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June 14, 2024

HONORABLE CITY COUNCIL

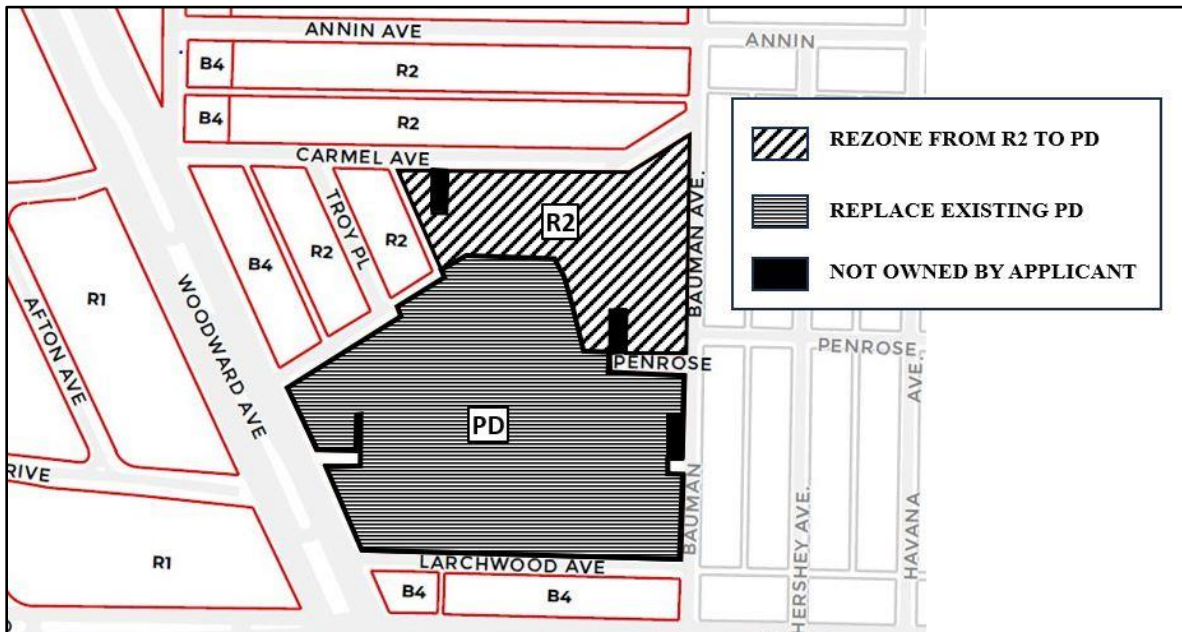
RE: The request of Perfecting Church to establish plans, terms, and conditions of a PD (Planned Development) zoning classification, the authorization for which has lapsed and to show a PD zoning classification where a R2 (Two-Family Residential District) zoning classification is shown on land adjacent to the church complex near the intersection of Woodward Avenue and West Seven Mile Road (RECOMMEND APPROVAL)

Perfecting Church is requesting to amend Article XVII, Section 50-17-64, Map No. 62 of the 2019 Detroit City Code, Chapter 50, Zoning for the following:

- to establish plans, terms, and conditions of a PD originally established by Ord. No. 40-04 for the approximately 12-acre site at 19150 Woodward located near the northeast corner of West Seven Mile and Woodward Avenue, and
- to rezone from R2 to PD approximately 4.51 acres, commonly known as 1001 Carmel and adjacent to the church complex, generally bounded by Carmel Avenue on the north, Bauman Avenue on the east, and Penrose Avenue on the south.

The location of the two requests is shown on the map below.

Map of Proposed PD Amendment

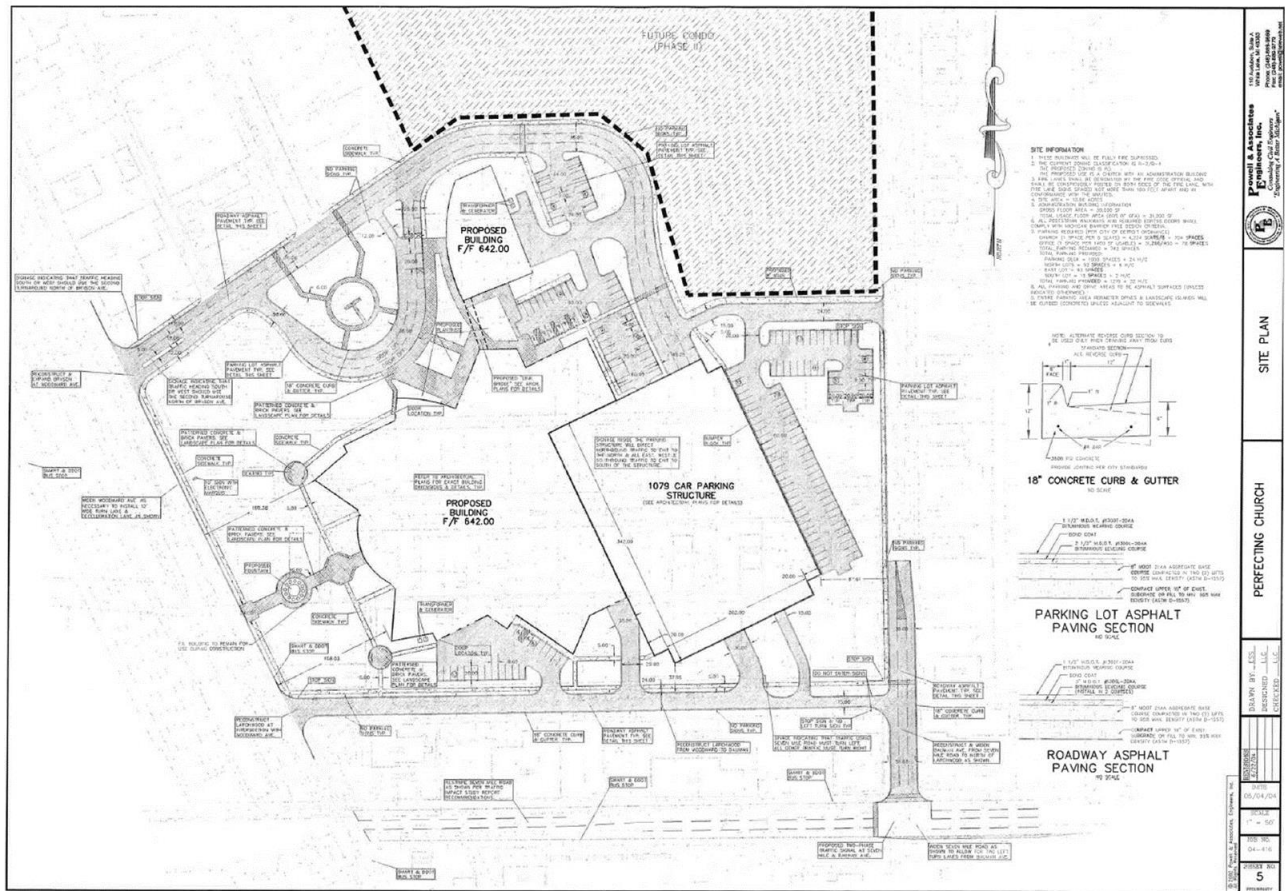


BACKGROUND

In 2004, the City Council approved Perfecting Church’s request for a PD rezoning for the 12-acre site established by Ordinance No. 40-04. This approval at the time included the following:

- A new 3-story church containing 158,550 square feet and 4,236 seats, including a coffee shop, bookstore, nursery, etc.
- A chapel with 470 seats
- A fellowship hall
- A separate administration building, with 35,790 square feet, connected to the church by a 2nd floor skywalk, including offices, TV studio, etc.
- A 4-story parking structure with 1,079 spaces
- A surface parking lot with 80 spaces

The plan also included a conceptual 2nd phase to build townhouses northeast of the church on the aforementioned R2 land. Below is an image of the originally approved site plan.



After the initial rezoning, several streets were vacated to assemble the subject 12-acre parcel. In August 2005, the first building permit for the project was issued. A representative for the project indicates that in 2006 the church received a \$49 million construction loan and construction began. However, in 2008, with the downturn in the national economy, the bank “called the loan” and as a result, the church was forced to pay the loan off and mothball the structure which was partially completed. Over the years, the HVAC system has run to keep the interior of the church maintained and protected.

NEW PROPOSAL

Perfecting Church is proposing to finish the church complex with modifications to the originally approved plans. The current proposal includes many of the same features with some changes summarized below:

- Finish the new 3-story church containing 158,550 square feet and 4,236 seats to include coffee shop, bookstore, nursery, etc.; the chapel with 470 seats, and the fellowship hall
- A new school academy including a high school is included
- A new outdoor amphitheater at the front of the church
- New community gardens for church members and adjacent community
- The building would be re clad with new materials including brick, stone, and metal panels
- The originally proposed separate administration building would be eliminated – the office area is now proposed as part of the main building on level 3
- The 4-story parking structure would be eliminated – there is now proposed surface parking for 659 cars

On the 16 acre-site, there are 4 vacant parcels not owned by the church – one lot within the original PD at 908 Balmoral (privately held) and three lots within the newly proposed PD at 1025 Carmel (DLBA held), 1045 Carmel (privately held), and 938 Penrose (privately held). The developer indicates the church is currently in negotiations with the DLBA and with a realtor regarding the privately owned lots. Below is an image of the new site plan for the project.

2023 Perfecting Church Woodward Campus Proposed Site Plans



Over the past year, the City Administration and Law Department have been requesting the church to complete the project. Representatives of the church indicate the current phase will cost \$21 million dollars, bringing the total investment to \$43 million dollars. To complete all aspects of the new plan will cost another \$13 million dollars. The Church has provided a loan commitment letter to the City.

PUBLIC HEARING, COMMUNITY ENGAGEMENT, AND FOLLOW-UP

September 7th Public Hearing

On September 7, 2023, the City Planning Commission (CPC) held a public hearing to consider the subject request. However, at the hearing, it was stated that a second hearing would be needed to expand the PD to include the adjacent 4.51 acres.

At the September 7th hearing, one member of the public asked about the plans for the portion of Penrose Street, west of Bauman Street, which dead-ends at the church and is currently blocked off by concrete barriers. *The applicant stated that those barriers would be removed, and the entire exterior of the site would have new landscaping.*

Below is a summary of questions and comments from the CPC and follow-up responses:

- The Commission asked when exactly the PD lapsed. *Staff clarified at the 2nd public hearing that PDs in general lapse after 3 years if not completed, unless an extension is granted. In this case, work was ongoing off and on at the site. It appears permits were last issued to the church in 2015. A lapse in this case was never officially declared until the subject PD review and as determined by the Law Department.*
- The Commission asked when it would receive the Planning and Development Department's (P&DD) review of the Master Plan. *P&DD's analysis was submitted after the first public hearing which is provided later in this report.*
- There were general inquiries about the amount of hard surface in the proposed plan, some of the architectural details, and scale of the crosses on the top of the building.
- One Commissioner asked about the potential traffic impact and encouraged the applicant to conduct a traffic impact assessment. *The architect for the project stated they have done multiple traffic assessments related to the project.*
- One Commissioner asked what efforts, if any, the applicant had taken to engage the community on their current plans for the site. *It was reported a community meeting had not yet been held.*

October 18th Community Meeting

After the September 7th public hearing, on October 18, 2023, the developer held a community meeting at the nearby Arab American and Chaldean Council (ACC) building. The community groups and organizations that were invited were Grixdale, State Fair, Detroit Golf Club, Palmer Woods, Sherwood Forest, University District and Green Acres. The developer indicates there were 47 attendees and the community members expressed support for the project. The only concern raised at the meeting was increased traffic on Bauman Street running along the east side of the church.

December 7th Public Hearing

On December 7, 2023, the CPC held a second public hearing including rezoning the adjacent 4.51 acres from R2 to PD. At the hearing, the developer also presented the newly completed landscaping plan.

One resident spoke at the hearing asking if the church had reached an agreement with the DLBA regarding the lots it didn't own. *The developer stated it is still engaging with the DLBA to purchase the property.*

Below is a summary of questions and comments from the CPC and follow-up responses:

- The Commissioner asked about the parcels not owned by the applicant. *CPC staff clarified the taxpayers for those parcels were notified about the public hearing(s) and no responses were received. The petitioner indicated they are in discussion with the DLBA and with a real estate agent to purchase the four lots.*
- One Commissioner asked whether the barriers were removed from Penrose as discussed at the first hearing. *The applicant indicated the barriers have not yet been removed, but would be removed once the construction resumed.*
- One Commissioner asked if the traffic study had been completed. *The project architect responded they are conducting a traffic study that has not yet been completed for the area which includes the new Amazon facility to the north. In order to limit cars cutting through the neighborhood, the developer is proposing to prohibit cars from turning left when exiting the church onto Bauman Street.*
- The Commission asked the planned completion date. *The applicant stated it plans to complete phase one by April 2025 which includes opening the church, parking, and landscaping (parts of the church interior would not be completed for phase one).*
- There was a question about parking and circulation, including where vehicles would exit the site. *The applicant stated the majority of cars exiting the site would be on Larchwood on the south side, Woodward on the west side and Bauman on the east side. The developer noted there was one concern at the community meeting regarding traffic on Bauman. It was clarified that there is a proposed drive near Bryson and Troy at the northwest side of the campus, but that is being evaluated as part of the traffic analysis.*
- The Commission asked whether the adjacent community be impacted during construction. *The applicant indicated during construction they plan to have gates only at Woodward and Larchwood.*
- The Commission asked for updates on the proposed landscaping plan, including fencing. *It was clarified decorative fence is proposed rather than chain link fencing. CPC staff indicated it is still reviewing the final landscaping plan with the developer and P&DD.*
- The Commission asked about the amount of surface parking, including stormwater management. *The applicant indicated parking lot landscaping will help mitigate stormwater, and there is a retention basin proposed.*
- The Commission asked about reasons for the delay in construction, total investment, etc. which are covered earlier in this report.

PLANNING CONSIDERATIONS

Current and Proposed Zoning

Below is a summary of the R2 and PD zoning classifications.

R2 Two-Family Residential District: the R2 District is designed to protect and enhance those areas developed or likely to develop with single- or two-family dwellings. The district regulations are designed to promote a suitable environment for homes and for activities connected with family life. The only principal uses permitted by right are single- and two-family dwellings. Additional uses are conditional.

PD Planned Development District: the PD district will permit planned developments throughout the City and will be particularly useful in urban renewal areas. Such planned developments shall be substantially in accord with the goals and objectives of the Master Plan, by having a major land use that corresponds to the most general category of land use, which are Residential, Public/Civic/Institutional, Retail/Service/Commercial, Manufacturing and Industrial, and Other, proposed in the Master Plan for the area involved. Such planned developments shall provide a desirable environment for the uses proposed and shall not be out of harmony with their general surroundings. The regulations of the district are designed to accomplish this by permitting flexibility in overall development while ensuring adequate safeguards and standards for public health, safety, convenience, and general welfare and, where applicable, encouraging historic preservation.

Surrounding Zoning and Land Use

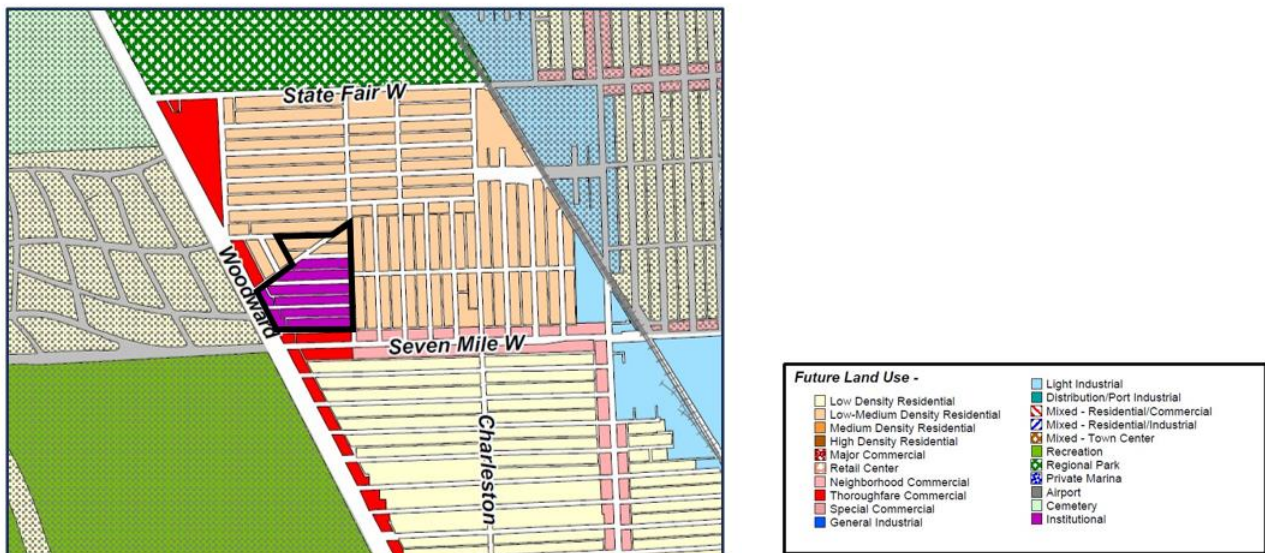
The zoning classification and land uses for nearby properties are as follows:

- North:** R2 - residential and vacant land
- East:** R2 - residential and vacant land
- South:** B4 (General Business District) - commercial and vacant commercial
- West:** R1 (Single-Family Residential) - across Woodward, residential and vacant land

Master Plan Consistency

The subject site is located within Neighborhood Cluster 1, State Fair Subsector. The Future Land Use map for this area shows Institutional (INST), where the already constructed church building stands, and Low/Medium Density Residential (RLM) for the proposed parking area. P&DD reviewed the proposed rezoning and deemed it to be generally consistent with the Master Plan’s RLM designation. P&DD also noted that the expansion of the church complex will move the parking lots closer to residential homes, but that most of the properties around the expanded PD are vacant and therefore the expected impact is minimal. Below is an image of the current Master Plan map for the area.

Master Plan map for the Area



Site and Landscaping Plan

The site plan and landscaping plan for the project was reviewed by CPC staff in consultation with the P&DD Design Review team. The sections of the Zoning Ordinance which could guide the site and landscaping plans for the development are Section 50-14-341 (Right-of-way screening), Section

50-14-342 (Residential screening), Section 50-14-343 (Interior landscaping), and Section 50-14-368 (Fences and walls). In response to the submitted plans, P&DD suggested changes to the plans to better comply with the minimum standards of the Zoning Ordinance, including:

- Meeting the right-of-way screening minimum height of 30 inches (Sec. 50-14-341)
- Providing a 5-foot landscape buffer between the sidewalk and proposed fencing (Sec. 50-14-341)
- Providing a decorative fencing rather than chain-link around the property (Sec. 50-14-368)

Parking Plan

The applicant is proposing to provide 659 off-street parking spaces with 32 ADA accessible spaces. Section 50-14-44 of the Zoning Ordinance lists the off-street parking Schedule for Religious Institutions as 1 space per 6 seats in main worship area or auditorium or 1 per 100 square feet in largest assembly area without fixed seats, whichever is greater. The applicant is proposing a 4,236-seat church and is required to provide 706 parking spaces - the applicant is proposing to provide 94% of the required parking and is deficient 47 spaces.

Zoning Ordinance Review Criteria

Section 50-3-96 of the Detroit Zoning Ordinance lists eight approval criteria on which zoning map amendments for PD's must be based. Following are the relevant criteria with the CPC's analysis for consideration:

- That no other zoning district classification would be more appropriate. Due to the unique scale, impact, and history of the proposed development, there is no other zoning district classification that can be considered to be more appropriate for the Perfecting Church Woodward Campus.
- Whether uses and structures that are planned for the PD District comply with all applicable site design standards and use regulations which are specified in Article XI, Division 2, of this chapter. CPC staff and P&DD's Design Review Team has reviewed the site and landscaping plans for the site and provided comments and recommendations for improvements to the plan.

Section 50-3-70 of the Zoning Ordinance lists eight approval criteria on which zoning map amendments must be based. Following are the relevant criteria with the CPC's analysis for consideration:

- Whether the proposed amendment corrects an error or meets the challenge of some changing condition, trend or fact. The approval and expansion of the PD would allow for the applicant to complete the construction of the Perfecting Church and remove the blighting impact that the site has been for a number of years.

Lastly, Section 50-11-15 of the Zoning Ordinance lists design criteria for the evaluation of Planned Developments. Following are the relevant criteria with the CPC's analysis for consideration:

- Scale, form, massing and density should be appropriate to the nature of the project and relate well to surrounding development. The scale and form of this development is slightly changed from what was previously approved by City Council in 2004 – there is the elimination of the 4-story parking deck and separate administrative building, but an expansion of surface parking.
- Rights-of-way, easements, and dedications. Where appropriate, adequate rights-of-way, easements and dedications should be provided for trafficways, utilities and community

facilities. In 2005, the applicant vacated nine streets and alleys that were previously located on the subject site.

- Screening. Appropriate buffering and screening of service, loading, refuse collection, mechanical and electrical equipment and of parking areas should be provided. The applicant has proposed right-of-way screening, interior landscaping, residential screening, and fences to screen the site from surrounding uses.
- Urban design. Urban design elements of form and character, especially in intensely developed areas, should be carefully considered. Such elements include, but are not limited to: richness and interest of public areas through the provision of storefronts, window displays, landscaping, and artwork; color, texture and quality of structural materials; enclosure of public spaces; variations in scale; squares, plazas and/or "vest pocket parks" where appropriate; continuity of experience, visual activity and interest; articulation and highlighting of important visual features; and preservation and enhancement of important views and vistas. The applicant is proposing to include a sign wall, fountain, amphitheater, covered patio, and community garden as community gathering spaces within the footprint of the campus.

CONCLUSION AND RECOMMENDATION

In conclusion, based on the public hearings, above analysis, and review of approval criteria listed in the Zoning Ordinance, the CPC voted at its meeting on December 7, 2023, to recommend **APPROVAL** of the request with the following conditions:

1. The site plan be revised to provide right-of-way screening, landscaping, and fencing that is acceptable to CPC staff in coordination with P&DD to reflect the intent of Section 50-14-341 (Right-of-way screening), Section 50-14-342 (Residential screening), and Section 50-14-368 (Fences and walls) of the Detroit Zoning Ordinance.
2. That all development must be in accordance with the site plans, elevations, landscape, lighting, and signage plans in the drawings dated December 7, 2023 and prepared by DLZ Corporation.
3. That any parcels not owned by the developer including 1025 Carmel, 1045 Carmel, 938 Penrose, and 908 Balmoral Streets, but included in the re-established and expanded PD would be treated as R2 unless and until these lots are acquired by the developer and are incorporated into the religious institution complex development as either additional parking, access or landscaping.
4. That the developer submit results of its traffic impact study to CPC staff for analysis and consideration of site plan alteration prior to applying for issuance of any applicable permits.
5. That the final site, landscape, signage, elevations and stormwater plans be submitted by the developer to CPC staff for review and approval prior to application for issuance of applicable permits.

The approved-as-to-form Ordinance is attached for Your consideration.

Respectfully submitted,

Donovan Smith, CHAIRPERSON



Marcell R. Todd, Jr., Director
Christopher J. Gulock, AICP, City Planner
M. Rory Bolger, FAICP, City Planner

Attachment: Rezoning Ordinance
Updated District Map 62
Notice of Public Hearing
2023 Perfecting Church Site and Landscaping Plans
Master Plan Interpretation

cc: Antoine Bryant, Director, P&DD
Karen Gage, P&DD
Greg Moots, P&DD
Dave Bell, Director, BSEED
Conrad Mallett, Corporation Counsel

SUMMARY

This ordinance amends Chapter 50 of the 2019 Detroit City Code, *Zoning*, by amending Article XVII, *Zoning District Maps*, Section 50-17-64, *District Map No. 62*, to (i) show a PD Planned Development zoning classification where a R2 Two-Family Residential zoning classification is currently shown on land generally bounded by Carmel Street, Bauman Street, and vacated Penrose Avenue, to allow for additional accessory parking for the religious institution; and (ii) establish the plans, terms, and conditions of a PD (Planned Development) District on land generally bounded by Woodward Avenue, Bryson Avenue, Bauman Street, and Larchwood Street, to allow for the construction of a religious institution and accessory parking lot.

1 **BY COUNCIL MEMBER _____** :

2 **AN ORDINANCE** to amend Chapter 50 of the 2019 Detroit City Code, *Zoning*, by
3 amending Article XVII, *Zoning District Maps*, Section 50-17-64, *District Map No. 62*, to (i) show
4 a PD Planned Development zoning classification where a R2 Two-Family Residential zoning
5 classification is currently shown on the land generally bounded by Carmel Street, Bauman Street,
6 and vacated Penrose Avenue, to allow for additional accessory parking for the religious institution;
7 and (ii) establish the plans, terms, and conditions of a PD (Planned Development) District on the
8 land generally bounded by Woodward Avenue, Bryson Avenue, Bauman Street, and Larchwood
9 Street, to allow for the construction of a religious institution and accessory parking lot.

10 **IT IS HEREBY ORDAINED BY THE PEOPLE OF THE CITY OF DETROIT THAT:**

11 **Section 1.** Chapter 50 of the 2019 Detroit City Code, *Zoning*, Article XVII, *Zoning District*
12 *Maps*, Section 50-17-64, *District Map No. 62*, is amended as follows:

13 **CHAPTER 50. ZONING**

14 **ARTICLE XVII. ZONING DISTRICT MAPS**

15 **Sec. 50-17-64. District Map No. 62.**

16 For the property generally bounded by Carmel Street, Bauman Street, and vacated Penrose
17 Avenue, and identified more specifically as:

18 LOTS 35-42, LOTS 70-78, LOTS 81-98, THAT PART OF LOTS 34, 79, 80 AND 99
19 LYING WEST OF BAUMAN AVENUE (50 FEET WIDE), PART OF LOTS 43, 68 AND
20 69, AND VACATED ROADS AND ALLEYS WITHIN “FOREST PARK SUBDIVISION
21 OF LOT 4” OF THE SUBDIVISION OF E ½ OF THE SW ¼ OF SECTION 2, TOWN 1
22 SOUTH, RANGE 11 EAST, GREENFIELD TOWNSHIP AND BEING A PART OF THE

1 CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 833
2 OF DEEDS, PAGE 248, WAYNE COUNTY RECORDS.

3 ALSO, LOTS 32-44 AND VACATED STREETS AND ALLEYS OF "STATE FAIR
4 SUBDIVISION" AS RECORDED IN LIBER 28 OF PLATS, PAGE 26, WAYNE
5 COUNTY RECORDS.

6 MORE PARTICULARLY DESCRIBED AS; COMMENCING AT A POINT WHERE THE
7 EASTERN RIGHT-OF WAY LINE OF WOODWARD STREET (204 FEET WIDE)
8 MEETS THE NORTHERLY RIGHT-OF-WAY LINE OF LARCHWOOD STREET (50
9 FEET WIDE); THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT-OF-
10 WAY LINE OF WOODWARD AVENUE NORTH 25 DEGREES 05 MINUTES 00
11 SECONDS WEST 442.13 FEET TO A POINT WHERE THE EASTERLY RIGHT-OF-
12 WAY LINE OF WOODWARD AVENUE MEETS THE SOUTHERLY RIGHT-OF-WAY
13 LINE OF BRYSON AVENUE (50 FEET WIDE); THENCE ALONG THE SOUTHERLY
14 RIGHT-OF-WAY LINE OF BRYSON AVENUE NORTH 57 DEGREES 00 MINUTES 44
15 SECONDS EAST 320.98 FEET; THENCE NORTH 25 DEGREES 10 MINUTES 35
16 SECONDS WEST 25.23 FEET; THENCE NORTH 57 DEGREES 00 MINUTES 44
17 SECONDS EAST 130.21 FEET TO THE POINT OF BEGINNING; THENCE NORTH 25
18 DEGREES 10 MINUTES 35 SECONDS WEST 295.82 FEET TO A POINT OF THE
19 SOUTHERLY RIGHT-OF-WAY LINE OF CARMEL STREET (60 FEET WIDE);
20 THENCE ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF CARMEL STREET
21 SOUTH 89 DEGREES 15 MINUTES 47 SECONDS EAST 572.95 FEET; THENCE
22 CONTINUING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF CARMEL
23 STREET NORTH 57 DEGREES 00 MINUTES 28 SECONDS EAST 187.43 FEET TO A

1 POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF BAUMAN AVENUE (50
2 FEET WIDE); THENCE ALONG THE WESTERLY RIGHT-OF-WAY LINE OF
3 BAUMAN AVENUE SOUTH 00 DEGREES 21 MINUTES 13 SECONDS WEST 585.35
4 FEET TO A POINT ON THE SOUTHERN RIGHT-OF-WAY LINE OF PENROSE
5 AVENUE (50 FEET WIDE) THENCE NORTH 89 DEGREES 39 MINUTES 12 SECONDS
6 WEST 244.86 FEET; THENCE NORTH 00 DEGREES 11 MINUTES 05 SECONDS EAST
7 50.01 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF PENROSE
8 AVENUE AND THE SOUTHWEST CORNER OF LOT 42 OF "FOREST PARK
9 SUBDIVISION LOT 4" AS RECORDED IN LIBER 833 OF DEEDS PAGE 248; THENCE
10 NORTH 14 DEGREES 48 MINUTES 41 SECONDS WEST 194.75 FEET; THENCE
11 NORTH 50 DEGREES 44 MINUTES 00 SECONDS WEST 79.55 FEET; THENCE
12 NORTH 89 DEGREES 40 MINUTES 27 SECONDS WEST 139.84 FEET; THENCE
13 SOUTH 57 DEGREES 00 MINUTES 44 SECONDS WEST 124.87 FEET TO THE POINT
14 OF BEGINNING. LAND HEREIN CONTAINS 5.18 ACRES MORE OR LESS.
15 BASIS OF BEARING IS THE WEST LINE OF IVANHOE ADDITION, IVANHOE
16 SMITH AND MATTHEWS SUB OF LOT 3 AND STATE FAIR SUBDIVISION. BEING
17 NORTH 25 DEGREES 05 MINUTES 00 SECONDS WEST.

18 (A) The existing R2 (Two-Family Residential) zoning classification is revised to the PD (Planned
19 Development) zoning classification.

20 (B) All development standards for PD (Planned Development) District created herein shall be in
21 accordance with the site plans, elevations, and other components of the development proposal
22 prepared by the DLZ Corporation in drawings dated December 7, 2023, subject to the
23 modifications described in Subsection (C) hereof.

1 (C) All development standards identified in Subsection (B) of this Section 1 are further subject to
2 the following conditions:

- 3 1. The site plan be revised to provide right-of-way screening, landscaping, and fencing
4 that is acceptable to City Planning Commission staff in coordination with Planning and
5 Development Department to reflect the intent of Section 50-14-341 (Right-of-way
6 screening), Section 50-14-342 (Residential screening), and Section 50-14-368 (Fences
7 and walls) of the Detroit Zoning Ordinance.
- 8 2. That any parcels not owned by the developer including 1025 Carmel, 1045 Carmel, and
9 938 Penrose, but included in the re-established and expanded PD would be treated as
10 R2 (Two-Family Residential District) unless and until these lots are acquired by the
11 developer and are incorporated into the religious institution complex development as
12 either additional parking, access or landscaping.
- 13 3. That the developer submit results of its traffic impact study to City Planning
14 Commission staff for analysis and consideration of site plan alteration prior to applying
15 for issuance of any applicable permits.
- 16 4. That the final site, landscape, signage, elevations and stormwater plans be submitted
17 by the developer to City Planning Commission staff for review and approval prior to
18 application for issuance of applicable permits.

19 **Section 2.** Chapter 50 of the 2019 Detroit City Code, *Zoning*, Article XVII, *Zoning District*
20 *Maps*, Section 50-17-64, *District Map No. 62*, is further amended as follows:

21 **CHAPTER 50. ZONING**

22 **ARTICLE XVII. ZONING DISTRICT MAPS**

23 **Sec. 50-17-64. District Map No. 62.**

1 For the property generally bounded by generally Woodward Avenue, Bryson Avenue,
2 Bauman Street, and Larchwood Street, identified more specifically as::

3 LOTS 1-26; THAT PART OF LOT 27 LYING WEST OF BAUMAN AVENUE (50 FEET
4 WIDE) AND THE VACATED ALLEY LYING ADJACENT TO SAID LOTS OF
5 "IVANHOE ADDITION SUBDIVISION" OF EAST 1/2 OF SOUTHWEST 1/4 OF
6 SECTION 2, TOWN 1 SOUTH, RANGE 11 EAST, GREENFIELD TOWNSHIP AND
7 BEING A PART OF THE CITY OF DETROIT AND RECORDED IN LIBER 18 OF
8 PLATS, PAGE 70, WAYNE COUNTY RECORDS.

9 LOTS 1-28; LOTS 33-58; THAT PART OF LOTS 29 AND 32 LYING WEST OF
10 BAUMAN AVENUE (50 FEET WIDE); VACATED BALMORAL AVENUE LYING
11 BETWEEN WOODWARD AVENUE AND BAUMAN AVENUE AND THE VACATED
12 ALLEYS LYING ADJACENT TO SAID LOTS OF "IVANHOE SMITH & MATTHEWS
13 SUBDIVISION" OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWN
14 1 SOUTH, RANGE 11 EAST GREENFIELD TOWNSHIP AND BEING A PART OF THE
15 CITY OF DETROIT AND RECORDED IN LIBER 18 OF PLATS, PAGE 16, WAYNE
16 COUNTY RECORDS.

17 LOTS 1-32; LOTS 44-67; THAT PART OF LOTS 33 LYING WEST OF BAUMAN
18 AVENUE (50 FEET WIDE); VACATED PENROSE AVENUE LYING BETWEEN
19 BRYSON STREET AND BAUMAN AVENUE; THAT PART OF LOTS 43, 68, 69 AND
20 VACATED WILDWOOD AVENUE LYING SOUTHERLY AND WESTERLY OF THE
21 FOLLOWING LINE; BEGINNING AT THE INTERSECTION OF THE EASTERLY
22 RIGHT-OF-WAY LINE OF BYRSON AVENUE AND THE SOUTHERLY RIGHT-OF-
23 WAY LINE OF WILDWOOD AVENUE; THENCE NORTHEASTERLY ALONG SAID

1 BYRSON AVENUE RIGHT-OF-WAY TO A POINT LOCATED 20 FEET NORTH OF
2 AND PERPENDICULAR TO THE SOUTHERLY RIGHT-OF-WAY LINE OF
3 WILDWOOD AVENUE; THENCE EASTERLY ON A LINE PARALLEL TO SAID
4 RIGHT-OF-WAY LINE OF WILDWOOD AVENUE 100.00 FEET; THENCE
5 SOUTHEASTERLY 77.53 FEET TO A POINT LOCATED 30 FEET SOUTHEASTERLY
6 AND 20 FEET EASTERLY OF THE NORTHWEST CORNER OF LOT 69; THENCE
7 SOUTHEASTERLY 192.67 FEET TO THE SOUTHWEST CORNER OF SAID LOT 42
8 AND THE POINT OF ENDING; ALSO INCLUDING THE VACATED ALLEYS LYING
9 ADJACENT TO SAID LOTS ALL BEING A PART OF "FOREST PARK SUBDIVISION
10 OF LOT 4" OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWN 1
11 SOUTH, RANGE 11 EAST, GREENFIELD TOWNSHIP AND BEING A PART OF THE
12 CITY OF DETROIT AS RECORDED IN LIBER 833 OF DEEDS, PAGE 248, WAYNE
13 COUNTY RECORDS.

14 ALSO THAT PORTION OF BRYSON AVENUE DESCRIBED AS BEGINNING ON THE
15 EASTERLY RIGHT OF WAY LINE OF BRYSON AVENUE (50 FEET WIDE) AT A
16 POINT BEING LOCATED 320.98 FEET ALONG THE SOUTHERLY RIGHT-OF-WAY
17 LINE OF BRYSON AVENUE FROM THE INTERSECTION WITH THE EASTERLY
18 RIGHT-OF-WAY LINE OF WOODWARD AVENUE, POINT ALSO BEING AT THE
19 INTERSECTION OF THE NORTHERLY EXTENDED RIGHT OF WAY LINE OF TROY
20 PLACE WITH THE SOUTHERLY LINE OF BRYSON AVENUE; THENCE FROM THIS
21 POINT OF BEGINNING NORTH 25 DEGREES 10 MINUTES 35 SECONDS WEST
22 25.23 FEET; THENCE NORTH 57 DEGREES 00 MINUTES 44 SECONDS WEST 255.08
23 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 27 SECONDS EAST 45.53 FEET

1 TO A POINT THAT IS LOCATED 20 FEET NORTH OF AND PERPENDICULAR TO
2 THE SOUTHERLY RIGHT-OF-WAY LINE OF WILDWOOD AVENUE; THENCE
3 ALONG THE RIGHT-OF-WAY LINE OF BRYSON AVENUE SOUTH 56 DEGREES 57
4 MINUTES 31 SECONDS WEST 296.56 FEET TO THE POINT OF BEGINNING.
5 MORE PARTICULARLY DESCRIBED AS; BEGINNING AT A POINT WHERE THE
6 EASTERN RIGHT-OF WAY LINE OF WOODWARD STREET (204 FEET WIDE)
7 MEETS THE NORTHERLY RIGHT-OF-WAY LINE OF LARCHWOOD STREET (50
8 FEET WIDE); THENCE NORTHWESTERLY ALONG THE EASTERLY RIGHT-OF-
9 WAY LINE OF WOODWARD AVENUE NORTH 25 DEGREES 05 MINUTES 00
10 SECONDS WEST 442.13 FEET TO A POINT WHERE THE EASTERLY RIGHT-OF-
11 WAY LINE OF WOODWARD AVENUE MEETS THE SOUTHERLY RIGHT-OF-WAY
12 LINE OF BRYSON AVENUE (50 FEET WIDE); THENCE ALONG THE SOUTHERLY
13 RIGHT-OF-WAY LINE OF BRYSON AVENUE NORTH 57 DEGREES 00 MINUTES 44
14 SECONDS EAST 320.98 FEET; THENCE NORTH 25 DEGREES 10 MINUTES 35
15 SECONDS WEST 25.23 FEET; NORTH 57 DEGREES 00 MINUTES 44 SECONDS EAST
16 255.08 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 27 SECONDS EAST 139.84
17 FEET; THENCE SOUTH 50 DEGREES 44 MINUTES 00 SECONDS EAST 79.55 FEET;
18 THENCE SOUTH 14 DEGREES 48 MINUTES 41 SECONDS EAST 194.75 FEET TO
19 THE SOUTHWEST CORNER OF LOT 42 OF "FOREST PARK SUBDIVISION LOT 4",
20 AS RECORDED IN LIBER 833 OF DEEDS, PAGE 248; THENCE SOUTH 00 DEGREES
21 11 MINUTES 05 SECONDS WEST 50.01 FEET TO THE SOUTHERLY RIGHT-OF-
22 WAY LINE OF PENROSE AVENUE (50 FEET WIDE); THENCE ALONG THE
23 SOUTHERLY RIGHT-OF-WAY LINE OF PENROSE AVENUE SOUTH 89 DEGREES

1 39 MINUTES 12 SECONDS EAST 244.86 FEET TO THE WESTERLY RIGHT-OF-WAY
2 LINE OF BAUMAN AVENUE (50 FEET WIDE); THENCE ALONG THE WESTERLY
3 RIGHT-OF-WAY OF BAUMAN AVENUE SOUTH 00 DEGREES 21 MINUTES 13
4 SECONDS WEST 451.92 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF
5 LARCHWOOD STREET (50 FEET WIDE); THENCE ALONG THE NORTHERLY
6 RIGHT-OF-WAY LINE OF LARCHWOOD STREET NORTH 89 DEGREES 33
7 MINUTES 50 SECONDS WEST 778.17 FEET TO THE POINT OF BEGINNING. LAND
8 HEREIN CONTAINS 11.88 ACRES MORE OR LESS.

9 (A) All existing development standards, including those defined in the PD (Planned Development)
10 District originally established by Ordinance 40-4, are hereby repealed.

11 (B) All development standards within the remaining and existing PD (Planned Development)
12 District shall henceforth be in accordance with the site plans, elevations, and other components of
13 the development proposal prepared by the DLZ Corporation in drawings dated December 7, 2023,
14 subject to the modifications described in Subsection (C) hereof.

15 (C) All development standards identified in Subsection (B) of this Section 2 are further subject to
16 the following conditions:

- 17 1. The site plan be revised to provide right-of-way screening, landscaping, and fencing
18 that is acceptable to City Planning Commission staff in coordination with Planning and
19 Development Department to reflect the intent of Section 50-14-341 (Right-of-way
20 screening), Section 50-14-342 (Residential screening), and Section 50-14-368 (Fences
21 and walls) of the Detroit Zoning Ordinance.
- 22 2. That any parcels not owned by the developer, including 908 Balmoral Streets, but
23 included in the re-established and expanded PD would be treated as R2 (Two-Family

1 Residential District) unless and until these lots are acquired by the developer and are
2 incorporated into the religious institution complex development as either additional
3 parking, access or landscaping.

4 3. That the developer submit results of its traffic impact study to City Planning
5 Commission staff for analysis and consideration of site plan alteration prior to applying
6 for issuance of any applicable permits.


7 4. That the final site, landscape, signage, elevations and stormwater plans be submitted
8 by the developer to City Planning Commission staff for review and approval prior to
9 application for issuance of applicable permits.

10 **Section 3.** All ordinances or parts of ordinances in conflict with this ordinance are
11 repealed.

12 **Section 4.** This ordinance is declared necessary for the preservation of the public peace,
13 health, safety, and welfare of the people of the City of Detroit.

14 **Section 5.** This ordinance shall become effective on the eighth (8th) day after publication
15 in accordance with Section 401(6) of Public Act 110 of 2006, as amended, M.C.L. 125.3401(6)
16 and Section 4-118, paragraph 3 of the 2012 Detroit City Charter.

Approved as to Form:



Conrad Mallett
Corporation Counsel

Donovan Smith
Chairperson
Melanie Markowicz
Vice Chair/Secretary
Marcell R. Todd, Jr.
Director

City of Detroit

CITY PLANNING COMMISSION
208 Coleman A. Young Municipal Center
Detroit, Michigan 48226
Phone: (313) 224-6225 Fax: (313) 224-4336
e-mail: cpc@detroitmi.gov

Kenneth R. Daniels
David Esparza, AIA, LEED
Ritchie Harrison
Lauren Hood, MCD
Gwen Lewis
Frederick E. Russell, Jr.
Rachel M. Udabe

NOTICE OF PUBLIC HEARING

The Detroit City Planning Commission will hold a public hearing in the Committee of the Whole Room, 13th Floor, Coleman A. Young Municipal Center, 2 Woodward Avenue, Detroit, Michigan 48226 at the date and time listed below. Virtual attendance is strongly encouraged as, pursuant to public health guidelines, the meeting room may be subject to space limitations. To attend the meeting virtually, please use the link toward the end of this notice.

THURSDAY, DECEMBER 7, 2023, AT 5:15 PM

The public hearing is to consider the request of Perfecting Church and City Planning Commission (CPC) as a co-petitioner to replace the existing PD (Planned Development) zoning classification at 19150 Woodward Avenue, the authorization for which has lapsed, with a new PD and site plan, and to show a PD zoning classification where a R2 (Two-Family Residential District) is currently shown on approximately 4.51 acres commonly known as 1001 Carmel Street. The lapsed PD at 19150 Woodward Avenue was created by Ordinance #40-04 of 2004; the proposed PD would amend Article XVII, Section 50-17-64, District Map No. 62, Chapter 50 of the 2019 Detroit City Code, *Zoning*. The 16-acre subject property is generally bounded by Carmel Street on the north, Bauman Avenue on the east, Larchwood Avenue on the south, and Woodward Avenue on the west. The accompanying map indicates parcels proposed by Perfecting Church to be rezoned from R2 to PD, parcels proposed by Perfecting Church for a replacement PD, and miscellaneous parcels proposed by CPC for replacement PD or for rezoning from R2 to PD.

The proposed PD would establish the “Perfecting Church Woodward Campus,” reflecting a reduced scope from the 2004 PD. The 168,000 square foot structure includes a 4,200-seat sanctuary with fellowship hall, chapel, administrative, and ancillary facilities. Surface parking would be provided for 720 vehicles.

The existing and proposed zoning district is generally defined by the Zoning Ordinance as follows:

PD – PLANNED DEVELOPMENT DISTRICT

This district will permit planned developments throughout the City and will be particularly useful in urban renewal areas. Such planned developments shall be substantially in accord with the goals and objectives of the Master Plan, by having a major land use that corresponds to the most general category of land use, which are Residential, Public/Civic/Institutional, Retail/Service/Commercial, Manufacturing, and Industrial, and Other, proposed in the Master Plan for the area involved. Such planned developments shall provide a desirable environment for the uses proposed and shall not be out of harmony with their general surroundings. The regulations of the district are designed to accomplish this by permitting flexibility in overall development while ensuring adequate safeguards and standards for public health, safety, convenience, and general welfare and, where applicable, encouraging historic preservation.

R2 – TWO-FAMILY RESIDENTIAL DISTRICT

The R2 Two-Family Residential District is designed to protect and enhance those areas developed or likely to develop with single- or two-family dwellings. The district regulations are designed to promote a suitable environment for homes and for activities connected with family life. The only principal uses permitted by right are single- and two-family dwellings. Additional uses are conditional.

The proposed PD is being considered by the City Planning Commission in accordance with the provisions of Article III, Divisions 3 and 4 of the Detroit Zoning Ordinance and requires the approval of the City Council after a public hearing and after receipt of a report and recommendation of the City Planning Commission.

All interested persons are invited to be present and be heard as to their views. Persons making oral presentations are encouraged to submit written copies, for the record, to the City Planning Commission via e-mail at cpc@detroitmi.gov. Public comment/testimony may be given at the appropriate times when called for during the meeting. If you desire to speak and are attending the meeting online, press the “raise your hand” icon at the bottom of the screen or press ALT-Y for a PC or OPT-Y for a MAC to raise your hand virtually. If attending by phone press *-9 to raise your hand.

If interpretation or translation services are needed, including for the hearing impaired, call the Department of Civil Rights, Inclusion & Opportunity at 313-224-4950. For further information on this proposal or the public hearing, please call (313) 224-6225.

To participate virtually in the CPC meeting, please use the following options.

Online:

<https://cityofdetroit.zoom.us/j/96355593579?pwd=TTloMzN5M3pmU1RKNXp1MjJlczN3UT09>

Or iPhone one-tap:

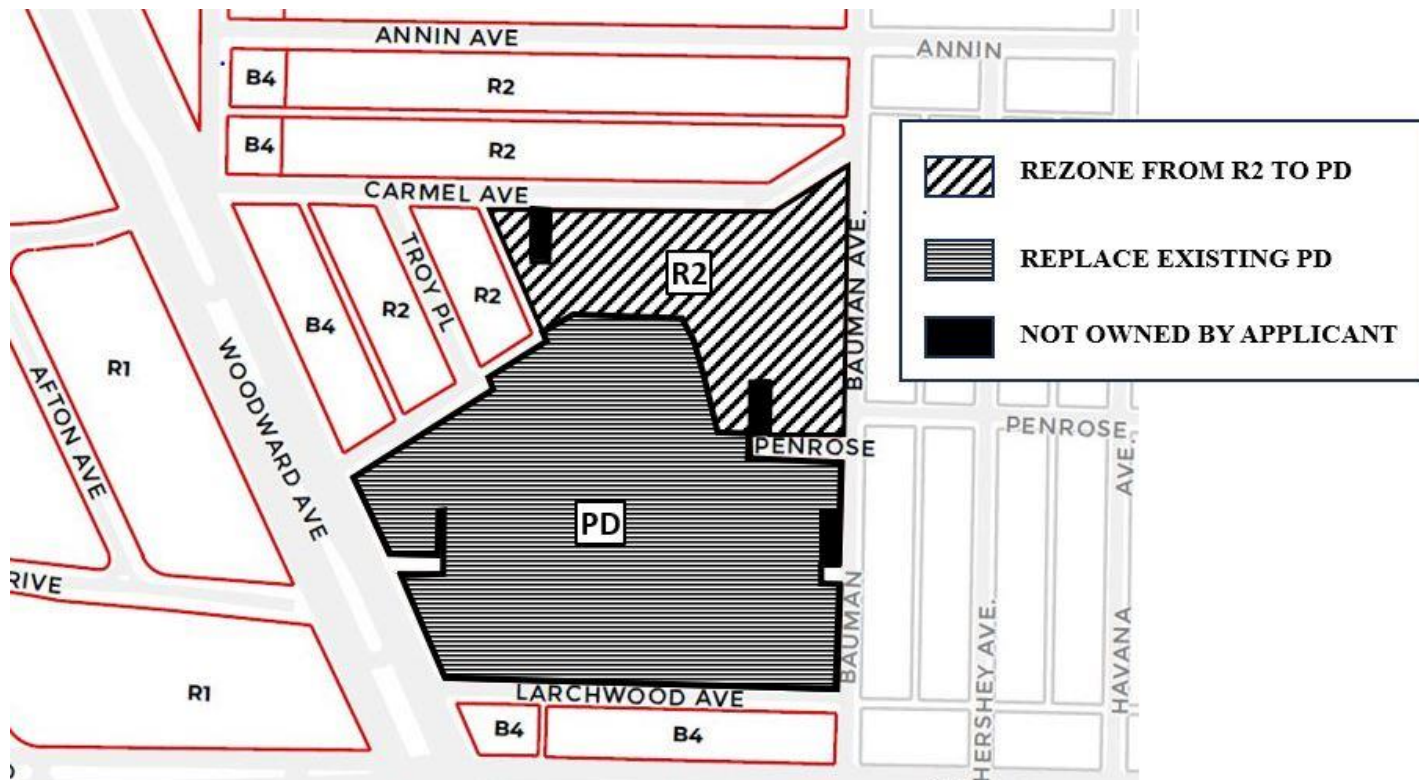
US: +12678310333,96355593579# or +13017158592,,96355593579#

Or by Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 267 831 0333 or +1 301 715 8592 or +1 312 626 6799 or +1 213 338 8477 or +1 253 215 8782 or +1 346 248 7799 Webinar ID: 963 5559 3579

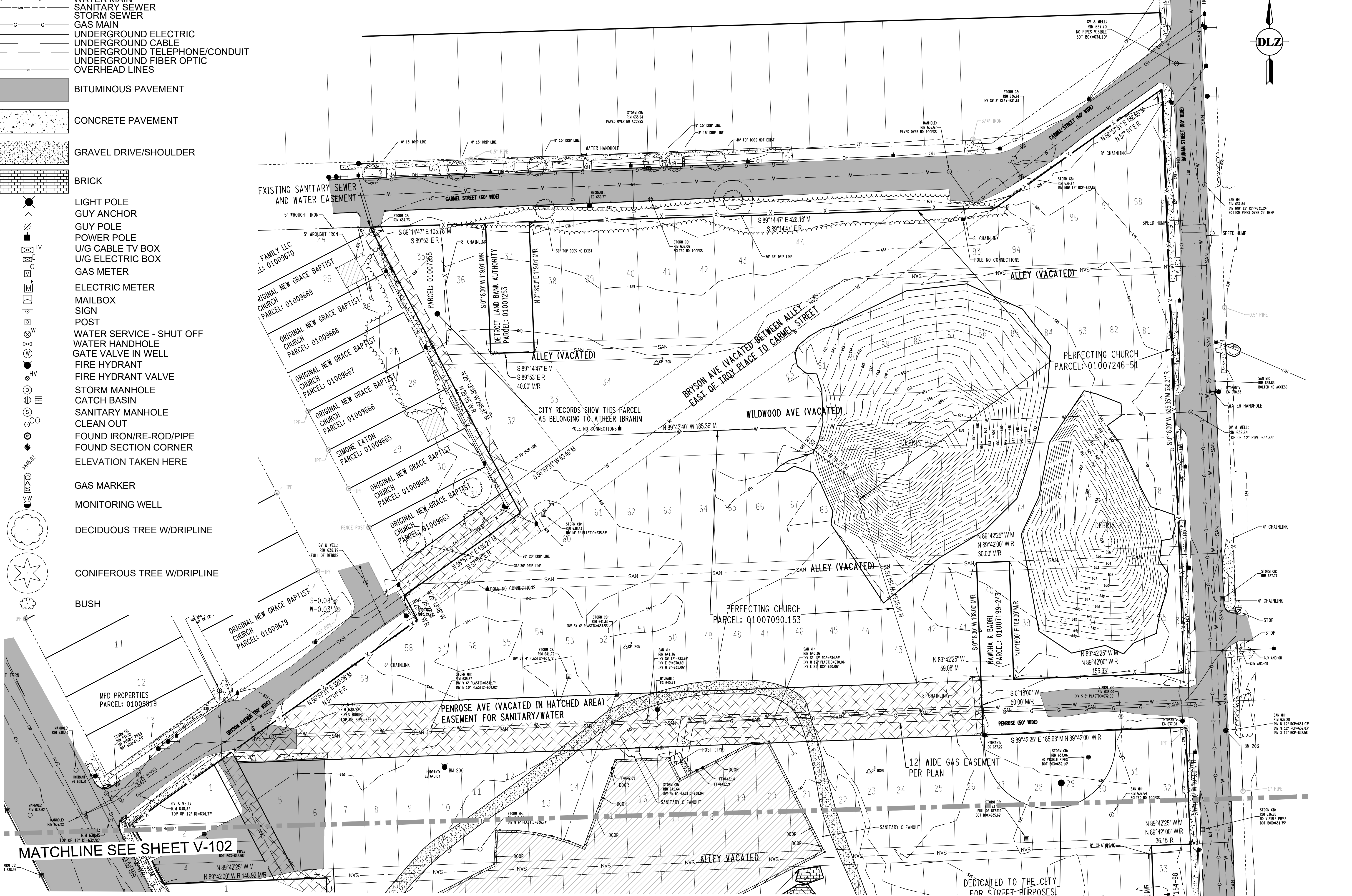
CPC Webpage: <https://detroitmi.gov/government/commissions/city-planning-commission>



THE PROPOSED REZONING AND PD MODIFICATION IS HIGHLIGHTED ON THE MAP

LEGEND

- EXISTING**
- WATER MAIN
 - SANITARY SEWER
 - STORM SEWER
 - GAS MAIN
 - UNDERGROUND ELECTRIC
 - UNDERGROUND CABLE
 - UNDERGROUND TELEPHONE/CONDUIT
 - UNDERGROUND FIBER OPTIC
 - OVERHEAD LINES
- BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL DRIVE/SHOULDER
 - BRICK
- LIGHT POLE
 - GUY ANCHOR
 - GUY POLE
 - POWER POLE
 - U/G CABLE TV BOX
 - U/G ELECTRIC BOX
 - GAS METER
 - ELECTRIC METER
 - MAILBOX
 - SIGN
 - POST
 - WATER SERVICE - SHUT OFF
 - WATER HANDHOLE
 - GATE VALVE IN WELL
 - FIRE HYDRANT
 - FIRE HYDRANT VALVE
 - STORM MANHOLE
 - CATCH BASIN
 - SANITARY MANHOLE
 - CLEAN OUT
 - FOUND IRON/RE-ROD/PIPE
 - FOUND SECTION CORNER
 - ELEVATION TAKEN HERE
 - GAS MARKER
 - MONITORING WELL
 - DECIDUOUS TREE W/DRIPLINE
 - CONIFEROUS TREE W/DRIPLINE
 - BUSH



MATCHLINE SEE SHEET V-102

TOPOGRAPHIC AND BOUNDARY SURVEY (NORTH)
 SCALE: 1" = 40'
 SCALE IN FEET



NOT FOR CONSTRUCTION



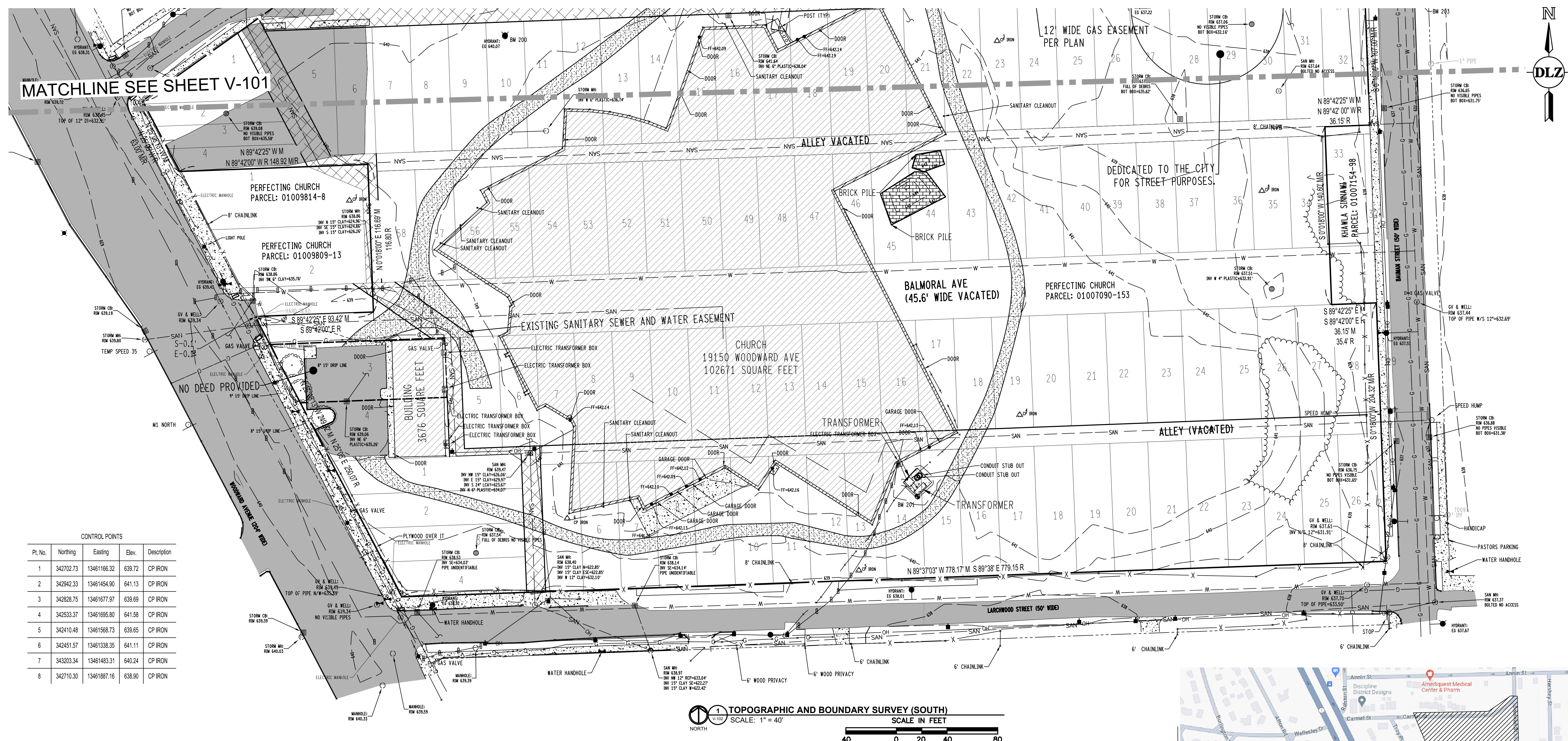
NO.	REVISION	DATE
1	CPC/PUBLIC HEARINGS	12-7-2023

DESIGNED	APPROVED	DATE	PROJECT NUMBER
			2342-7656-00

MICHIGAN

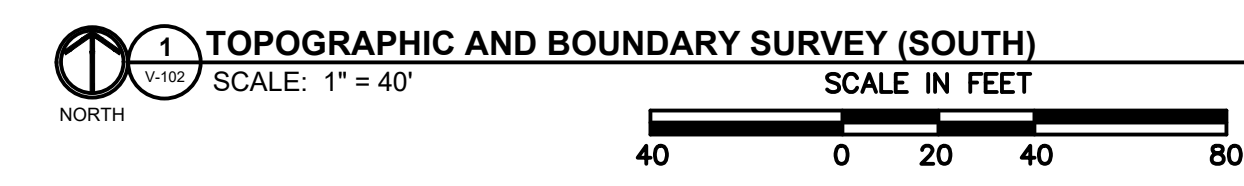
Perfecting Church
 Perfecting Church Cathedral
 TOPOGRAPHIC AND BOUNDARY SURVEY (NORTH)

DETROIT
 DRAWING NUMBER
V-101
 CIVIL



CONTROL POINTS

Pl. No.	Northing	Easting	Elev.	Description
1	342702.73	13461166.32	639.72	CP IRON
2	342942.33	13461454.90	641.13	CP IRON
3	342828.75	13461677.97	639.69	CP IRON
4	342533.37	13461695.80	641.58	CP IRON
5	342410.48	13461568.73	639.65	CP IRON
6	342451.57	13461338.35	641.11	CP IRON
7	343203.34	13461483.31	640.24	CP IRON
8	342710.30	13461887.16	638.90	CP IRON



PROPERTY DESCRIPTION (BASED ON PROVIDED DEEDS)
 LOTS 1-12, 14-20, 24-26 AND THE WEST 5.43 FEET REAR AND WEST 5.10 FEET FRONT OF LOT 27 AS RECORDED IN LIBER 40278 PAGE 61 AND LOTS 13, 21-23 AS RECORDED IN LIBER 37883 PAGE 306 OF "IVANHOE ADDITION SUBDIVISION" BEING A PART OF THE CITY OF DETROIT AND RECORDED IN LIBER 18 OF PLATS, PAGE 70, WAYNE COUNTY RECORDS PROPERTY.

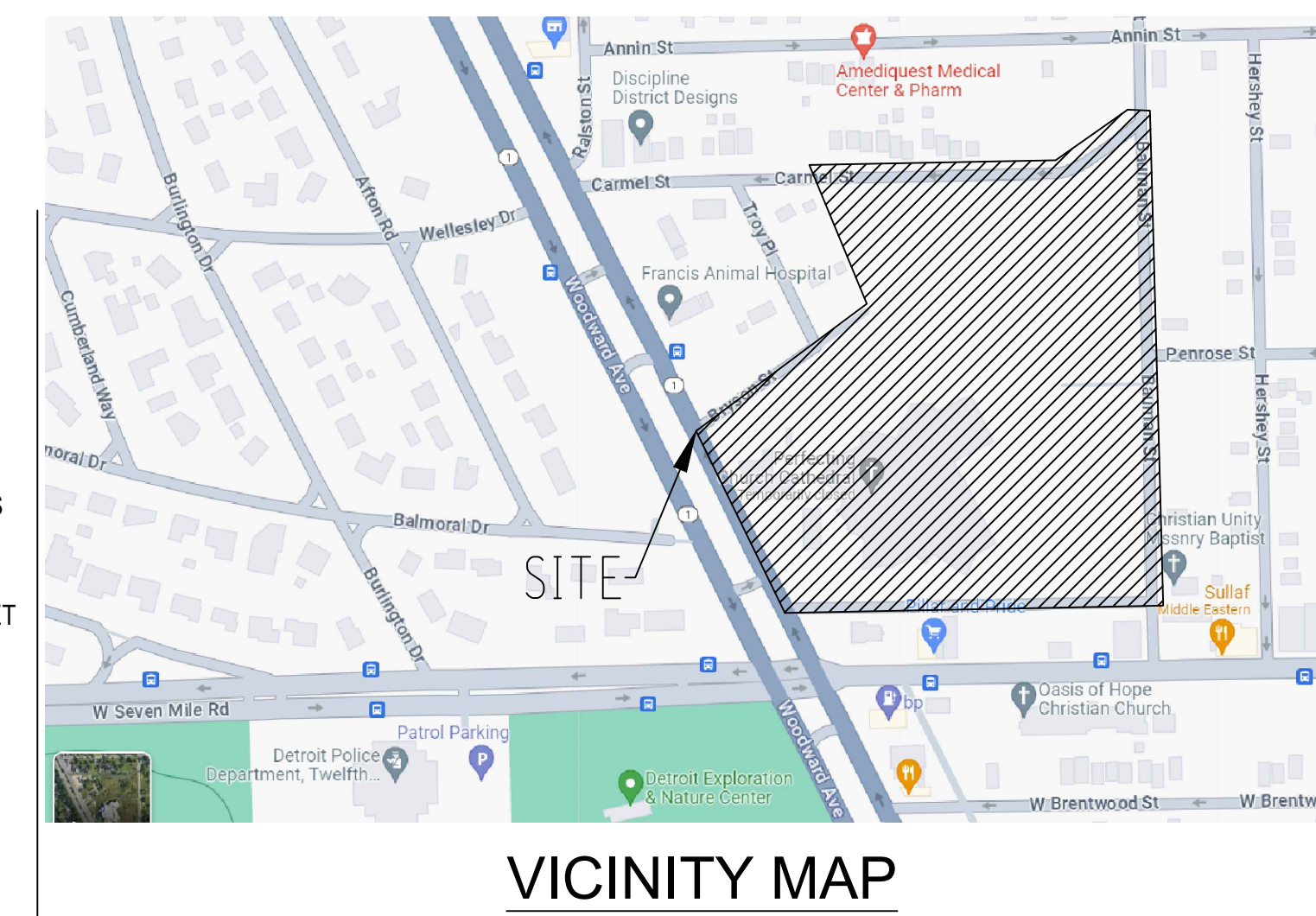
LOT 4 AS RECORDED IN LIBER 40410 PAGE 203, LOTS 5-9 AND 53-58 AS RECORDED IN LIBER 40278 PAGE 61, LOTS 10-19, 21, 24, 25, 28, 36, 38, 39, 43, 44, 46-48, 50-52, THE WEST 15 FEET OF LOT 42 AND THE WEST 5.40 FEET FRONT AND 5.02 FEET REAR OF LOT 29 AS RECORDED IN LIBER 39208 PAGE 1274, LOT 20 AS RECORDED IN LIBER 37743 PAGE 234, LOTS 22, 23 AND 37 AS RECORDED IN LIBER 36324 PAGE 982, LOT 26 AS RECORDED IN LIBER 40459 PAGE 236, LOTS 27, 34, 35, 40, THE WEST 15 FEET OF LOT 36 AND THE EAST 15 FEET OF LOT 37 AS RECORDED IN LIBER 37968 PAGE 925, LOT 37 AS RECORDED IN LIBER 36324 PAGE 982, LOT 41 AND THE EAST 15 FEET OF LOT 42 AS RECORDED IN LIBER 37818 PAGE 3131, LOTS 45 AND 49 AS RECORDED IN LIBER 37883 PAGE 306 ALL OF "IVANHOE SMITH & MATTHEWS SUBDIVISION" BEING A PART OF THE CITY OF DETROIT AND RECORDED IN LIBER 18 OF PLATS, PAGE 16, WAYNE COUNTY RECORDS.

LOTS 1-6 AS RECORDED IN LIBER 37889 PAGE 653, LOTS 7-17, 51, 52, 55-59, 73-76, 78, 80-83, 85, 87, THE WEST 4.88 FEET OF LOT 79 AND THE WEST 5.80 FEET OF LOT 80 AS RECORDED IN LIBER 40278 PAGE 57, LOTS 18, 20-27, 30, 31, EAST 19 FEET OF 35, 39, 41-50, 62, 94, 95, 97, 98 AND THE WEST 5.95 FEET OF LOTS 34 AND THE WEST 6.68 FEET FRONT AND 5.70 FEET REAR OF LOT 99 AS RECORDED IN LIBER 40278 PAGE 59, LOTS 19, 29, 54, 60, 61, 67, 70, 77, 84, 86, 93, 96, THE WEST 11 FEET OF LOT 35, THE EAST 15 FEET OF LOT 36, AND THE WEST 15 FEET OF LOT 68 AS RECORDED IN LIBER 37883 PAGE 306, LOT 32 AND THE WEST 5.90 FEET OF LOT 33 AS RECORDED IN LIBER 38831 PAGE 2494, THE EAST 15 FEET OF LOT 37 AND THE WEST 15 FEET OF LOT 36 AS RECORDED IN LIBER 37968 PAGE 925, THE WEST 15 FEET OF LOT 37 AND LOT 38 AS RECORDED IN LIBER 42051 PAGE 323, LOTS 53, 63, 65, 66, EAST 15 FEET OF LOT 68, 69, 71, 72 AND 88-92 AS RECORDED IN LIBER 39208 PAGE 1276, LOT 64 AS RECORDED IN LIBER 41153 PAGE 659 ALL OF "FOREST PARK SUB. OF LOT 4" OF THE SUBDIVISION OF E 1/2 OF THE SW 1/4 OF SECTION 2, TOWN 1 SOUTH, RANGE 11 EAST, GREENFIELD TOWNSHIP, WAYNE COUNTY, MICHIGAN, AS RECORDED IN LIBER 855 OF DEEDS, PAGE 248, WAYNE COUNTY RECORDS.

LOTS 34, 36 AND 44 AS RECORDED IN LIBER 39208 PAGE 1276, LOTS 32, 35, 38 AND 40-43 AS RECORDED IN LIBER 37883 PAGE 306, LOT 33 AS RECORDED IN LIBER 40883 PAGE 545 ALL OF "STATE FAIR SUBDIVISION" AS RECORDED IN LIBER 28 OF PLATS, PAGE 26, WAYNE COUNTY RECORDS.

ALSO LOT 39 OF "STATE FAIR SUBDIVISION" AND LOT 28 OF "FOREST PARK SUB" BASED ON DEEDS OF RECORD OF WAYNE COUNTY.

THE COMBINED ACREAGE OF THE PROVIDED DEEDS IS 15.97 ACRES MORE OR LESS.



ADDITIONAL DEEDS WILL NEED TO BE ACQUIRED OR A TITLE POLICY WILL HAVE TO BE COMPLETED TO RECTIFY ANY AMBIGUITIES BETWEEN THE CURRENT DEEDS AND ANY DIFFERENCES IN GIS TAX INFORMATION. THIS SPECIFICALLY RELATES TO LOTS 1-3 OF IVANHOE SMITH & MATHEWS SUBDIVISION, LOT 35 OF "FOREST PARK SUB" AND ANY ADJOINING PROPERTIES THAT ACCORDING TO TAX RECORDS DO NOT BELONG TO PERFECTING CHURCH BUT MAY HAVE BEEN ACQUIRED.

NO TITLE WAS PROVIDED AND ONLY PROVIDED EASEMENTS WERE PLOTTED AND SHOWN.

THE PLATS FOR IVANHOE ADDITION SUBDIVISION AND IVANHOE SMITH AND MATHEWS PLATS CONTAIN PETITION NO.1234 TO THE CITY OF DETROIT THAT SHOWS VACATIONS OF STREETS, ALLEYS AND ANY DEDICATIONS TO THE CITY.

WATER AND SEWER ARE DRAWN ACCORDING TO THE PROVIDED WATER AND SEWER MAPS, THESE SHOW UTILITIES IN THE VACATED STREETS.

BEARINGS ARE BASED ON THE RECORD BEARING ALONG BAUMAN AVENUE AS N 0°13'00" E AS SHOWN IN THE PLAT OF IVANHOE ADDITION AND THE PLAT FOR IVANHOE SMITH AND MATHEWS SUBDIVISION.

SITE IS IN ZONE X AREA OF MINIMAL FLOOD HAZARD BASED ON MAP 26163C0125E, EFFECTIVE ON 2/2/2012.

MISS DIG TICKET #2023091105028 RESPONDING UTILITIES:
 AT&T
 CENTURY LINK
 COMCAST
 DTE ELECTRIC
 DTE GAS
 GREAT LAKES WATER
 CITY OF DETROIT WATER AND SEWER

PRIOR TO CONSTRUCTION UTILITIES WILL NEED TO BE VERIFIED UTILITIES WERE PLOTTED USING THE PROVIDED INFORMATION.

BM 200 ELEV=664.06'
 ARROW ON HYDRANT


BM 201 ELEV=642.23'
 SQUARE CUT ON SOUTH CONCRETE CORNER OF TRANSFORMER PAD.

BM 202=641.30'
 SQUARE CUT ON SOUTHERN CONCRETE CORNER PAD LOCATED ON SOUTHERN SIDE OF BUILDING.

BM 203 ELEV=637.35'
 X-CUT ON WEST SIDE OF SANITARY MANHOLE RIM


TOPOGRAPHIC SURVEY AND CAD DRAWINGS REFERENCE:
 HORIZONTAL DATUM: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 2113, INTERNATIONAL FEET, NAD 83, 2011 ADJUSTMENT YEAR

VERTICAL DATUM: NAVD 1988 (BASED ON GPS OBSERVATION REFERENCED TO MSRN NETWORK)



DLZ
 ARCHITECTURE • ENGINEERING • PLANNING
 SURVEYING • CONSTRUCTION SERVICES
 DLZ MICHIGAN, LLC

NOT FOR CONSTRUCTION



PERFECTING CHURCH

NO.	REVISION	DATE
1	CPC PUBLIC HEARINGS	12-7-2023

DRAWN: MICHIGAN

DESIGNED: DISCIPLINE DISTRICT DESIGNS

APPROVED: AMEKQUEST MEDICAL CENTER & PHARM

DATE: DATE

PROJECT NUMBER: 2342-7656-00

PERFECTING CHURCH
 Perfecting Church Cathedral



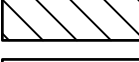
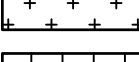



TOPOGRAPHIC AND BOUNDARY SURVEY (SOUTH)
 2342-7656-00

DRAWING NUMBER: **V-102**

DETROIT

CIVIL

REMOVAL LEGEND

-  CLEAR AND GRUB
-  REMOVE EXISTING ASPHALT PAVEMENT
-  REMOVE EXISTING CONCRETE PAVEMENT
-  REMOVE EXISTING BUILDING (BY OTHERS)
-  REMOVE EXISTING BRICK PILE
-  REMOVE EXISTING TREE
-  REMOVE EXISTING FENCE

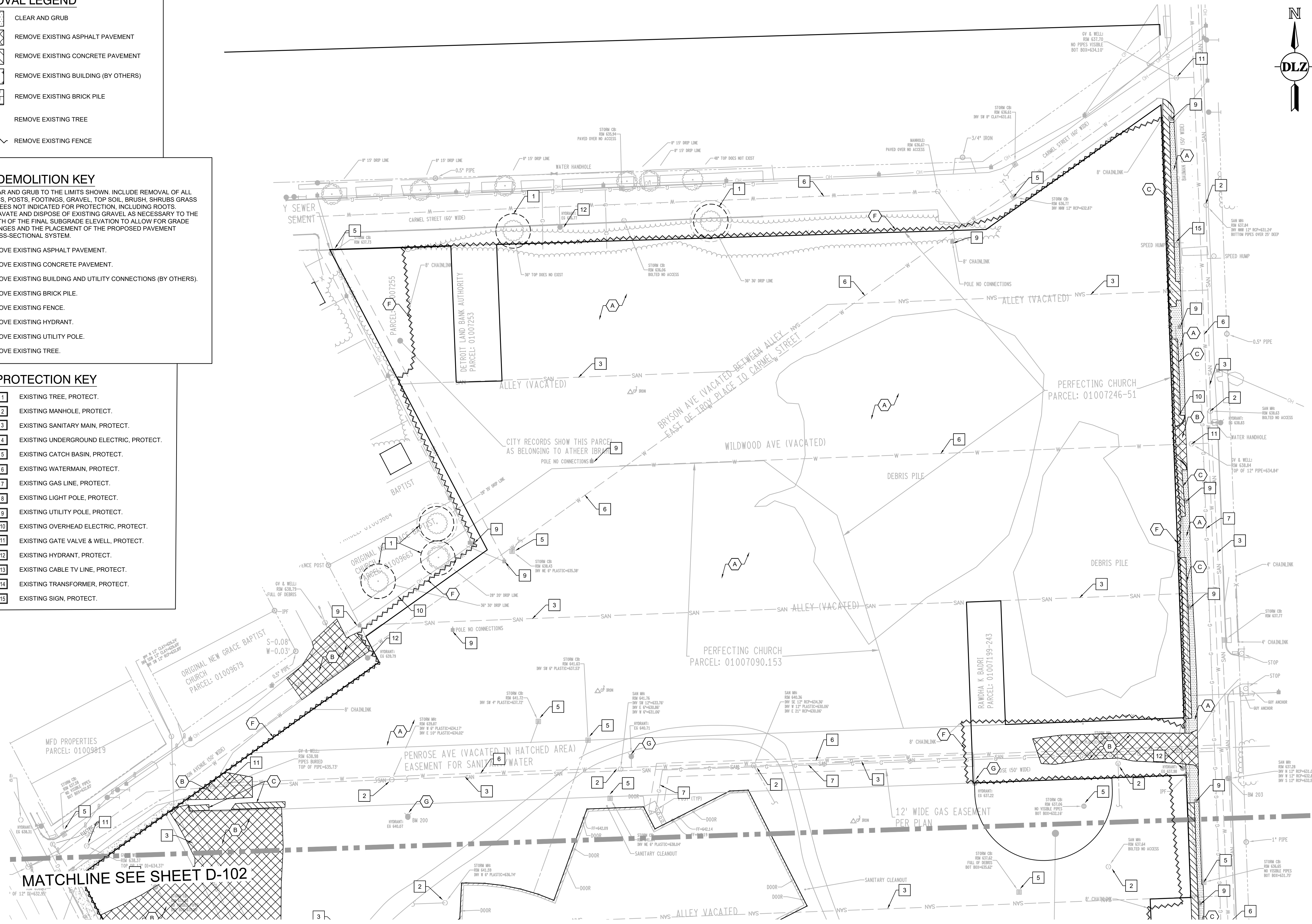
SITE DEMOLITION KEY

CLEAR AND GRUB TO THE LIMITS SHOWN. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, TOP SOIL, BRUSH, SHRUBS GRASS & TREES NOT INDICATED FOR PROTECTION, INCLUDING ROOTS. EXCAVATE AND DISPOSE OF EXISTING GRAVEL AS NECESSARY TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE PROPOSED PAVEMENT CROSS-SECTIONAL SYSTEM.

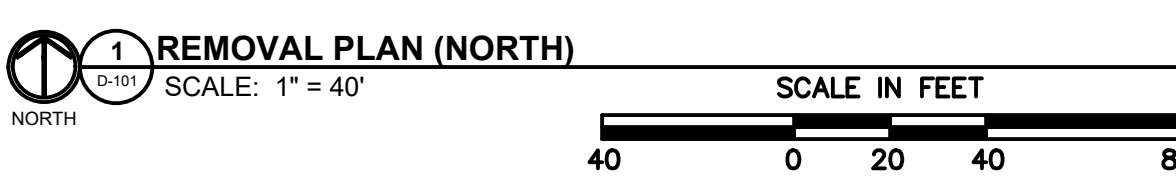
- (A)** REMOVE EXISTING ASPHALT PAVEMENT.
- (B)** REMOVE EXISTING CONCRETE PAVEMENT.
- (C)** REMOVE EXISTING BUILDING AND UTILITY CONNECTIONS (BY OTHERS).
- (D)** REMOVE EXISTING BRICK PILE.
- (E)** REMOVE EXISTING FENCE.
- (F)** REMOVE EXISTING HYDRANT.
- (G)** REMOVE EXISTING UTILITY POLE.
- (H)** REMOVE EXISTING TREE.

SITE PROTECTION KEY

- 1** EXISTING TREE, PROTECT.
- 2** EXISTING MANHOLE, PROTECT.
- 3** EXISTING SANITARY MAIN, PROTECT.
- 4** EXISTING UNDERGROUND ELECTRIC, PROTECT.
- 5** EXISTING CATCH BASIN, PROTECT.
- 6** EXISTING WATERMAIN, PROTECT.
- 7** EXISTING GAS LINE, PROTECT.
- 8** EXISTING LIGHT POLE, PROTECT.
- 9** EXISTING UTILITY POLE, PROTECT.
- 10** EXISTING OVERHEAD ELECTRIC, PROTECT.
- 11** EXISTING GATE VALVE & WELL, PROTECT.
- 12** EXISTING HYDRANT, PROTECT.
- 13** EXISTING CABLE TV LINE, PROTECT.
- 14** EXISTING TRANSFORMER, PROTECT.
- 15** EXISTING SIGN, PROTECT.



NOTE:
 CONTRACTOR SHALL UTILIZE A PRIVATE UTILITY LOCATOR TO STAKE PUBLIC AND PRIVATE UTILITY LOCATIONS PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITY LINES.



NOT FOR CONSTRUCTION



NO.	REVISION	DATE
1	CPC PUBLIC HEARINGS	12/27/2023

BRAWN: JMS	CHKD: YD	NO.	1
DESIGNED:	APPROVD:	DATE:	DATE:
PROJECT NUMBER		2342-7656-00	

MICHIGAN
 Perfecting Church
 Perfecting Church Cathedral
 REMOVAL PLAN (NORTH)

DETROIT
 DRAWING NUMBER
D-101
 CIVIL

NOT FOR
 CONSTRUCTION



DATE	REVISION	NO.	CHKD.	YD.
12-7-2023	CPIC PUBLIC HEARING	1		

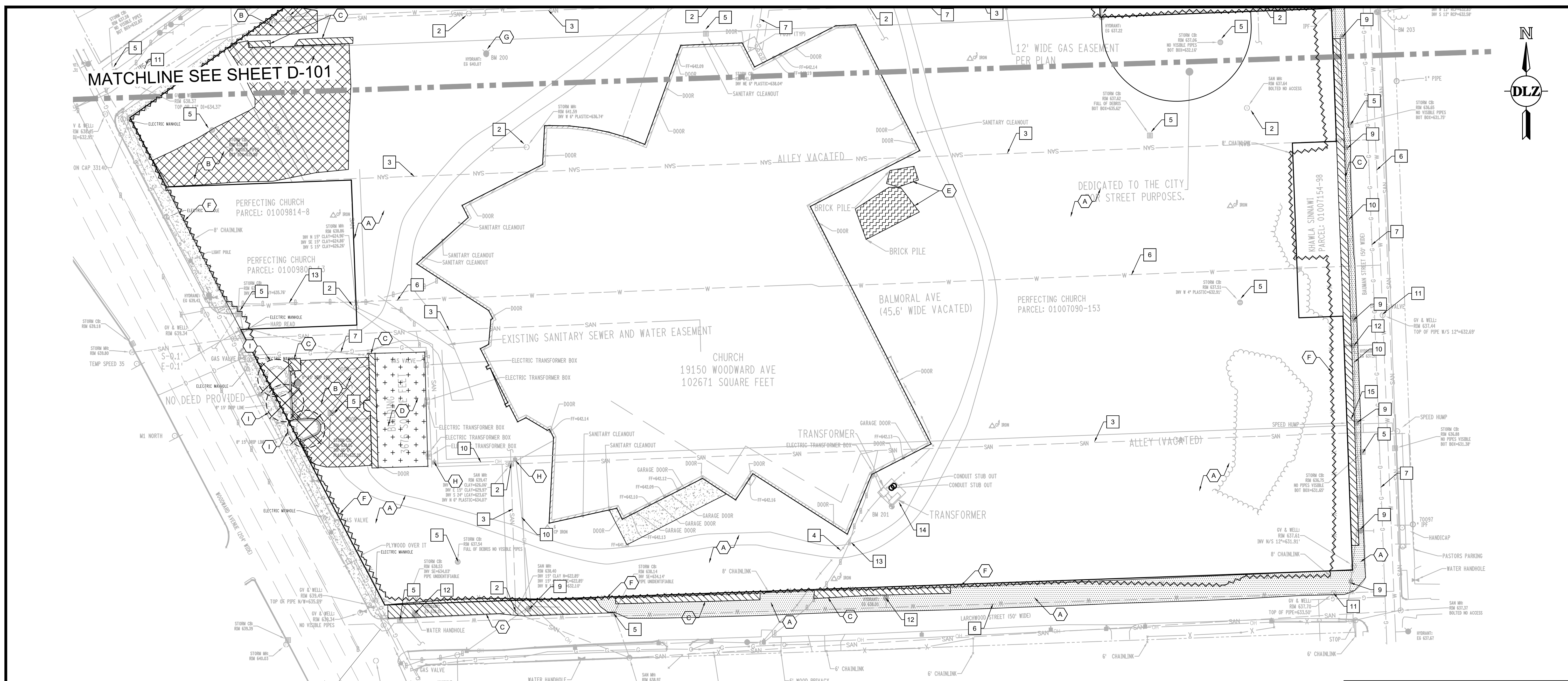
DRAWN: AMB
 DESIGNED: CPIC
 APPROVED: CPIC
 DATE: DATE
 PROJECT NUMBER: 2342-7656-00

MICHIGAN

Perfecting Church
 Perfecting Church Cathedral
 REMOVAL PLAN (SOUTH)

DETROIT

DRAWING NUMBER: **D-102**
 CIVIL

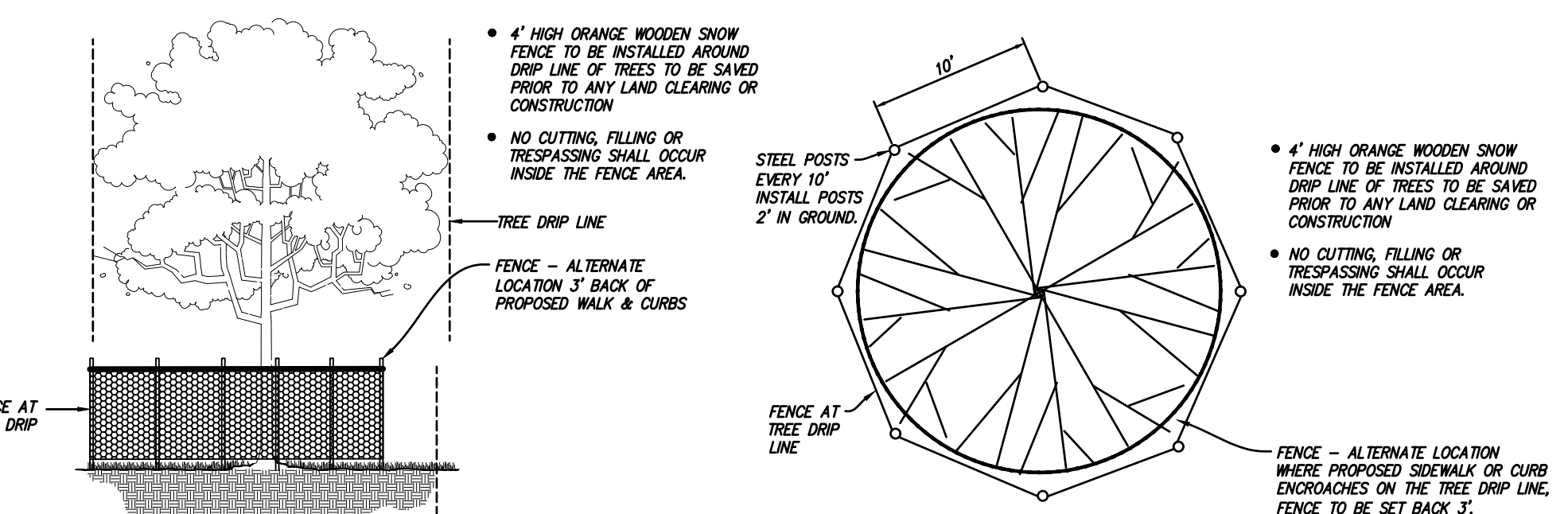
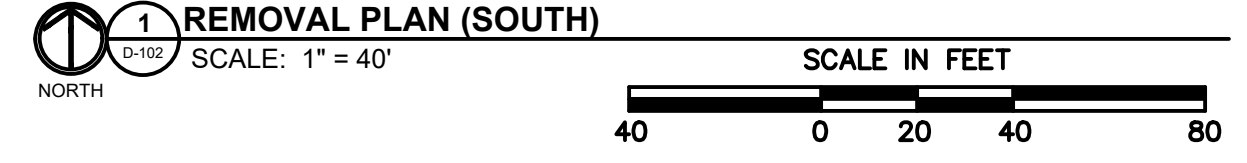


GENERAL REMOVAL NOTES

- THE INFORMATION CONTAINED ON THESE DRAWINGS PERTAINING TO EXISTING CONDITIONS, SUCH AS BUT NOT LIMITED TO, UTILITIES, TOPOGRAPHY, SUBSURFACE CONDITIONS, IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AND ITS ACCURACY IS NOT GUARANTEED. THE USE OF THIS INFORMATION DOES NOT PROVIDE RELIEF FOR THE CONTRACTOR FROM ANY RESPONSIBILITY FOR DAMAGES DUE TO ANY INACCURACIES.
- NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF REMOVAL AND DEMOLITION EITHER IS ON THE DRAWINGS OR IN THE SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND STUDY THE EXISTING PHYSICAL CONDITIONS, REVIEW DRAWINGS, AND REACH CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH THE INTENDED RESULTS DESCRIBED IN THE PROJECT DOCUMENTS.
- CONTRACTOR SHALL CONTACT MISSDIG AT LEAST 72 HOURS (3 FULL WORKING DAYS) PRIOR TO ANY EXCAVATION TO CONFIRM THE LOCATION OF EXISTING BURIED UTILITIES. COORDINATE THE RELOCATION OF EXISTING UTILITIES WITH THE UTILITY OWNER. BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES AND REPAIRING DAMAGE TO EXISTING UTILITIES RESULTING FROM THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF REPAIRING OR REPLACING ANY DAMAGED UTILITIES AT NO EXPENSE TO THE OWNER.
- CONTRACTOR SHALL PROVIDE A DESIGNATED AREA (TO BE APPROVED BY THE CITY OF DETROIT) FOR THE STORAGE OF EQUIPMENT AND PARKING OF THE REQUIRED EQUIPMENT. IF REQUIRED, PROVIDE FLAG MEN FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES: NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE CITY PROJECT REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE ALL TEMPORARY TRAFFIC CONTROL BARRICADES, SIGNS, LIGHTS, ETC. IN ACCORDANCE WITH THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC. MAINTAIN THESE DEVICES AT ALL TIMES DURING CONSTRUCTION.
- TOPSOIL STOCKPILE LOCATION TO BE DETERMINED. STOCKPILES SHALL NOT BE LOCATED WITHIN ROOTZONE OF EXISTING TREES OR OUTSIDE OF CONSTRUCTION LIMITS UNLESS OTHERWISE APPROVED BY THE ENGINEER. SUBMIT LOCATION FOR APPROVAL.
- ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH ENGINEERED FILL TO PROPOSED SUBGRADE.

GENERAL REMOVAL NOTES (CONT'D)

- REUSE OF ON-SITE TOPSOIL IS ANTICIPATED. CONTRACTOR SHALL CONFIRM SUITABILITY OF ON-SITE TOPSOIL FOR REUSE PER SPECIFICATIONS. IF UNSUITABLE OR INSUFFICIENT IN QUANTITY, CONTRACTOR SHALL PROVIDE ADDITIONAL TOPSOIL TO MEET NEEDS AS SPECIFIED.
- PROMPTLY REMOVE ALL DEMOTIONS, REMOVALS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND DISPOSE IN A LEGAL MANNER.
- REMOVALS SHALL BE INDICATED ON THE PLANS, TO THE NEAREST EXISTING CONTROL OR ISOLATION JOINT BEYOND THE AREA TO BE REMOVED. CONCRETE AND BITUMINOUS PAVEMENT SHALL BE SAWCUT TO FULL DEPTH AND SQUARE TO EX. CURB WHEN PRESENT. REMOVALS WILL BE MADE TO PROVIDE FOR PROPER GRADE TRANSITIONS AND CONNECTIONS.
- PRESERVE ALL SURVEY STAKES AND PROPERTY LINE MONUMENTS. ANY STAKES OR MONUMENTS DESTROYED OR DISTURBED IN THE COURSE OF THE WORK SHALL BE RESTORED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- RESTORE ALL STREET SURFACES, DRIVEWAYS, STAGING AREAS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF THE CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING HORIZONTAL AND VERTICAL CONTROL POINTS, BENCHMARKS, ETC. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CONSTRUCTION STAKING AND FIELD LAYOUT. IT IS RECOMMENDED THAT TWO (2) BENCHMARKS BE USED FOR VERIFICATION OF ALL CONSTRUCTION ELEVATIONS. SET ADDITIONAL BENCHMARKS, AS NEEDED, TO COMPLY WITH THIS REQUIREMENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC MAINTENANCE PLANS, PERMITS, AND COORDINATION WITH APPROPRIATE JURISDICTIONS REGARDING PUBLIC R.O.W. WORK.
- NO VEHICULAR TRAFFIC SHALL CROSS ROOTZONES OF TREES TO REMAIN OR OUTSIDE OF THE PROTECTION LIMITS. ALL TREE PROTECTION SHALL BE IN PLACE PRIOR TO THE START OF AN CONSTRUCTION ACTIVITIES ON SITE.
- EROSION CONTROL MEASURES TO BE IN PLACE PRIOR TO THE START OF EARTH-DISTURBING ACTIVITIES.
- ALL CASTINGS WITHIN CONSTRUCTION LIMITS SHALL BE RAISED TO GRADE AS REQUIRED TO MEET PROPOSED ELEVATIONS.



TREE PROTECTION FENCE

REMOVAL LEGEND

- CLEAR AND GRUB
- REMOVE EXISTING ASPHALT PAVEMENT
- REMOVE EXISTING CONCRETE PAVEMENT
- REMOVE EXISTING BUILDING (BY OTHERS)
- REMOVE EXISTING BRICK PILE
- REMOVE EXISTING TREE
- REMOVE EXISTING FENCE

SITE PROTECTION KEY

- 1 EXISTING TREE, PROTECT.
- 2 EXISTING MANHOLE, PROTECT.
- 3 EXISTING SANITARY MAIN, PROTECT.
- 4 EXISTING UNDERGROUND ELECTRIC, PROTECT.
- 5 EXISTING CATCH BASIN, PROTECT.
- 6 EXISTING WATERMAIN, PROTECT.
- 7 EXISTING GAS LINE, PROTECT.
- 8 EXISTING LIGHT POLE, PROTECT.
- 9 EXISTING UTILITY POLE, PROTECT.
- 10 EXISTING OVERHEAD ELECTRIC, PROTECT.
- 11 EXISTING GATE VALVE & WELL, PROTECT.
- 12 EXISTING HYDRANT, PROTECT.
- 13 EXISTING CABLE TV LINE, PROTECT.
- 14 EXISTING TRANSFORMER, PROTECT.
- 15 EXISTING SIGN, PROTECT.

SITE DEMOLITION KEY

- CLEAR AND GRUB TO THE LIMITS SHOWN. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, TOP SOIL, BRUSH, SHRUBS GRASS & TREES NOT INDICATED FOR PROTECTION, INCLUDING ROOTS. EXCAVATE AND DISPOSE OF EXISTING GRAVEL AS NECESSARY TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE PROPOSED PAVEMENT CROSS-SECTIONAL SYSTEM.
- REMOVE EXISTING ASPHALT PAVEMENT.
 - REMOVE EXISTING CONCRETE PAVEMENT.
 - REMOVE EXISTING BUILDING AND UTILITY CONNECTIONS (BY OTHERS).
 - REMOVE EXISTING BRICK PILE.
 - REMOVE EXISTING FENCE.
 - REMOVE EXISTING HYDRANT.
 - REMOVE EXISTING UTILITY POLE.

SITE DATA

ADDRESS: 19150 WOODWARD AVE, 19200 WOODWARD AVE,
19212 WOODWARD AVE, 1001 CARMEL

PARCEL ID: 01007090-153, 01009809-13,
01009814-8, 01007246-51

CURRENT ZONING: PD, R2

OVERALL PARCEL AREA: 16.6 AC (SF)

IMPERVIOUS SURFACE AREA: AC (SF)

LOT COVERAGE: %

FRONT SETBACK: 20 FT X FT

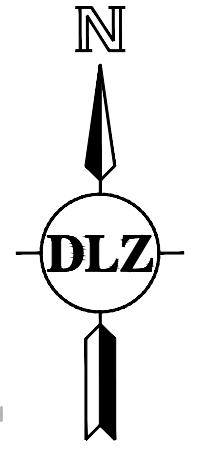
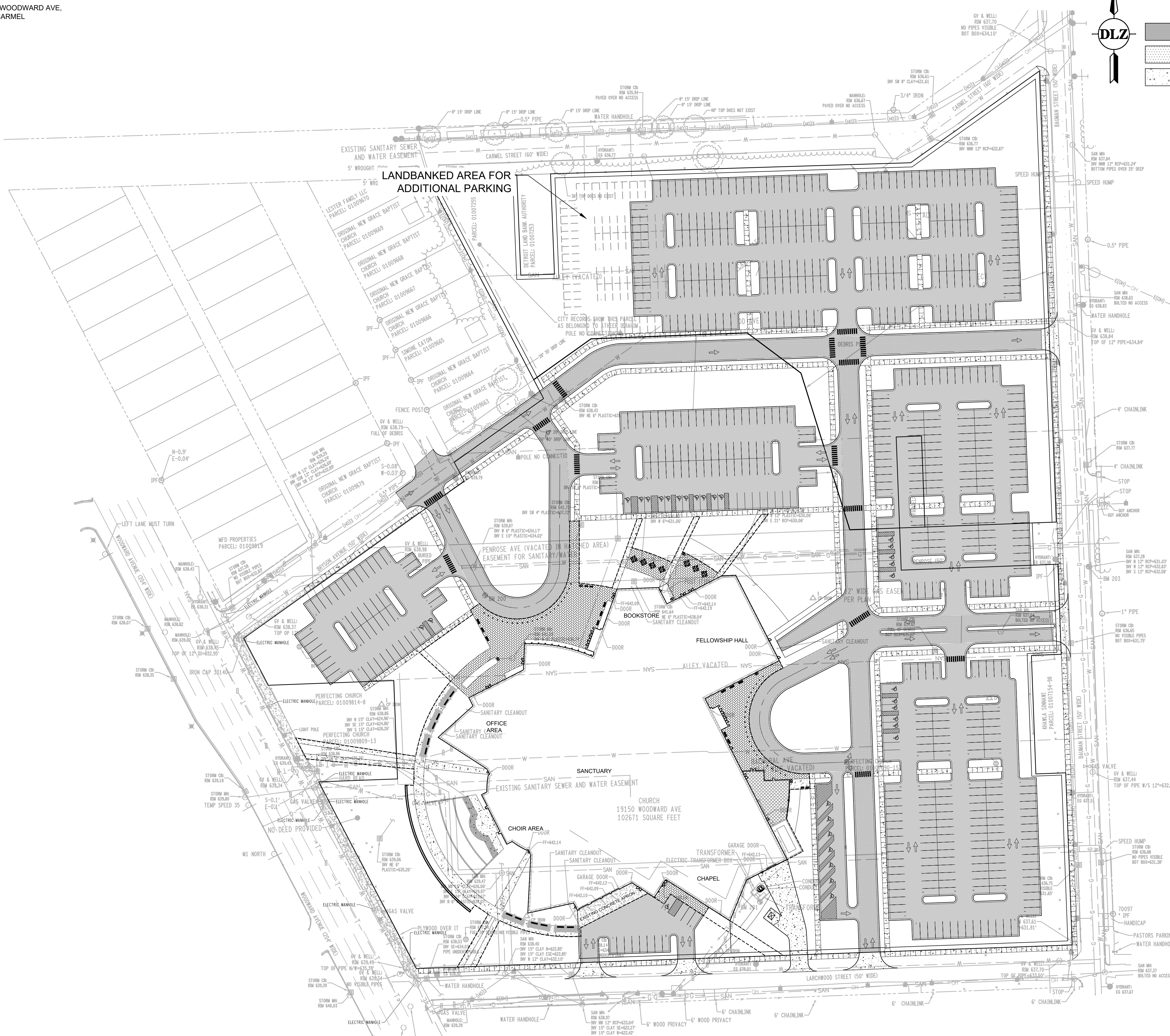
REAR SETBACK: 0 FT 0 FT

SIDE SETBACK: 10 FT 10 FT

NUMBER OF STALLS, TOTAL: 659

NUMBER OF STALLS WITH
LANDBANK AREA: 715

NUMBER OF ADA
ACCESSIBLE STALLS: 32



LEGEND

PROPOSED

[Solid Grey Box]	BITUMINOUS PAVEMENT
[Dotted Grey Box]	BITUMINOUS PAVEMENT FOR ROADWAY
[White Box with Dashed Border]	CONCRETE PAVEMENT

1 GENERAL SITE LAYOUT AND GEOMETRY PLAN
SCALE: 1" = 60'
SCALE IN FEET
60 0 30 60 120



NOT FOR CONSTRUCTION

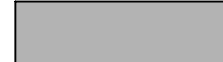

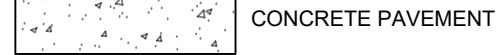


DATE	REVISION	NO.	CHKD:	YD
12-17-2023	CPC PUBLIC HEARINGS	1		

MICHIGAN
Perfecting Church
Perfecting Church Cathedral
GENERAL SITE LAYOUT AND GEOMETRY PLAN
2342-7656-00

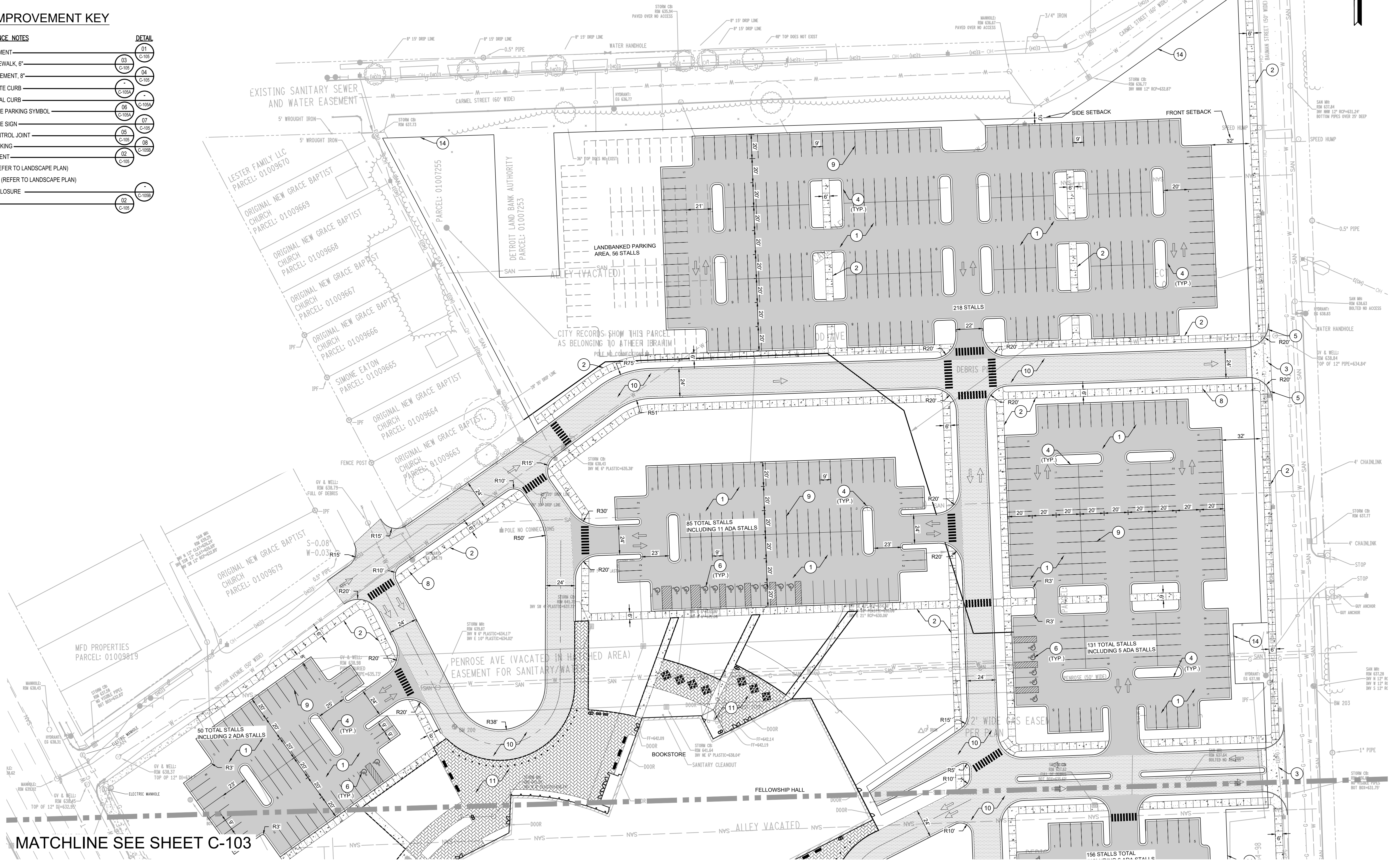
DRAWING NUMBER
C-101
CIVIL

LEGEND

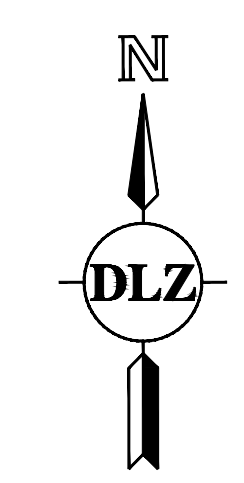
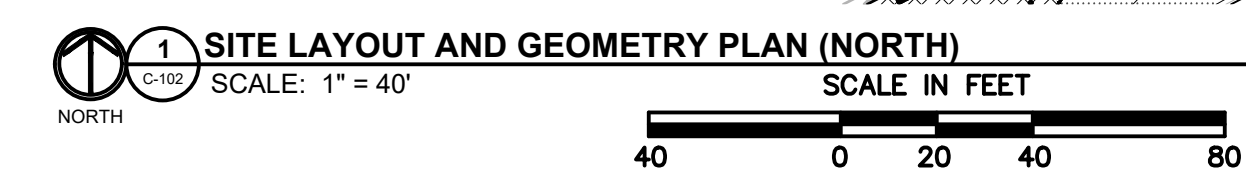
- PROPOSED**
-  BITUMINOUS PAVEMENT
 -  BITUMINOUS PAVEMENT FOR ROADWAY
 -  CONCRETE PAVEMENT

SITE IMPROVEMENT KEY

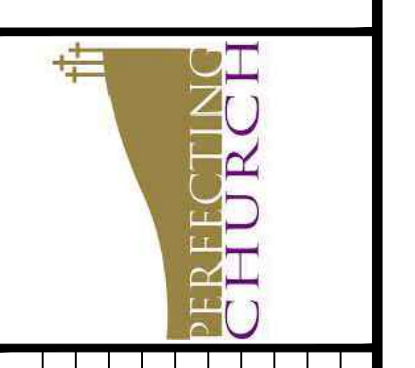
SYMBOL	REFERENCE NOTES	DETAIL
1	ASPHALT PAVEMENT	01 C-106
2	CONCRETE SIDEWALK, 6"	03 C-109
3	CONCRETE PAVEMENT, 6"	04 C-106
4	TYPE II SEPARATE CURB	05 C-109A
5	TYPE III INTEGRAL CURB	06 C-109A
6	ADA ACCESSIBLE PARKING SYMBOL	07 C-106
7	ADA ACCESSIBLE SIGN	08 C-106
8	CONCRETE CONTROL JOINT	09 C-109
9	PAVEMENT MARKING	10 C-109
10	STREET PAVEMENT	11 C-109
11	HARDSCAPE (REFER TO LANDSCAPE PLAN)	
12	AMPHITHEATER (REFER TO LANDSCAPE PLAN)	
13	DUMPSTER ENCLOSURE	02 C-106
14	FENCE	02 C-106



MATCHLINE SEE SHEET C-103



NOT FOR CONSTRUCTION



DATE	REVISION
12-7-2023	01 CPC PUBLIC HEARINGS

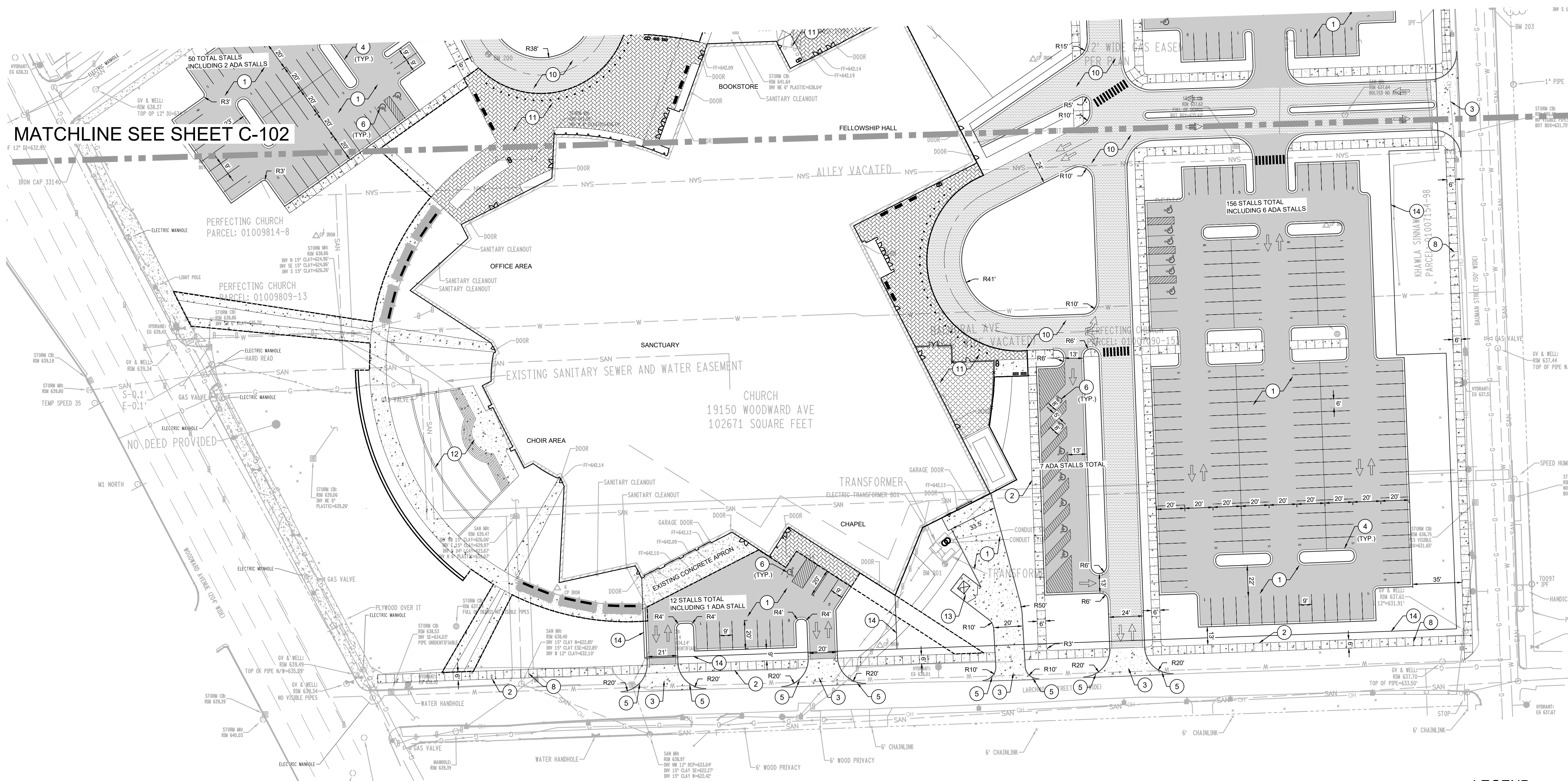
NO.	CHKD.	YD.
1		

DRAWN:	AMB.	CHKD.:	YD.
DESIGNED:		APPRVD.:	
DATE:		DATE:	
PROJECT NUMBER	2342-7656-00		

MICHIGAN
 Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRY PLAN (NORTH)

DETROIT
 DRAWING NUMBER
C-102
 CIVIL

MATCHLINE SEE SHEET C-102



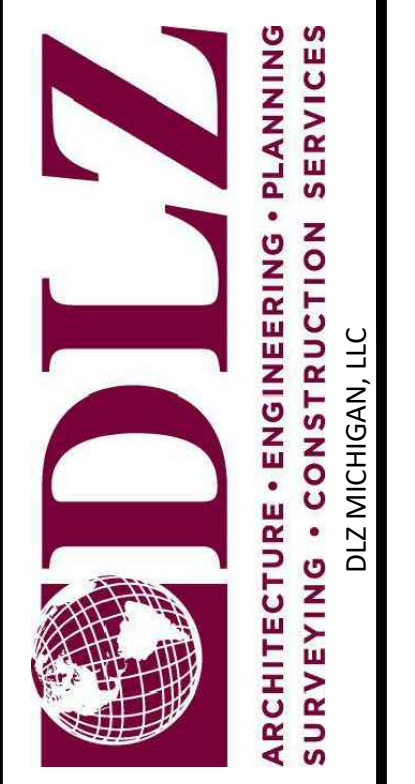
1 SITE LAYOUT AND GEOMETRY PLAN (SOUTH)
 SCALE: 1" = 40'
 SCALE IN FEET
 40 0 20 40 80

LEGEND

- PROPOSED**
- BITUMINOUS PAVEMENT
 - BITUMINOUS PAVEMENT FOR ROADWAY
 - CONCRETE PAVEMENT

SITE IMPROVEMENT KEY

SYMBOL	REFERENCE NOTES	DETAIL
1	ASPHALT PAVEMENT	01 C-105
2	CONCRETE SIDEWALK, 6"	03 C-105
3	CONCRETE PAVEMENT, 6"	04 C-105
4	TYPE II SEPARATE CURB	06 C-105A
5	TYPE III INTEGRAL CURB	06 C-105A
6	ADA ACCESSIBLE PARKING SYMBOL	07 C-105A
7	ADA ACCESSIBLE SIGN	07 C-105
8	CONCRETE CONTROL JOINT	05 C-105
9	PAVEMENT MARKING	02 C-105B
10	STREET PAVEMENT	02 C-105
11	HARDSCAPE (REFER TO LANDSCAPE PLAN)	
12	AMPHITHEATER (REFER TO LANDSCAPE PLAN)	
13	DUMPSTER ENCLOSURE	02 C-105B



NOT FOR CONSTRUCTION

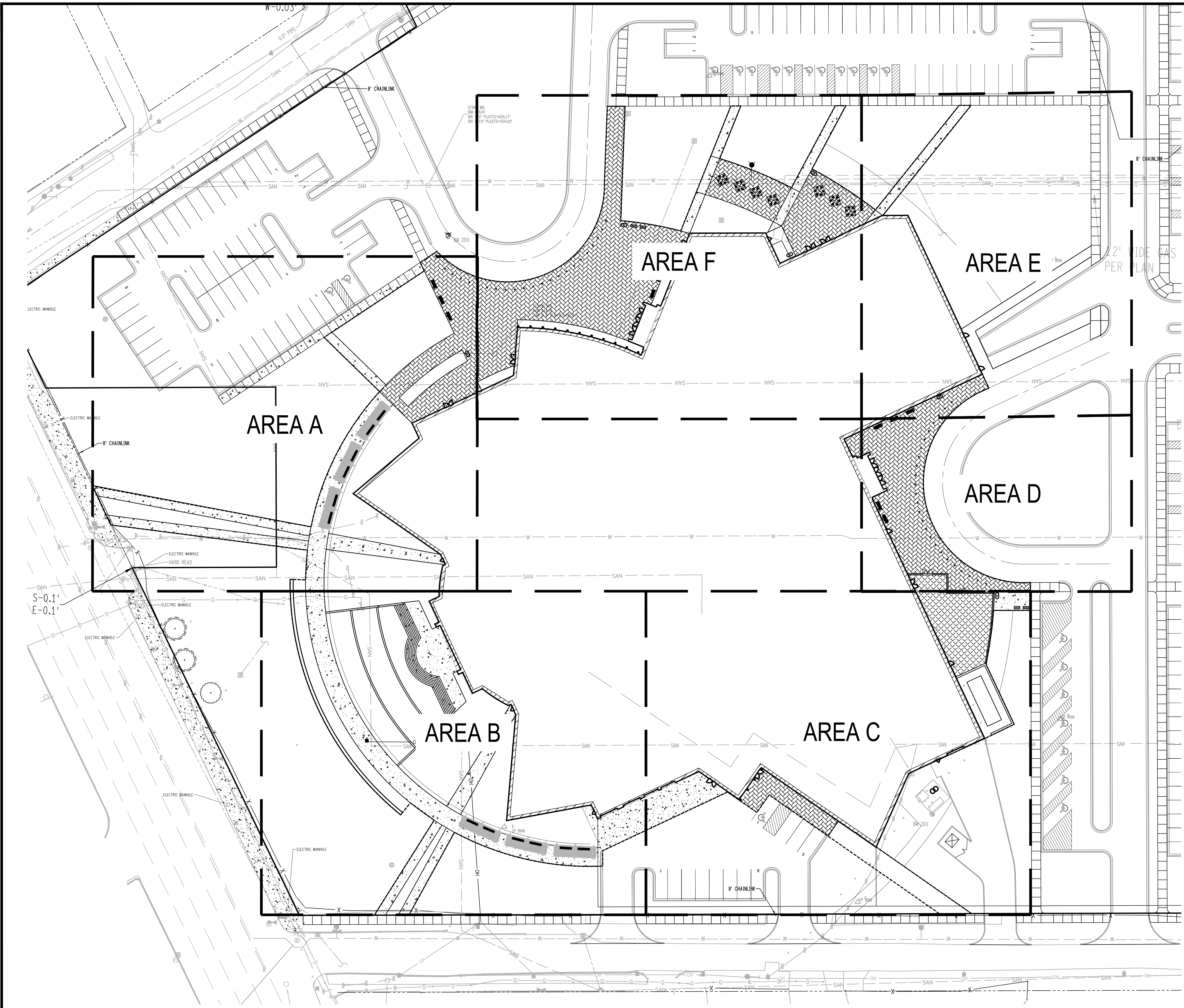


NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

DRAWN: AMB	CHKD: YD	PROJECT NUMBER	2342-7656-00
APPR'D: -	DATE: -		

MICHIGAN
 Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRY PLAN (SOUTH)

DETROIT
 DRAWING NUMBER
C-103
 CIVIL



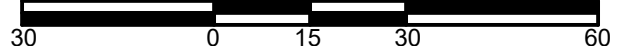
GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS INCIDENTAL TO CONSTRUCTION ACTIVITIES MAY BE PERMITTED WITH THE APPROVAL OF THE ARCHITECT. CONTRACTOR SHALL FIELD MARK ANY PROPOSED CHANGES TO THE CONSTRUCTION LIMITS FOR ARCHITECT APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- D. ALL AREAS DISTURBED, NOT BUILT, PAVED OR OTHERWISE COVERED BY CONSTRUCTION, SHALL BE SEEDED PER THE REQUIREMENTS OF SPEC. SECTION 329200. REFER TO SPECIFICATION SECTION 329113 FOR PLANTING/TOPSOIL MIX.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC MAINTENANCE PLANS, PERMITS, AND COORDINATION WITH APPROPRIATE JURISDICTIONS REGARDING PUBLIC R.O.W. WORK.
- F. CONCRETE JOINTING SHOWN TO IDENTIFY DESIGN INTENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS IDENTIFYING ALL EXPANSION, CONTROL & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

SITE IMPROVEMENT KEY

- ① CONCRETE PAVEMENT
 - ② ASPHALT BLOCK PAVERS
 - ③ TRELIS
 - ④ BENCH
 - ⑤ PIPE BOLLARD
 - ⑥ LOUVERED SCREEN WALL
 - ⑦ TRASH/RECYCLE RECEPTACLE
 - ⑧ TABLE WITH UMBRELLA
 - ⑨ AMPHITHEATER
 - ⑩ TURF
 - ⑪ P.I.P. RUBBER SURFACE
 - ⑫ DOUBLE PEDESTRIAN GATE
 - ⑬ SINGLE PEDESTRIAN GATE
 - ⑭ MULCHED PLANT BED
- ☐ REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE

1 GENERAL SITE IMPROVEMENTS AND GEOMETRIC PLAN
 SCALE: 1" = 30'-0"
 SCALE IN FEET



NOT FOR CONSTRUCTION



NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

DRAWN: NLF	CHK'D: JKH	NO.	1
DESIGNED: JKH	APPR'D: JKH	PROJECT NUMBER	2342-7656-00
DATE: DATE			

MICHIGAN
 Perfecting Church
 Perfecting Church Cathedral
 GENERAL SITE LAYOUT AND GEOMETRICS PLAN

DETROIT
 DRAWING NUMBER
C-104
 SITE DEVELOPMENT



1 SITE IMPROVEMENTS AND GEOMETRIC PLAN - AREA A
 SCALE: 1" = 10'-0"
 SCALE IN FEET

MATCH LINE - SEE SHEET L-106

MATCH LINE - SEE SHEET L-108

GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
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- F. CONCRETE JOINTING SHOWN TO IDENTIFY DESIGN INTENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS IDENTIFYING ALL EXPANSION, CONTROL & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT
 - 2 ASPHALT BLOCK PAVERS
 - 3 TRELLIS
 - 4 BENCH
 - 5 PIPE BOLLARD
 - 6 LOUVERED SCREEN WALL
 - 7 TRASH/RECYCLE RECEPTACLE
 - 8 TABLE WITH UMBRELLA
 - 9 AMPHITHEATER
 - 10 TURF
 - 11 P.I.P. RUBBER SURFACE
 - 12 DOUBLE PEDESTRIAN GATE
 - 13 SINGLE PEDESTRIAN GATE
 - 14 MULCHED PLANT BED
- REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



NOT FOR CONSTRUCTION



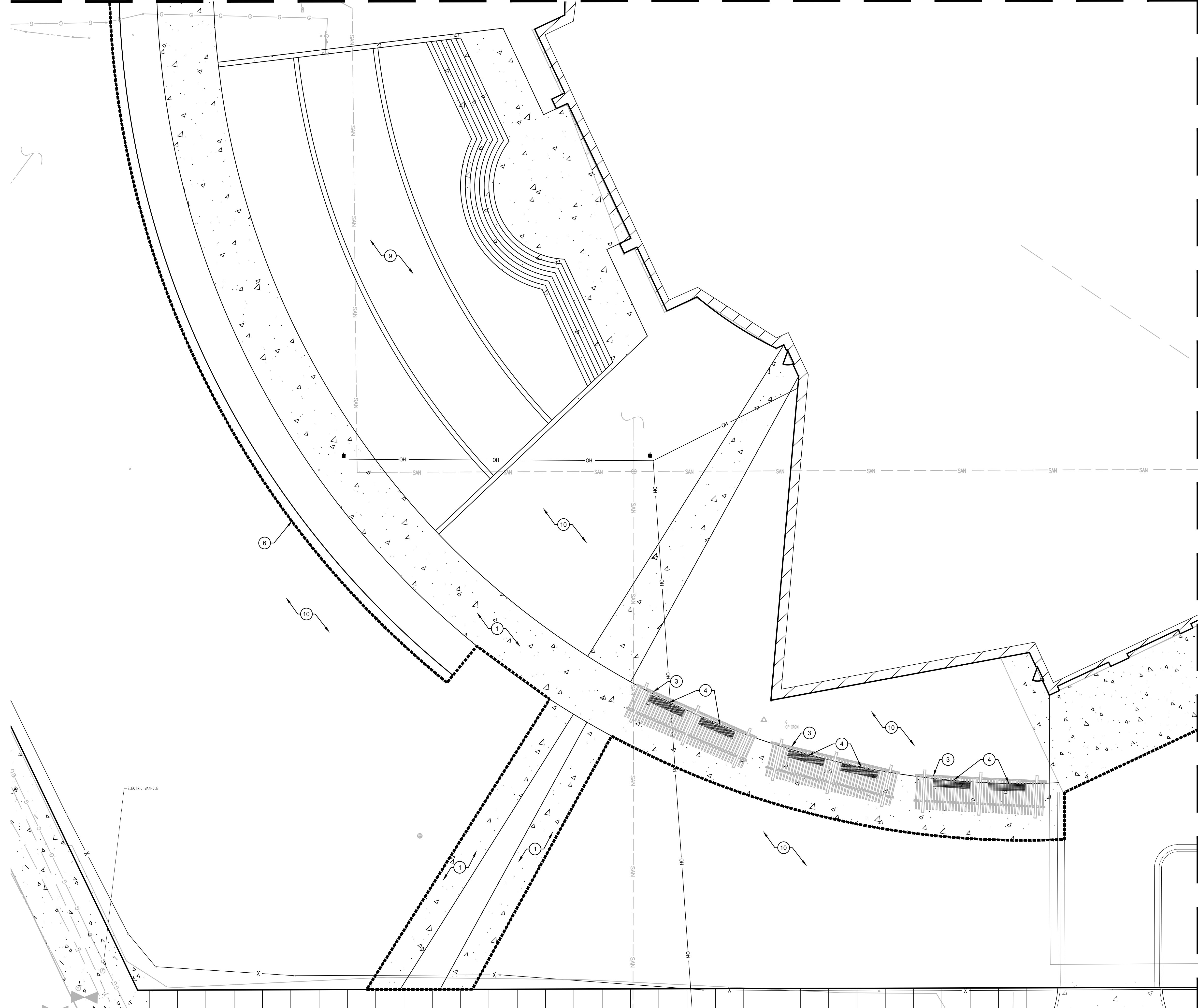
NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

DRAWN: NLF	CHK'D: JKH	NO.	1
DESIGNED: JKH	APPROVD: JKH	PROJECT NUMBER	2342-7656-00
DATE: DATE			

MICHIGAN
 Detroit
 Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN - AREA A

DRAWING NUMBER
C-105
 SITE DEVELOPMENT

MATCH LINE - SEE SHEET L-105



1 SITE IMPROVEMENTS AND GEOMETRIC PLAN - AREA B
 SCALE: 1" = 10'-0"
 SCALE IN FEET

MATCH LINE - SEE SHEET L-107

GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
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SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT
 - 2 ASPHALT BLOCK PAVERS
 - 3 TRELLIS
 - 4 BENCH
 - 5 PIPE BOLLARD
 - 6 LOUVERED SCREEN WALL
 - 7 TRASH/RECYCLE RECEPTACLE
 - 8 TABLE WITH UMBRELLA
 - 9 AMPHITHEATER
 - 10 TURF
 - 11 P.I.P. RUBBER SURFACE
 - 12 DOUBLE PEDESTRIAN GATE
 - 13 SINGLE PEDESTRIAN GATE
 - 14 MULCHED PLANT BED
- REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



NOT FOR CONSTRUCTION



NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

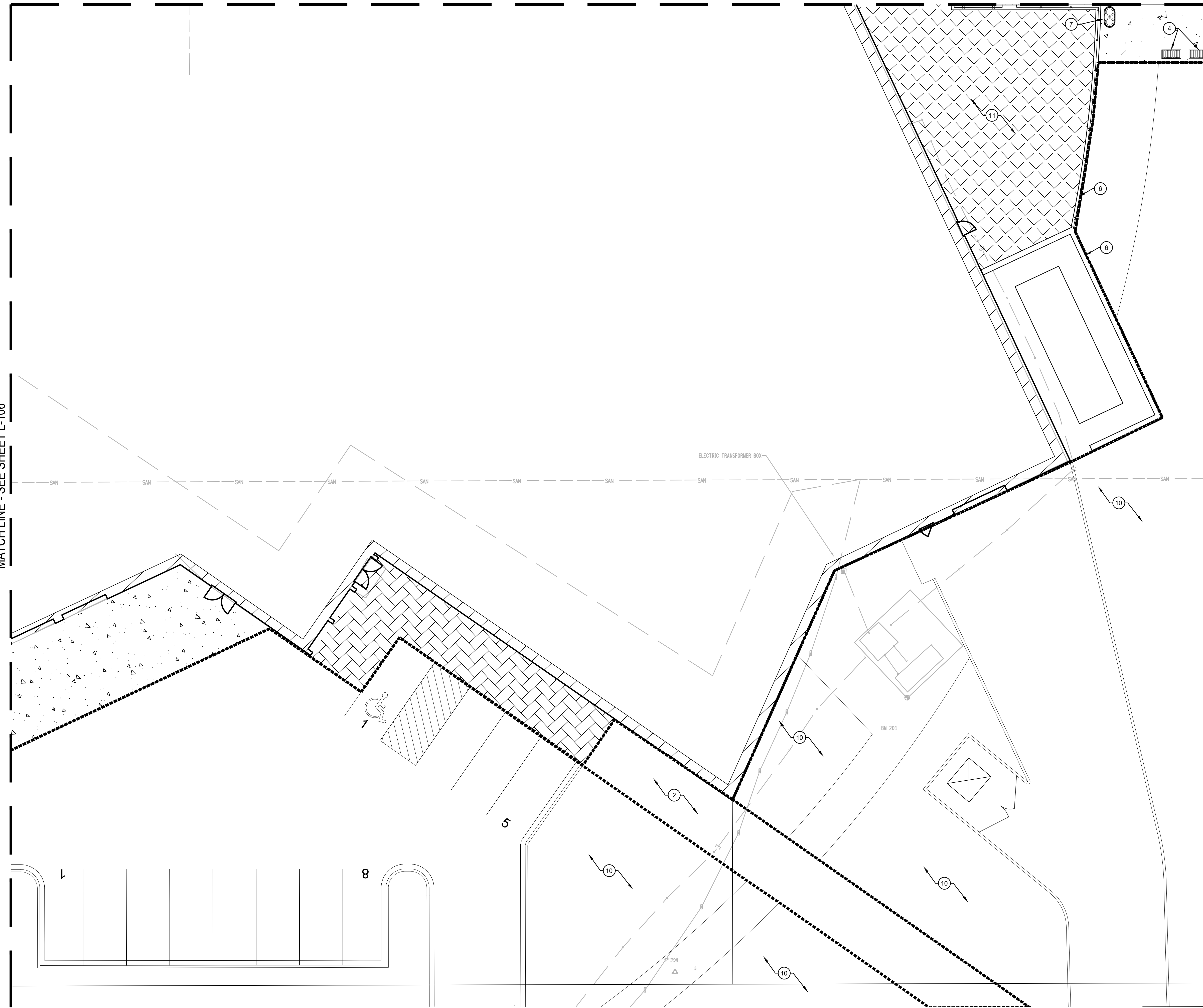
DRAWN: NLF	CHK'D: JKH	NO.	1
DESIGNED: JKH	APPROVD: JKH	PROJECT NUMBER	2342-7656-00
DATE: DATE			

MICHIGAN
 Detroit
 Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN -
 AREA B

DRAWING NUMBER
C-106
 SITE DEVELOPMENT

MATCH LINE - SEE SHEET L-110

MATCH LINE - SEE SHEET L-106



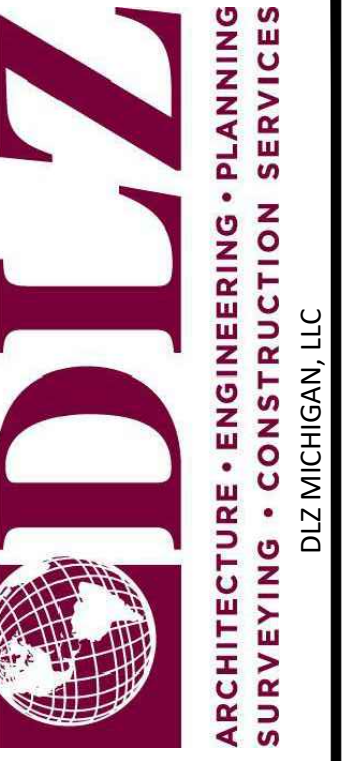
1 SITE IMPROVEMENTS AND GEOMETRIC PLAN - AREA C
SCALE: 1" = 10'-0"
SCALE IN FEET
NORTH

GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS INCIDENTAL TO CONSTRUCTION ACTIVITIES MAY BE PERMITTED WITH THE APPROVAL OF THE ARCHITECT. CONTRACTOR SHALL FIELD MARK ANY PROPOSED CHANGES TO THE CONSTRUCTION LIMITS FOR ARCHITECT APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- D. ALL AREAS DISTURBED, NOT BUILT, PAVED OR OTHERWISE COVERED BY CONSTRUCTION, SHALL BE SEEDED PER THE REQUIREMENTS OF SPEC. SECTION 329200. REFER TO SPECIFICATION SECTION 329113 FOR PLANTING/TOPSOIL MIX.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC MAINTENANCE PLANS, PERMITS, AND COORDINATION WITH APPROPRIATE JURISDICTIONS REGARDING PUBLIC R.O.W. WORK.
- F. CONCRETE JOINTING SHOWN TO IDENTIFY DESIGN INTENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS IDENTIFYING ALL EXPANSION, CONTROL & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT
 - 2 ASPHALT BLOCK PAVERS
 - 3 TRELLIS
 - 4 BENCH
 - 5 PIPE BOLLARD
 - 6 LOUVERED SCREEN WALL
 - 7 TRASH/RECYCLE RECEPTACLE
 - 8 TABLE WITH UMBRELLA
 - 9 AMPHITHEATER
 - 10 TURF
 - 11 P.I.P. RUBBER SURFACE
 - 12 DOUBLE PEDESTRIAN GATE
 - 13 SINGLE PEDESTRIAN GATE
 - 14 MULCHED PLANT BED
- REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



NOT FOR CONSTRUCTION

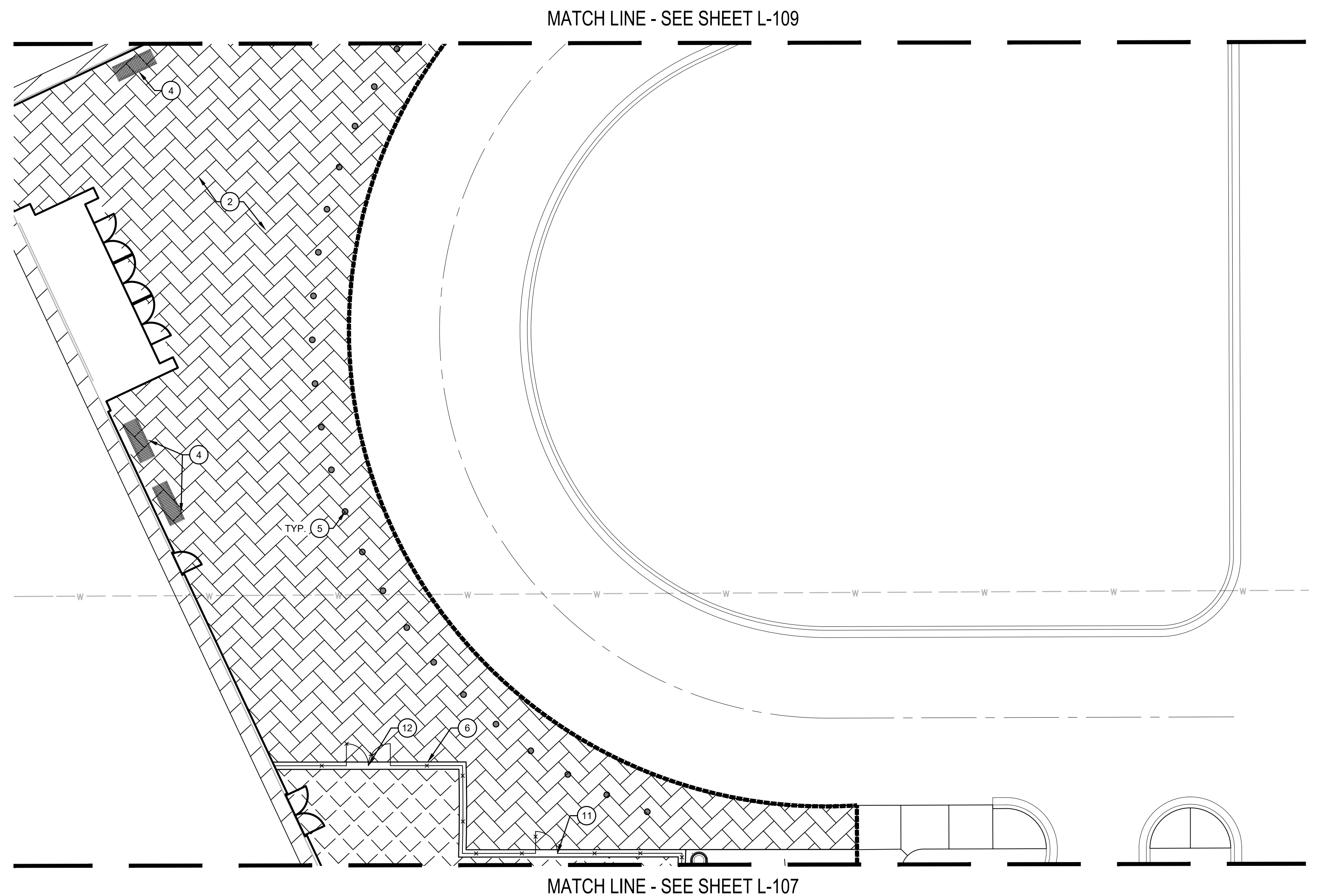


NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

MICHIGAN
 DRAWN: NLF
 DESIGNED: JKH
 APPROVD: JKH
 DATE: DATE
 PROJECT NUMBER
 2342-7656-00

DETROIT
 DRAWING NUMBER
C-107
 SITE DEVELOPMENT

Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN -
 AREA C



1 SITE IMPROVEMENTS AND GEOMETRIC PLAN - AREA D
 SCALE: 1" = 10'-0"
 SCALE IN FEET

GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS INCIDENTAL TO CONSTRUCTION ACTIVITIES MAY BE PERMITTED WITH THE APPROVAL OF THE ARCHITECT. CONTRACTOR SHALL FIELD MARK ANY PROPOSED CHANGES TO THE CONSTRUCTION LIMITS FOR ARCHITECT APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
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- F. CONCRETE JOINTING SHOWN TO IDENTIFY DESIGN INTENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS IDENTIFYING ALL EXPANSION, CONTROL & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT
- 2 ASPHALT BLOCK PAVERS
- 3 TRELLIS
- 4 BENCH
- 5 PIPE BOLLARD
- 6 LOUVERED SCREEN WALL
- 7 TRASH/RECYCLE RECEPTACLE
- 8 TABLE WITH UMBRELLA
- 9 AMPHITHEATER
- 10 TURF
- 11 P.I.P. RUBBER SURFACE
- 12 DOUBLE PEDESTRIAN GATE
- 13 SINGLE PEDESTRIAN GATE
- 14 MULCHED PLANT BED

REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



NOT FOR CONSTRUCTION



DATE: 12-7-2023

REVISION	NO.
1	1

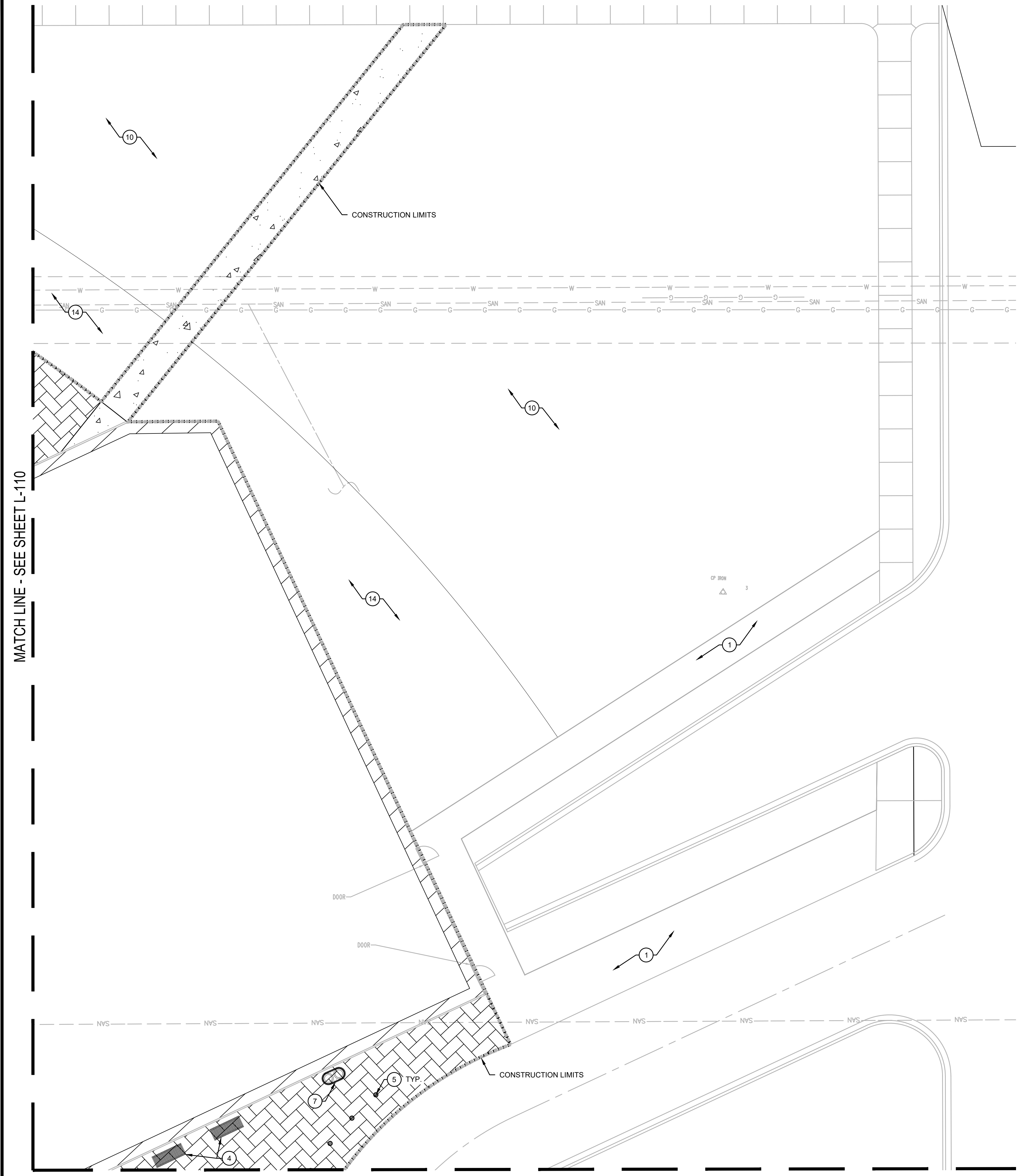
DRAWN: NLF	CHK'D: JKH	NO.	1
DESIGNED: JKH	APPROVD: JKH	PROJECT NUMBER	2342-7656-00
DATE: DATE			

MICHIGAN

Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN -
 AREA D

DETROIT

DRAWING NUMBER
C-108
 SITE DEVELOPMENT



1 SITE IMPROVEMENTS AND GEOMETRIC PLAN - AREA E
 SCALE: 1" = 10'-0"
 SCALE IN FEET

GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
- B. DIMENSIONS AND COORDINATES ARE TAKEN FROM THE FACE OF CURBS, WALLS, AND/OR BUILDINGS UNLESS OTHERWISE NOTED.
- C. CONSTRUCTION LIMITS SHOWN ARE APPROXIMATE. ADJUSTMENTS TO THE LIMITS INCIDENTAL TO CONSTRUCTION ACTIVITIES MAY BE PERMITTED WITH THE APPROVAL OF THE ARCHITECT. CONTRACTOR SHALL FIELD MARK ANY PROPOSED CHANGES TO THE CONSTRUCTION LIMITS FOR ARCHITECT APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- D. ALL AREAS DISTURBED, NOT BUILT, PAVED OR OTHERWISE COVERED BY CONSTRUCTION, SHALL BE SEEDED PER THE REQUIREMENTS OF SPEC. SECTION 329200. REFER TO SPECIFICATION SECTION 329113 FOR PLANTING/TOPSOIL MIX.
- E. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC MAINTENANCE PLANS, PERMITS, AND COORDINATION WITH APPROPRIATE JURISDICTIONS REGARDING PUBLIC R.O.W. WORK.
- F. CONCRETE JOINTING SHOWN TO IDENTIFY DESIGN INTENT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS IDENTIFYING ALL EXPANSION, CONTROL & CONSTRUCTION JOINTS FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

SITE IMPROVEMENT KEY

- 1 CONCRETE PAVEMENT
- 2 ASPHALT BLOCK PAVERS
- 3 TRELLIS
- 4 BENCH
- 5 PIPE BOLLARD
- 6 LOUVERED SCREEN WALL
- 7 TRASH/RECYCLE RECEPTACLE
- 8 TABLE WITH UMBRELLA
- 9 AMPHITHEATER
- 10 TURF
- 11 P.I.P. RUBBER SURFACE
- 12 DOUBLE PEDESTRIAN GATE
- 13 SINGLE PEDESTRIAN GATE
- 14 MULCHED PLANT BED

REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



NOT FOR CONSTRUCTION



DATE: 12-7-2023

REVISION	NO.
1	1

DRAWN: NLF	CHK'D: JKH	NO.	1
DESIGNED: JKH	APPROVD: JKH	DATE:	12-7-2023
PROJECT NUMBER	2342-7656-00		

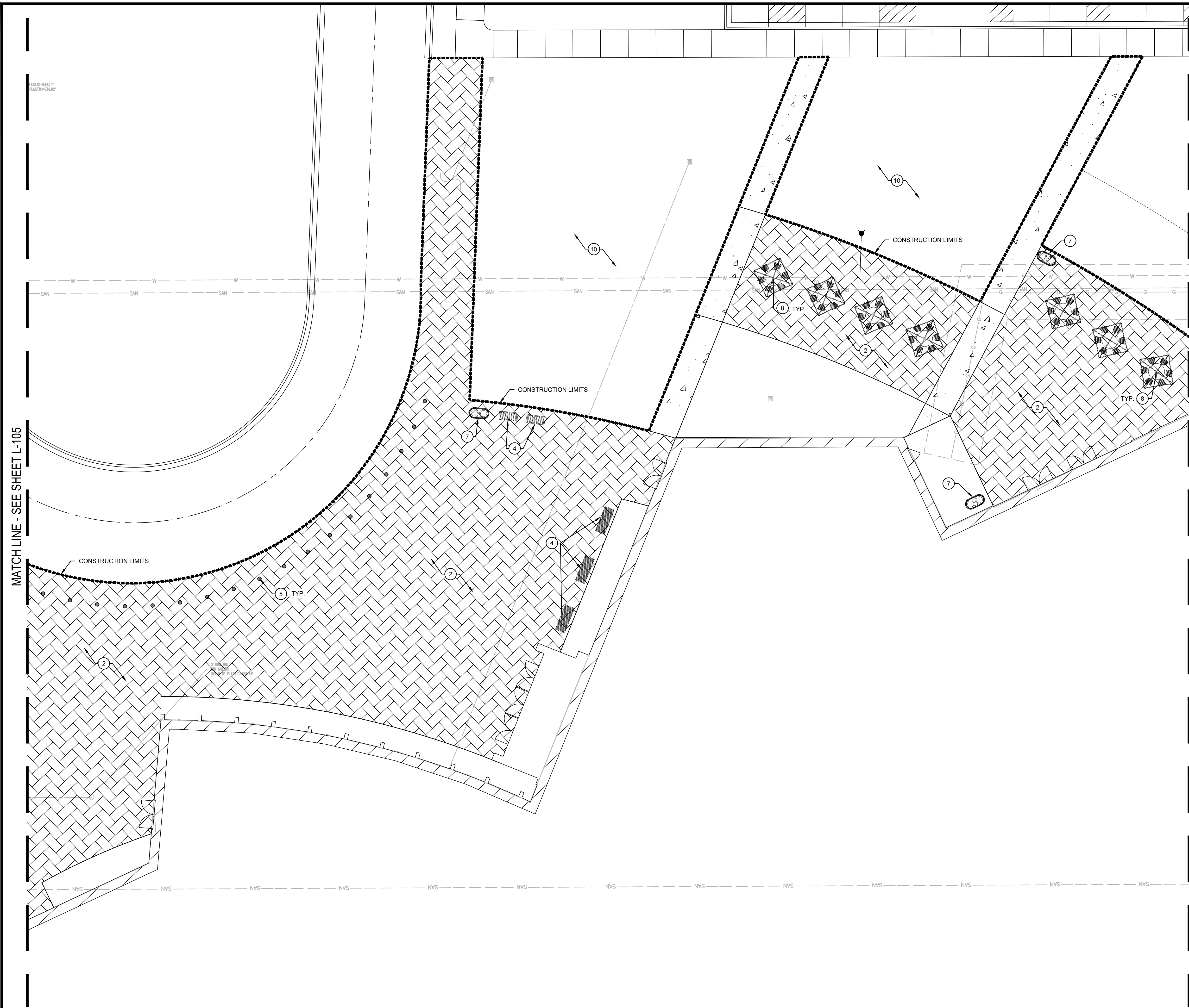
MICHIGAN

Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN - AREA E

DETROIT

DRAWING NUMBER: **C-109**

SITE DEVELOPMENT



GENERAL IMPROVEMENTS NOTES

- A. UTILITIES SHOWN ARE APPROXIMATE, FIELD VERIFY PRIOR TO CONSTRUCTION.
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SITE IMPROVEMENT KEY

- ① CONCRETE PAVEMENT
 - ② ASPHALT BLOCK PAVERS
 - ③ TRELLIS
 - ④ BENCH
 - ⑤ PIPE BOLLARD
 - ⑥ LOUVERED SCREEN WALL
 - ⑦ TRASH/RECYCLE RECEPTACLE
 - ⑧ TABLE WITH UMBRELLA
 - ⑨ AMPHITHEATER
 - ⑩ TURF
 - ⑪ P.I.P. RUBBER SURFACE
 - ⑫ DOUBLE PEDESTRIAN GATE
 - ⑬ SINGLE PEDESTRIAN GATE
 - ⑭ MULCHED PLANT BED
- ☐ REFER TO X FOR IMPROVEMENT COORDINATE SCHEDULE



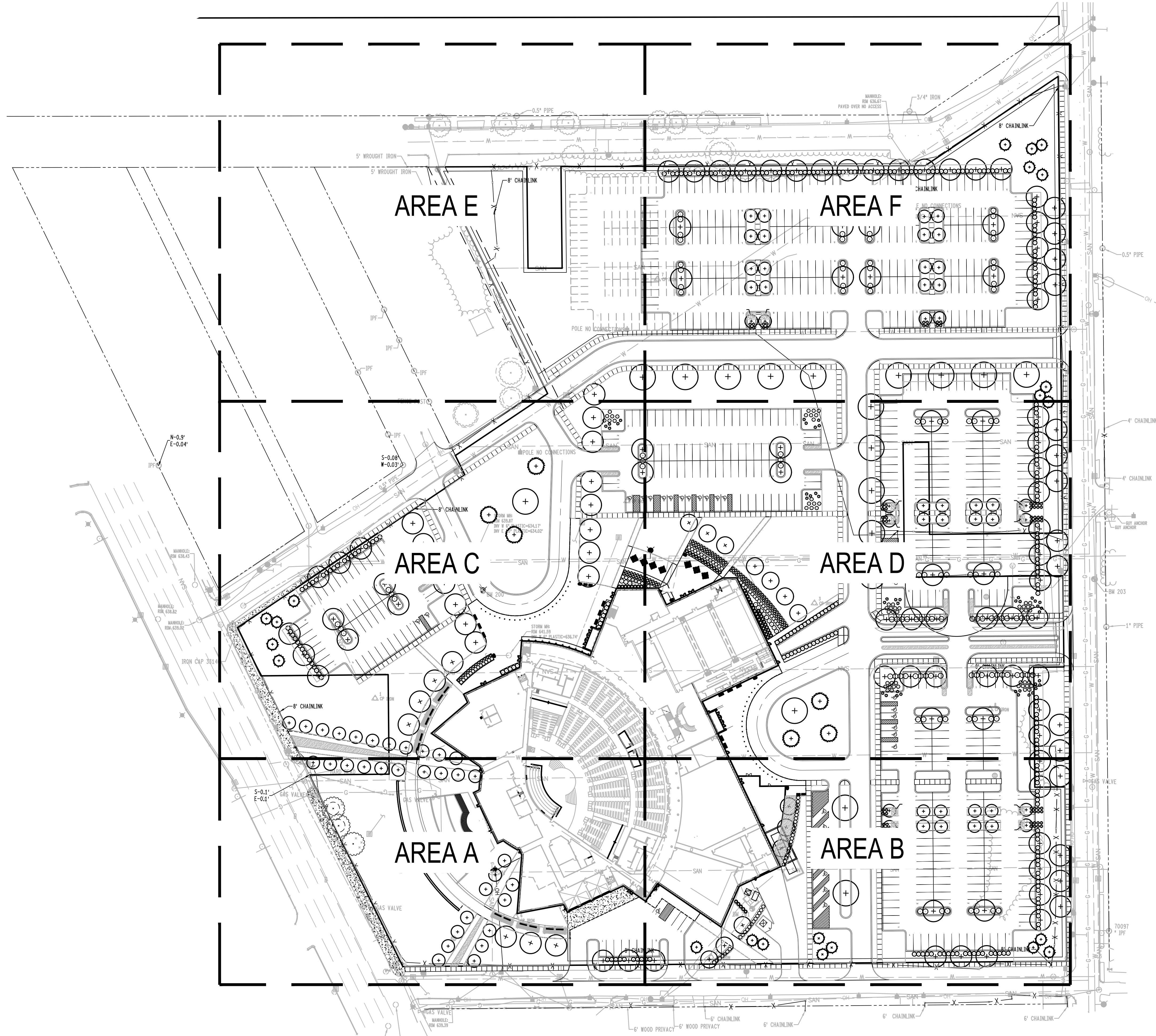
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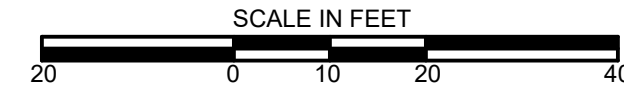


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MICHIGAN
 Detroit
 Perfecting Church
 Perfecting Church Cathedral
 SITE LAYOUT AND GEOMETRICS PLAN - AREA F




1 GENERAL SITE PLANTING PLAN
 SCALE: 1" = 20'-0"
 SCALE IN FEET


NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

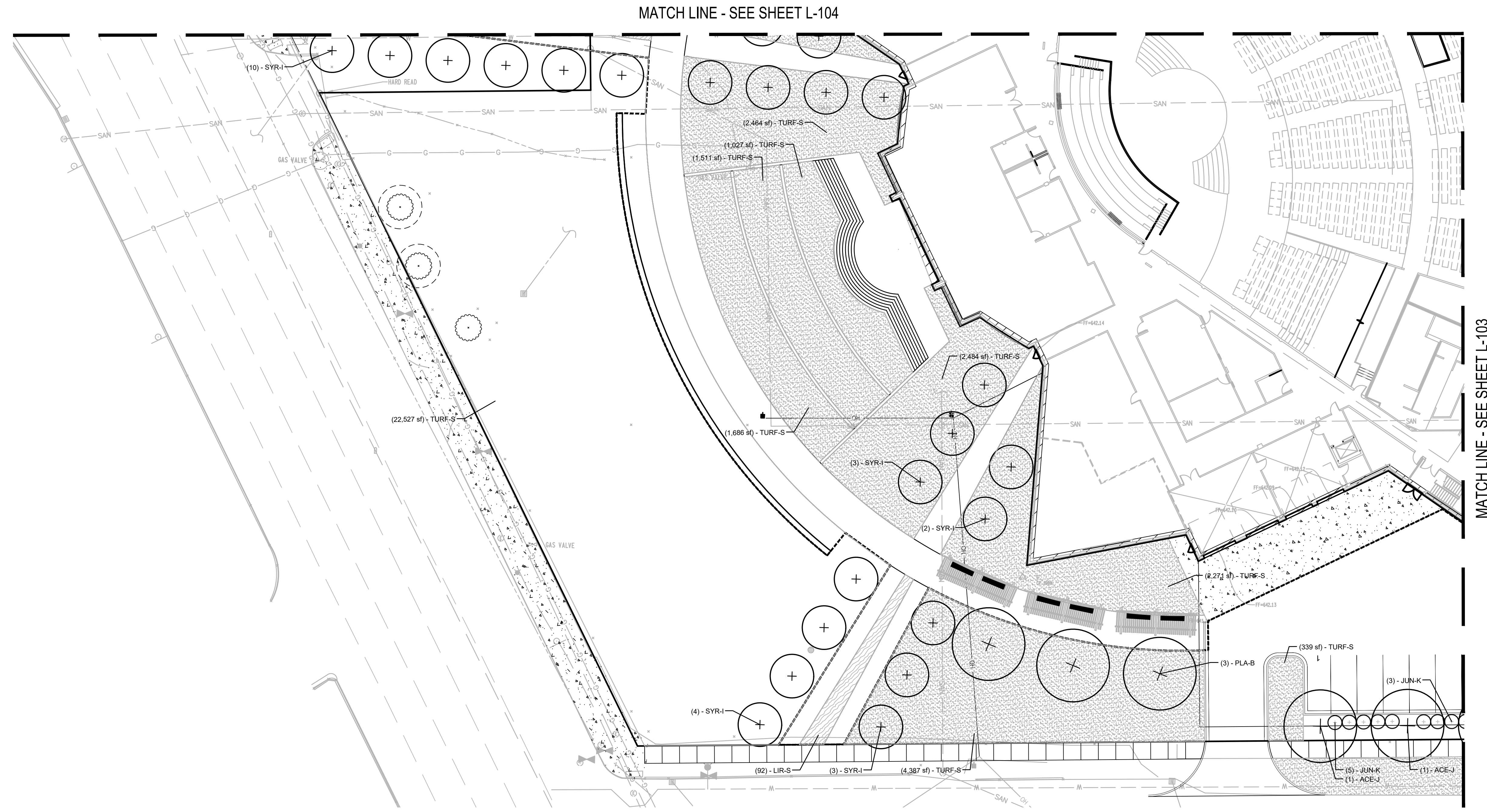
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DESIGNED: JKH	APPR'D: JKH	PROJECT NUMBER	2342-7656-00
DATE: DATE	DATE: DATE		

MICHIGAN

Perfecting Church
 Perfecting Church Cathedral
 GENERAL SITE PLANTING PLAN

DETROIT

DRAWING NUMBER
L-101
 SITE DEVELOPMENT



1 SITE PLANTING PLAN - AREA A
 SCALE: 1" = 20'-0"
 SCALE IN FEET
 NORTH

GENERAL PLANTING NOTES

- A. CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
- B. CONTRACTOR SHALL SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES NOT SHOWN ON PLANS IN ACCORDANCE WITH SPEC. SECTION 329200.
- C. CLEAR AND GRUB ALL AREAS DESIGNATED FOR PROPOSED PLANTING/IMPROVEMENTS AS NECESSARY TO INSTALL PROPOSED LAWN AND/OR PLANTINGS.
- D. ALL PLANTING BEDS ADJACENT TO LAWN SHALL BE EDGED WITH BLACK STEEL EDGING AS SHOWN ON PLANS.



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DATE: DATE	DATE: DATE		

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SITE PLANTING PLAN - AREA A

DETROIT

DRAWING NUMBER

L-102

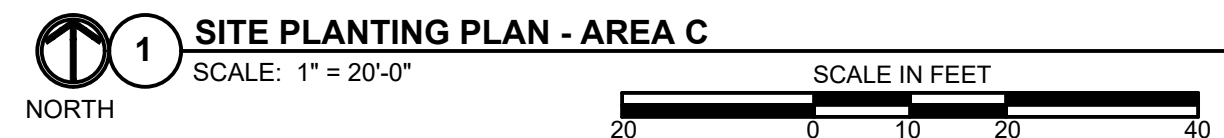
SITE DEVELOPMENT

MATCH LINE - SEE SHEET L-106



MATCH LINE - SEE SHEET L-105

MATCH LINE - SEE SHEET L-102



1 SITE PLANTING PLAN - AREA C
SCALE: 1" = 20'-0"

GENERAL PLANTING NOTES

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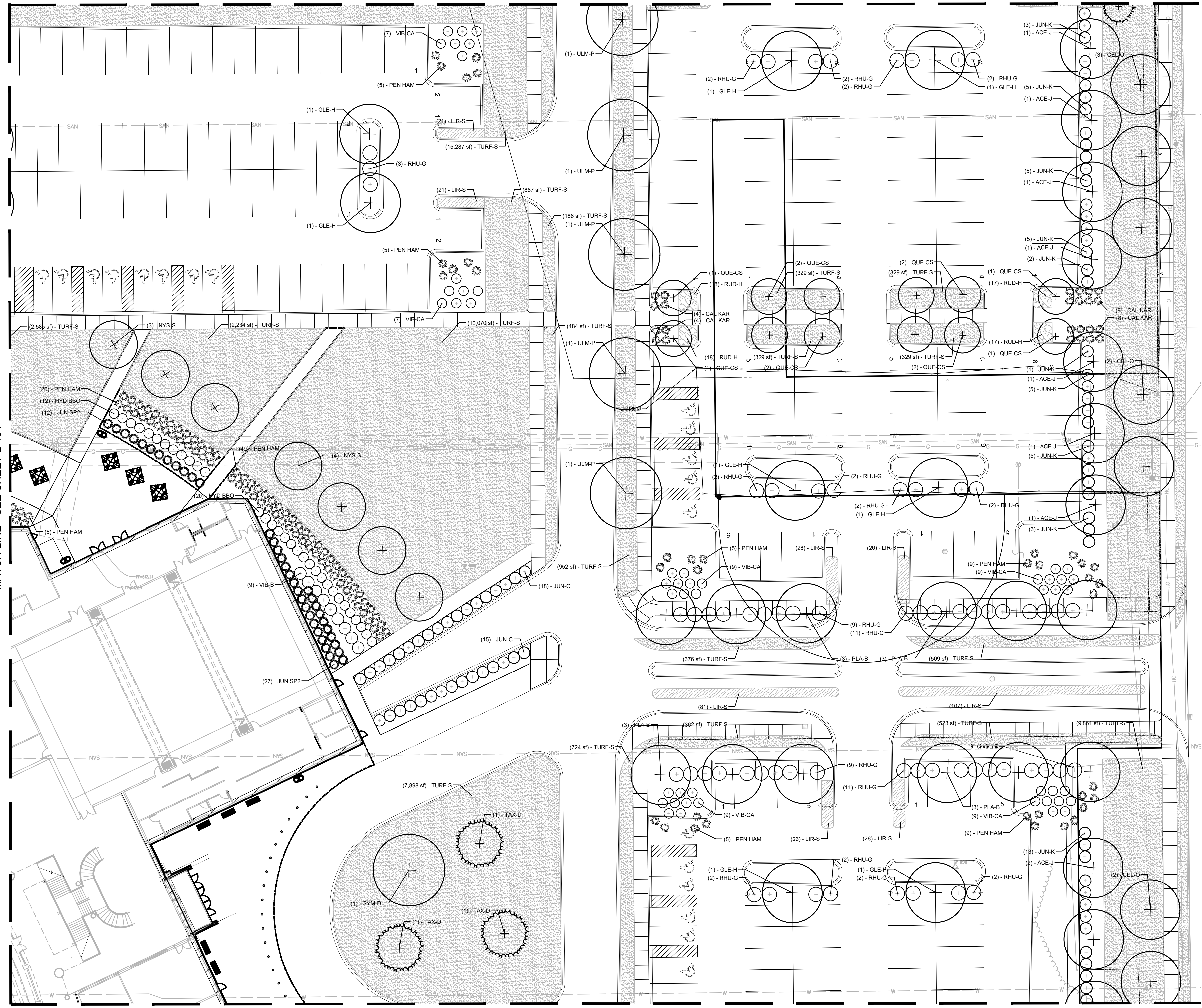
NO.	REVISION	DATE
1	CPC PUBLIC HEARING	12-7-2023

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DESIGNED: JKH	APPRVD: JKH	PROJECT NUMBER	
DATE: DATE	DATE: DATE		

MICHIGAN
Perfecting Church
Perfecting Church Cathedral
DETROIT
SITE PLANTING PLAN - AREA C

DRAWING NUMBER
L-104
SITE DEVELOPMENT

MATCH LINE - SEE SHEET L-107



MATCH LINE - SEE SHEET L-104

MATCH LINE - SEE SHEET L-103

1 SITE PLANTING PLAN - AREA D
 SCALE: 1" = 20'-0"
 SCALE IN FEET
 20 0 10 20 40

GENERAL PLANTING NOTES

- A. CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
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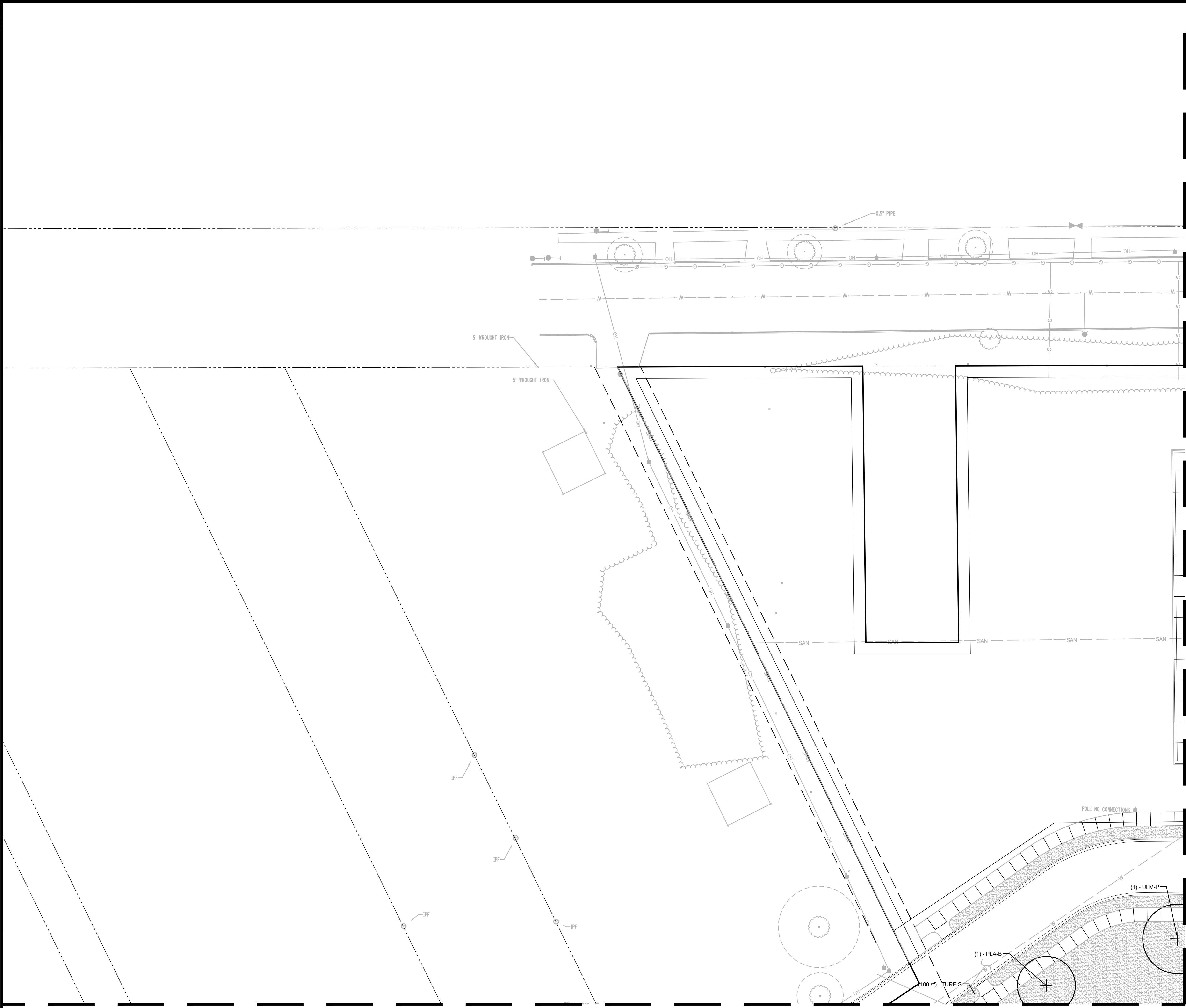
DATE	REVISION
12-7-2023	1 CPC PUBLIC HEARING


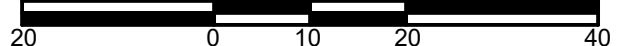
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DESIGNED: JKH	APPRVD: JKH	PROJECT NUMBER	
DATE: DATE	DATE: DATE		

MICHIGAN

Perfecting Church
 Perfecting Church Cathedral
 SITE PLANTING PLAN - AREA D

DETROIT
 DRAWING NUMBER
L-105
 SITE DEVELOPMENT




SITE PLANTING PLAN - AREA E
 SCALE: 1" = 20'-0"
 SCALE IN FEET


MATCH LINE - SEE SHEET L-104

MATCH LINE - SEE SHEET L-107

GENERAL PLANTING NOTES

- A. CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
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NOT FOR CONSTRUCTION



NO.	REVISION	DATE
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MICHIGAN
 Perfecting Church
 Perfecting Church Cathedral
 SITE PLANTING PLAN - AREA E
 PROJECT NUMBER: 2342-7656-00

DETROIT
 DRAWING NUMBER: L-106
 SITE DEVELOPMENT

GENERAL PLANTING NOTES

- A. CONTRACTOR SHALL FIELD LOCATE (STAKE AND MARK) PLANT LOCATIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT LOCATIONS AS DEEMED NECESSARY.
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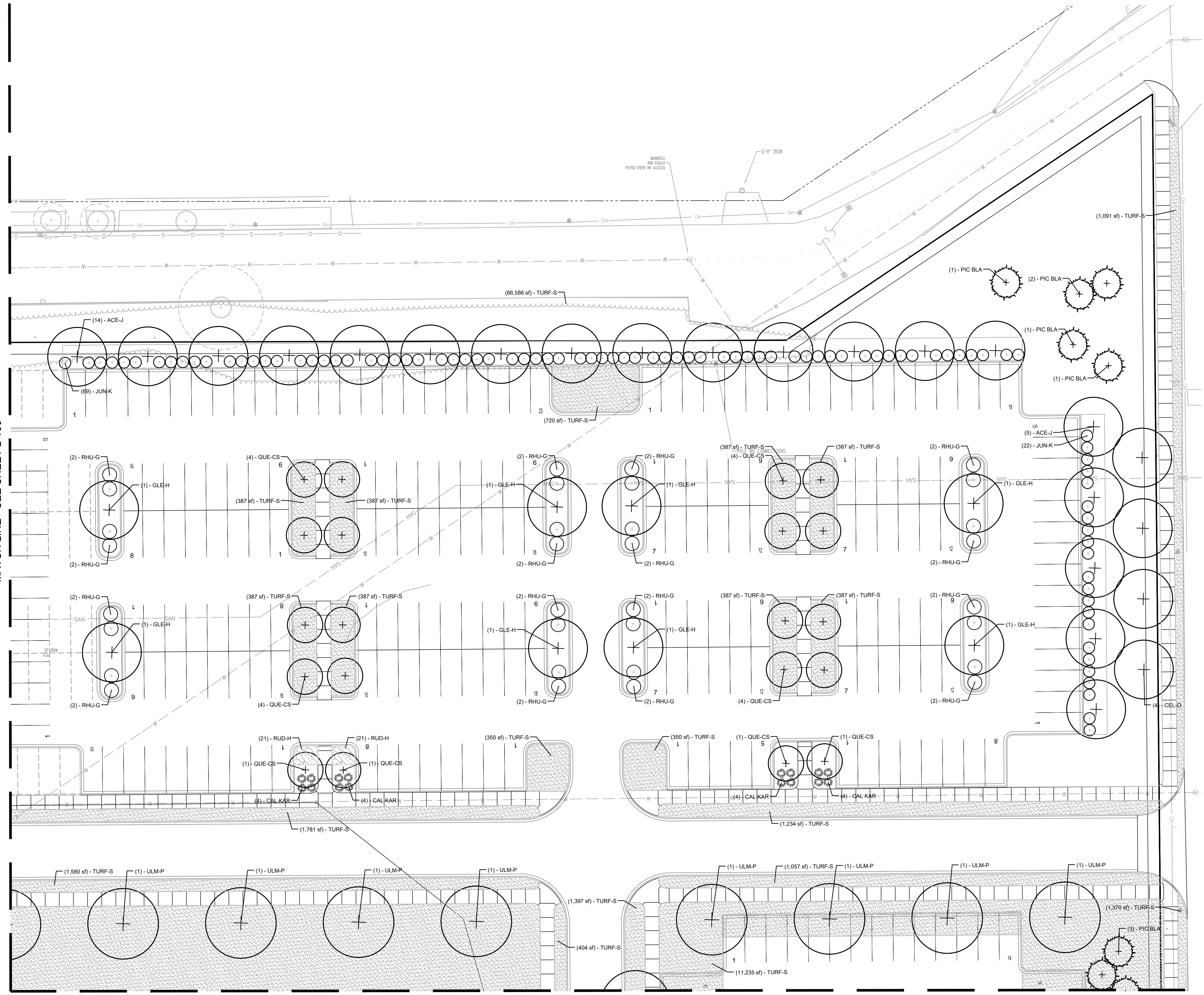
MICHIGAN

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SITE PLANTING PLAN - AREA F

DETROIT

DRAWING NUMBER
L-107
SITE DEVELOPMENT

MATCH LINE - SEE SHEET L-106

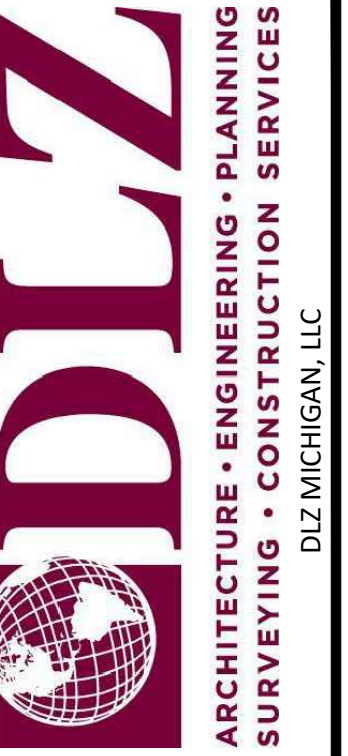


MATCH LINE - SEE SHEET L-105

1 SITE PLANTING PLAN - AREA F
SCALE: 1" = 20'-0"
NORTH

GENERAL PLANTING NOTES

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MICHIGAN
Perfecting Church
Perfecting Church Cathedral

DETROIT
DRAWING NUMBER
L-108
SITE DEVELOPMENT

SITE PLANTING PLAN - PLANT SCHEDULE

PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	TYPE	SIZE	NOTES	QTY
TREES						
	ACE-J	ACER X FREEMANII 'JEFFSRED' AUTUMN BLAZE MAPLE	B & B	2 1/2" CAL		46
	CEL-O	CELTIS OCCIDENTALIS COMMON HACKBERRY	72" BOX	2" CAL		15
	GLE-H	GLEDITSIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEYLOCUST	B & B	2" CAL		24
	GYM-D	GYMNOCLADUS DIOICA KENTUCKY COFFEE TREE	B & B	2 1/2" CAL		2
	NYS-S	NYSSA SYLVATICA SOUR GUM	B & B	1.75" CAL		13
	PIC-BLA	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	B & B	5'-6" HT.		22
	PLA-B	PLATANUS X ACERIFOLIA 'BLOODGOOD' LONDON PLANE TREE	B & B	2.5" CAL		39
	QUE-CS	QUERCUS X 'CRIMSCHMIDT' CRIMSON SPIRE™ OAK	B & B	2" CAL		44
	SYR-I	SYRINGA RETICULATA 'IVORY SILK' IVORY SILK JAPANESE TREE LILAC	B & B	2" CAL		33
	TAX-D	TAXODIUM DISTICHUM BALD CYPRESS	B & B	2.5" CAL		6
	ULM-P	ULMUS AMERICANA 'PRINCETON' AMERICAN ELM	B & B	2.5" CAL		17
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE/TYPE	NOTES	SPACING	QTY
SHRUBS						
	CAL-KAR	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	NO. 3 CONT.			64
	HYD-BBO	HYDRANGEA PANICULATA 'ILVOBO' BOBO® PANICLE HYDRANGEA	NO. 5 CONT.			42
	JUN-SP2	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	5 GAL	5' HT MIN.		40
	PEN-HAM	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN FOUNTAIN GRASS	NO. 1 CONT.			129
	RHU-G	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	NO. 3 CONT.	15"		116
	SPO-HET	SPOROBOLUS HETEROLEPIS PRAIRIE DROPSSEED	NO. 1 CONT.			40
	VIB-CA	VIBURNUM CARLESII 'CAYUGA' KOREAN SPICE VIBURNUM	NO. 5 CONT.	18"		57
	VIB-B	VIBURNUM X BURKWOODII BURKWOOD VIBURNUM	NO. 5 CONT.	18"		12
EVERGREEN SHRUBS						
	JUN-K	JUNIPERUS CHINENSIS 'KALLAYS COMPACT' KALLAY COMPACT PFITZER JUNIPER	NO. 3 CONT.	18" HT.		232
	JUN-C	JUNIPERUS CHINENSIS 'SEA GREEN' SEA GREEN JUNIPER	NO. 3 CONT.	15"		45
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE/TYPE	NOTES	SPACING	QTY
SHRUB AREAS						
	RUD-H	RUDBECKIA HIRTA BLACK-EYED SUSAN	NO. 2 CONT.	CLUMP	24" o.c.	200
SYMBOL	CODE	BOTANICAL / COMMON NAME	TYPE/SIZE	NOTES	SPACING	QTY
GROUND COVERS						
	LIR-S	LIRIOPE SPICATA CREEPING LILY TURF	NO. 1 CONT.		24" o.c.	
SOD/SEED						
	TURF-S	SOD	STD. ROLL	SOD		

1 SITE PLANTING PLAN - PLANT SCHEDULE



02

EXTERIOR

01 / EXTERIOR / WOODWARD VIEW

- 1 INDIVIDUAL STANDING LETTERS ON BRICK BASE (GROUND ILLUMINATE SIGNAGE)
- 2 CLAD EXISTING BRICK FACADE WITH PRECAST RAINSCREEN
- 3 ADD CROSSES TO TOP
- 4 STAINED GLASS-LOOK ON EXISTING STOREFRONT
- 5 EXISTING WINDOW OPENINGS
- 6 EXISTING BRICK WALL WITH PAINTED ART MURAL



01 / EXTERIOR / WOODWARD VIEW



01 / EXTERIOR / NORTH ENTRY



1 COMPOSITE METAL LOUVER SYSTEM ON EXISTING BRICK

2 PORCELAIN EXTERIOR WALL TILE RAINSCREEN SYSTEM. MATTE FINISH

3 PORCELAIN EXTERIOR WALL TILE RAINSCREEN SYSTEM. POLISHED FINISH

4 COMPOSITE METAL PANEL CROSS.

5 15'H COMPOSITE METAL PANEL VESTIBULE

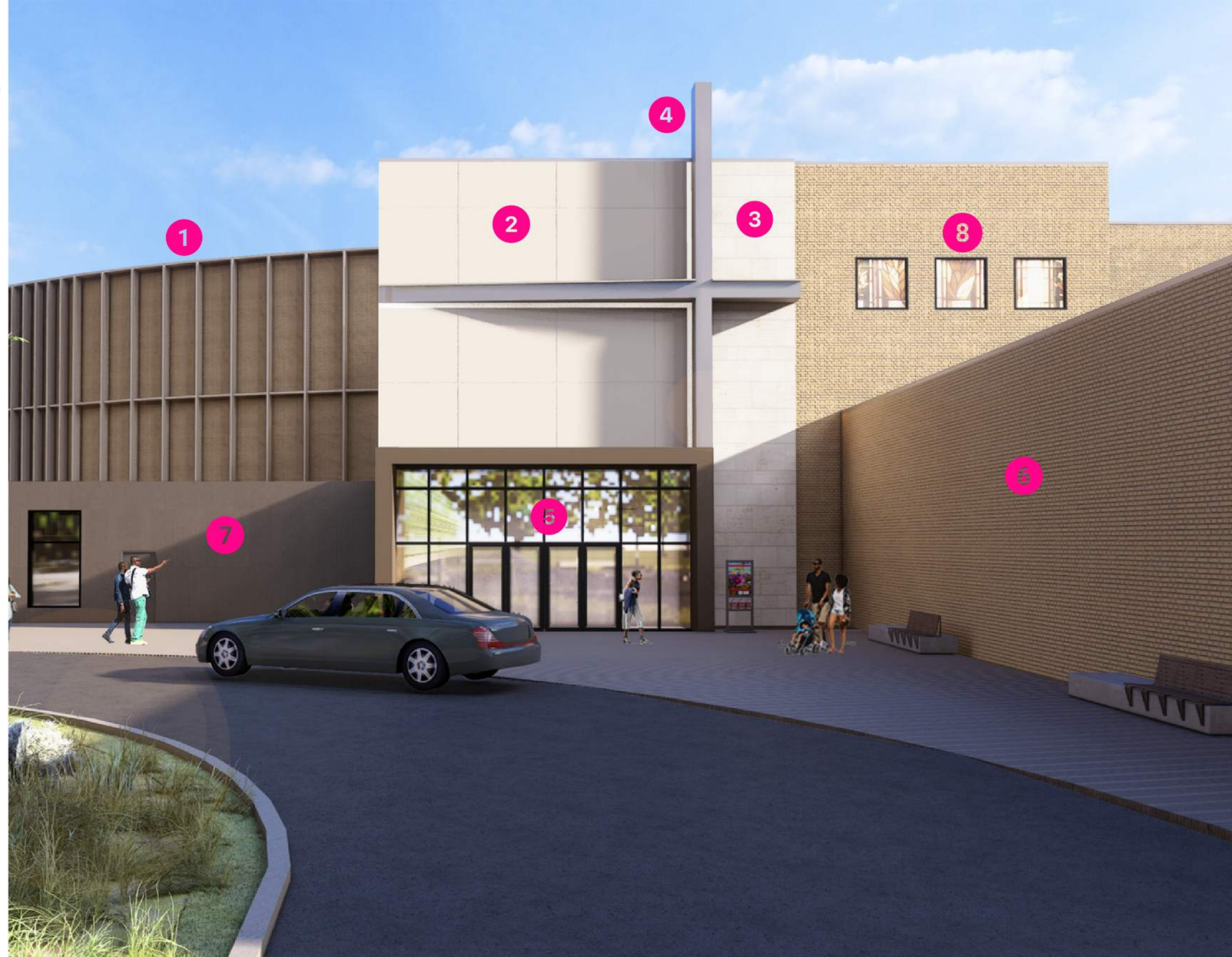
6 EXISTING BRICK FACADE

01 / EXTERIOR / NORTH ENTRY



01 / EXTERIOR / EAST ENTRY

- 1** COMPOSITE METAL LOUVER SYSTEM ON EXISTING BRICK
- 2** PORCELAIN EXTERIOR WALL TILE RAINSCREEN SYSTEM. MATTE FINISH
- 3** PORCELAIN EXTERIOR WALL TILE RAINSCREEN SYSTEM. POLISHED FINISH
- 4** COMPOSITE METAL PANEL CROSS.
- 5** 15'H COMPOSITE METAL PANEL VESTIBULE
- 6** EXISTING BRICK FACADE
- 7** COMPOSITE METAL PANEL AND NEW WINDOW/DOOR OPENINGS AT NURSERY FACADE
- 8** NEW WINDOW OPENINGS IN EXISTING BRICK W/ STAINED GLASS LOOK TO LIGHT GRAND FOYER



01 / EXTERIOR / EAST ENTRY



01 / EXTERIOR / AERIAL VIEW

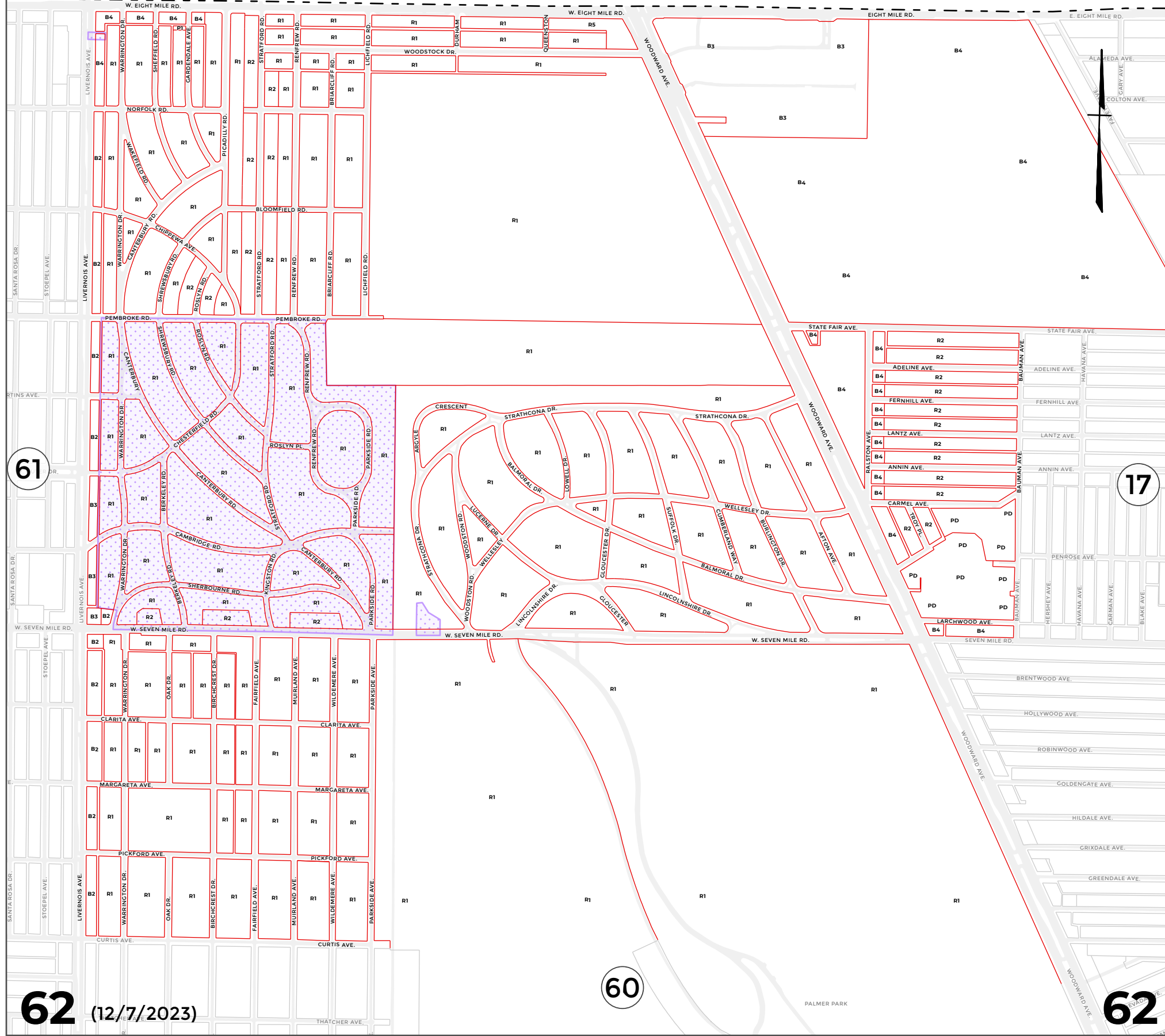


02 / EXTERIOR / FINISHES

- 1 TRAVERTINE-LOOK TILE RAINSCREEN SYSTEM @ MAIN ENTRIES AND FRONT FACADE
- 2 PORCELAIN EXTERIOR WALL TILE RAINSCREEN SYSTEM. MATTE FINISH
- 3 METAL LOUVERS @ MAIN ENTRIES
- 4 METAL PANEL SYSTEM @ MAIN ENTRIES, NURSERY AND AT EXISTING STOREFRONTS
- 5 DARK BRONZE STOREFRONT SYSTEM
- 6 EXISTING BRICK AND DARK BRONZE WINDOWS



X X X
616217
596015



61

17

62 (12/7/2023)

60

62

PALMER PARK