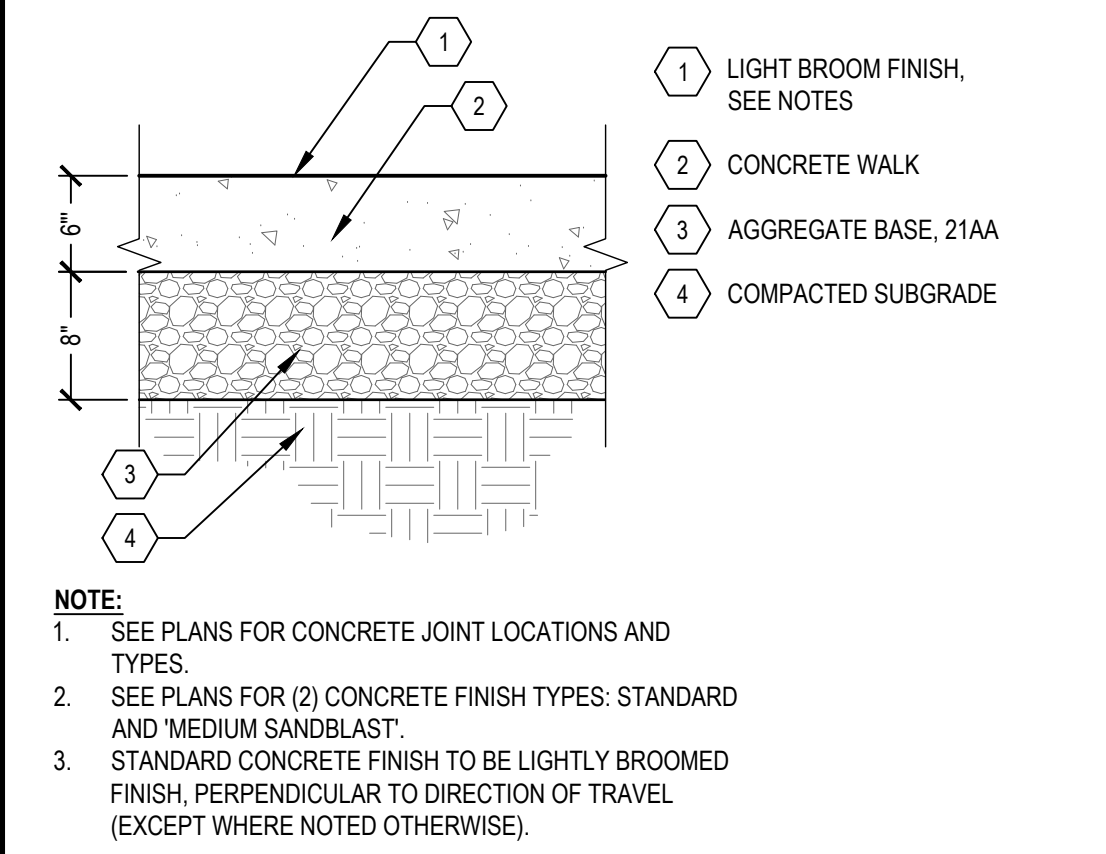
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LAYOUT AND MATERIALS  
PLAN ENLARGEMENTS



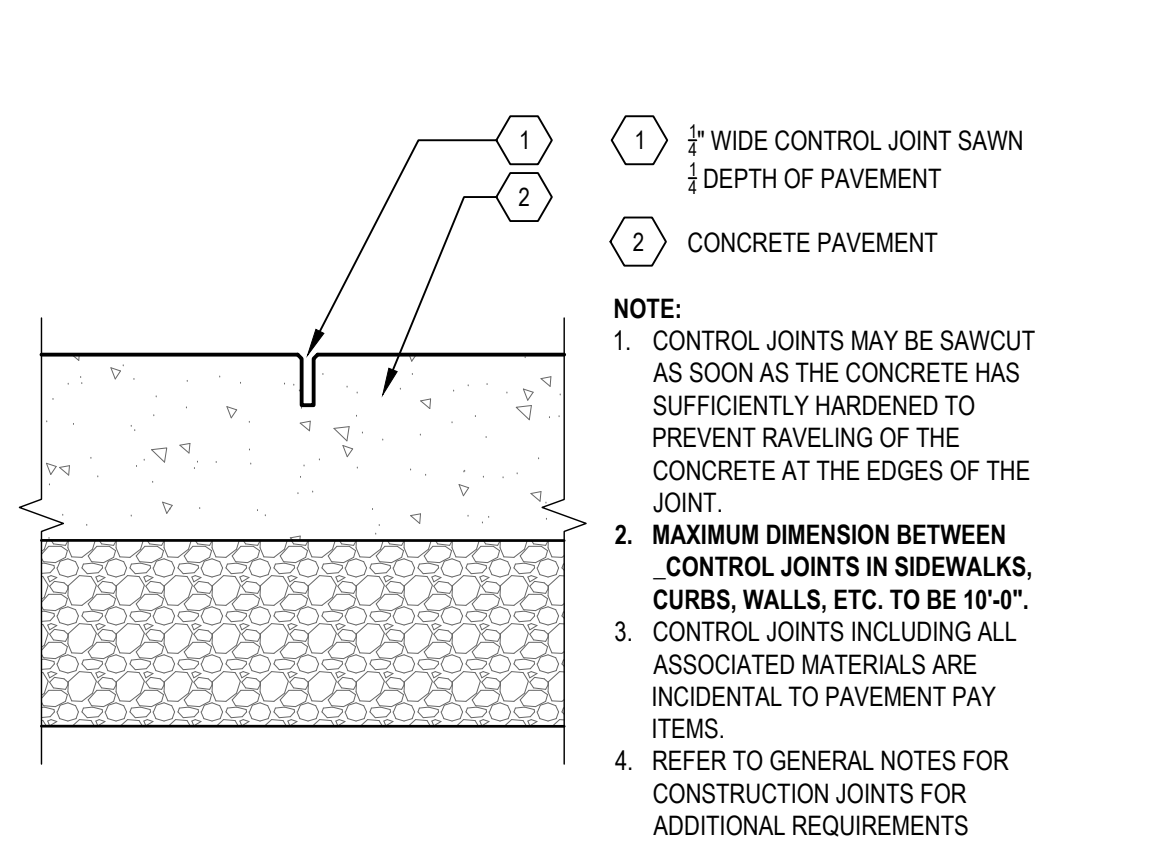
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PROJECT NUMBER  
DRAWING NUMBER

# CS103

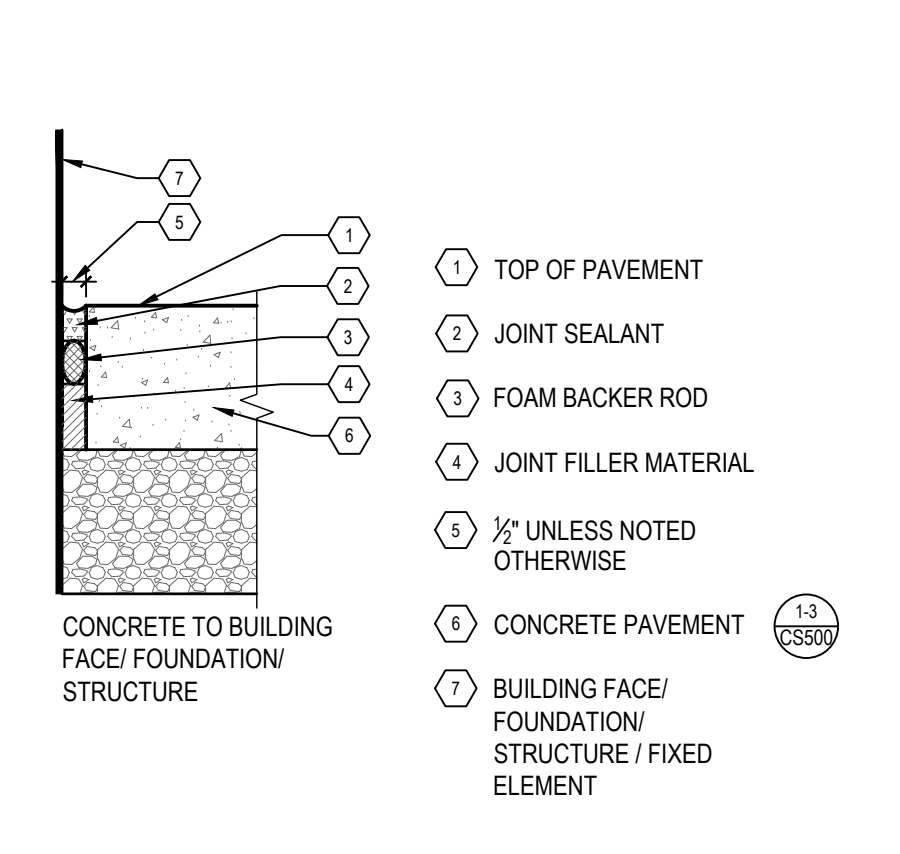




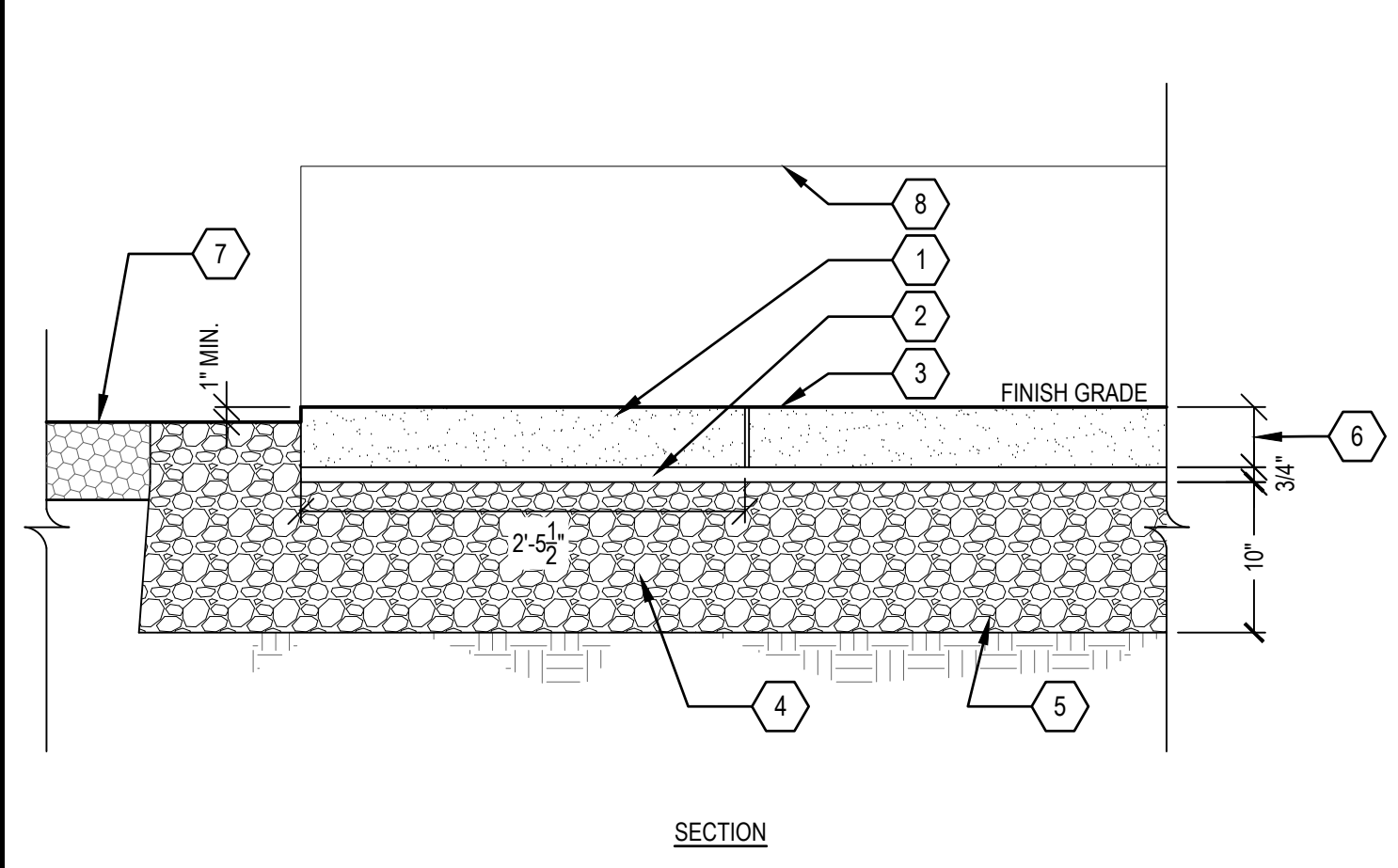
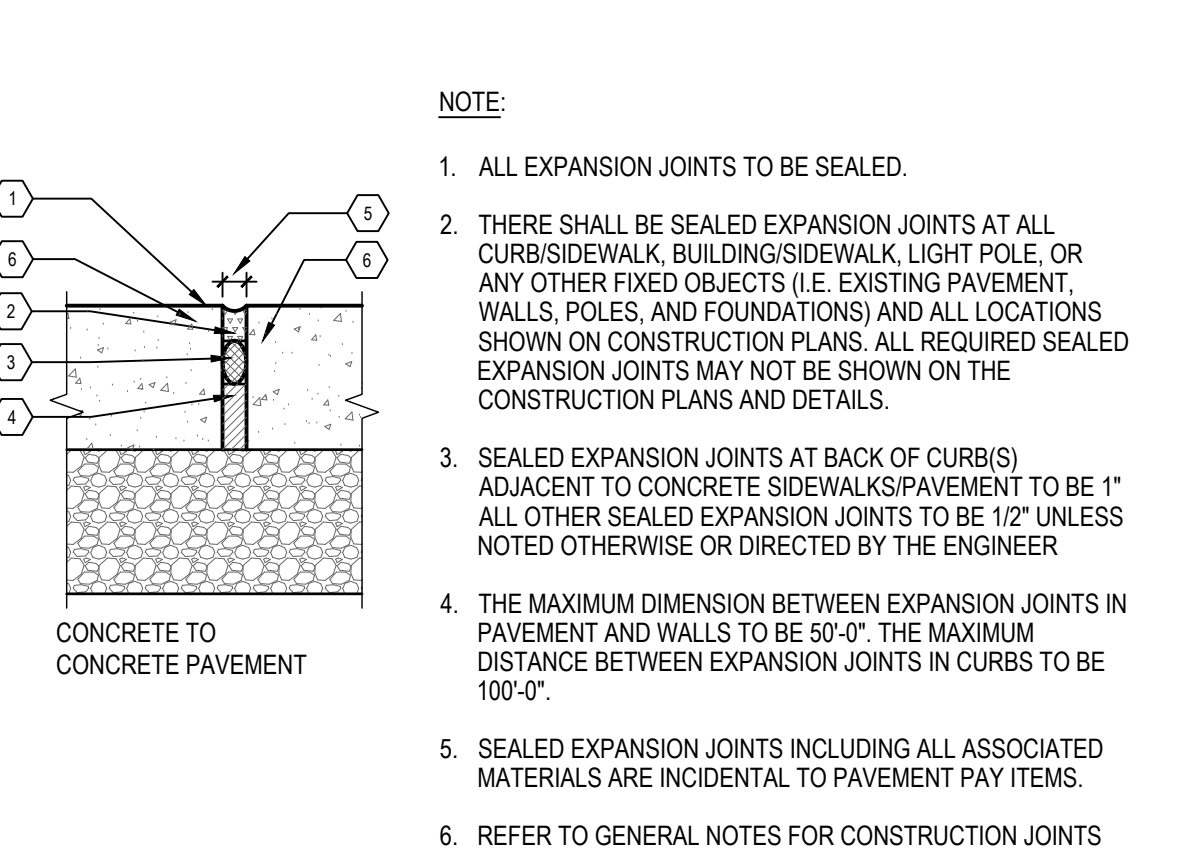
1 6-INCH CONG PAVEMENT SCALE: 1" = 1'



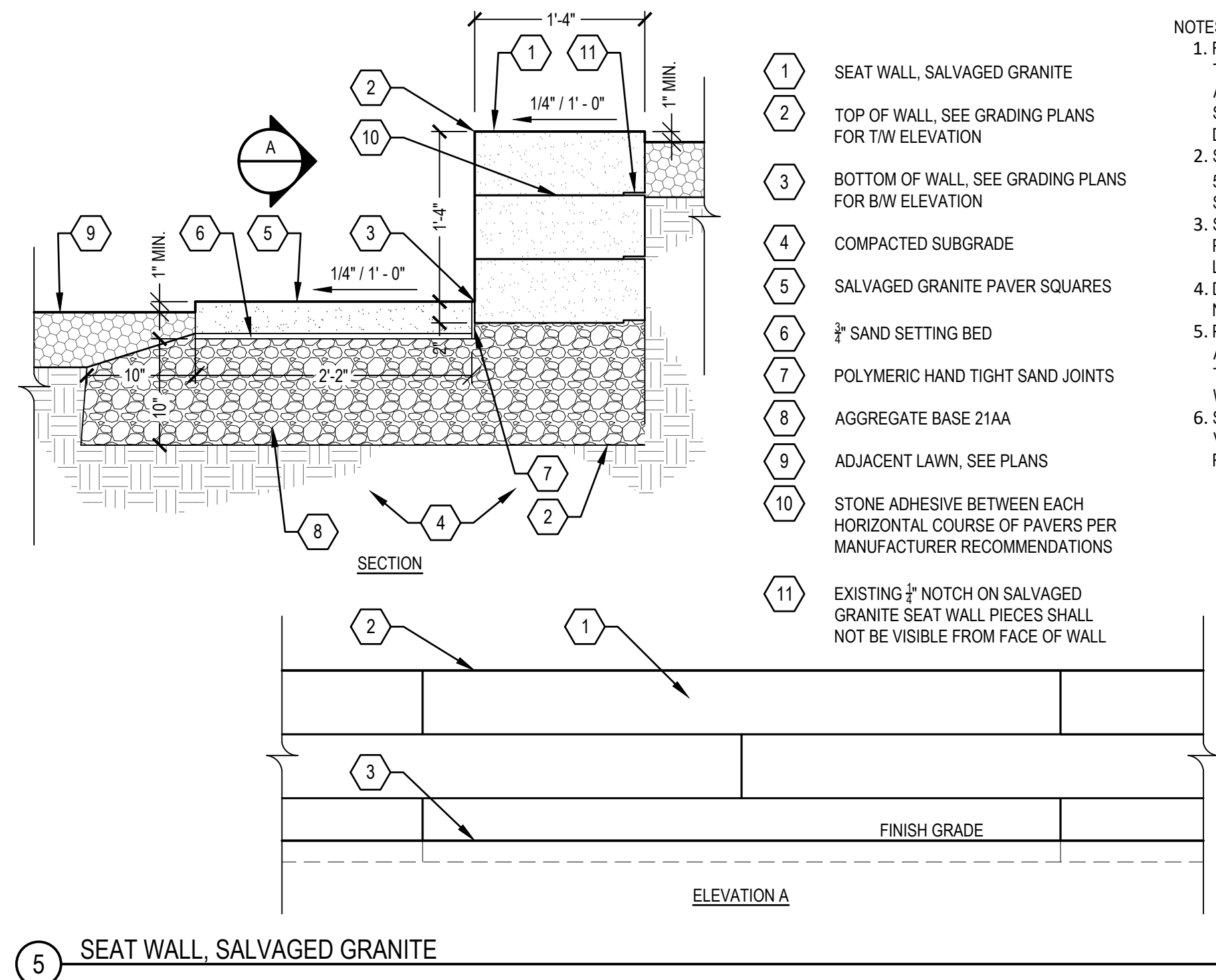
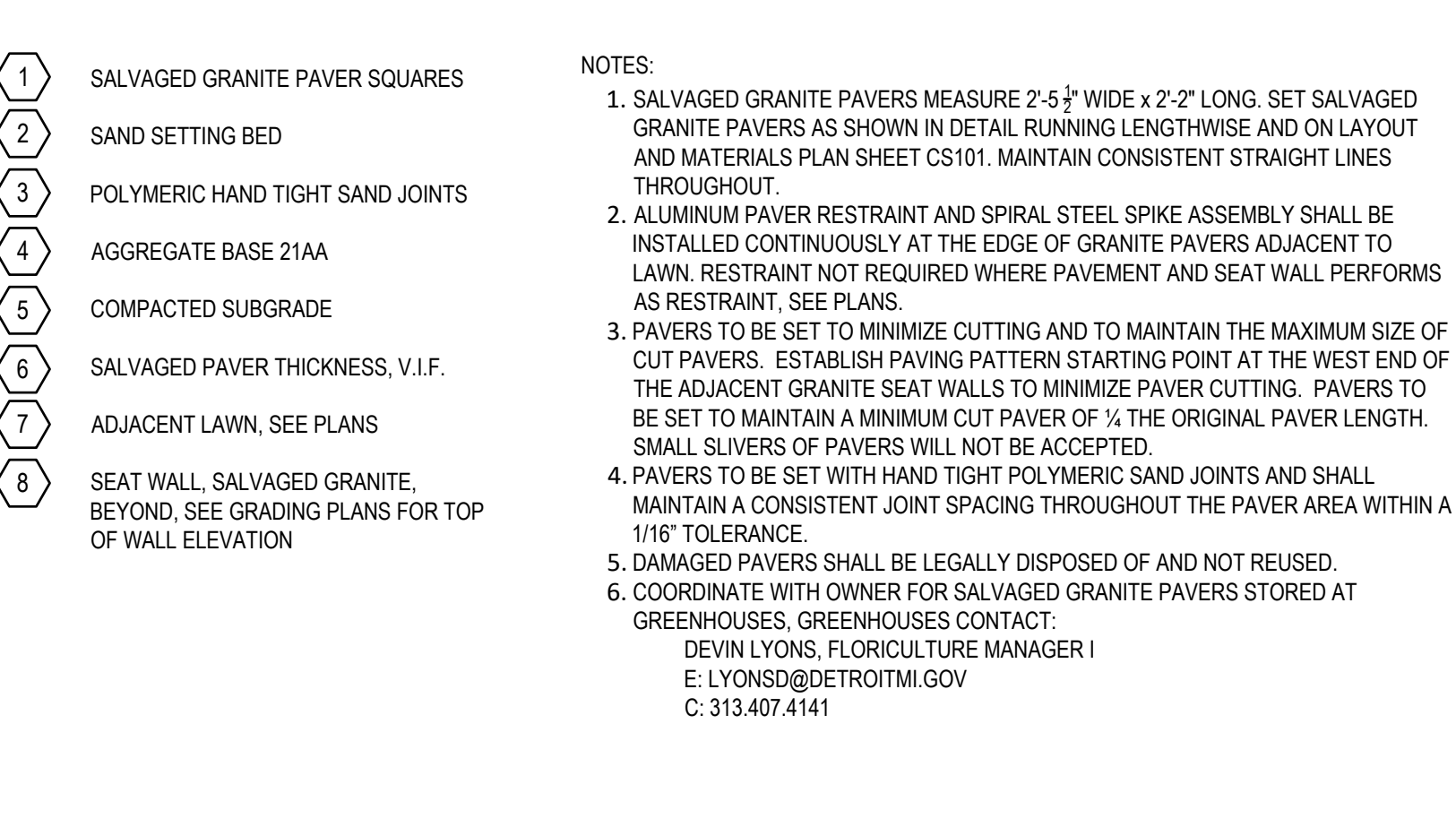
2 CONTROL JOINT SCALE: 1" = 1'



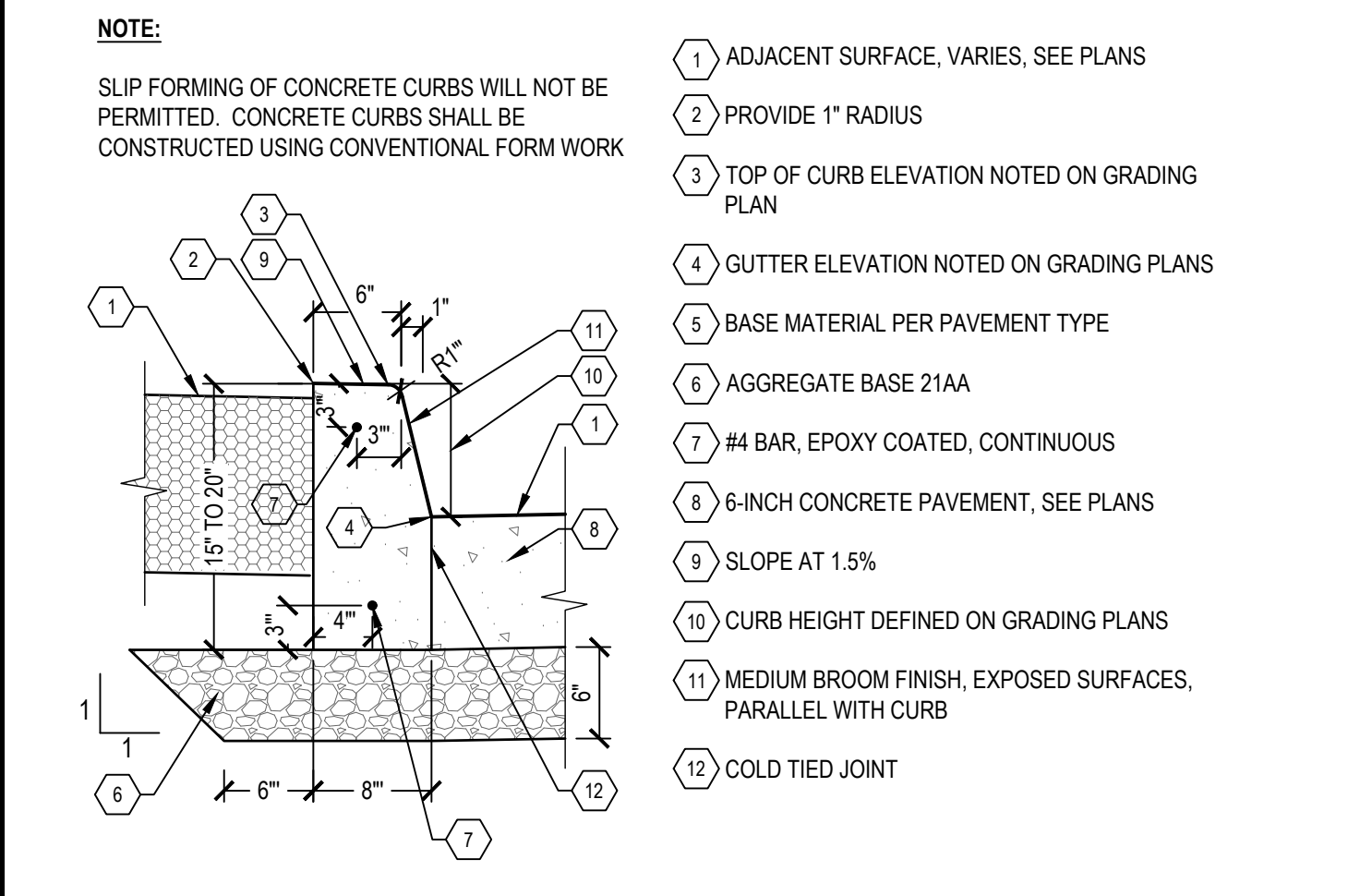
3 SEALED EXPANSION JOINT SCALE: 1/4" = 1'



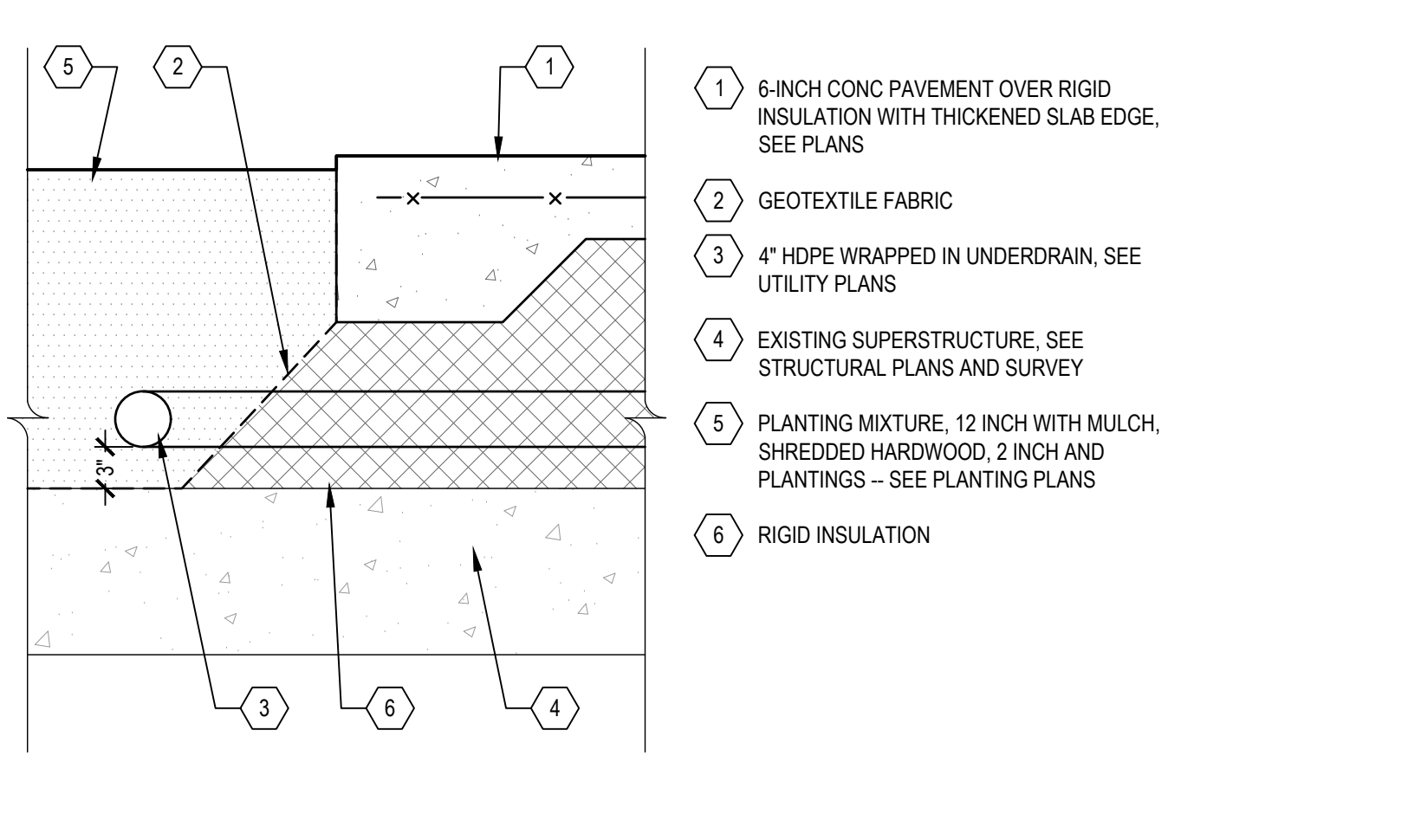
4 SALVAGED GRANITE PAVER SQUARES SCALE: 1" = 1'



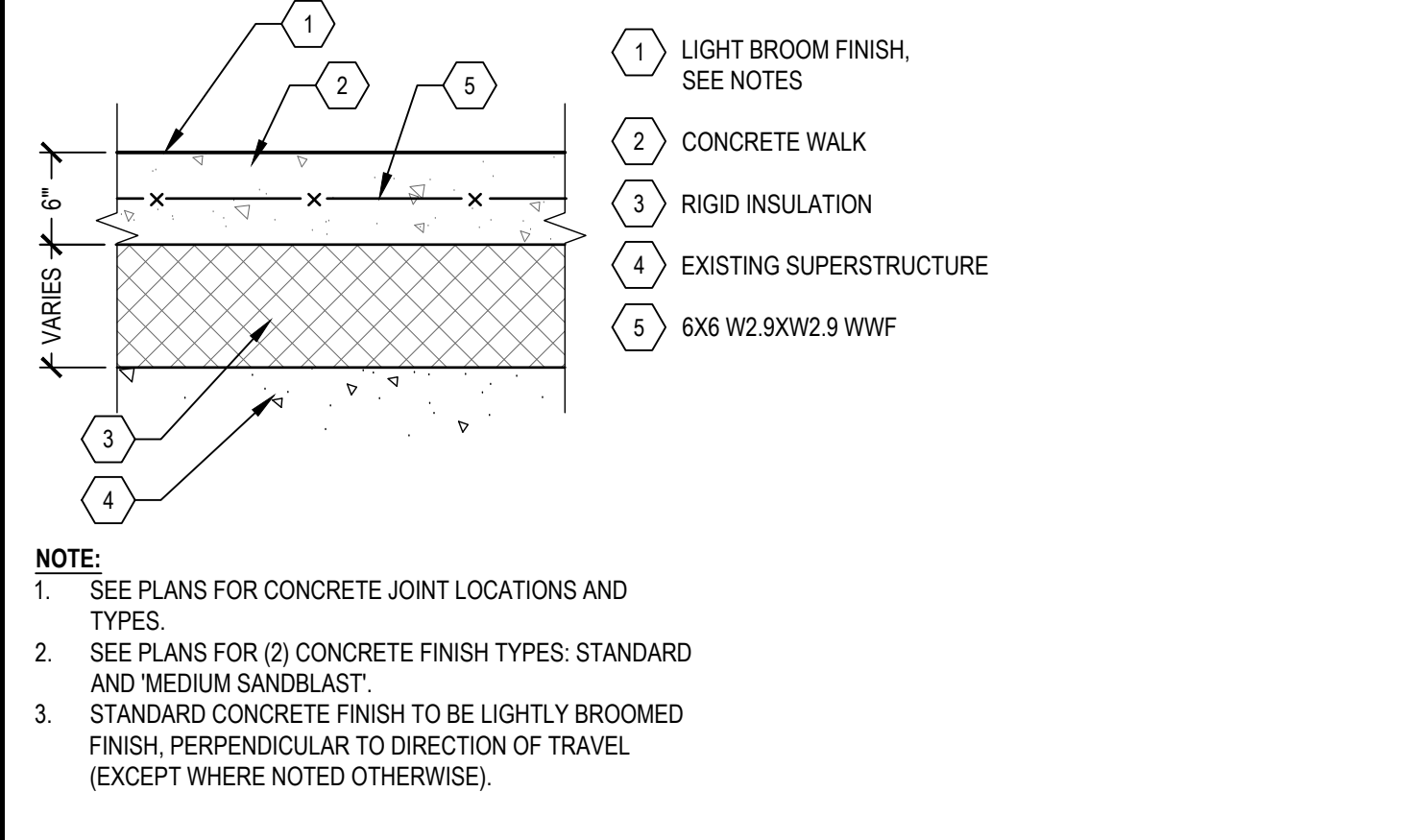
5 SEAT WALL, SALVAGED GRANITE SCALE: 1" = 1'



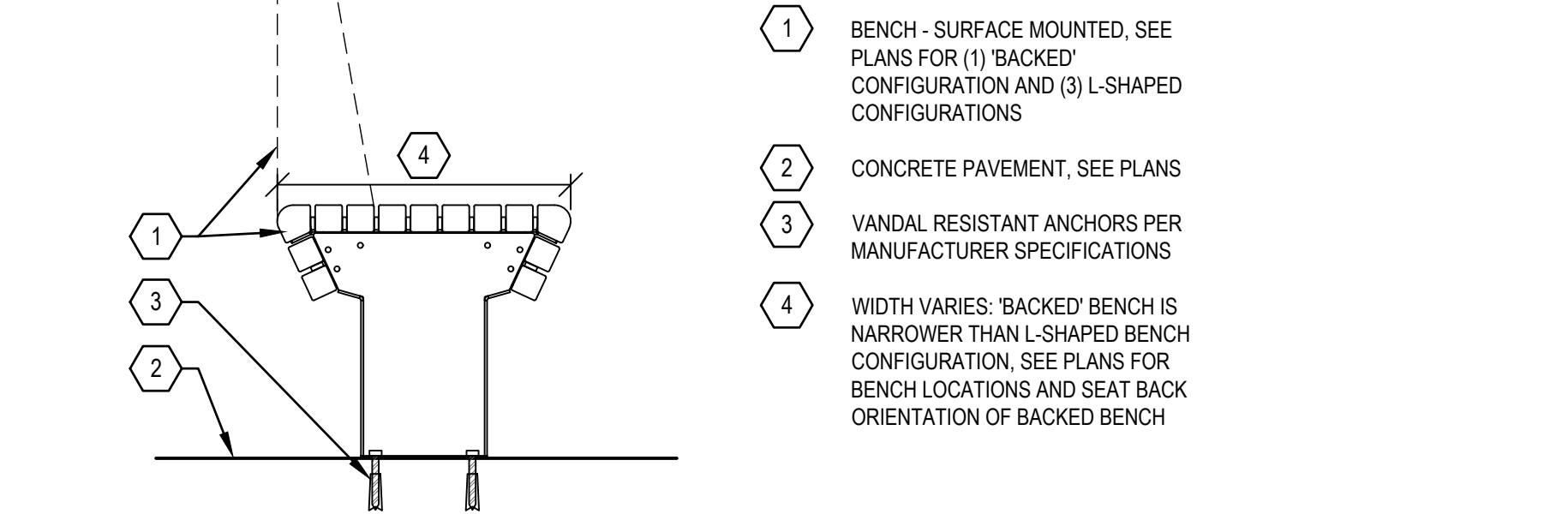
6 STRAIGHT CURB SCALE: 1" = 1'



7 UPPER PLAZA PLANTER EDGE SCALE: 1" = 1'



9 6-INCH CONG PAVEMENT OVER RIGID INSULATION SCALE: 1" = 1'



8 BENCH - SURFACE MOUNTED SCALE: 1" = 1'

ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS

DRAWING TITLE  
**SITE DETAILS**

SCALE: AS NOTED

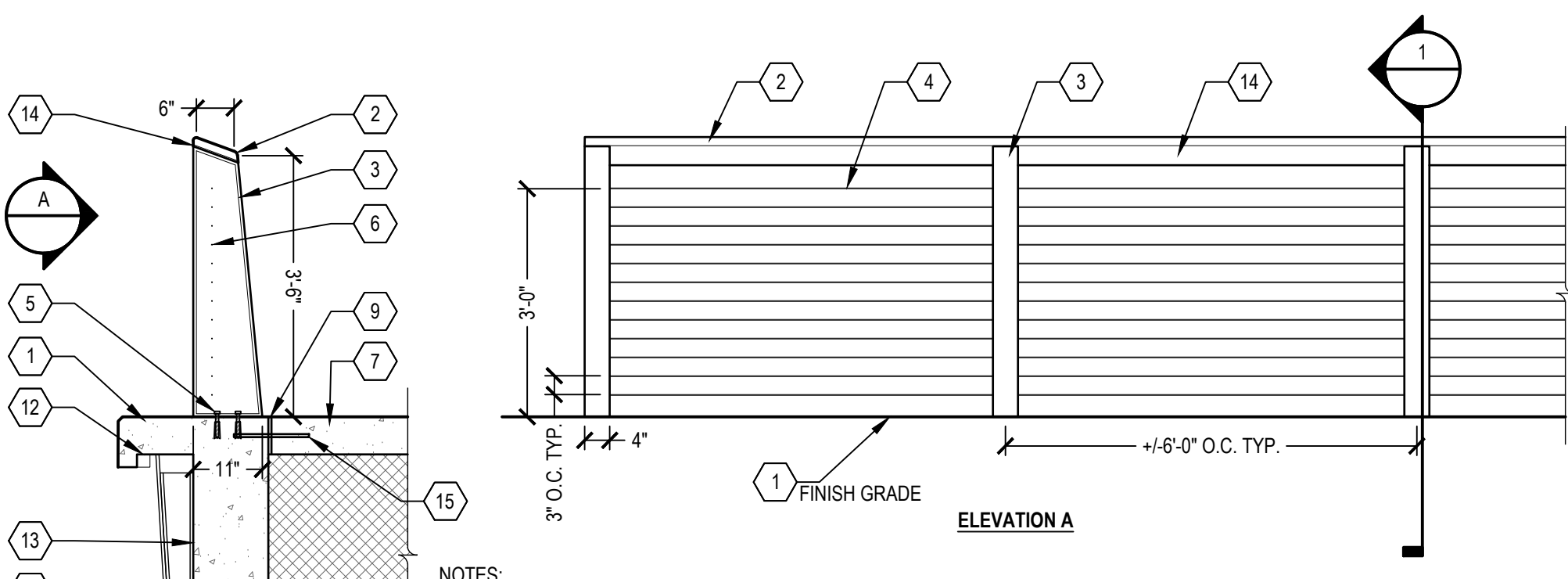
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PROJECT NUMBER

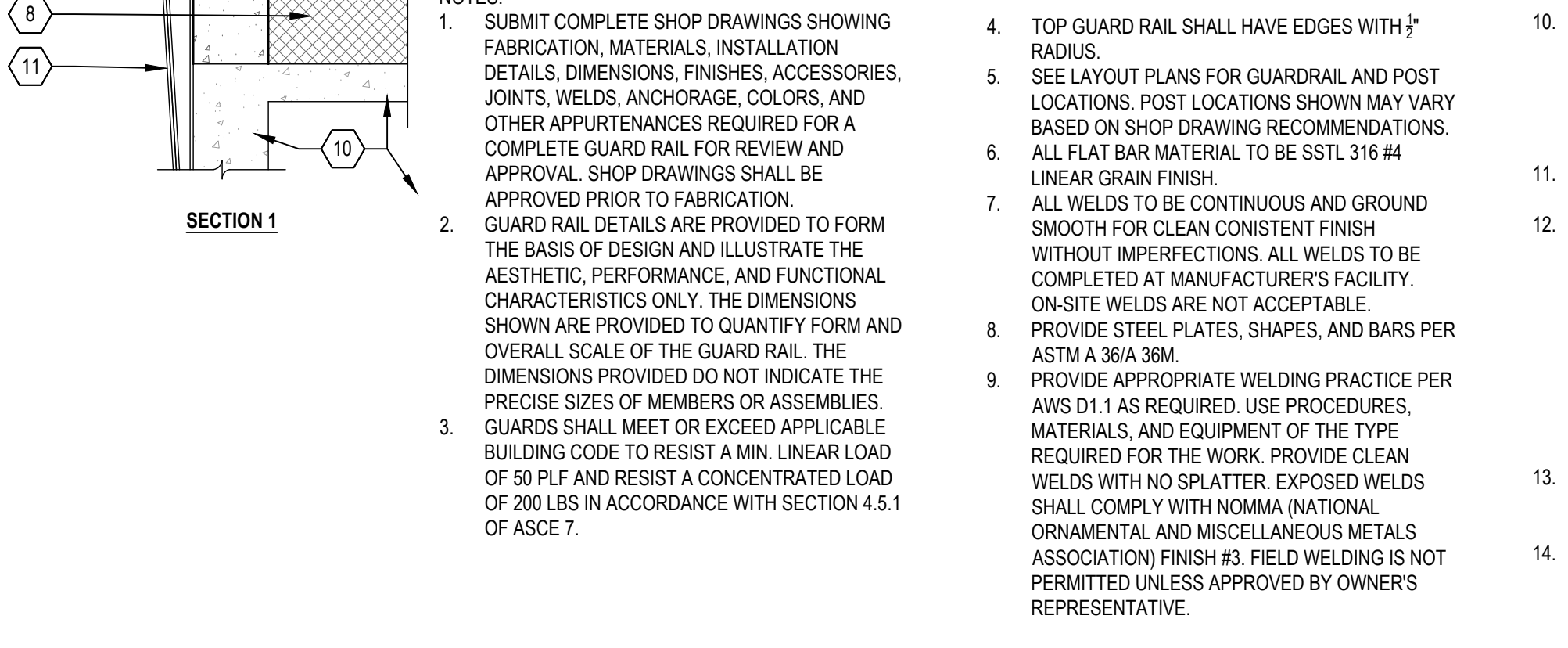
DRAWING NUMBER

**MISS DIG 811**

**CS501**

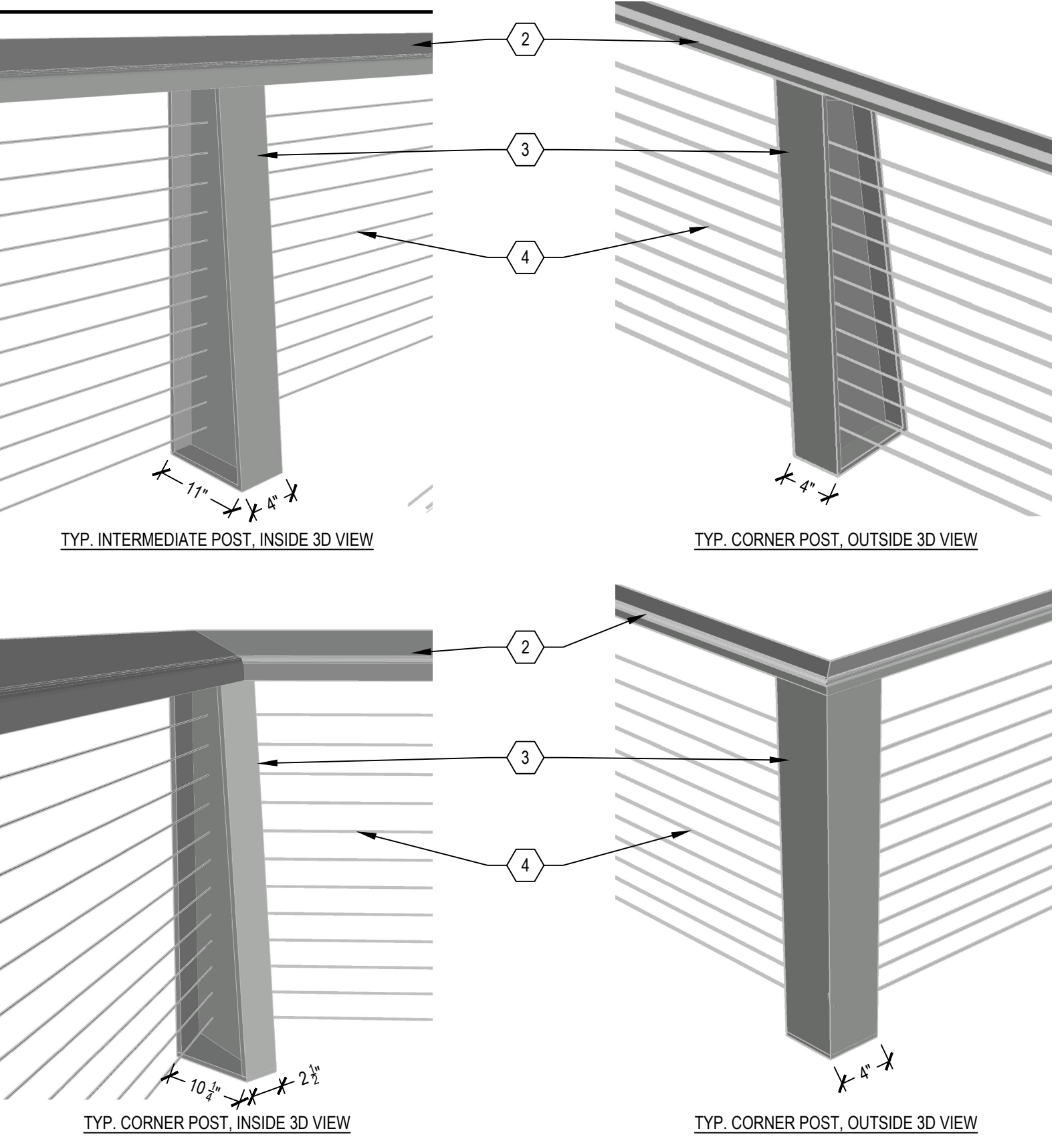
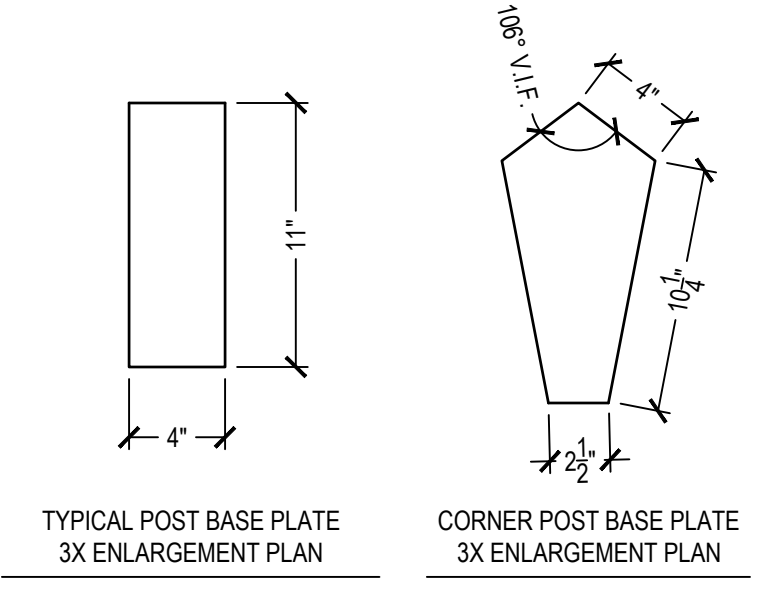


- 1 INTEGRAL CONC CAP, SEE STRUCTURAL PLANS
- 2 SSSL TOP GUARD RAIL
- 3 SSSL I-BEAM STYLE POST, TYP. STITCH WELD 3/4" PLATE TO CREATE I-BEAM STYLE POST.
- 4 CABLE SYSTEM, 3/8" Ø SSSL CABLES SPACED @ 3" O.C., FLUSH MOUNT ON END POSTS, TYP.
- 5 3/8" BOLT WITH EXPANSION ANCHOR, SSSL 316, BOTH SIDES FOR A TOTAL OF (4) - COORDINATE GUARD RAIL EXPANSION ANCHORS WITH RESTEEL
- 6 3/16" Ø HOLES TO FIT CABLE SYSTEM, TYP.
- 7 6-INCH CONC PAVEMENT OVER RIGID INSULATION
- 8 RIGID INSULATION
- 9 EXPANSION JOINT
- 10 EXISTING SUPERSTRUCTURE
- 11 SSSL PANEL W/ DONOR NAMES
- 12 S6 LIGHT, SEE LIGHTING AND ELECTRICAL PLANS
- 13 C.I.P. CONC WALL, SEE STRUCTURAL PLANS FOR RESTEEL
- 14 PROVIDE 1/2" PLATE UNDER TOP GUARD RAIL FOR ATTACHMENT AND TO PREVENT CABLE TENSION AND ANY MOVEMENT OF TOP RAIL
- 15 #4 BAR 1'-0" LONG @ 12" O.C., CENTER ON JOINT SLEEVE ONE END, TYP.

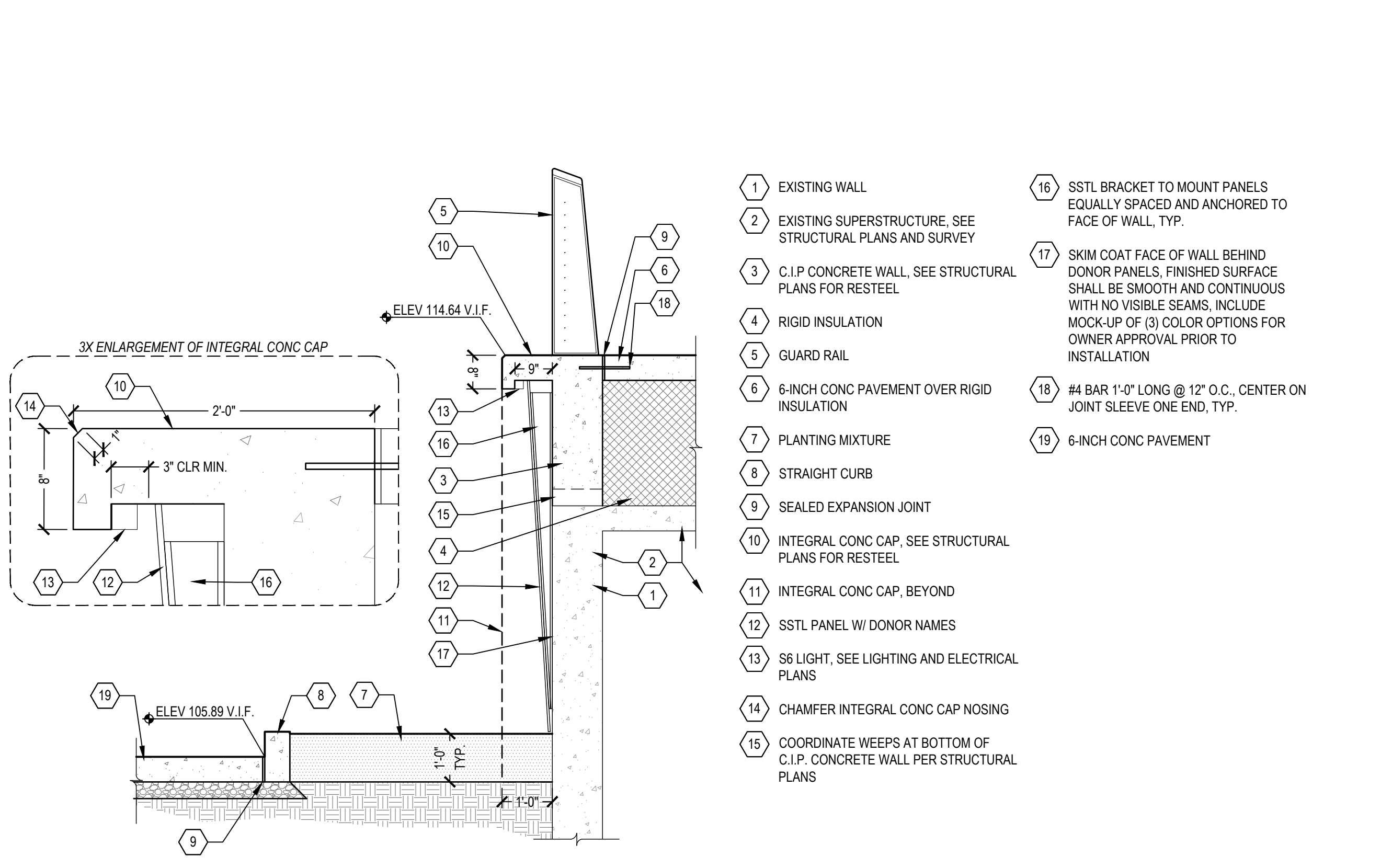


**NOTES:**

- SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS, AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE GUARD RAIL FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.
- GUARD RAIL DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ILLUSTRATE THE AESTHETIC, PERFORMANCE, AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY FORM AND OVERALL SCALE OF THE GUARD RAIL. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES. GUARDS SHALL MEET OR EXCEED APPLICABLE BUILDING CODE TO RESIST A MIN. LINEAR LOAD OF 50 PLF AND RESIST A CONCENTRATED LOAD OF 200 LBS IN ACCORDANCE WITH SECTION 4.5.1 OF ASCE 7.
- TOP GUARD RAIL SHALL HAVE EDGES WITH 1/2" RADIUS.
- SEE LAYOUT PLANS FOR GUARDRAIL AND POST LOCATIONS. POST LOCATIONS SHOWN MAY VARY BASED ON SHOP DRAWING RECOMMENDATIONS.
- ALL FLAT BAR MATERIAL TO BE SSSL 316 #4 LINEAR GRAIN FINISH.
- ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH FOR CLEAN CONSISTENT FINISH WITHOUT IMPERFECTIONS. ALL WELDS TO BE COMPLETED AT MANUFACTURER'S FACILITY. ON-SITE WELDS ARE NOT ACCEPTABLE.
- PROVIDE STEEL PLATES, SHAPES, AND BARS PER ASTM A 36/A 36M.
- PROVIDE APPROPRIATE WELDING PRACTICE PER AWS D1.1 AS REQUIRED. USE PROCEDURES, MATERIALS, AND EQUIPMENT OF THE TYPE REQUIRED FOR THE WORK. PROVIDE CLEAN WELDS WITH NO SPLATTER. EXPOSED WELDS SHALL COMPLY WITH NOMMA (NATIONAL ORNAMENTAL AND MISCELLANEOUS METALS ASSOCIATION) FINISH #3. FIELD WELDING IS NOT PERMITTED UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
- COORDINATE AND FIELD VERIFY GUARD RAIL LOCATIONS AND ORIENTATION WITH OWNER'S REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION. VERIFY FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION.
- ALL COMPONENTS TO BE EXTERIOR RATED AND FINISHED COLOR SSSL GREY.
- ALL NEW OR EXPOSED METAL SHALL BE GALVANIZED. APPLY EPOXY PRIMER FOR GALVANIZED STEEL. HI-BUILD EPOXOLINE SERIES N69 BY TNE MEC FOR A POLYAMIDAMINE EPOXY. APPLY PER MANUFACTURER'S RECOMMENDATIONS, 3.0-5.0 DFT. APPLY EPOXY HIGH-PERFORMANCE COATING: ENDURA-SHIELD II 1074U BY TNE MEC FOR ALIPHATIC ACRYLIC POLYURETHANE. APPLY PER MANUFACTURER'S RECOMMENDATIONS, 2.0-3.0 DFT.
- PROVIDE TOUCH UP PAINT AND SECURITY BITS FOR ANY TAMPER PROOF HARDWARE TO OWNER FOR FUTURE USE.
- 3D VIEWS THIS DETAIL ARE DIMENSIONED FOR REFERENCE BUT NOT TO SCALE.



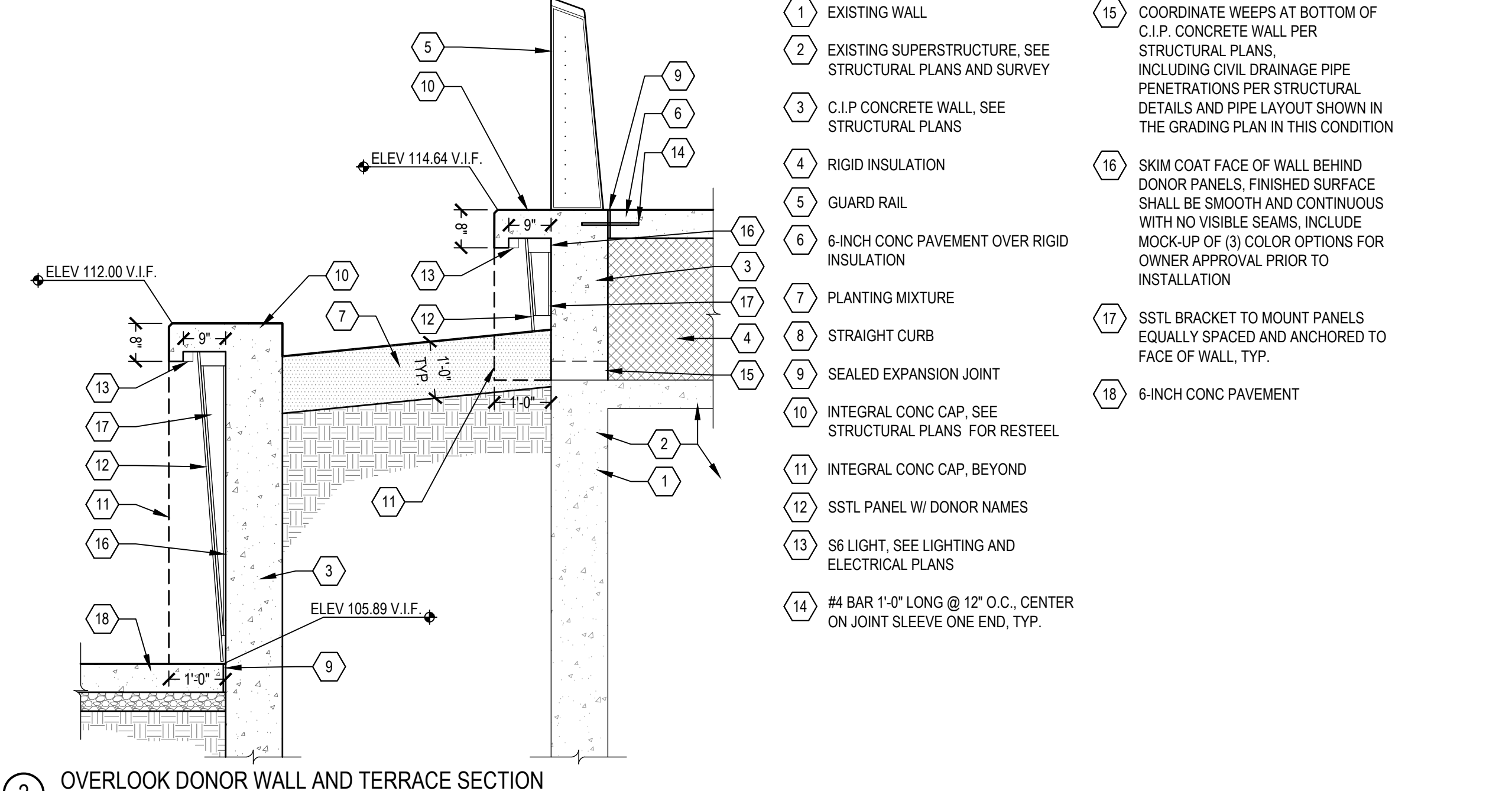
1 GUARD RAIL



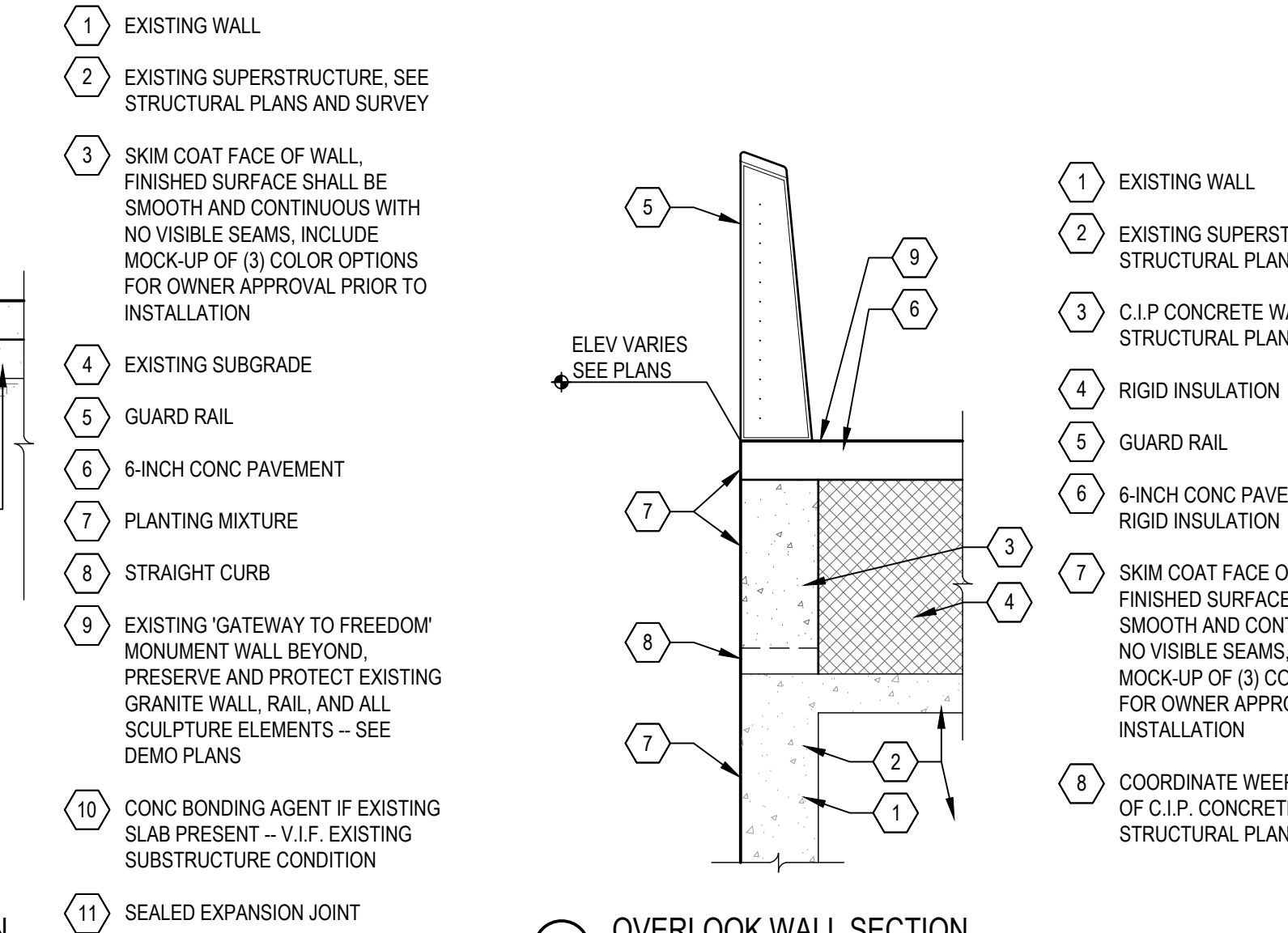
**NOTES:**

- SSSL DONOR PANELS INCLUDE ENGRAVED DONOR NAMES THAT ARE CURRENTLY SHOWN ON EXISTING GRANITE SITE WALLS AND PAVERS AT THE RIVERWALK. EXISTING DONOR NAMES MUST BE RECORDED AND TRANSCRIBED IN ORDER TO REPLICATE AND ENGRAVE THEM ON THE NEW SSSL DONOR PANELS. THE EXISTING DONOR NAMES MUST BE DOCUMENTED, V.I.F. PRIOR TO ANY DEMOLITION.
- COORDINATE AND FIELD VERIFY DONOR PANEL LOCATIONS, FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION.
- SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS, AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE DONOR PANEL SYSTEM FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.
- ALL COMPONENTS TO BE EXTERIOR RATED. DONOR PANELS AND DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ILLUSTRATE THE AESTHETIC, PERFORMANCE, AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY FORM AND OVERALL SCALE OF THE DONOR PANELS. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES.
- ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH FOR CLEAN CONSISTENT FINISH WITHOUT IMPERFECTIONS. ALL WELDS TO BE COMPLETED AT MANUFACTURER'S FACILITY. ON-SITE WELDS ARE NOT ACCEPTABLE.
- PROVIDE STEEL PLATES, SHAPES, AND BARS PER ASTM A 36/A 36M.
- PROVIDE APPROPRIATE WELDING PRACTICE PER AWS D1.1 AS REQUIRED. USE PROCEDURES, MATERIALS, AND EQUIPMENT OF THE TYPE REQUIRED FOR THE WORK. PROVIDE CLEAN WELDS WITH NO SPLATTER. EXPOSED WELDS SHALL COMPLY WITH NOMMA (NATIONAL ORNAMENTAL AND MISCELLANEOUS METALS ASSOCIATION) FINISH #3. FIELD WELDING IS NOT PERMITTED UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
- ALL NEW OR EXPOSED METAL SHALL BE GALVANIZED. APPLY EPOXY PRIMER FOR GALVANIZED STEEL. HI-BUILD EPOXOLINE SERIES N69 BY TNE MEC FOR A POLYAMIDAMINE EPOXY. APPLY PER MANUFACTURER'S RECOMMENDATIONS, 3.0-5.0 DFT. APPLY EPOXY HIGH-PERFORMANCE COATING: ENDURA-SHIELD II 1074U BY TNE MEC FOR ALIPHATIC ACRYLIC POLYURETHANE. APPLY PER MANUFACTURER'S RECOMMENDATIONS, 2.0-3.0 DFT.
- PROVIDE TOUCH UP PAINT AND SECURITY BITS FOR ANY TAMPER PROOF HARDWARE TO OWNER FOR FUTURE USE.
- PRECAST CONC CAP SHALL SECURELY TIE IN WITH ADJACENT PAVEMENT AND THE C.I.P. CONCRETE WALL BENEATH IT WHEN IN THE HORIZONTAL POSITION OR WITH THE EXISTING SUPERSTRUCTURE WALL IN THE VERTICAL POSITION. SEE STRUCTURAL PLANS.
- SSSL DONOR PANELS HAVE A 1/2" GAP BETWEEN EACH PANEL. DONOR PANEL HEIGHT AND WIDTHS VARY BETWEEN WALLS. SEE WALL ELEVATION ON SHEET CS506 - V.I.F. PRIOR TO FABRICATION.

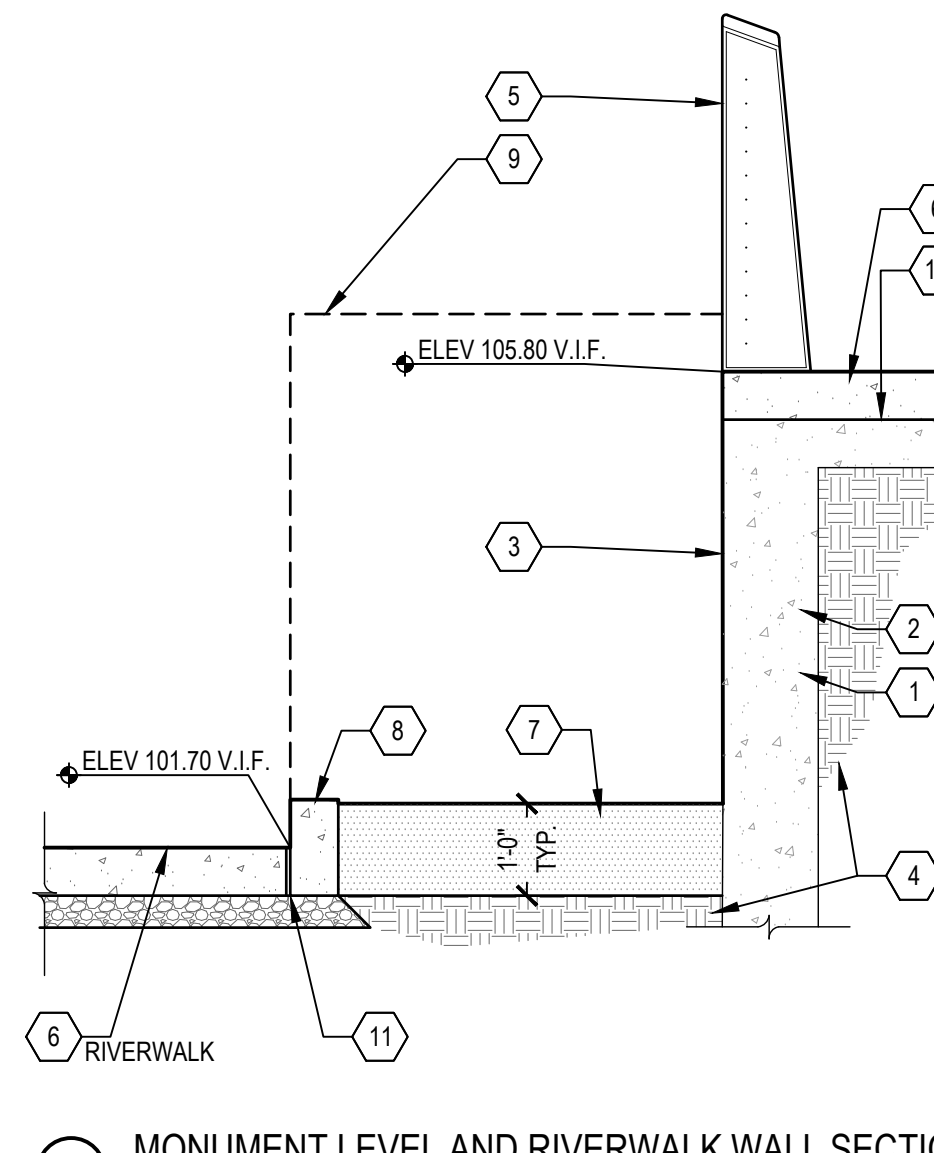
3 OVERLOOK DONOR WALL SECTION



2 OVERLOOK DONOR WALL AND TERRACE SECTION



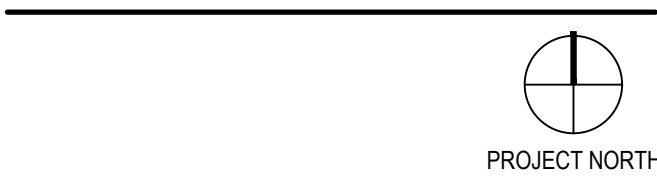
5 OVERLOOK WALL SECTION



4 MONUMENT LEVEL AND RIVERWALK WALL SECTION

ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



DRAWING TITLE  
**SITE DETAILS**

SCALE: AS NOTED

SCALE: AS NOTED

PROJECT NUMBER

DRAWING NUMBER

**CS502**



FILE: C:\Users\lgibbons\SmithGroup\Companies\Inc\PRJ - 15004 - SmithGroup\CAD\06\_Landscape\SH004-CS500.dwg USER: lgibbons DATE: Jun, 24 2024 TIME: 03:43 pm



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# HART PLAZA

1 HART PLAZA  
DETROIT, MI 48226

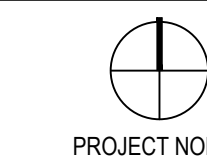
Owner:  
CITY OF DETROIT

# SMITHGROUP

500 GRISWOLD  
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DETROIT, MI 48226  
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ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



DRAWING TITLE  
**SITE DETAILS**

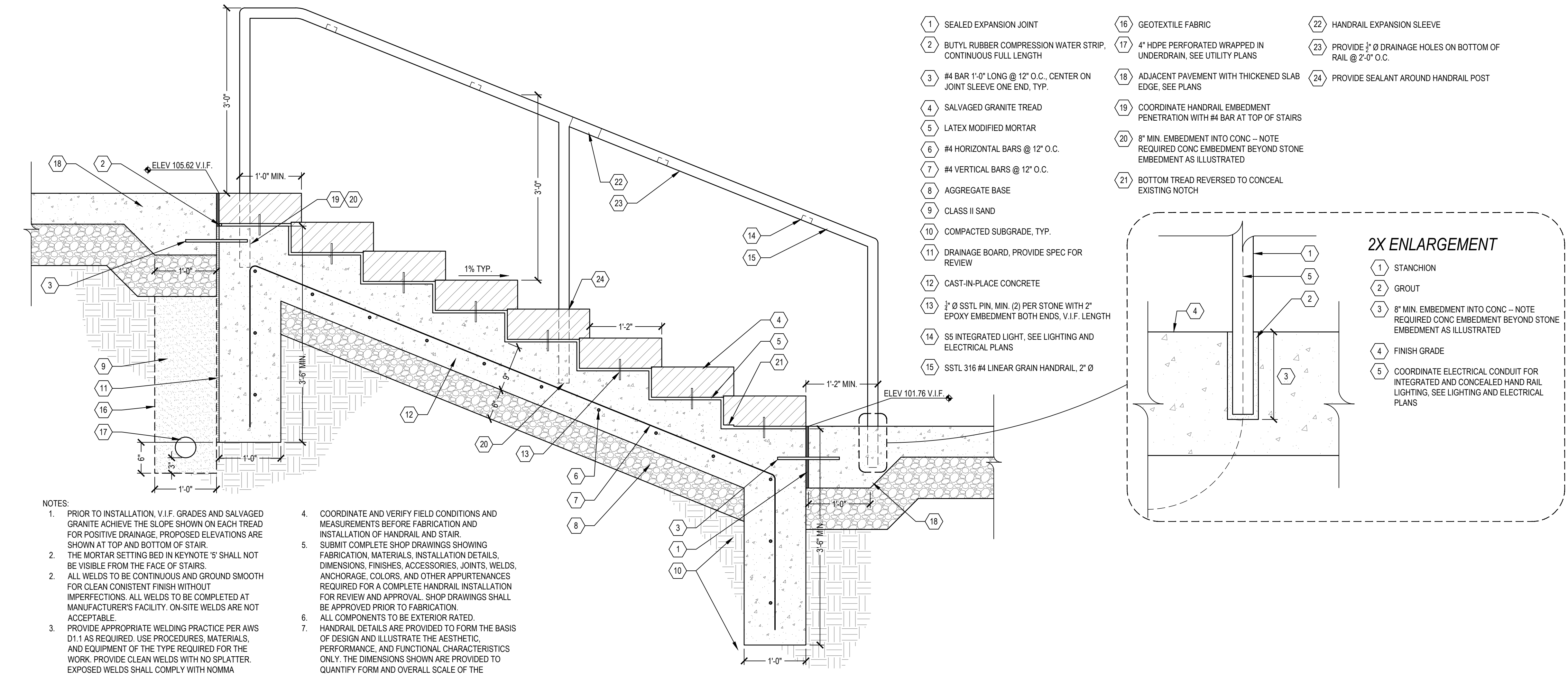
SCALE: AS NOTED

SCALE \_\_\_\_\_

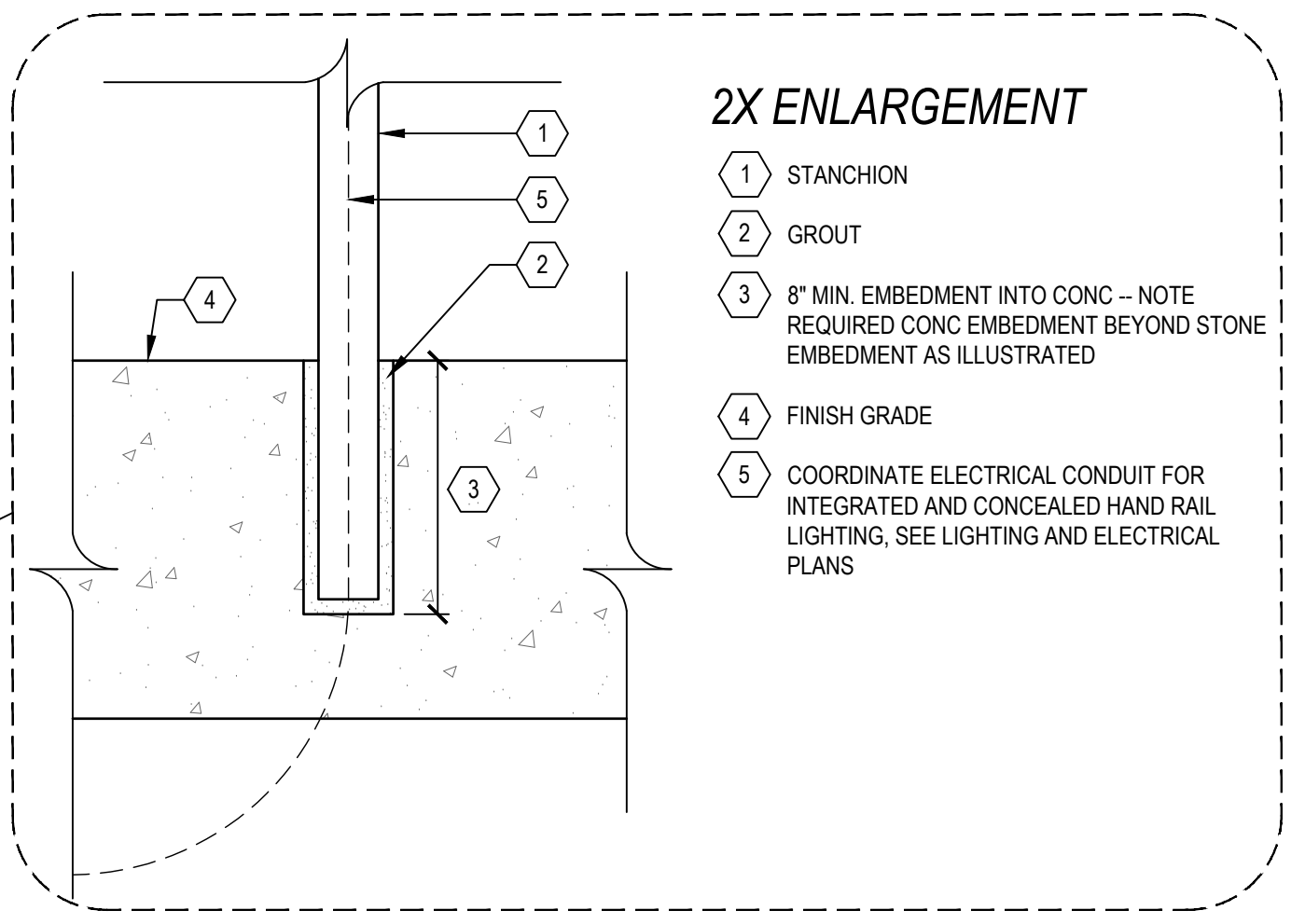
PROJECT NUMBER \_\_\_\_\_

DRAWING NUMBER \_\_\_\_\_

# CS503



- |   |  |   |
|---|--|---|
| 1 SEALED EXPANSION JOINT  | 16 GEOTEXTILE FABRIC   | 22 HANDRAIL EXPANSION SLEEVE                                    |
| 2 BUTYL RUBBER COMPRESSION WATER STRIP, CONTINUOUS FULL LENGTH                          | 17 4" HDPE PERFORATED WRAPPED IN UNDERDRAIN, SEE UTILITY PLANS                                       | 23 PROVIDE 3/4" Ø DRAINAGE HOLES ON BOTTOM OF RAIL @ 2'-0" O.C. |
| 3 #4 BAR 1'-0" LONG @ 12" O.C., CENTER ON JOINT SLEEVE ONE END, TYP.                    | 18 ADJACENT PAVEMENT WITH THICKENED SLAB EDGE, SEE PLANS   | 24 PROVIDE SEALANT AROUND HANDRAIL POST                         |
| 4 SALVAGED GRANITE TREAD  | 19 COORDINATE HANDRAIL EMBEDMENT PENETRATION WITH #4 BAR AT TOP OF STAIRS                            |   |
| 5 LATEX MODIFIED MORTAR   | 20 8" MIN. EMBEDMENT INTO CONC -- NOTE REQUIRED CONC EMBEDMENT BEYOND STONE EMBEDMENT AS ILLUSTRATED |   |
| 6 #4 HORIZONTAL BARS @ 12" O.C.   |  |   |
| 7 #4 VERTICAL BARS @ 12" O.C.   |  |   |
| 8 AGGREGATE BASE  | 21 BOTTOM TREAD REVERSED TO CONCEAL EXISTING NOTCH   |   |
| 9 CLASS II SAND   |  |   |
| 10 COMPACTED SUBGRADE, TYP.   |  |   |
| 11 DRAINAGE BOARD, PROVIDE SPEC FOR REVIEW  |  |   |
| 12 CAST-IN-PLACE CONCRETE   |  |   |
| 13 3/8" Ø SSSL PIN, MIN. (2) PER STONE WITH 2" EPOXY EMBEDMENT BOTH ENDS, V.I.F. LENGTH |  |   |
| 14 SS INTEGRATED LIGHT, SEE LIGHTING AND ELECTRICAL PLANS                               |  |   |
| 15 SSSL 316 #4 LINEAR GRAIN HANDRAIL, 2" Ø  |  |   |

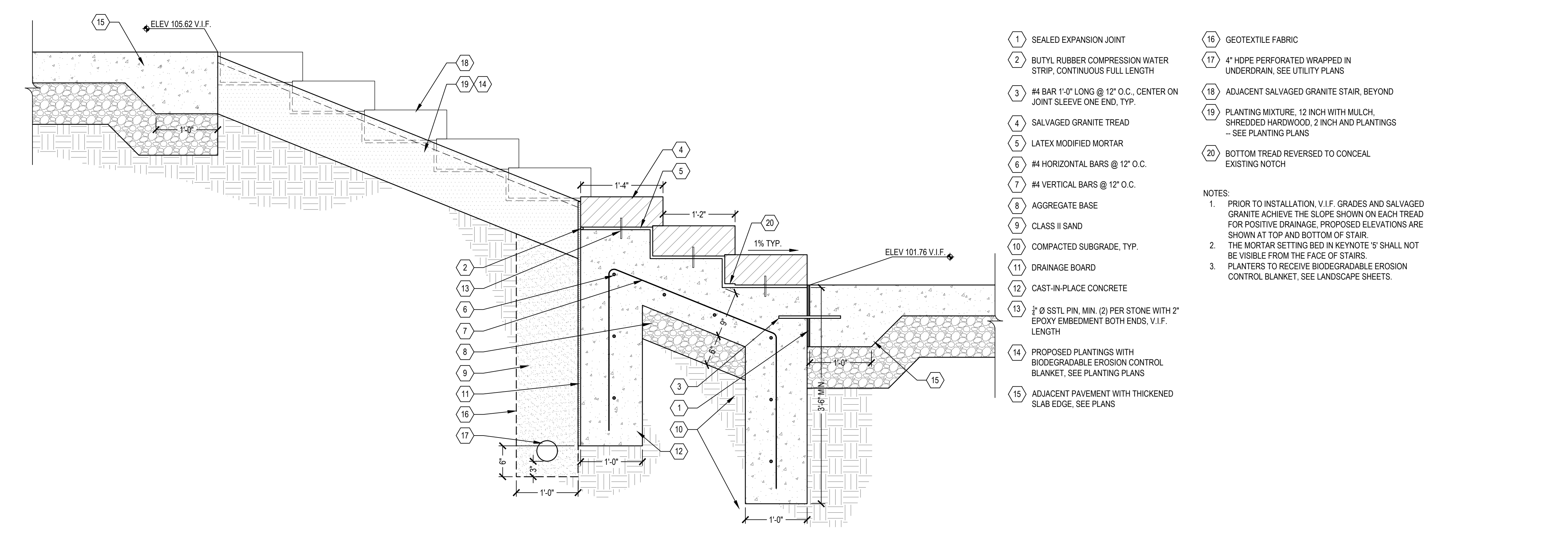


- 2X ENLARGEMENT**
- |  |
|--|
| 1 STANCHION  |
| 2 GROUT  |
| 3 8" MIN. EMBEDMENT INTO CONC -- NOTE REQUIRED CONC EMBEDMENT BEYOND STONE EMBEDMENT AS ILLUSTRATED                |
| 4 FINISH GRADE   |
| 5 COORDINATE ELECTRICAL CONDUIT FOR INTEGRATED AND CONCEALED HAND RAIL LIGHTING, SEE LIGHTING AND ELECTRICAL PLANS |

- NOTES:**
- |  |  |
|--|--|
| 1. PRIOR TO INSTALLATION, V.I.F. GRADES AND SALVAGED GRANITE ACHIEVE THE SLOPE SHOWN ON EACH TREAD FOR POSITIVE DRAINAGE. PROPOSED ELEVATIONS ARE SHOWN AT TOP AND BOTTOM OF STAIR.  | 4. COORDINATE AND VERIFY FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION OF HANDRAIL AND STAIR.  |
| 2. THE MORTAR SETTING BED IN KEYNOTE 'S' SHALL NOT BE VISIBLE FROM THE FACE OF STAIRS.   | 5. SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS, AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE HANDRAIL INSTALLATION FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.                 |
| 3. PROVIDE APPROPRIATE WELDING PRACTICE PER AWS D1.1 AS REQUIRED. USE PROCEDURES, MATERIALS, AND EQUIPMENT OF THE TYPE REQUIRED FOR THE WORK. PROVIDE CLEAN WELDS WITH NO SPLATTER. EXPOSED WELDS SHALL COMPLY WITH NOMMA (NATIONAL ORNAMENTAL AND MISCELLANEOUS METALS ASSOCIATION) FINISH #3. FIELD WELDING IS NOT PERMITTED UNLESS APPROVED BY OWNER. | 6. ALL COMPONENTS TO BE EXTERIOR RATED.  |
|  | 7. HANDRAIL DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ILLUSTRATE THE AESTHETIC, PERFORMANCE, AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY FORM AND OVERALL SCALE OF THE HANDRAIL AND STAIR. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES. |
|  | 8. HANDRAIL METAL AND FINISH TO MATCH THE EXISTING METAL AND FINISH OF RIVERWALK GUARD RAIL.   |

## 1 LOWER STAIR SECTION

SCALE: 1" = 1'



- |   |  |
|---|--|
| 1 SEALED EXPANSION JOINT  | 16 GEOTEXTILE FABRIC   |
| 2 BUTYL RUBBER COMPRESSION WATER STRIP, CONTINUOUS FULL LENGTH                          | 17 4" HDPE PERFORATED WRAPPED IN UNDERDRAIN, SEE UTILITY PLANS   |
| 3 #4 BAR 1'-0" LONG @ 12" O.C., CENTER ON JOINT SLEEVE ONE END, TYP.                    | 18 ADJACENT SALVAGED GRANITE STAIR, BEYOND   |
| 4 SALVAGED GRANITE TREAD  | 19 PLANTING MIXTURE, 12 INCH WITH MULCH, SHREDDED HARDWOOD, 2 INCH AND PLANTINGS -- SEE PLANTING PLANS |
| 5 LATEX MODIFIED MORTAR   | 20 BOTTOM TREAD REVERSED TO CONCEAL EXISTING NOTCH   |
| 6 #4 HORIZONTAL BARS @ 12" O.C.   |  |
| 7 #4 VERTICAL BARS @ 12" O.C.   |  |
| 8 AGGREGATE BASE  |  |
| 9 CLASS II SAND   |  |
| 10 COMPACTED SUBGRADE, TYP.   |  |
| 11 DRAINAGE BOARD   |  |
| 12 CAST-IN-PLACE CONCRETE   |  |
| 13 3/8" Ø SSSL PIN, MIN. (2) PER STONE WITH 2" EPOXY EMBEDMENT BOTH ENDS, V.I.F. LENGTH |  |
| 14 PROPOSED PLANTINGS WITH BIODEGRADABLE EROSION CONTROL BLANKET, SEE PLANTING PLANS    |  |
| 15 ADJACENT PAVEMENT WITH THICKENED SLAB EDGE, SEE PLANS                                |  |

- NOTES:**
- |   |
|---|
| 1. PRIOR TO INSTALLATION, V.I.F. GRADES AND SALVAGED GRANITE ACHIEVE THE SLOPE SHOWN ON EACH TREAD FOR POSITIVE DRAINAGE. PROPOSED ELEVATIONS ARE SHOWN AT TOP AND BOTTOM OF STAIR. |
| 2. THE MORTAR SETTING BED IN KEYNOTE 'S' SHALL NOT BE VISIBLE FROM THE FACE OF STAIRS.  |
| 3. PLANTERS TO RECEIVE BIODEGRADABLE EROSION CONTROL BLANKET, SEE LANDSCAPE SHEETS.   |

## 2 LOWER STAIR SECTION AT PLANTER

SCALE: 1" = 1'



# HART PLAZA

1 HART PLAZA  
DETROIT, MI 48226

Owner:  
CITY OF DETROIT

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ISSUED FOR	REV	DATE
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SEALS



PROJECT NORTH

DRAWING TITLE  
**SITE DETAILS**

SCALE: AS NOTED

SCALE

PROJECT NUMBER

# CS504

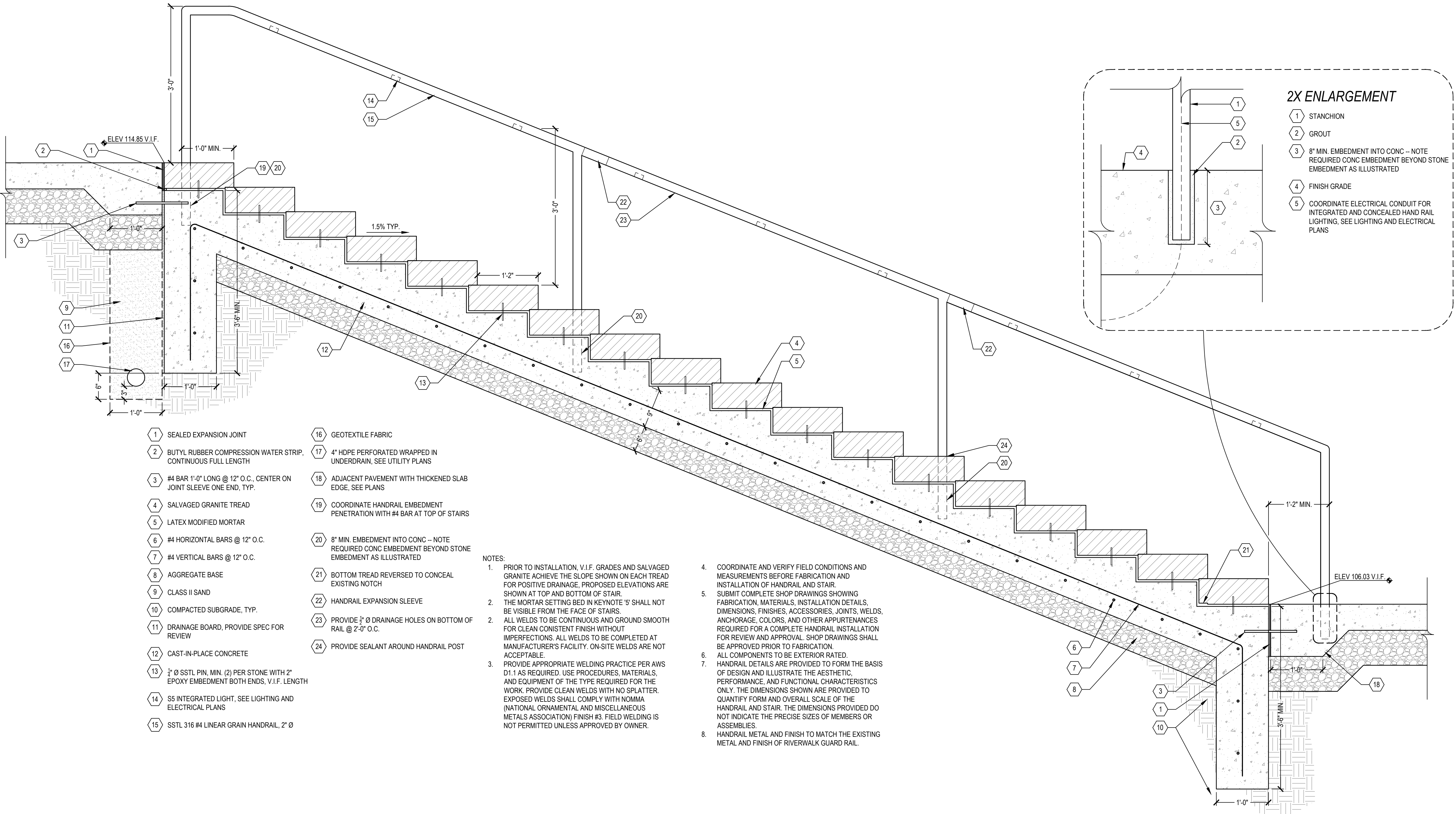
DRAWING NUMBER



FILE: C:\Users\kgibbons\SmithGroup\Companies Inc\PRJ - 15004 - SmithGroup - SmithGroup\CAD\06 Landscaping\Sheet\5004-CS504.dwg USER: kgibbons DATE: Jun, 24 2024 TIME: 03:43 pm

### 1 UPPER STAIR

SCALE: 1" = 1'



- |   |   |
|---|---|
| 1 SEALED EXPANSION JOINT  | 16 GEOTEXTILE FABRIC  |
| 2 BUTYL RUBBER COMPRESSION WATER STRIP, CONTINUOUS FULL LENGTH                          | 17 4" HDPE PERFORATED WRAPPED IN UNDERDRAIN, SEE UTILITY PLANS                                      |
| 3 #4 BAR 1'-0" LONG @ 12" O.C., CENTER ON JOINT SLEEVE ONE END, TYP.                    | 18 ADJACENT PAVEMENT WITH THICKENED SLAB EDGE, SEE PLANS  |
| 4 SALVAGED GRANITE TREAD  | 19 COORDINATE HANDRAIL EMBEDMENT PENETRATION WITH #4 BAR AT TOP OF STAIRS                           |
| 5 LATEX MODIFIED MORTAR   | 20 8" MIN. EMBEDMENT INTO CONC - NOTE REQUIRED CONC EMBEDMENT BEYOND STONE EMBEDMENT AS ILLUSTRATED |
| 6 #4 HORIZONTAL BARS @ 12" O.C.   | 21 BOTTOM TREAD REVERSED TO CONCEAL EXISTING NOTCH  |
| 7 #4 VERTICAL BARS @ 12" O.C.   | 22 HANDRAIL EXPANSION SLEEVE  |
| 8 AGGREGATE BASE  | 23 PROVIDE 1/2" Ø DRAINAGE HOLES ON BOTTOM OF RAIL @ 2'-0" O.C.                                     |
| 9 CLASS II SAND   | 24 PROVIDE SEALANT AROUND HANDRAIL POST   |
| 10 COMPACTED SUBGRADE, TYP.   |   |
| 11 DRAINAGE BOARD, PROVIDE SPEC FOR REVIEW  |   |
| 12 CAST-IN-PLACE CONCRETE   |   |
| 13 1/2" Ø SSTL PIN, MIN. (2) PER STONE WITH 2" EPOXY EMBEDMENT BOTH ENDS, V.I.F. LENGTH |   |
| 14 SS INTEGRATED LIGHT, SEE LIGHTING AND ELECTRICAL PLANS                               |   |
| 15 SSTL 3/16 #4 LINEAR GRAIN HANDRAIL, 2" Ø   |   |

NOTES:

- PRIOR TO INSTALLATION, V.I.F. GRADES AND SALVAGED GRANITE ACHIEVE THE SLOPE SHOWN ON EACH TREAD FOR POSITIVE DRAINAGE. PROPOSED ELEVATIONS ARE SHOWN AT TOP AND BOTTOM OF STAIR. THE MORTAR SETTING BED IN KEYNOTE '5' SHALL NOT BE VISIBLE FROM THE FACE OF STAIRS.
- ALL WELDS TO BE CONTINUOUS AND GROUND SMOOTH FOR CLEAN CONSISTENT FINISH WITHOUT IMPERFECTIONS. ALL WELDS TO BE COMPLETED AT MANUFACTURER'S FACILITY. ON-SITE WELDS ARE NOT ACCEPTABLE. PROVIDE APPROPRIATE WELDING PRACTICE PER AWS D1.1 AS REQUIRED. USE PROCEDURES, MATERIALS, AND EQUIPMENT OF THE TYPE REQUIRED FOR THE WORK. PROVIDE CLEAN WELDS WITH NO SPATTER. EXPOSED WELDS SHALL COMPLY WITH NOMMA (NATIONAL ORNAMENTAL AND MISCELLANEOUS METALS ASSOCIATION) FINISH #3. FIELD WELDING IS NOT PERMITTED UNLESS APPROVED BY OWNER.

- COORDINATE AND VERIFY FIELD CONDITIONS AND MEASUREMENTS BEFORE FABRICATION AND INSTALLATION OF HANDRAIL AND STAIR.
- SUBMIT COMPLETE SHOP DRAWINGS SHOWING FABRICATION, MATERIALS, INSTALLATION DETAILS, DIMENSIONS, FINISHES, ACCESSORIES, JOINTS, WELDS, ANCHORAGE, COLORS, AND OTHER APPURTENANCES REQUIRED FOR A COMPLETE HANDRAIL INSTALLATION FOR REVIEW AND APPROVAL. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION.
- ALL COMPONENTS TO BE EXTERIOR RATED.
- HANDRAIL DETAILS ARE PROVIDED TO FORM THE BASIS OF DESIGN AND ILLUSTRATE THE AESTHETIC, PERFORMANCE, AND FUNCTIONAL CHARACTERISTICS ONLY. THE DIMENSIONS SHOWN ARE PROVIDED TO QUANTIFY FORM AND OVERALL SCALE OF THE HANDRAIL AND STAIR. THE DIMENSIONS PROVIDED DO NOT INDICATE THE PRECISE SIZES OF MEMBERS OR ASSEMBLIES.
- HANDRAIL METAL AND FINISH TO MATCH THE EXISTING METAL AND FINISH OF RIVERWALK GUARD RAIL.

# HART PLAZA

1 HART PLAZA  
DETROIT, MI 48226

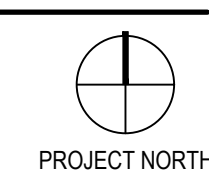
Owner:  
**CITY OF DETROIT**

## SMITHGROUP

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SUITE 1700  
DETROIT, MI 48226  
313.983.3600  
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CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



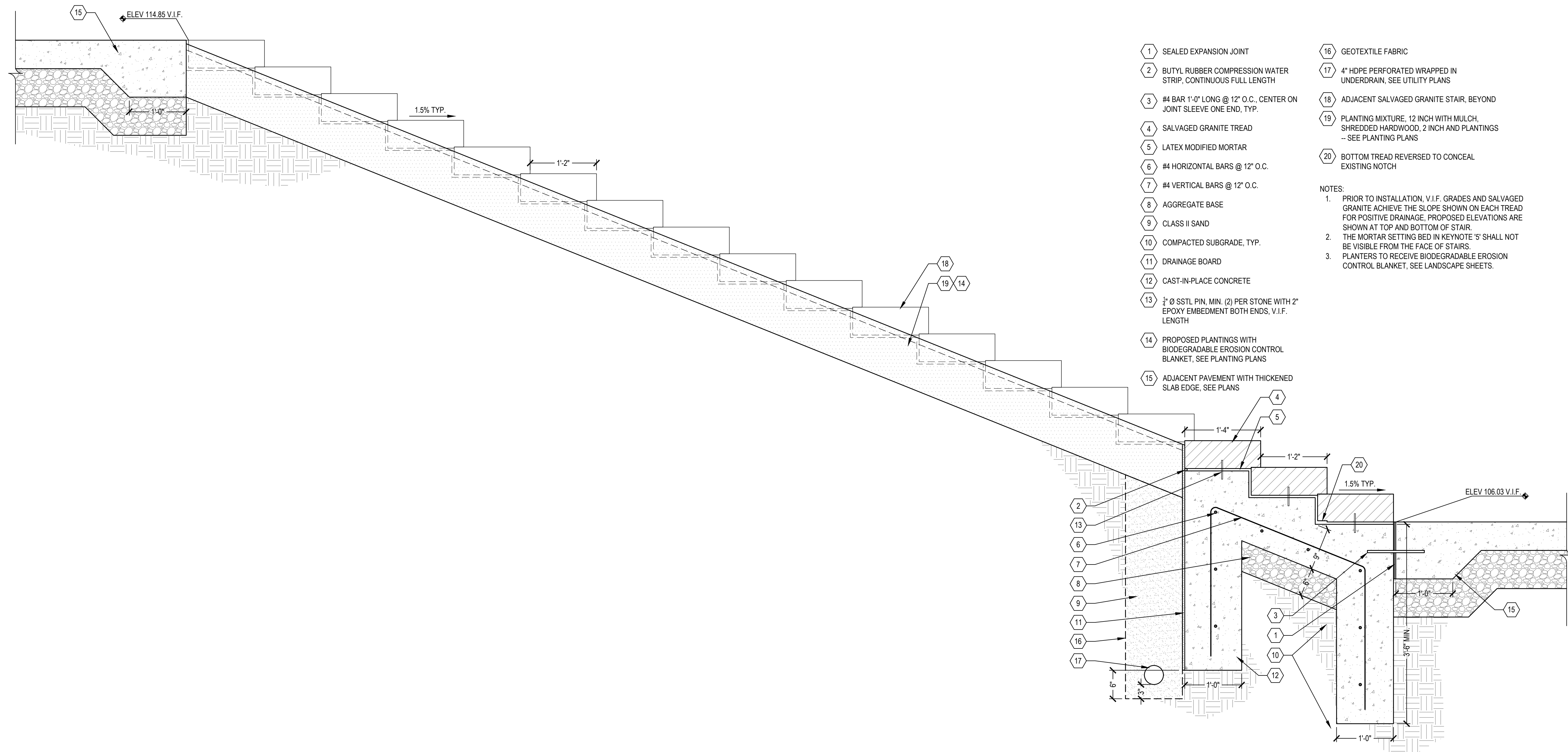
DRAWING TITLE  
**SITE DETAILS**

SCALE: AS NOTED

SCALE \_\_\_\_\_

PROJECT NUMBER \_\_\_\_\_

DRAWING NUMBER **CS505**



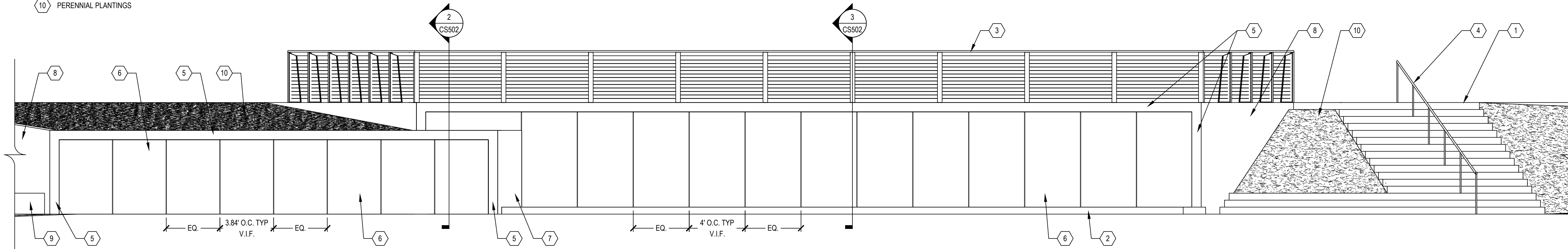
1 UPPER STAIR AT PLANTER

SCALE: 1" = 1'

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- 1 SALVAGED GRANITE STAIRS
- 2 STRAIGHT CURB
- 3 GUARD RAIL
- 4 HANDRAIL
- 5 INTEGRAL CONC CAP
- 6 S STL PANEL W/ DONOR NAMES
- 7 CONCRETE RETAINING WALL, SEE STRUCTURAL PLANS
- 8 CONCRETE WALL OVER EXISTING STRUCTURE, SEE STRUCTURAL PLANS
- 9 SEAT WALL, SALVAGED GRANITE
- 10 PERENNIAL PLANTINGS

NOTES:  
1. ELEVATION SHOWN IS GRAPHICALLY SCALED FOR DIAGRAMMATIC PURPOSES. SURFACE TOPOGRAPHY, GRADING, AND ELEVATIONS ARE APPROXIMATE AND WILL REQUIRE FIELD VERIFICATION.  
2. GUARD RAIL, HANDRAIL, AND OTHER SITE FURNISHINGS AND APPURTENANCES ARE SHOWN FOR REFERENCE -- SEE PLANS AND DETAILS SHEETS FOR PLANIMETRIC LOCATIONS AND DESIGN INTENT.



1 OVERLOOK DONOR WALL ELEVATION

SCALE: 1/4" = 1'

ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



DRAWING TITLE  
**SITE DETAILS**

SCALE: AS NOTED

SCALE

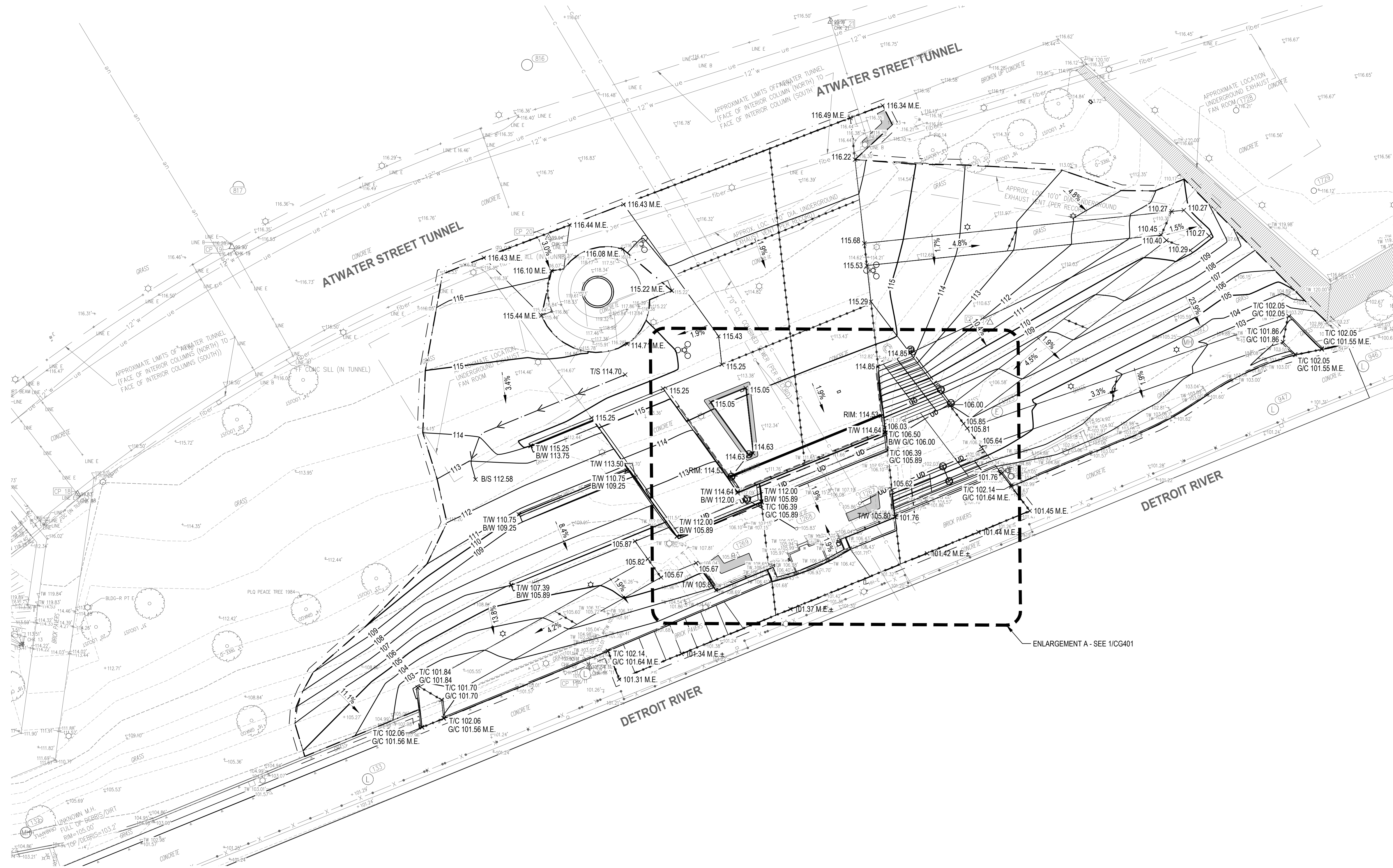
PROJECT NUMBER

**CS506**

DRAWING NUMBER



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**SHEET NOTES**

1. SEE SHEET G101 FOR GRADING & UTILITY PLAN NOTES.

**KEYED NOTES**

- A PROPOSED TRENCH DRAIN AND OUTLETS SHOULD BE CONSTRUCTED TO CONNECT TO EXISTING STRUCTURES AND FOLLOW THE EXISTING METHOD OF STORMWATER DISCHARGE.
- B GRADES SHOWN AT EXISTING GRANITE WALL AT GATEWAY TO FREEDOM ARE FOR REFERENCE ONLY. THE WALLS AND RAIL ARE PRESERVED AND PROTECTED, SEE SITE PREP AND SELECTIVE DEMOLITION PLAN
- C V.I.F. MONUMENT LEVEL PLAZA DRAINAGE SYSTEM IS FUNCTIONAL BUT THE EXISTING UTILITY SYSTEM REQUIRES ADDITIONAL INVESTIGATION -- DRAIN INLET LOCATIONS WILL BE FINALIZED DURING EXPLORATORY DEMOLITION.
- D INVERTS OF PROPOSED 4" UNDERDRAINS DEPEND ON FIELD CONDITIONS OF EXISTING INLETS ON MONUMENT LEVEL. COORDINATE WITH ENGINEER.
- E ALL 4" HDPE STORM CONNECTIONS SHOW ARE SUBJECT TO CHANGE DUE TO FIELD CONDITIONS.

**LEGEND**

- 865--- EXISTING MAJOR CONTOUR
- 864--- EXISTING MINOR CONTOUR
- 861.50 x EXISTING SPOT ELEVATION
- 865--- PROPOSED MAJOR CONTOUR
- 864--- PROPOSED MINOR CONTOUR
- LIMITS OF CONSTRUCTION
- 2.5% DRAINAGE SLOPE
- 861.50 x PROPOSED SPOT ELEVATION
- 861.50 M.E. x APPROX. SPOT ELEVATION: MATCH EXISTING GRADE
- RIM 861.50 x STRUCTURE RIM ELEVATION
- T/C 861.50 x TOP OF CURB ELEVATION
- G/C 861.50 x GUTTER OF CURB ELEVATION
- T/W 861.50 x TOP OF WALL ELEVATION
- B/W 861.50 x BOTTOM OF WALL ELEVATION
- TRENCH DRAIN
- UD 4" UNDERDRAIN
- 4" HDPE STORM PIPE
- 4" CLEANOUT

**HART PLAZA**

1 HART PLAZA  
DETROIT, MI 48226

Owner:  
**CITY OF DETROIT**

**SMITHGROUP**

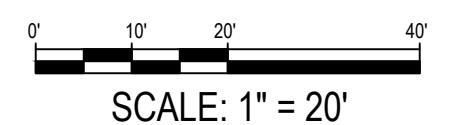
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SEALS



DRAWING TITLE  
**GRADING & UTILITY PLAN**



SCALE

PROJECT NUMBER

DRAWING NUMBER

**CG101**



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### SHEET NOTES

1. SEE SHEET G101 FOR GRADING & UTILITY PLAN NOTES.

### KEYED NOTES

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- - - 865 - - - EXISTING MAJOR CONTOUR
- - - 864 - - - EXISTING MINOR CONTOUR
- 861.50 x EXISTING SPOT ELEVATION
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- TRENCH DRAIN
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- 4" HDPE STORM PIPE
- 4" CLEANOUT

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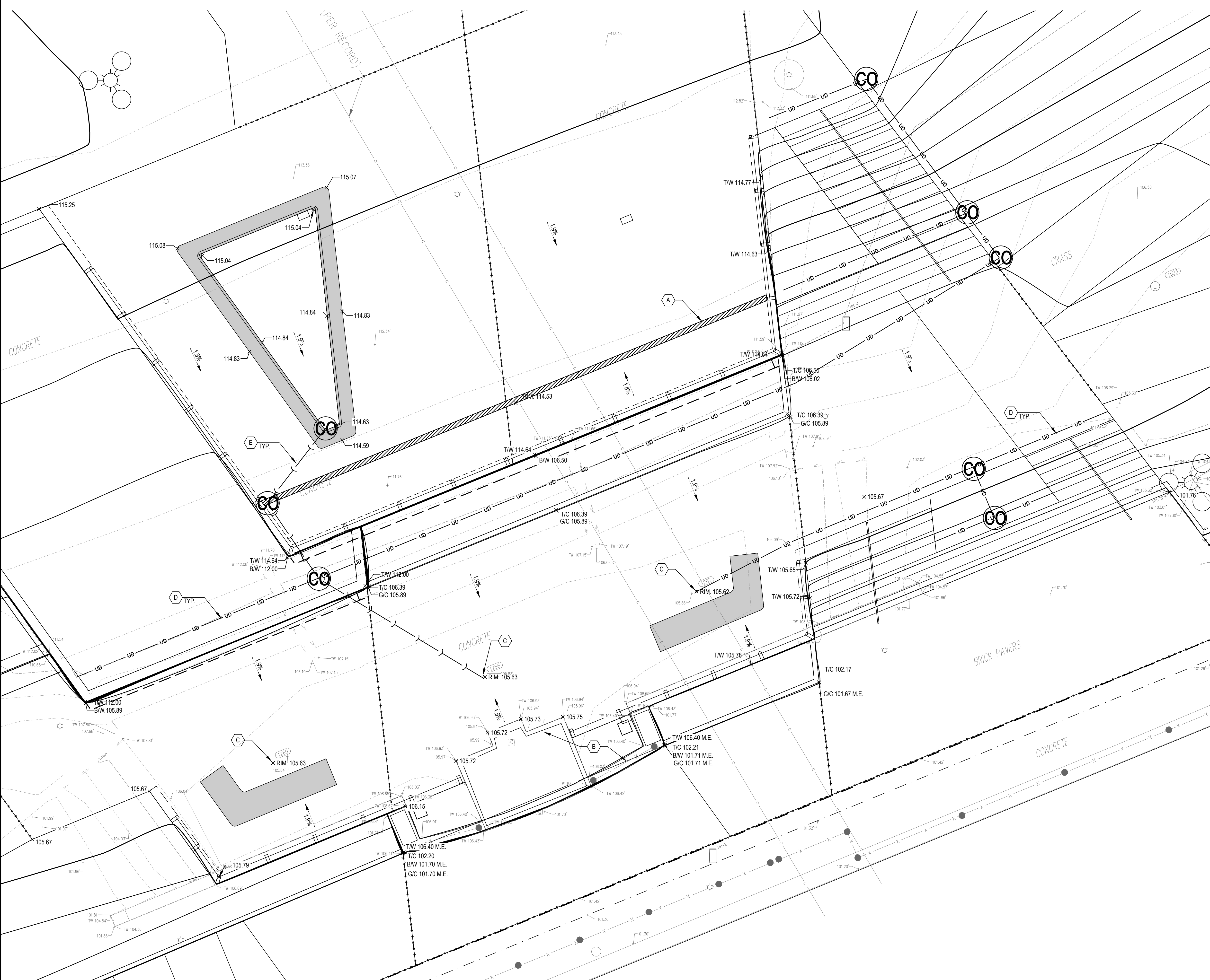
SEALS



DRAWING TITLE  
**GRADING & UTILITY  
ENLARGEMENT**

0 2.5 5 10'  
SCALE: 1" = 5'

SCALE  
PROJECT NUMBER  
DRAWING NUMBER  
**CG401**



SOIL EROSION AND SEDIMENTATION CONTROL MAINTENANCE NOTES

THE CONTRACTOR SHALL INSPECT SOIL EROSION AND SEDIMENTATION CONTROL DEVICES WEEKLY AND WITHIN 24 HOURS OF A SIGNIFICANT RAIN EVENT...

MAINTENANCE INCLUDES ALL WORK NECESSARY FOR PROPER OPERATION OF THE DEVICES WHICH CAN NOT BE REPAIRED MAY NEED TO BE REPLACED...

SEDIMENT SHALL BE REMOVED AS NECESSARY TO MAINTAIN THE EFFECTIVENESS OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES...

SEDIMENT DEPOSITED ALONG SILT FENCE SHALL BE REMOVED WHEN IT REACHES 1/3 TO 1/2 THE HEIGHT OF THE FENCE.

TURF ESTABLISHMENT MEASURES SHALL BE MAINTAINED AS WOULD ANY OTHER DEVICES PRIOR TO ESTABLISHMENT OF PERMANENT TURF.

ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.

CONTRACTOR SHALL ENSURE THAT SOIL EROSION AND SEDIMENTATION CONTROL MEASURES PROTECT AGAINST LOSS OF SOIL BY THE ACTION OF WATER, ICE, GRAVITY OR WIND.

SUMMARY OF BASIC PRINCIPLES:

- 1. KEEP DISTURBED AREA AS SMALL AS POSSIBLE.
2. STABILIZE AND/OR PROTECT DISTURBED AREAS AS SOON AS POSSIBLE.
3. KEEP STORM WATER RUNOFF VELOCITIES LOW.
4. RETAIN SEDIMENT WITHIN IMMEDIATE CONSTRUCTION AREA.

THE PURPOSE OF THIS PLAN IS TO SPECIFY METHODS FOR TEMPORARY EROSION CONTROL DURING CONSTRUCTION...

ALL SOIL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE REGULARLY MAINTAINED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THE PROJECT...

IF POSSIBLE, NO GRUBBING SHOULD BE DONE WITHIN 30' OF AN ACTIVE WATERCOURSE.

AGGREGATES PLACED IN STREAMS SHOULD CONTAIN A MINIMUM OF FINES. AS A GENERAL RULE FOR DAMS IN SMALL STREAMS...

ALL TEMPORARY EROSION CONTROL FACILITIES SHOULD BE REMOVED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION...

SURFACE DISRUPTION IN ADVANCE OF CONSTRUCTION INCLUDING CLEARING, GRADING OR SIGNIFICANT SOIL REMOVAL SHALL BE LIMITED AS FOLLOWS...

- A. WET WEATHER SEASON (MARCH, APRIL, MAY) - 5-DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.
B. DRY WEATHER SEASON (JUNE, JULY, AUGUST, SEPTEMBER, OCTOBER, NOVEMBER) - 10-DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.
C. COLD WEATHER SEASON (DECEMBER, JANUARY, FEBRUARY) - 15-DAYS PRIOR TO BEGINNING ANY EARTH CHANGE ACTIVITY.

SOIL EROSION AND SEDIMENTATION CONTROL MAINTENANCE NOTES

CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION logo and title block information.

SCALE NONE SHEET 1 OF 1 DATE 06/20/18 DWG. No. 015-13-11

REVISIONS table with columns for REV, DESCRIPTION, DATE.

SOIL EROSION AND SEDIMENTATION CONTROL, GENERAL NOTES

CITY OF DETROIT WATER AND SEWERAGE DEPARTMENT ENGINEERING DIVISION logo and title block information.

SCALE NONE SHEET 1 OF 1 DATE 06/20/18 DWG. No. 015-13-12

REVISIONS table with columns for REV, DESCRIPTION, DATE.

Large table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 1-5) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 6-10) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 11-15) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 16-20) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 21-25) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 26-30) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

Table for SOIL EROSION AND SEDIMENTATION CONTROL MEASURES (FROM 31-33) with columns for KEY, DETAILS, CHARACTERISTICS, and applicability markers (A-G).

HART PLAZA

1 HART PLAZA DETROIT, MI 48226

Owner: CITY OF DETROIT

SMITHGROUP

500 GRISWOLD SUITE 1700 DETROIT, MI 48226 313.983.3600 www.smithgroup.com

ISSUED FOR table with columns for REV, DATE, and CONSTRUCTION DOCUMENTS.

SEALS



PROJECT NORTH

DRAWING TITLE UTILITY DETAILS

SCALE: AS NOTED

SCALE: \_\_\_\_\_

PROJECT NUMBER: \_\_\_\_\_

DRAWING NUMBER: \_\_\_\_\_

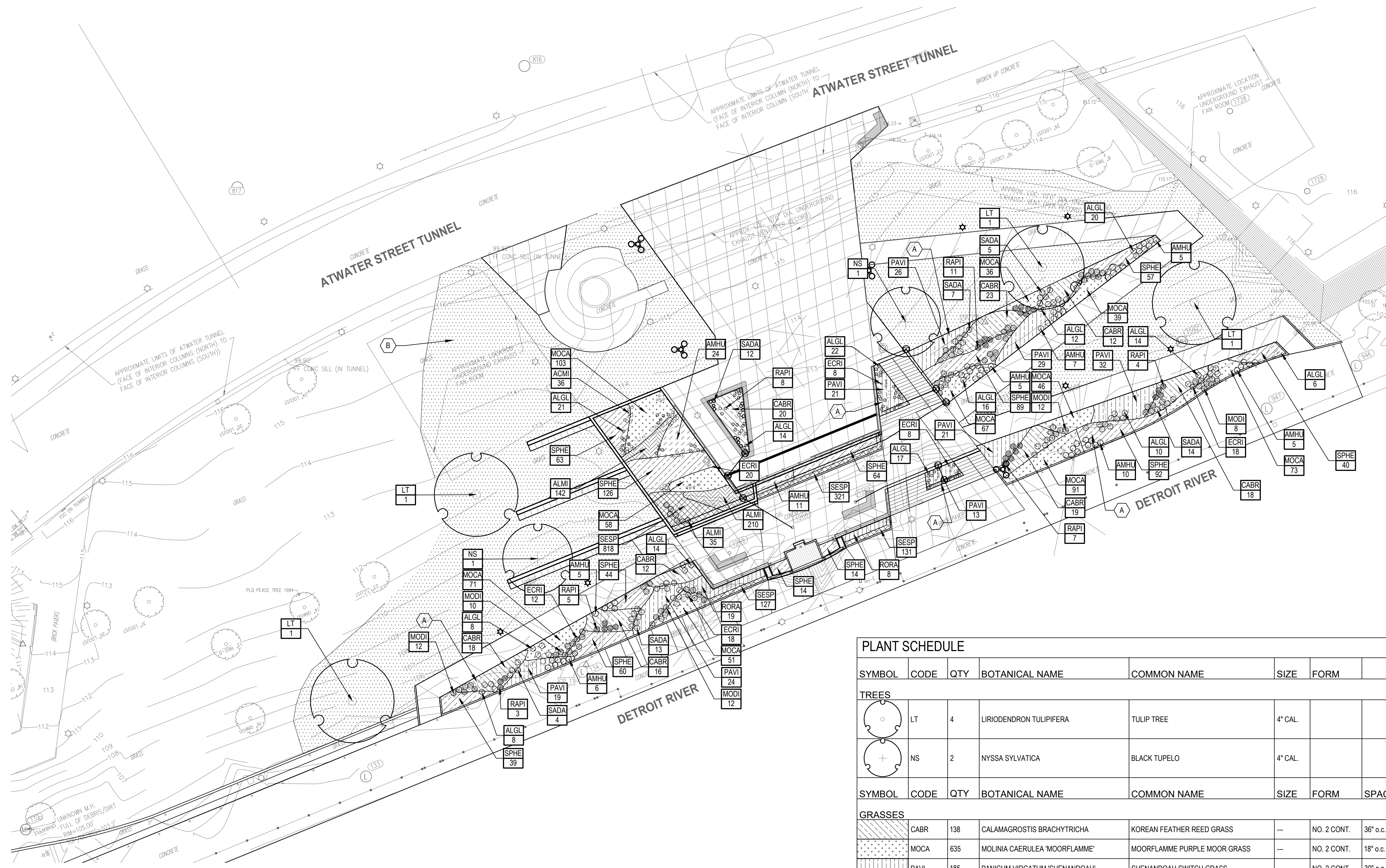
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SHEET NOTES

1. SEE SHEET G101 FOR PLANTING PLAN NOTES.

KEYED NOTES

A PROVIDE BIODEGRADABLE LONG TERM EROSION CONTROL BLANKET, RATED 24-MONTH LONGEVITY TO PLANTING AREA, SEE PLANTING DETAILS FOR PLANTING ON SLOPE.  
 B MDT TUF FOR AREAS OF LAWN RESTORATION AND SITE DISTURBANCES, SEE LAYOUT AND MATERIALS PLAN AND GENERAL NOTES FOR ADDITIONAL INFORMATION.

LEGEND

1. SEE PLANT SCHEDULE THIS SHEET.

**HART PLAZA**  
 1 HART PLAZA  
 DETROIT, MI 48226

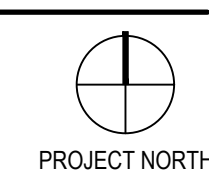
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ISSUED FOR	REV	DATE
CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	
<b>TREES</b>							
	LT	4	LIRIODENDRON TULIPIFERA	TULIP TREE	4" CAL.		
	NS	2	NYSSA SYLVATICA	BLACK TUPELO	4" CAL.		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FORM	SPACING
<b>GRASSES</b>							
	CABR	138	CALAMAGROSTIS BRACHYTRICHA	KOREAN FEATHER REED GRASS	---	NO. 2 CONT.	36" o.c.
	MOCA	635	MOLINIA CAERULEA 'MOORFLAMME'	MOORFLAMME PURPLE MOOR GRASS	---	NO. 2 CONT.	18" o.c.
	PAVI	185	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	---	NO. 2 CONT.	30" o.c.
	SPHE	702	SPOROBOLUS HETEROLEPIS 'TARA'	TARA PRAIRIE DROPSEED	---	NO. 2 CONT.	18" o.c.
<b>PERENNIALS</b>							
	ACMI	36	ACHILLEA MILLEFOLIUM 'BALVINOLET'	NEW VINTAGE™ VIOLET COMMON YARROW	---	NO. 1 CONT.	18" o.c.
	ALGL	182	ALLIUM X 'GLOBEMASTER'	GLOBEMASTER ALLIUM	BULB		18" o.c.
	ALMI	387	ALLIUM X 'MILLENIUM'	MILLENIUM ALLIUM	---	NO. 1 CONT.	10" o.c.
	AMHU	78	AMSONIA HUBRICHII 'BUTTERSOTCH'	BUTTERSOTCH ARKANSAS BLUESTAR	---	NO. 1 CONT.	30" o.c.
	ECRI	181	ECHINOPS RITRO	GLOBE THISTLE	---	NO. 1 CONT.	18" o.c.
	MODI	90	MONARDA DIDYMA 'JACOB CLINE'	JACOB CLINE BEE BALM	---	NO. 1 CONT.	18" o.c.
	RAPI	38	RATIBIDA PINNATA	YELLOW CONEFLOWER	---	NO. 1 CONT.	30" o.c.
	RORA	27	ROSA X 'RADWHITE'	WHITE KNOCK OUT® ROSE	---	NO. 2 CONT.	30" o.c.
	SADA	55	SALVIA DARCYI X S. MICROPHYLLA 'PWIN03S'	WINDWALKER® ROYAL RED SALVIA	---	NO. 1 CONT.	30" o.c.
	SESP	1,397	SEDUM SPURIUM 'DRAGON'S BLOOD'	DRAGON'S BLOOD SEDUM	---		6" o.c.

DRAWING TITLE  
**PLANTING PLAN**



SCALE  
 PROJECT NUMBER  
 DRAWING NUMBER  
**LP101**

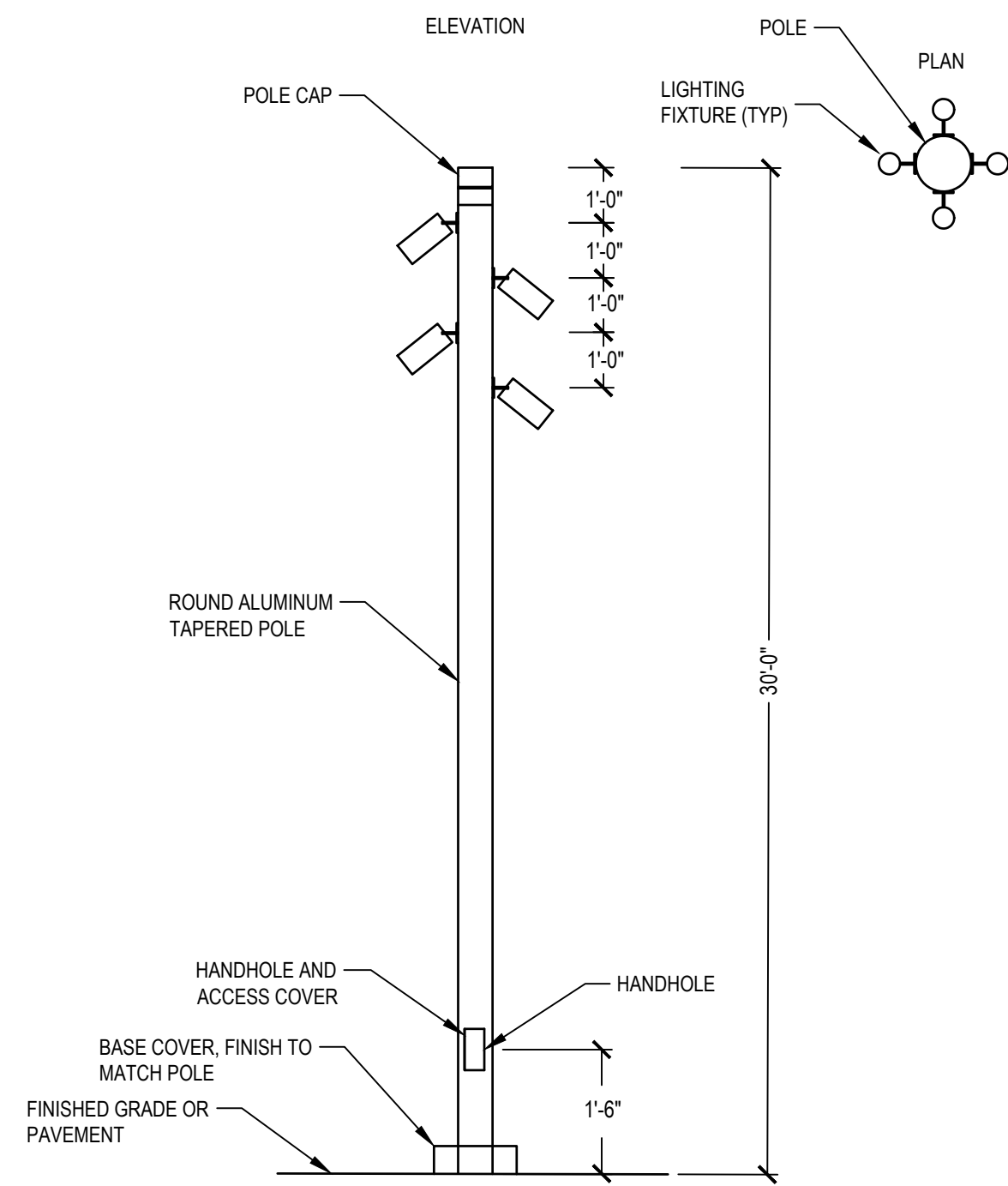




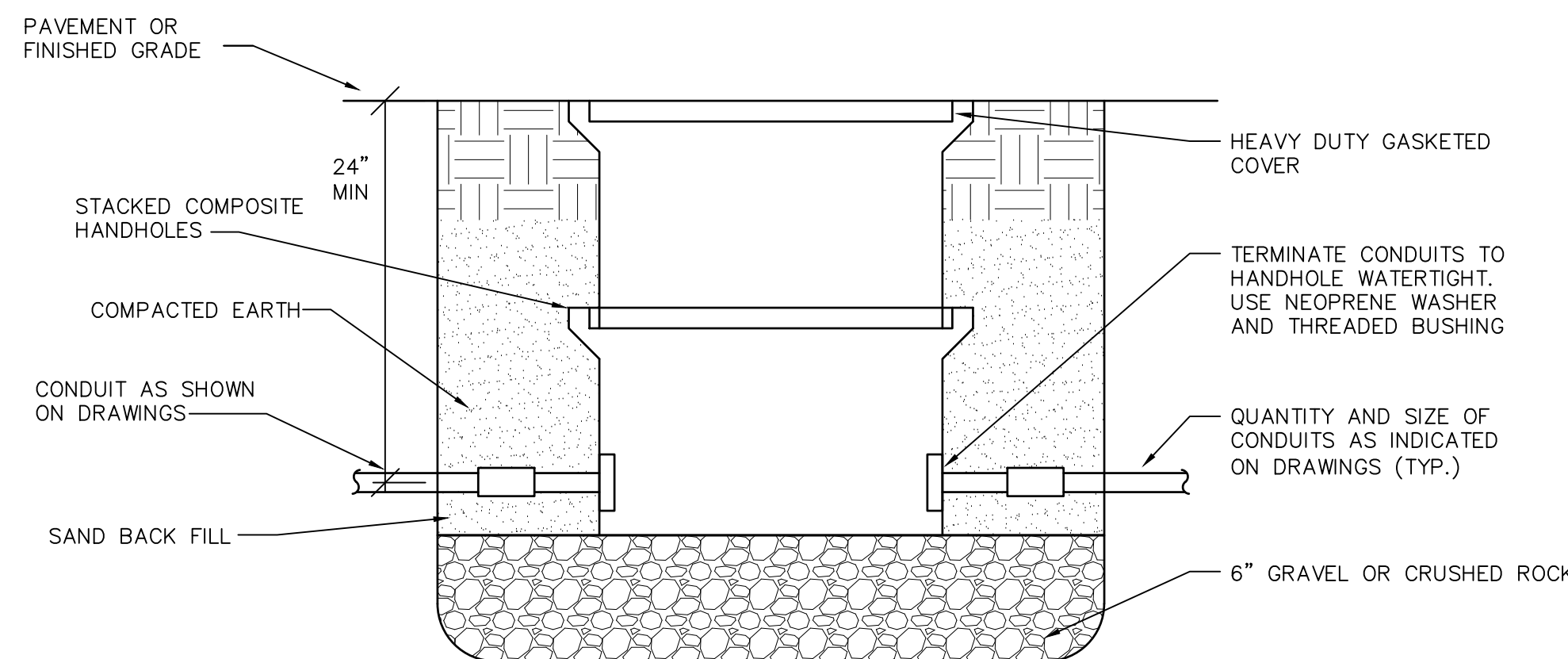




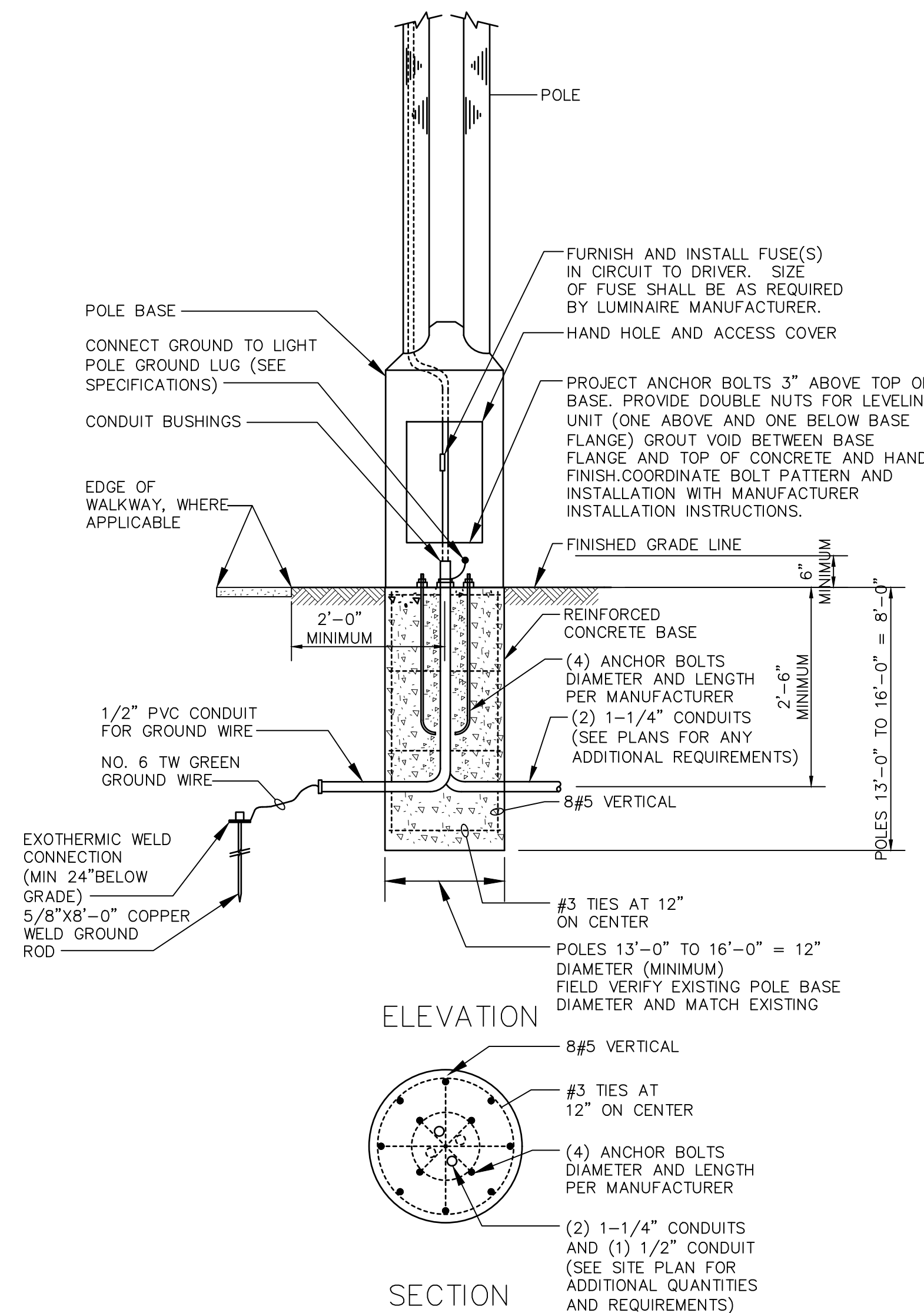
LIGHTING FIXTURE SCHEDULE										
TYPE MARK	DESCRIPTION	FINISH	MANUFACTURER	MODEL	WATTAGE	LAMP	BALLAST DATA	VOLTAGE	MOUNTING	TYPE COMMENTS
S1	HART PLAZA EXISTING FIXTURE TO REMAIN. REFURBISH POLE, FIXTURE, WIRING, LED RETROFIT LAMPING, AND PRISMATIC DIFFUSER.	STAINLESS STEEL	EXISTING	EXISTING	EXISTING	LED RETROFIT PER CITY, 3000K CCT	EXISTING	277V	GROUND	
S2	SAME AS S1 EXCEPT NEW LOCATION. PROVIDE ALL MOUNTING HARDWARE AS NEEDED FOR NEW STRUCTURAL FOOTING MOUNT.	STAINLESS STEEL	EXISTING	EXISTING	EXISTING	LED RETROFIT PER CITY, 3000K CCT	EXISTING	277V	GROUND	COORDINATE STRUCTURAL FOUNDATION MOUNT.
S3	30'-0" TALL TAPERED ALUMINUM POLE, RAL FINISH TBD, 4-BOLT CONFIGURATION, BOLT COVER, HAND HOLE AT BASE AND TOP FOR WIRING JUNCTIONS, POLE CAP TOP.	SILVER	HAPCO VALMONT	RTA RTA / 4-BOLT	NA	NA	NA	277V	GROUND	SEE TYPE S4 AND ELECTRICAL DETAILS FOR FLOOD LIGHTS MOUNTED TO POLE. SEE STRUCTURAL DRAWINGS FOR POLE ANCHORING AND MOUNTING INFORMATION.
S4	5' DIAMETER EXTERIOR RATED FLOOD LIGHT WITH MOUNTING HARDWARE TO ROUND POLE, DIE-CAST ALUMINUM HOUSING, STAINLESS STEEL HARDWARE, SILICONE GASKETING, GLARE CONTROL LOUVER ACCESSORY, RAL FINISH TBD, EXTENDED FACTORY INSTALLED LEAD WIRES FOR 30 FT. TALL POLE, IP65 WET RATING	SILVER	SELUX WE-EF BEGA	OLIVIO PICCOLO "DLPL" FLC321 77704	30W	LED, 2000LM, 3000K CCT, 80+ CRI	0-10V INTEGRAL	277V	POLE	
S5	LIGHT POD FOR INTEGRATION INTO STAINLESS STEEL HANDRAIL, 316 STAINLESS STEEL HOUSING/TRIM, IP68 WET RATING, SYMMETRICAL DISTRIBUTION.	STAINLESS STEEL	WAGNER KLIK	LUMENPOD 28 LED PED 40	22W	LED, 121LM, 3000K CCT, 80+ CRI	REMOTE DRIVER	277V	HANDRAIL RECESSED	CONTRACTOR TO COORDINATE REMOTE DRIVER DISTANCE AND WIRE GAUGE TO PREVENT VOLTAGE DROP. REMOTE DRIVER WITHIN DIRECT BURIAL, VANDAL PROOF ENCLOSURE.
S6	164" WIDE X 199" TALL LINEAR EXTERIOR RATED FIXTURE WITH ASYMMETRIC WASH DISTRIBUTION, IP65 WET RATING, INTEGRAL DRIVER, END-TO-END LINE VOLTAGE CONNECTORS, FINE ADJUSTMENT MOUNTING BRACKET.	BLACK	ECOSENSE LUMENPULSE IO	TROV L50 ASYM LUMENFACADE WW COVID WALL WASH	6W/FT	LED, 500LM/FT, 3000K CCT, 80+ CRI	ELV INTEGRAL	277V	SURFACE	PROVIDE ALL LEADER CABLES, JUNCTION BOXES, AND MOUNTING HARDWARE FOR FULL WORKING SYSTEM
S7	LOW VOLTAGE DRIVER AND IP68- RATED DIRECT BURIAL GROUND VAULT FOR LOW VOLTAGE REMOTE DRIVERS, TAMPER-PROOF HARDWARE.	BLACK	QTL	Q-SET-1 Q-VAULT-5	300W	NA	REMOTE DRIVER	277V	GROUND RECESSED	



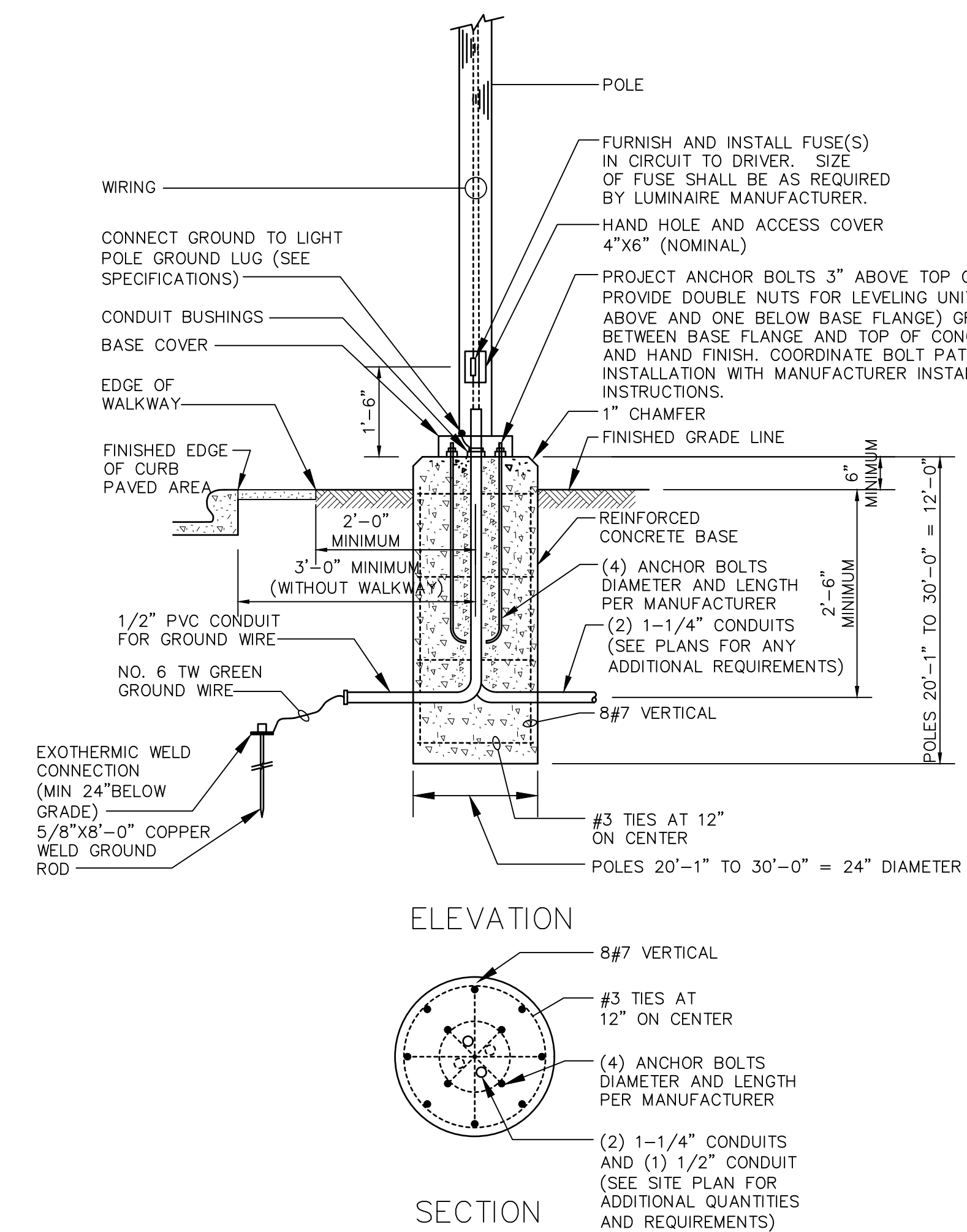
**1 TYPE S3, S4 POLE AND FIXTURE DETAIL**  
SCALE: NTS



**HANDHOLE (H)**  
SCALE: NTS



**12 TYPE S2 FOUNDATION DETAIL**  
NOT TO SCALE



**13 TYPE S3 AND S4 FOUNDATION DETAIL**  
NOT TO SCALE

**SHEET NOTES**

- A. COORDINATE WITH LOCAL UTILITY FOR ALL SITE SERVICE REQUIREMENTS.
- B. CONTACT LOCAL UTILITY TO IDENTIFY ALL EXISTING UNDERGROUND UTILITIES.
- C. UTILIZE EXISTING LIGHTING CONTACTOR FOR LIGHTING CONTROL.

**KEYED NOTES**

- A. EXISTING 'GATEWAY TO FREEDOM' STATUE HAS OPPOSING LIGHTS ON EACH SIDE. CONTRACTOR TO VERIFY V.I.F. LIGHT CONDITION AND REPLACE BOTH IF ONE IS NOT FUNCTIONING FOR CONSISTENT, UNIFORM OPERATION.
- B. "EX CKT" INDICATES TO RE-USE EXISTING CIRCUIT FOR SALVAGED LIGHTING FIXTURE AT NEW LOCATION. MODIFY, EXTEND, ETC EXISTING CIRCUIT, AS REQUIRED, TO POWER THE RELOCATED LIGHTING FIXTURE.
- C. SEE ELECTRICAL DETAILS FOR TYPE S3, S4 ELEVATIONS AND MOUNTING.
- D. SEE LANDSCAPE DETAILS FOR HANDRAIL LIGHTING ENLARGEMENT. CONCEAL LOW VOLTAGE CABLING THROUGH HANDRAIL AND POSTS TO TYPE S7 DIRECT BURIAL VAULT.
- E. TYPE S6 TO BE SURFACE MOUNTED WITHIN POCKET AT TOP OF DONOR WALL. CONCEAL ALL POWER TO FIXTURE THROUGH WALL TO ENDS OF FIXTURES. NO VISIBLE CONDUIT AND JUNCTION BOXES.
- F. COORDINATE LOCATION OF GROUND BOX IN PLANTING BED WITH FIELD CONDITIONS AND LANDSCAPE MATERIAL. TOP OF BOX SHALL BE FLUSH WITH FINISHED GRADE. REFER TO MANUFACTURER INSTALLATION INSTRUCTIONS PRIOR TO BID AND CONSTRUCTION.
- G. LIGHT POLE OVER EXISTING SUPER STRUCTURE - SEE STRUCTURAL PLANS.

**LEGEND**

- CONCRETE PAVEMENT
- SPECIAL PAVING 1
- RETAINING WALL
- REFURBISHED LIGHT POLE
- MAST POLE, FLOOD LIGHT FIXTURES
- LINEAR GRAZE FIXTURE
- HANDRAIL LIGHT POD FIXTURES
- (R) INDICATES SALVAGED AND RELOCATED ITEM.
- CKT CIRCUIT
- (ETR) INDICATES EXISTING TO REMAIN ITEM.
- EX EXISTING
- TYP TYPICAL
- WP WEATHERPROOF
- GFCI DUPLEX RECEPTACLE, 20A, 125V, 2P, 3W, WITH METALLIC WEATHERPROOF-IN-USE. LOCKABLE COVER. FINISH PER ARCHITECT.
- GB EXTERIOR OUTDOOR IN-GRADE GROUND BOX WITH TWO (2) DUPLEX RECEPTACLES, IP68 RATED WHILE IN USE WITH LOCKABLE COVER. UL LISTED. PROVIDE GFCI BRANCH BREAKER. THE BRANCH CIRCUIT LENGTH SHALL NOT EXCEED 200 FEET. WIREMOLD "GROUND BOX" OR PRE-APPROVED EQUAL.

**HART PLAZA**

1 HART PLAZA  
DETROIT, MI 48226

Owner:  
**CITY OF DETROIT**

**SMITHGROUP**

500 GRISWOLD  
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313.983.3600  
www.smithgroup.com

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CONSTRUCTION DOCUMENTS	0	14JUNE2024

SEALS



DRAWING TITLE  
**LIGHTING AND ELECTRICAL PLAN**

SCALE: 1" = 20'-0"

SCALE

PROJECT NUMBER 15004

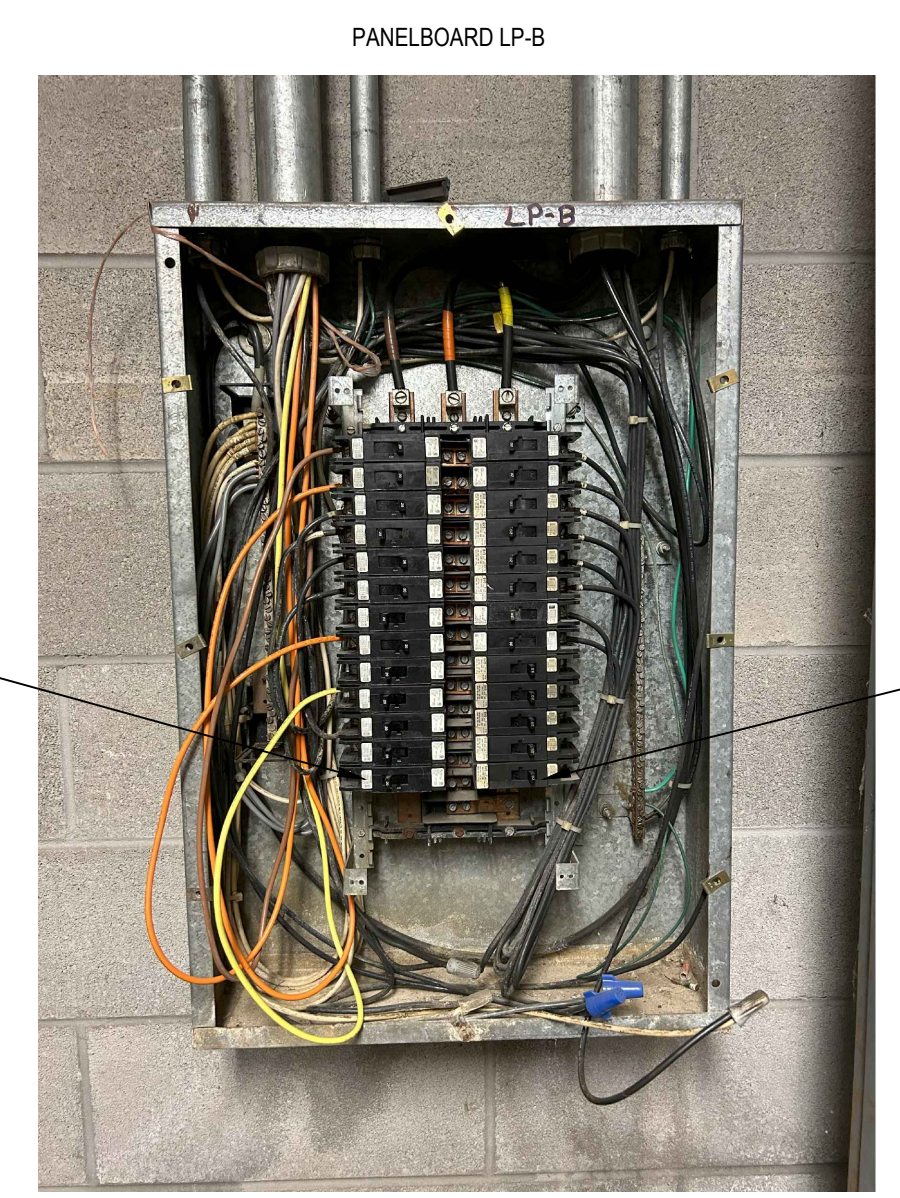
DRAWING NUMBER **ES101**



EXISTING PANEL LP-B  
(480/277V, 3PH, 4W)

EXISTING UNDERGROUND  
ELECTRICAL CLOSET EC-2

EXISTING PANEL RP-2B  
(208/120V, 3PH, 4W)



USE EXISTING 20A BREAKER

USE EXISTING 20A BREAKER



PROVIDE A NEW 20A GFI BREAKER

PROVIDE A NEW GFI 20A BREAKER

FILE:C:\Users\kgibbons\SmithGroup\Companies Inc (PRJ) - 15004 - SmithGroup - SmithGroup\CAD\06\_Landscape\Sheet\15004-ES101.dwg USER:kgibbons DATE:Jun, 24, 2024 TIME: 03:44 pm

**GENERAL NOTES**

- DIMENSIONS AND ELEVATIONS OF EXISTING STRUCTURES ARE BASED ON PREVIOUS CONTRACT DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING W/ FIELD MEASUREMENTS ALL DIMENSIONS AND ELEVATIONS FOR FABRICATION AND/OR MODIFICATIONS OR ADDITIONS BEING MADE UNDER THIS CONTRACT. ANY DISCREPANCIES SHALL BE PRESENTED TO THE OWNER AND ANY DESIGN CONFLICTS SHALL BE RESOLVED WITH OWNER PRIOR TO FABRICATIONS OR CONSTRUCTION OF IMPACTED ITEMS.
- ALL EXISTING DIMENSIONS AND ELEVATIONS SHOWN WITH THE ± SYMBOL, ARE APPROXIMATE AND SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR BEFORE FABRICATION AND CONSTRUCTION.
- ALL ADHESIVE ANCHORING SYSTEMS FOR POST-INSTALLED ANCHORS AND/OR REINFORCING DOWELS IN CONCRETE OR MASONRY SHALL BE HIT-HY 200 ADHESIVE ANCHORING SYSTEM (OR APPROVED EQUAL) AT SIZE AND SPACING INDICATED ON DRAWINGS WITH EMBEDMENT DEPTH INDICATED ON DRAWINGS. (SEE TABLE ON THIS SHEET FOR EMBEDMENT DEPTHS NOT INDICATED ON SECTIONS.)
- ALL POST-INSTALLED ANCHOR BOLTS INTO NEW OR EXISTING CONCRETE SHALL BE ASTM A316 STAINLESS STEEL THREADED ROD WITH STAINLESS STEEL WASHER AND NUT, UNO.
- ALL ELEVATIONS ARE BASED ON CITY OF DETROIT VERTICAL DATUM.
- THE (P) NEW LIGHT POLES LOCATED OVER THE EXISTING SUPERSTRUCTURE SHALL BE PLACED DIRECTLY OVER THE EXISTING CONCRETE COLUMNS. FIELD VERIFY THE LOCATION OF EXISTING COLUMNS, AND LOCATE EXISTING BEAM AND SLAB REINFORCING PRIOR TO INSTALLING NEW DOWELS AND POLE ANCHORS.

**CODES, LOADS AND GEOTECH**

- DESIGN CODES:
  - ACI 318
  - ASCE 7 -16
- DESIGN LOADS (GENERAL)
  - LIVE LOADS:
    - FLOOR-LIVE LOAD = 100 PSF
    - MAINTENANCE ACCESS, WALKWAYS, CORRIDORS AND STAIR LIVE LOADS = 100 PSF
    - ELEVATED GRATING MAINTENANCE PLATFORMS-LIVE LOAD = 100 PSF
  - DEAD LOADS:
    - FILL UNDER PROPOSED PAVEMENTS. GENERALLY THE FILL OVER THE EXISTING ELEVATED SLAB IN THIS PROJECT AREA SHALL CONSIST OF HIGH DENSITY RIGID INSULATION AS SPECIFIED.
  - LATERAL EARTH PRESSURE - UNDRAINED CONDITION
    - ACTIVE PRESSURE -  $P_a = 95.0$  PSF
  - D. WIND LOADS, PER ASCE 7-22 (RISK CATEGORY III)
    - BASIC WIND SPEED -  $V_{ult} = 115$  MPH
    - SURFACE ROUGHNESS CATEGORY - C
    - EXPOSURE CATEGORY - C
    - TOPOGRAPHIC FACTOR -  $K_{zt} = 1.0$
- 100 YEAR FLOOD ELEVATION - 102' (CITY OF DETROIT VERTICAL DATUM)

**DEMOLITION**

- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT DAMAGE TO EXISTING STRUCTURES, WHICH ARE TO REMAIN, DURING DEMOLITION WORK. ALL DAMAGE SHALL BE REPAIRED TO THE COMPLETE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- WHEN REMOVING EXISTING CONCRETE BY CUTTING OR CHIPPING THE CONTRACTOR SHALL ONLY REMOVE REINFORCING BARS WHICH CANNOT BE BENT INTO AREAS WHERE NEW CONCRETE WOULD COMPLETELY COVER THEM.
- IF FRACTURE OF ADJACENT CONCRETE OCCURS DURING DEMOLITION/ALTERATION WORK, THE REPAIR SHALL BE WITH AN ENGINEER APPROVED PRESSURE INJECTED EPOXY, TO THE COMPLETE SATISFACTION OF THE ENGINEER, AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL PROVIDE WRITTEN PLAN AND DESCRIPTION OF ALL DEMOLITION, MODIFICATION, OR ALTERATION WORK ON EXISTING STRUCTURES FOR REVIEW AND ACCEPTANCE PRIOR TO BEGINNING WORK.

**CAST-IN-PLACE CONCRETE**

- THE DETAILING, BENDING, AND PLACING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI STANDARD 350-20/350R-06 CODE AND ACI DETAILING MANUAL, SP-66 (94). FIELD BENDING WILL NOT BE PERMITTED UNLESS APPROVED BY ENGINEER
- ALL REINFORCING STEEL SHALL BE NEW BILLET STEEL DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3500 PSI @ 28 DAYS UNLESS OTHERWISE NOTED
- CAST-IN-PLACE CONCRETE CONSTRUCTION JOINTS:
  - PROVIDE CONSTRUCTION JOINTS IN WALLS AT A MAXIMUM SPACING OF 20 FEET.
- APPLY BONDING AGENT (ARMATEC 110 BY SIKA OR APPROVED EQUAL) AT ALL LOCATIONS WHERE NEW CONCRETE IS PLACED OVER EXISTING CONCRETE. PROPERLY ROUGHEN EXISTING CONCRETE SURFACE AND CLEAN PER MANUFACTURERS RECOMMENDATIONS PRIOR TO APPLYING THE BONDING AGENT.
- USE GROUND PENETRATING RADAR OR OTHER APPROVED METHOD TO LOCATE REINFORCING STEEL IN EXISTING BEAMS AND ELEVATED (STRUCTURAL) SLABS PRIOR TO INSTALLING DOWELS OR ANCHORS. ALL DOWELS AND ANCHORS SHALL BE LOCATED TO AVOID EXISTING REINFORCING (PREVENT DAMAGING, CUTTING OR DRILLING THROUGH EXISTING REINFORCING).
- PROVIDE 3/4" CHAMFER AT ALL EXPOSED CONCRETE EDGES.

REINFORCING TENSION SPLICE TABLE		
BAR SIZE	TENSION LAP LENGTH	* TOP BARS
#3	16"	22"
#4	20"	29"
#5	24"	36"
#6	29"	43"
#7	42"	63"
#8	48"	72"
#9	54"	81"
#10	61"	91"
#11	67"	101"

**NOTES:**

- ABOVE TABLE IS FOR NORMAL WEIGHT CONCRETE:  
 $f_c = 3,500$  PSI AND REINFORCING STEEL,  $f_y = 60,000$  PSI.
- ALL SPLICES SHALL BE CONSIDERED TENSION SPLICES USING LAP LENGTHS IN TABLE ABOVE UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE DRAWINGS.
- LENGTHS ARE BASED ON LAP CLASS B SPLICES WITH CENTER TO CENTER SPACING OF BARS EQUAL TO OR GREATER THAN 6 DIAMETERS.
- TOP BARS ARE HORIZONTAL BARS WITH MORE THAN 12" OF CONCRETE CAST UNDER THEM.
- USE TENSION LAP LENGTHS FOR HORIZ & VERT WALL BARS.

ADHESIVE ANCHORING SYSTEM MINIMUM EMBEDMENT DEPTH FOR DOWELS AND RODS		
REINFORCING BARS/DOWELS		
BAR SIZE	EMBED DEPTH	REMARKS
#3	5 1/2"	
#4	5 1/2"	
#5	7"	
#6	8 1/2"	
#7	10"	
#8	11 3/4"	

ANCHOR RODS		
BOLT DIAMETER	EMBED DEPTH	
3/8"	3 1/2"	
1/2"	4 1/4"	
5/8"	5"	
3/4"	6 5/8"	
1"	8 1/4"	

**NOTES:**

- ALL ANCHORS INSTALLED WITH AN ADHESIVE ANCHORING SYSTEM SHALL, AT A MINIMUM, HAVE THE EMBEDMENT DEPTHS INDICATED IN THE TABLE ABOVE UNLESS SPECIFICALLY INDICATED OTHERWISE ON DRAWINGS.
- CONFIRM REQUIRED EMBEDMENT DEPTHS WITH MANUFACTURERS REQUIREMENTS FOR DEVELOPING THE TENSION CAPACITY OF THE ANCHOR RODS (TYP).

**STRUCTURAL ABBREVIATIONS**

ALT ALTERNATE	ES EACH SIDE	NF NEAR FACE
ALUM ALUMINUM	EW EACH WAY	NS NEAR SIDE
ARCH ARCHITECTURE	EX / EXIST EXISTING	NTS NOT TO SCALE
B/ BOTTOM	EXT EXTERIOR/ EXTENSION	NIC NOT IN CONTRACT
BLDG BUILDING	FD FLOOR DRAIN	OC ON CENTER
BM BEAM	FF FAR FACE	OD OUTSIDE DIAMETER
BOT BOTTOM	FS FAR SIDE	OF OUTSIDE FACE
BSMT BASEMENT	FIN FINISH	OPNG OPENING
CHAN CHANNEL	FL FLOOR	Opp H OPPOSITE HAND
CIP CAST-IN-PLACE	FND FOUNDATION	PAVT PAVEMENT
CJ CONSTRUCTION JOINT	FTG FOOTING	PEMB PRE-ENGINEERED METAL BUILDING
CL CENTERLINE	FST FINAL SETTLING TANK	
CLR CLEAR	FT FEET	PSF POUNDS PER SQ. FOOT
COL COLUMN	GALV GALVANIZED	PSI POUNDS PER SQUARE INCH
CONC CONCRETE	GR GRADE	REINF REINFORCEMENT
CONST CONSTANT	H / HORIZ HORIZONTAL	RE REFER TO
CONSTR CONSTRUCTION	HP HIGH POINT	RTB RETENTION TREATMENT BASIN
CONT CONTINUOUS	HK HOOK	SAN SANITARY
CLSM CONTROLLED LOW STRENGTH MATERIAL	HT HEIGHT (OR) HIGH	SCHED SCHEDULE
COR CORNER	ID INSIDE DIAMETER	SET SETTLING
CY CUBIC YARD	IE INVERT ELEVATION	SHTS SHEETS
DEMO DEMOLITION	IF INSIDE FACE	SIM SIMILAR
DET DETAIL	IN INCHES	SJ SLAB CONTROL JOINT
DIA / Ø DIAMETER	INFL INFLUENT	SOE SUPPORT OF EXCAVATION
DIAG DIAGONAL	INT INTERIOR	SS STAINLESS STEEL
DISC DISCONTINUOUS	JT JOINT	STIR STIRRUPS
DIST DISTANCE	KIP THOUSAND POUNDS	STRUCT STRUCTURAL
DWG DRAWING	KB KNEE BRACE	TOS TOP OF STRUCTURAL STEEL / SLAB
DWGS DRAWINGS	LNDG LANDING	TOP TOP
DWLS DOWELS	LP LOW POINT	T/ TOP
EA EACH	LGTH LENGTH	T&B TOP & BOTTOM
EE EACH END	MAS MASONRY	THK THICKNESS
EF EACH FACE	MAX MAXIMUM	THRU THROUGH
EFF EFFLUENT	MECH MECHANICAL	TYP TYPICAL
ELEC ELECTRICAL	MFR MANUFACTURER	UNO UNLESS NOTED OTHERWISE
EL/ELEV ELEVATION	MID MIDDLE	V / VERT VERTICAL
EJ EXPANSION JOINT	MIN MINIMUM	WP WORK POINT
	MO MASONRY OPENING	

**HART PLAZA**

1 HART PLAZA  
DETROIT, MI 48226

Owner  
**CITY OF DETROIT**

**SMITHGROUP**

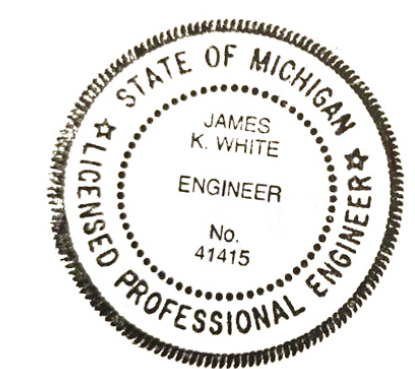
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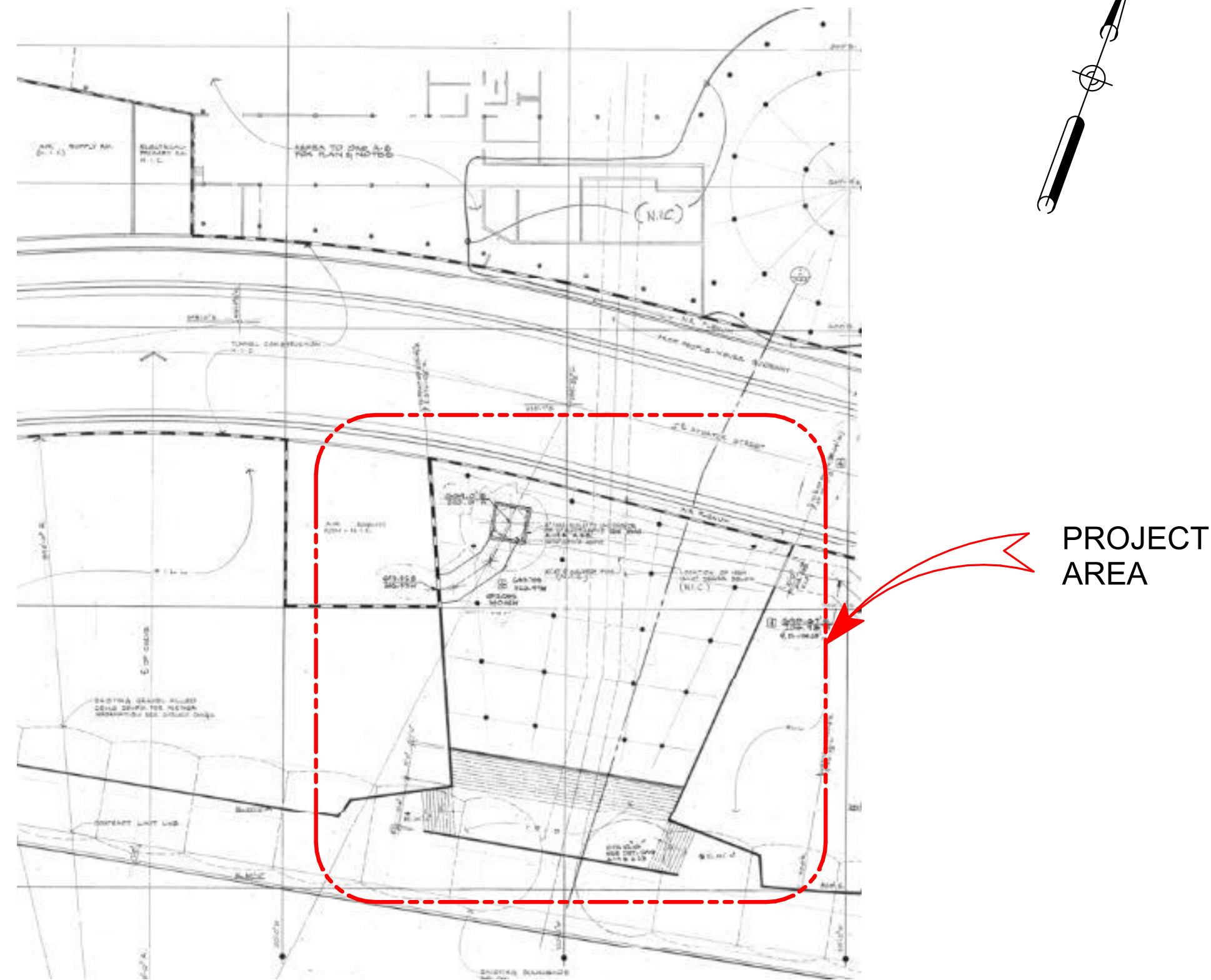
500 Griswold Avenue, Suite 2500  
Detroit, MI 48226  
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www.wadeftrim.com

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SEALS AND SIGNATURES



KEY PLAN



**AREA PLAN**  
SCALE: NONE

DRAWING TITLE  
**STRUCTURAL NOTES,  
TABLES AND  
ABBREVIATIONS**

SCALE  
AS INDICATED

PROJECT NUMBER  
**S001**

DRAWING NUMBER

HART PLAZA

1 HART PLAZA  
DETROIT, MI 48226

Owner  
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**SMITHGROUP**

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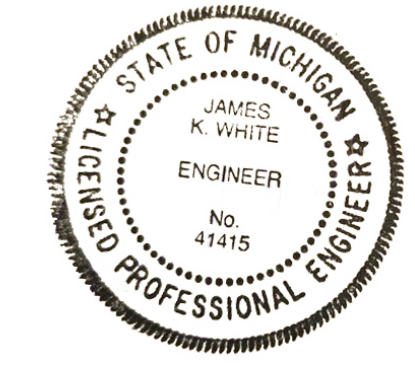


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SEALS AND SIGNATURES



KEY PLAN PROJECT NORTH

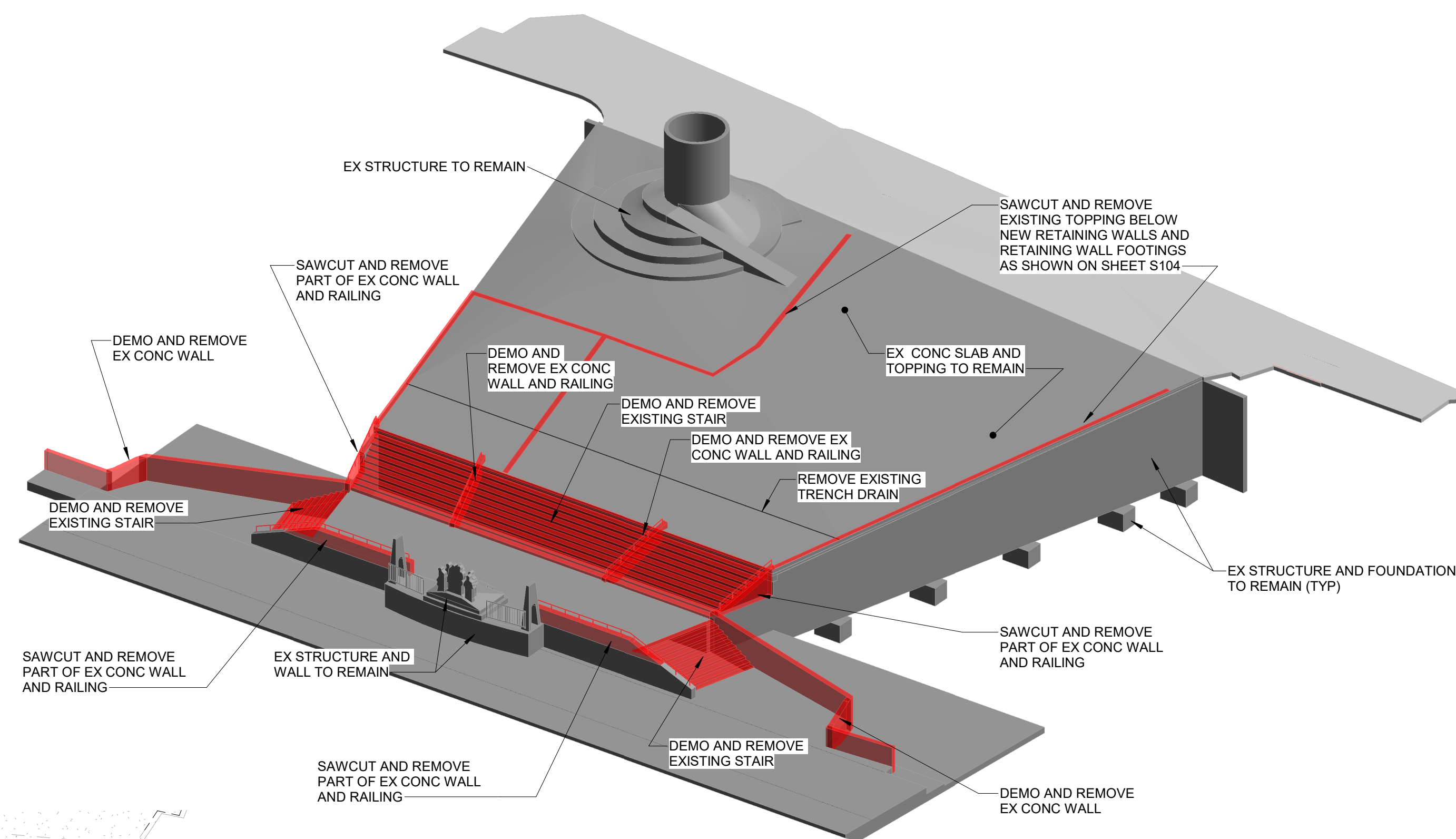
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**STRUCTURAL DEMOLITION  
AND REMOVAL PLAN AND  
3D DEMO VIEW**

SCALE AS INDICATED

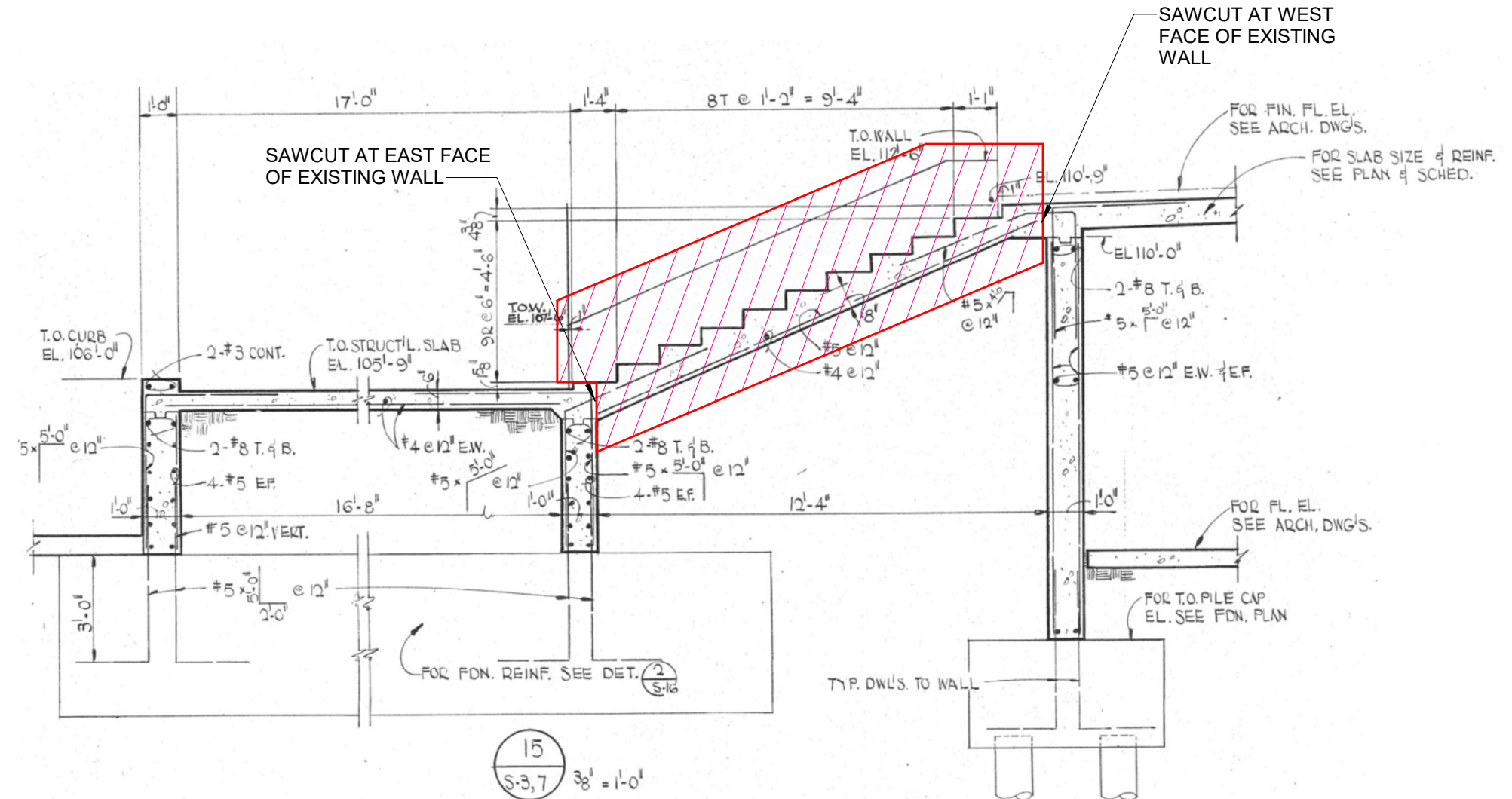
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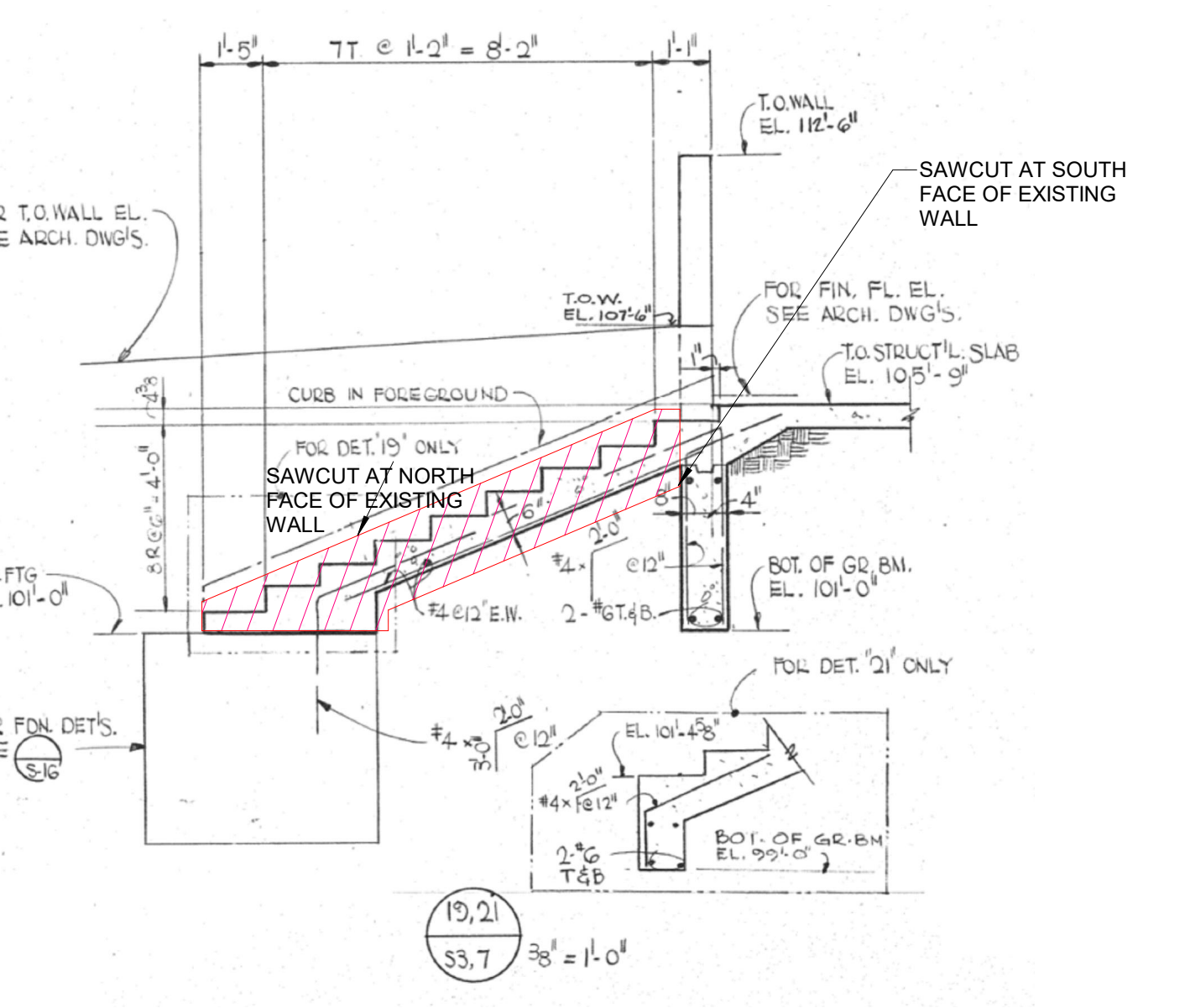
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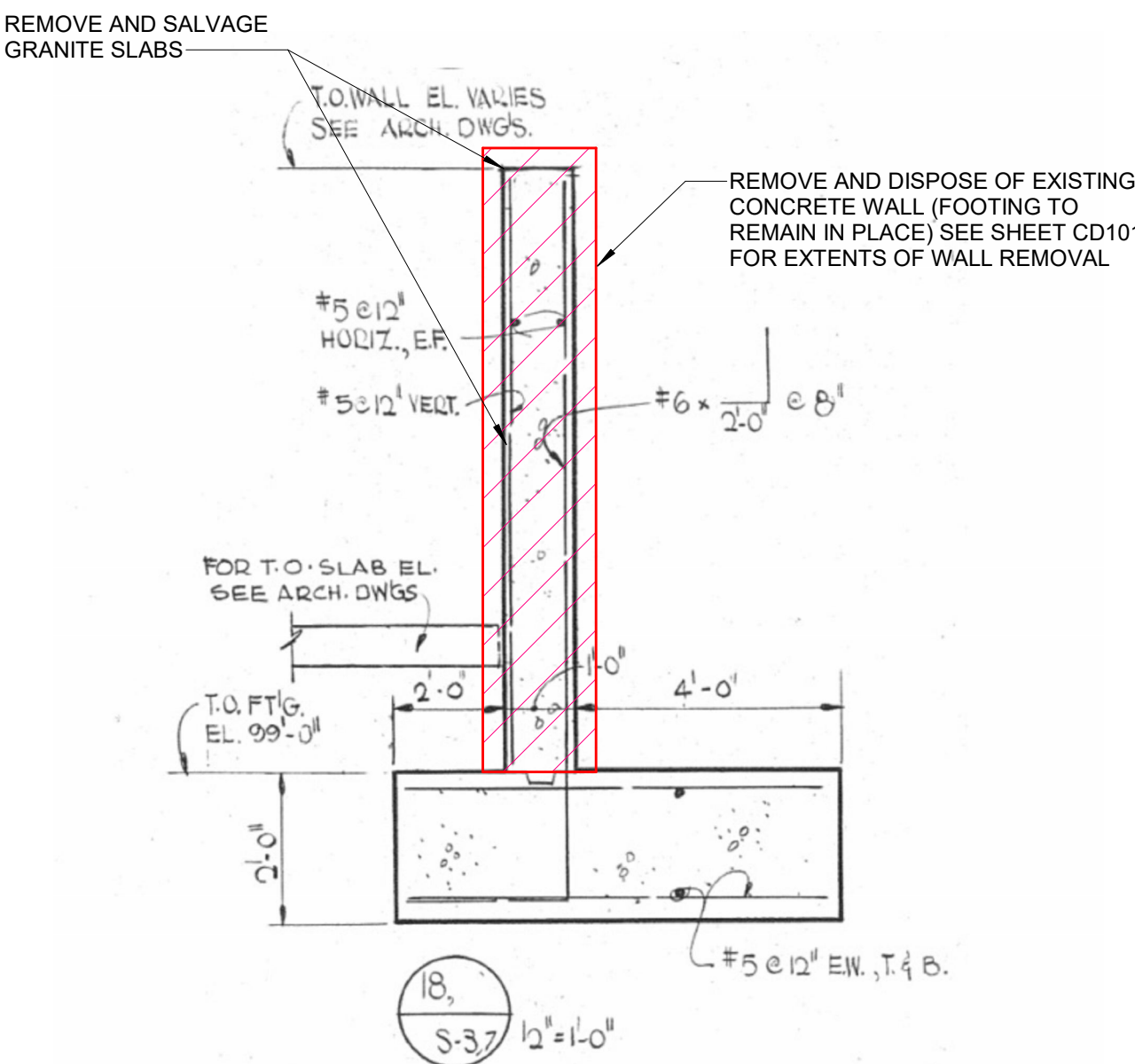
**3D STRUCTURAL DEMO VIEW**  
SCALE: NONE



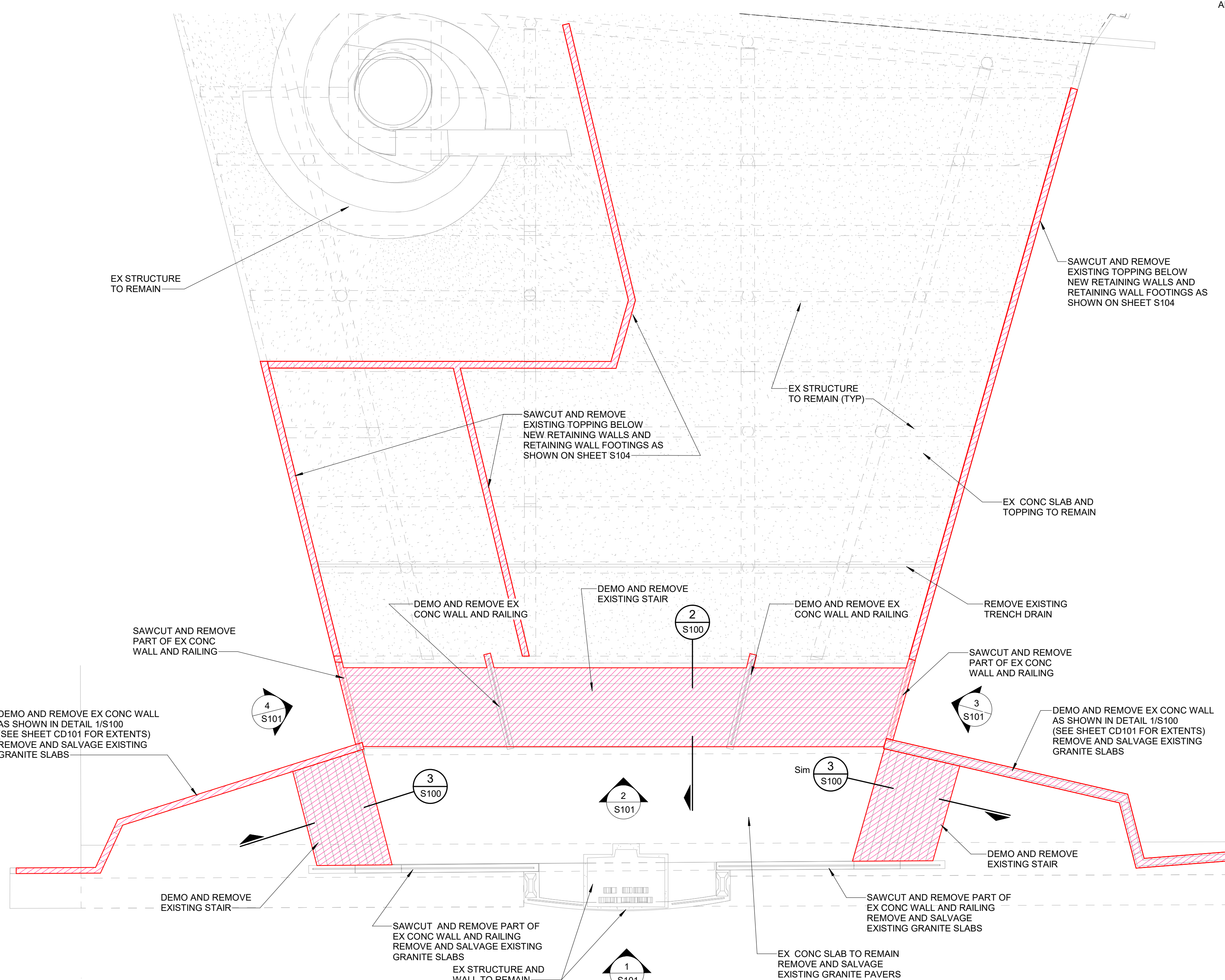
**2 EXISTING STAIR AND WALL DEMO**  
S100 SCALE: NONE



**3 EXISTING STAIR DEMO**  
S100 SCALE: NONE



**1 EXISTING WALL DEMO**  
SCALE: NONE



**STRUCTURAL DEMOLITION PLAN**  
SCALE: 1" = 10'-0"

PLOTTED 02/12/24 10:00 PM  
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# HART PLAZA

1 HART PLAZA  
DETROIT, MI 48226

Owner  
CITY OF DETROIT

## SMITHGROUP

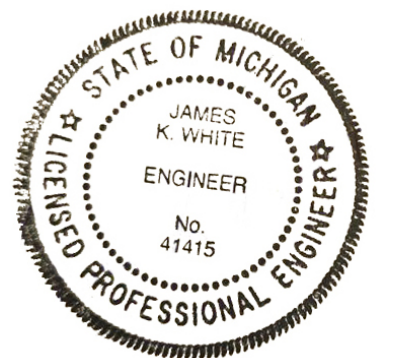
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KEY PLAN



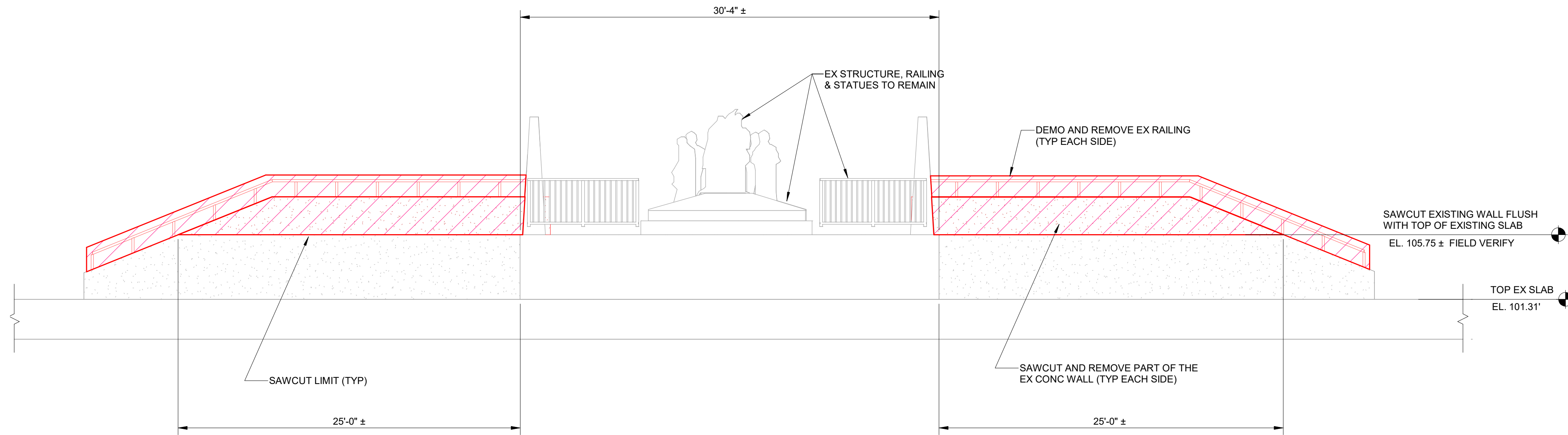
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**DEMOLITION SECTIONS  
AND DETAILS**

SCALE  
AS INDICATED

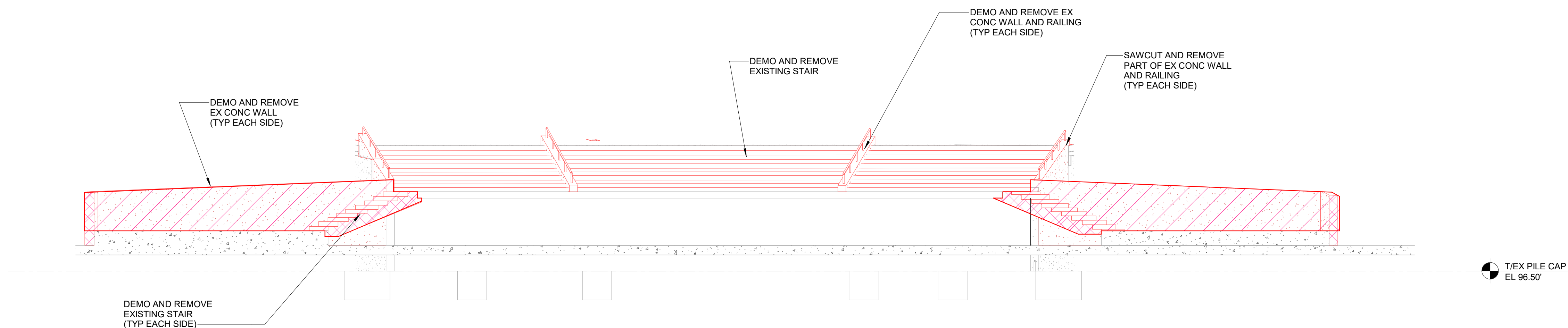
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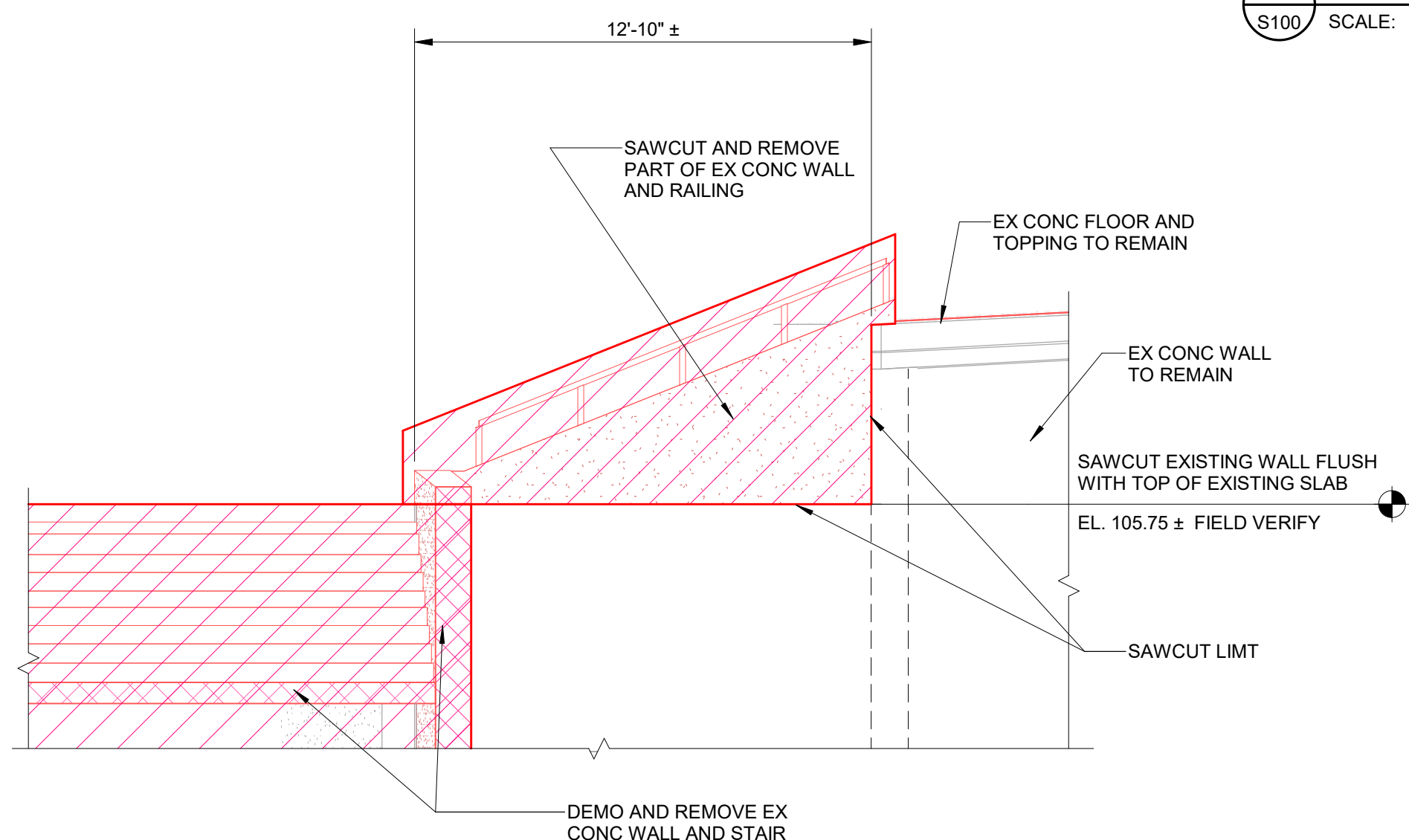
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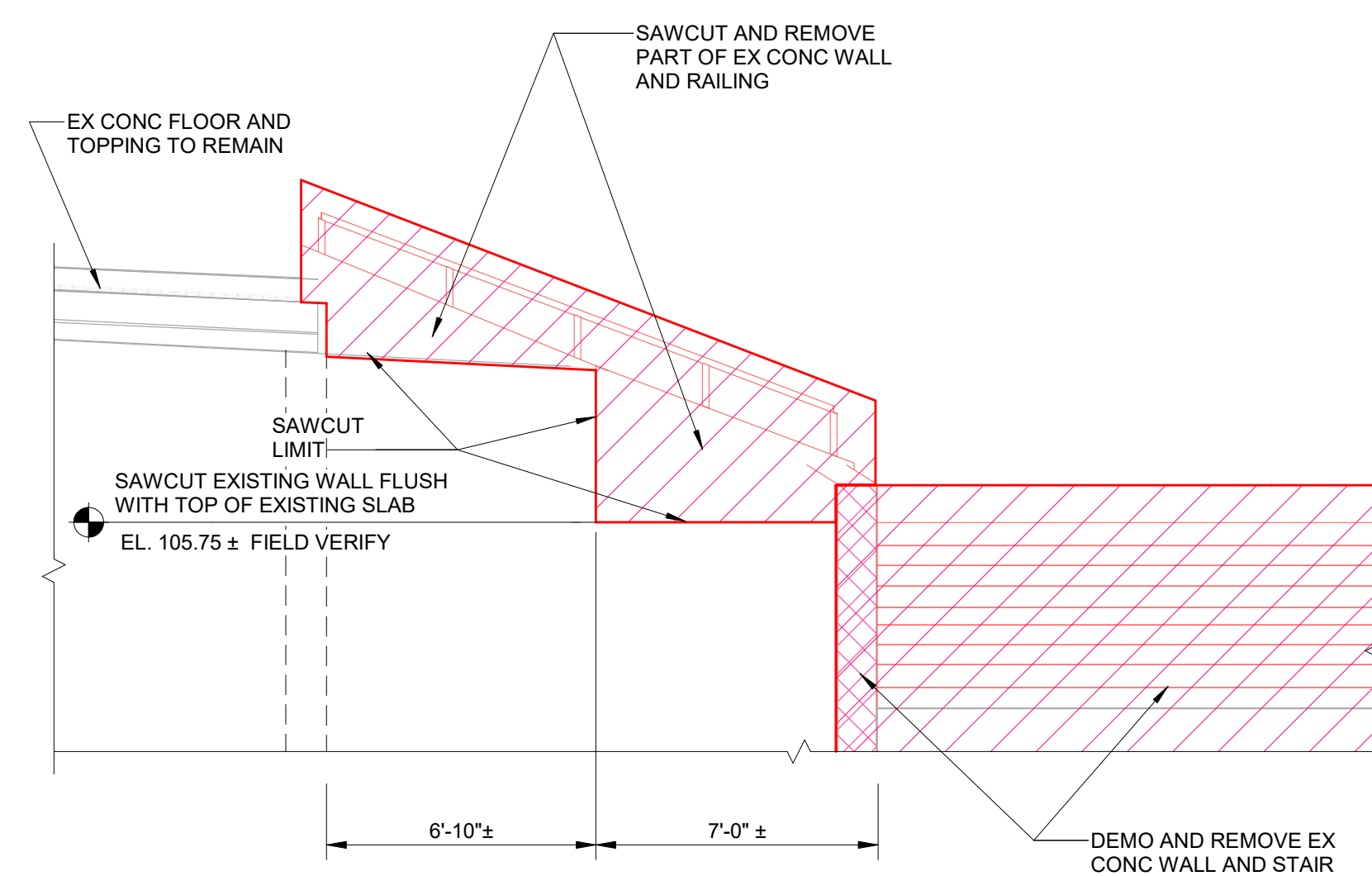
**1** DEMOLITION VIEW SECTION -1  
SCALE: 3/16" = 1'-0"



**2** DEMOLITION VIEW SECTION -2  
SCALE: 1/8" = 1'-0"



**3** DEMOLITION VIEW SECTION -3  
SCALE: 1/4" = 1'-0"



**4** DEMOLITION VIEW SECTION -4  
SCALE: 1/4" = 1'-0"

PLOTTED: 02/12/2024 1:00:01 PM  
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# TOPOGRAPHIC SURVEY

HART PLAZA, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

## HART PLAZA GRAND STAIRS

1 HART PLAZA,  
DETROIT, MI 48226

Owner:  
CITY OF DETROIT

## SMITHGROUP

201 DEPOT STREET  
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SEALS AND SIGNATURES

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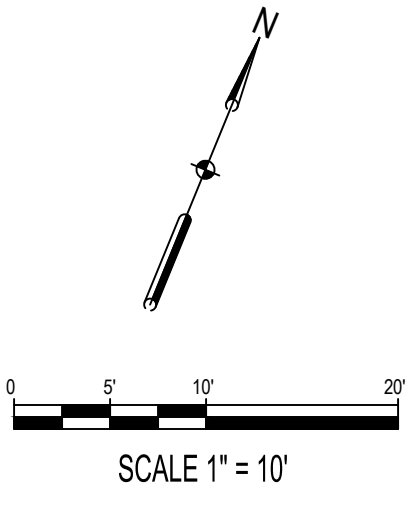
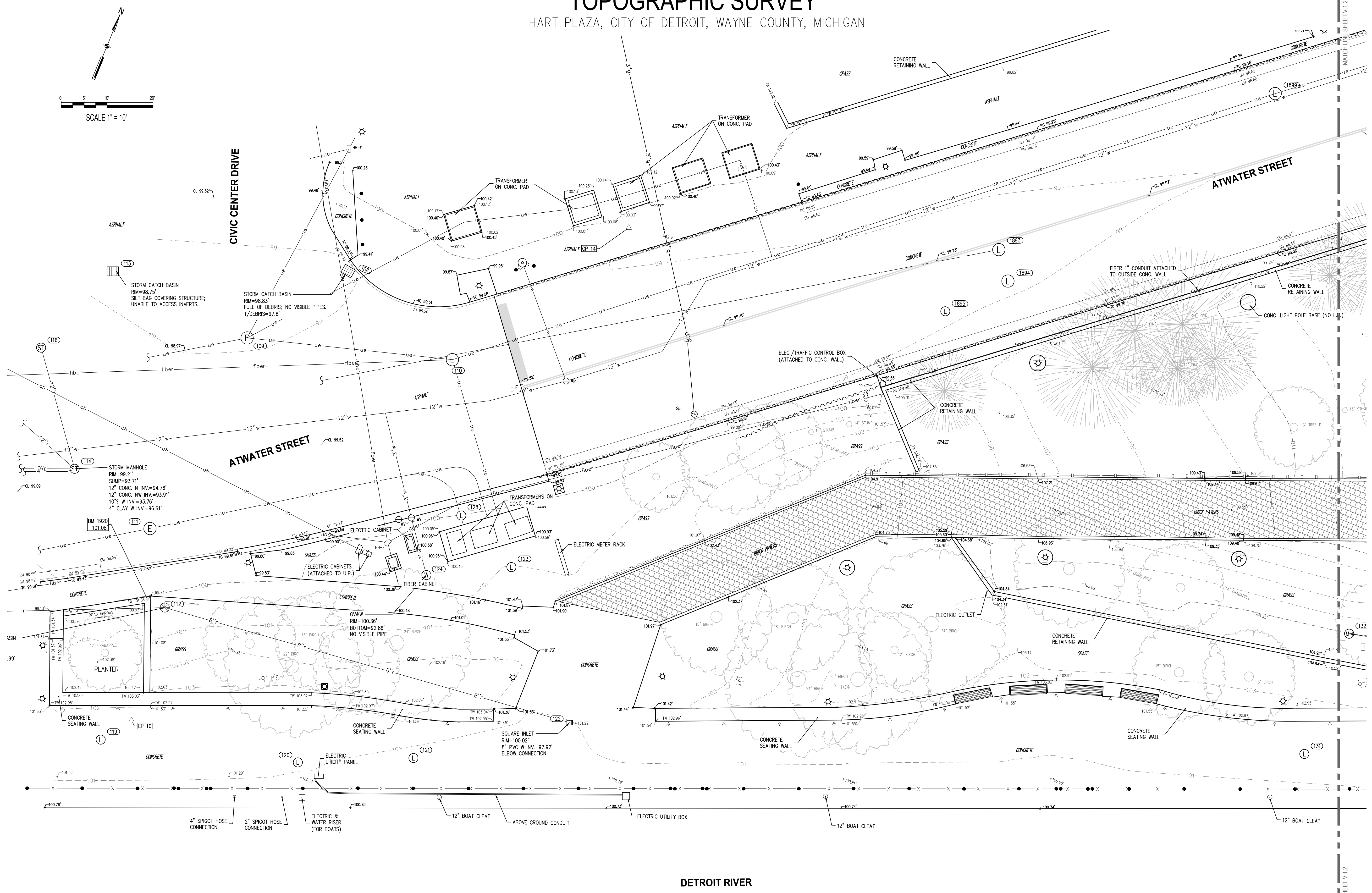
KEY PLAN

DRAWING TITLE  
TOPOGRAPHIC SURVEY

SCALE 1" = 10'

PROJECT NUMBER 15004

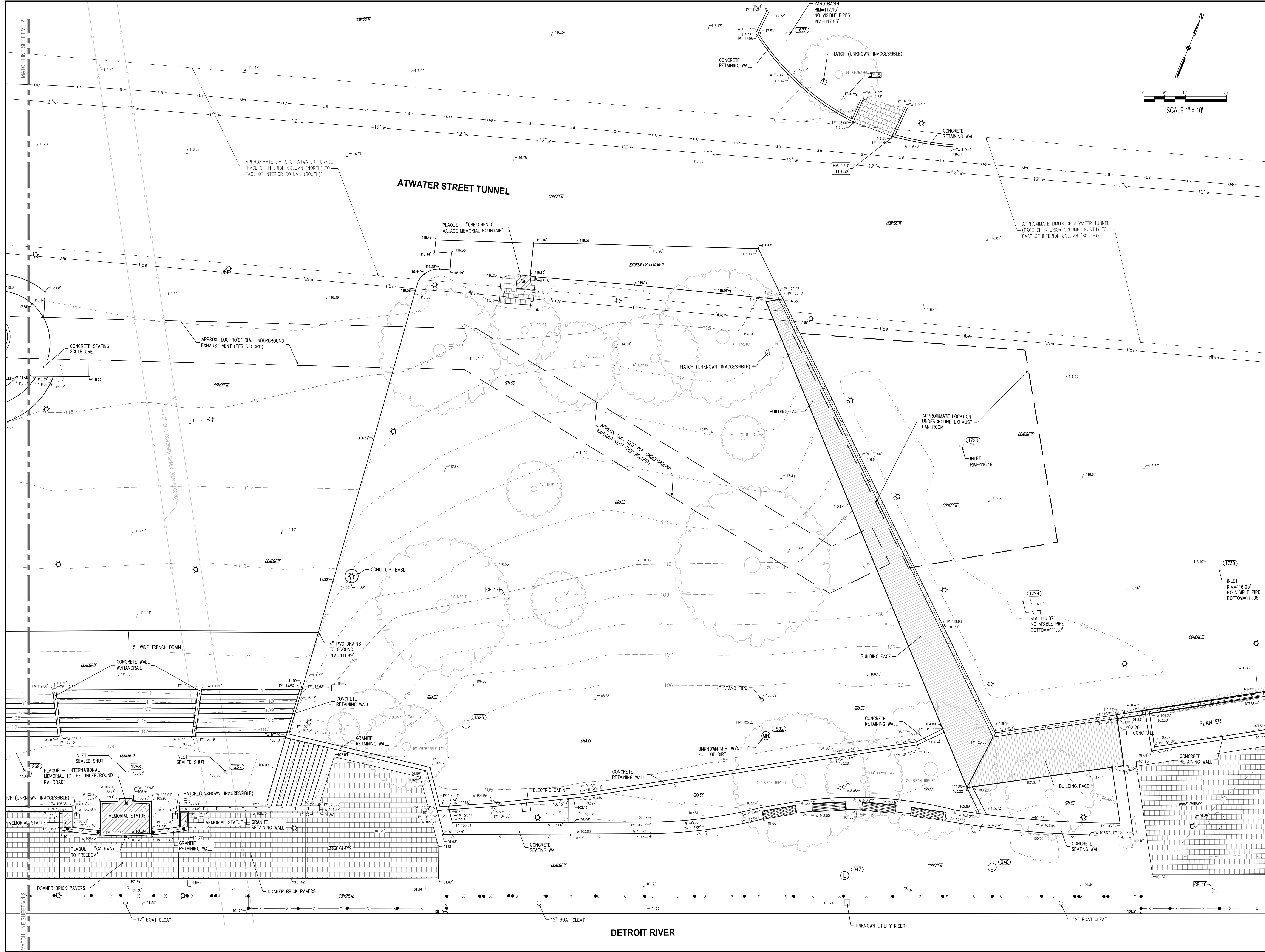
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MATCHLINE SHEET V.1.2

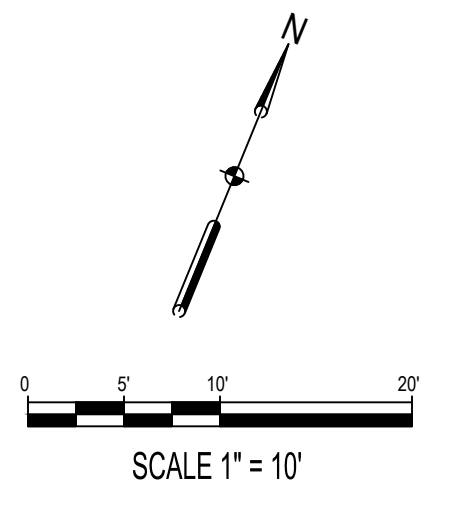
DETROIT RIVER





**HART PLAZA GRAND STAIRS**

1 HART PLAZA,  
DETROIT, MI 48226  
Owner:  
**CITY OF DETROIT**



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SEALS AND SIGNATURES

NOT FOR CONSTRUCTION

KEY PLAN

DRAWING TITLE  
**TOPOGRAPHIC SURVEY**

SCALE **1" = 10'**  
PROJECT NUMBER **15004**  
DRAWING NUMBER **V.13**

# HART PLAZA DESIGN DEVELOPMENT

**ATWATER VENT**  
• Paved pathways to vent sculpture.

**SEATING**  
• Prefabricated wood and metal benches.

**ACCESSIBILITY**  
• Universal access achieved via west switchback paths.

PYRAMID PATIO

ATWATER VENT

1974 SECTION

+116.00

+114.00

+106.50

+112.00

+106.00

+101.50

+101.00

+101.50

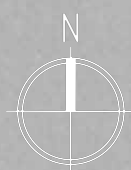
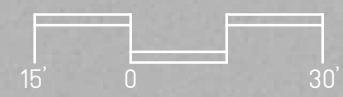
**SALVAGED MATERIALS**  
• Reused granite treads on new stairs.

**PLANTINGS**  
• Green space strategically softens the ramp experience.

**DONOR NAMES**  
• Donor names relocated to new overlook and planter wall.

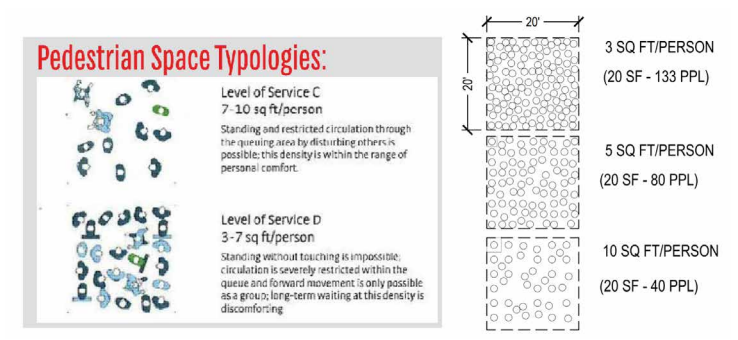
**REPURPOSED GRANITE**  
• Additional salvaged GSD granite applied as seat walls.

DETROIT RIVER





# HART PLAZA EVENT DIAGRAMS



# HART PLAZA BIRDSEYE



BIRDSEYE NORTH

# HART PLAZA DESIGN DEVELOPMENT PERSPECTIVES



BIRDSEYE NORTH



ELEVATED LOOKING SOUTHWEST



EAST STAIRCASE TOWARD RIVER



RIVERWALK FROM EAST



ELEVATED LOOKING NORTHWEST



RIVERWALK FROM WEST