

City of Detroit

Donovan Smith
Chairperson
Melanie Markowicz
Vice Chair/Secretary

Marcell R. Todd, Jr.
Director

CITY PLANNING COMMISSION
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Detroit, Michigan 48226
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Frederick E. Russell, Jr.
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March 22, 2024

HONORABLE CITY COUNCIL

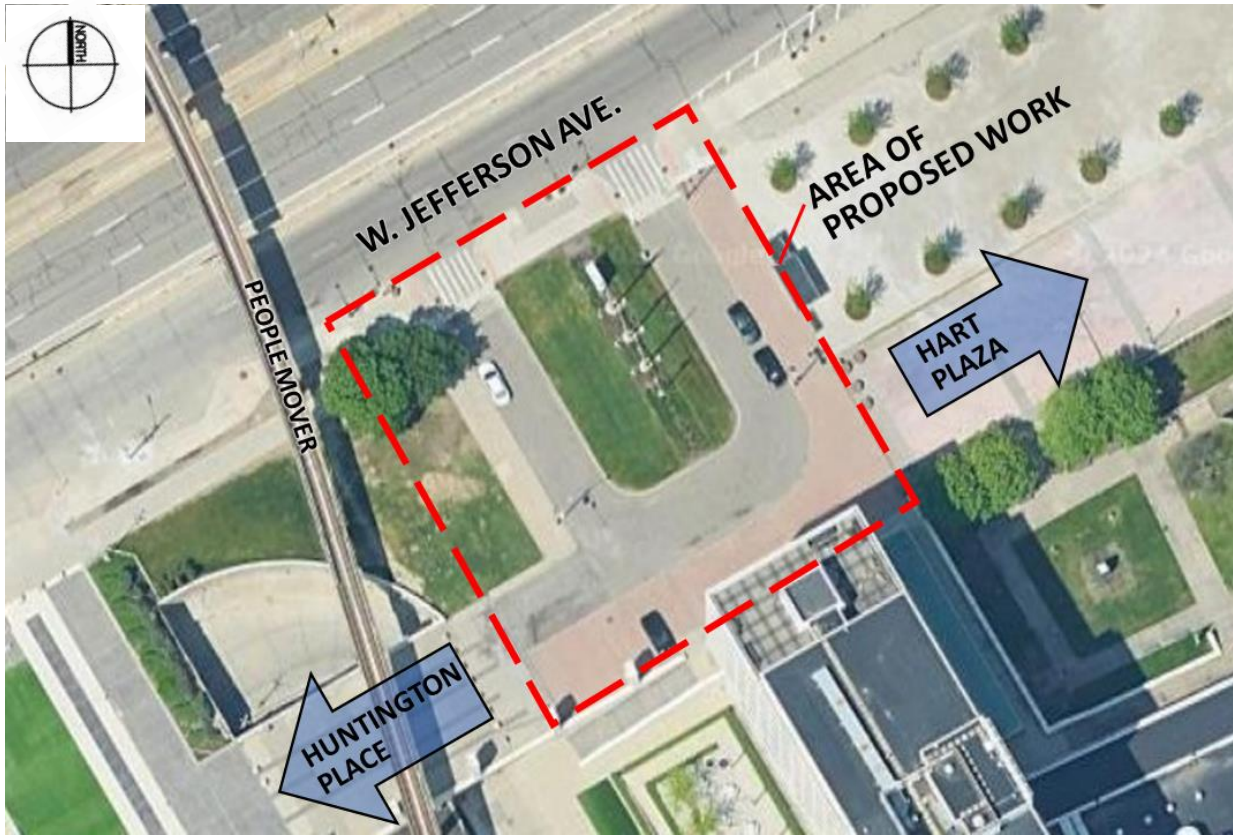
RE: Request of Grissim Metz Andriese Associates on behalf of UAW-Ford for PC (Public Center) Special District Review of proposed changes including new landscaping and signage at 151 West Jefferson Avenue. **(RECOMMEND APPROVAL WITH CONDITIONS)**

REQUEST

The City Planning Commission (CPC) has received a request from Grissim Metz Andriese Associates on behalf of UAW-Ford for PC (Public Center) Special District Review of proposed changes including new landscaping, lighting, and sign at 151 West Jefferson Avenue. This request is being made consistent with the provisions of Section 50-3-222 of the Detroit Zoning Ordinance. Because this site is zoned PC, all exterior changes require review by Your Honorable Body.



*Subject premises – UAW-Ford Joint Trusts Center
also known as the Veterans Memorial Building*



Aerial view of area for context (Hart Plaza to the right, Huntington Place to the left)

PROPOSED PROJECT

The petitioner proposes to renovate the area between the front of the building and West Jefferson Avenue. The proposed work can be divided into three categories:

- 1. Removal and replacement of paving on vehicular driveways and pedestrian walkways -**
The location and layout of driveways and walkways is proposed to remain generally the same with a few exceptions:
 - The walkways on either side of the circular driveway leading from Jefferson Avenue to the building are proposed to be narrowed to seven feet wide. This allows for additional landscaping while maintaining adequate width to accommodate pedestrian traffic and comply with ADA requirements.
 - An area in front of the building, adjacent to the walk to Huntington Place, that is often used for parking, will be reconfigured to discourage vehicular use. The new walkway adjacent to the building will also better coordinate aesthetically with the adjacent Huntington Place plaza paving. The current paving is reddish-colored bricks while the proposed paving is alternating stripes of light and dark gray.
- 2. New landscaping, irrigation, and site lighting –** The existing landscaping and lighting on the site are in need of a refresh.
 - Two existing trees are proposed to be removed and replaced with 21 new maple trees (sixteen on the west side of the circular drive and five on the east). The new trees will

occupy an area that is currently open lawn on the west side of the drive and a paved area on the east.

- The existing landscaping in the center of the circular drive around the sign and flagpoles is also proposed to be removed and replaced with updated landscaping.
- New light fixtures are proposed to light the circular drive, flagpoles, and front of the building. Additionally, five column-shaped light fixtures and seven bollards are proposed in front of the building to delineate the space for vehicles from the pedestrian walkways. The complete details including fixtures, locations, and a photometric plan can be found in the attached plans.



Rendering of Proposed Changes

- 3. New monument sign to replace the existing monument sign** – The existing monument sign is proposed to be replaced with a smaller monument sign reusing a portion of the existing marble base. The existing sign is composed of two parts—a seven foot tall marble base with an eight foot sign on top (15 feet tall total). The proposed sign would incorporate the bottom half of the marble base (approximately four feet tall) with a six foot sign on top (ten feet tall total). The proposed sign would consist of an aluminum cabinet and include three components:
- The “UAW” and “Ford” logos made from translucent acrylic so that they may be illuminated from within.
 - Cut-out dimensional letters spelling “Joint Trusts Center” which would not be illuminated.
 - A full color LED electronic message center measuring 63” wide by 29” high (12.7 square feet).

BACKGROUND & HISTORY



Existing Sign



Proposed Sign

The Veterans Memorial Building was built in the late 1940's as part of the Civic Center Plan. Notable features of the building and site are several sculptures by Marshall Fredericks—"Victory Eagle" is the 30 foot relief on the front (north) side of the building and seven 20 foot tall pylons carved with scenes depicting military history are located parallel to Jefferson Avenue along a pedestrian walkway. The building originally housed offices for veteran services and other city agencies.

In the 1990's, the city began leasing the building to UAW-Ford specifically for an educational and training center including office space for personnel involved in those activities. During the city's bankruptcy, the building was sold to UAW-Ford with a number of easements and restrictions to allow access to Hart Plaza, preserve the sculptures onsite, and other issues unrelated to this proposal.

The area in front of the building has been regularly used for parking, both in the circular drive, on the pedestrian walkways, and on the plaza adjacent to the Marshall Fredericks pylons. This practice is unsightly, dangerous to pedestrians, and detrimental to the landscaping, paving, and artwork. The proposed changes include the installation of bollards to prevent parking adjacent to the building or on the walkways.

REVIEW & ANALYSIS – PC District Review Criteria

The purpose of PC District review is to ensure that proposed changes are consistent with the spirit, purpose, and intent of the district. To guide the review, eighteen PC District Review Criteria are listed in Section 50-11-67 of the Zoning Ordinance. The relevant criteria follows with staff analysis in italics:

- (2) *Scale, form, massing and density should be appropriate to the nature of the project and relate well to surrounding development.*

The proposed changes are appropriate for the area and will improve the appearance of the Civic Center. The addition of 21 new trees planted in straight lines will enhance the entry plaza and better frame the view of the building. The proposed sign is smaller than the existing sign which will better fit the space.

(4) Vehicular and pedestrian circulation facilities should be adequately designed to meet expected demands; disruption of traffic flow in surrounding areas should be minimized; truck traffic should be carefully planned and controlled.

The proposed changes improve vehicular and pedestrian flow by clearly delineating where each is meant to be. The current layout and design is ambiguous, leading to vehicles parking on pedestrian walkways. The addition of bollards and column-shaped light fixtures will improve the separation of vehicles and pedestrians.

(8) Public access should be provided where appropriate.

This proposal improves public access by widening the pedestrian walkway in front of the building which provides a secondary pedestrian route between Hart Plaza and the Huntington Place convention center (the primary being the sidewalk adjacent to Jefferson Avenue). Preventing vehicles from parking in this area and continuing the width of the adjoining walkway will also enhance usability.

(11) Signage and graphics should be tastefully designed to be visually appealing and in character with surrounding development; they should provide needed information, direction and orientation in a clear and concise manner.

The materials of the proposed sign coordinate well with the building. Decreasing the height of the sign and illuminating the logos will make it more readable to passing traffic.

Design

The Planning & Development Department has reviewed the proposed changes and recommends approval. The full recommendation is attached.

CONCLUSION & RECOMMENDATION

Consistent with the above and Section 7.5 of the CPC bylaws, the CPC staff recommends approval of the proposed changes with the following conditions:

1. The electronic message board shall be operated solely as an on-premises sign and display messages or images related to onsite activities and events only.
2. The electronic message board shall only display static images and not flashing, moving or animated images.
3. Each image or message shall be displayed for a minimum of eight (8) seconds.
4. That final plans be reviewed by CPC staff for consistency with approval prior to application being made for applicable permits.

Respectfully submitted,

DONOVAN SMITH, CHAIRPERSON



Marcell R. Todd, Jr., Director
Jamie J. Murphy, City Planner

Attachments: Construction Drawings dated 3/21/2024
Sign specifications
PDD Recommendations
Resolution

cc: Claude Molinari, Visit Detroit
Antoine Bryant, Director, PDD
Russell Baltimore, PDD
Greg Moots, PDD
Bruce Goldman, Law Dept.
David Bell, Director, BSEED
Jayda Philson, BSEED
Ron Brundigde, Director, DPW
Prasad Nannapaneni, DPW
Samuel Krassenstein
Hasson Beydoun, Group Executive
Luke Polcyn, Group Executive

**A RESOLUTION REGARDING ALTERATIONS IN A PC ZONING DISTRICT
AT 151 WEST JEFFERSON AVE.**

BY COUNCIL MEMBER _____:

WHEREAS, Grissim Metz Andriese Associates on behalf of UAW-Ford proposes changes including new landscaping, lighting, and signage at 151 West Jefferson Avenue; and

WHEREAS, 151 West Jefferson Avenue is located within an established PC (Public Center) zoning district; and

WHEREAS, work to be performed within a PC zoning district requires Special District Review and the purpose of the PC zoning district classification is provided for in Section 50-11-51 of the Zoning Ordinance as follows:

This district includes areas used or to be used for governmental, recreational, and cultural purposes of particular or special civic importance. All construction or other improvement within this district requires that the Planning and Development Department and the City Planning Commission review and make recommendation to City Council, so as to ensure a completely harmonious, pleasing, and functional public center; and

WHEREAS, the Planning and Development Department has provided favorable review; and

WHEREAS, the City Planning Commission staff has, on behalf of the City Planning Commission, reviewed and recommended approval of the proposed alterations in accordance with Section 7.5 of the City Planning Commission bylaws; and

NOW, THEREFORE, BE IT RESOLVED, that the Detroit City Council hereby approves the proposed changes as depicted in the drawings prepared by Grissim Metz Andriese Associates and dated 3/21/2024, and the sign specifications prepared by Sign Graphix and dated 2/29/2024, with the following conditions:

1. The electronic message board shall be operated solely as an on-premises sign and display messages or images related to onsite activities and events only.
2. The electronic message board shall only display static images and not flashing, moving or animated images.
3. Each image or message shall be displayed for a minimum of eight (8) seconds.
4. That final plans be reviewed by CPC staff for consistency with approval prior to application being made for applicable permits.



**PLANNING AND
DEVELOPMENT DEPARTMENT**

Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Phone 313•224•1339
www.detroitmi.gov

Marcell R. Todd Jr., Director
Detroit City Planning Commission
208 CAYMC
Detroit, MI 48226

June 23, 2023

Dear Director Todd:

The following is the Planning and Development Department's (PDD) review of the proposed site plan changes for the UAW – Ford Center, located at 161 E Jefferson Avenue. This review is carried out per Sec. 50-11-96 for the review of developments located in the Public Center Adjacent (PCA) zoning district. The applicant has worked with PDD and CPC staff to modify the original proposal to remove the parking originally proposed in front of the building.

The relevant PCA criteria from Sec. 50-11-67 of the Zoning Ordinance are followed by our analysis in italics:

Criterion 1: The proposed development should reflect applicable policies stated in the Master Plan; The site's Future General Land Use designation is "Special Commercial", and the description of that classification states that "... automobile parking located on the street or in structures. Ground level activity should be pedestrian-oriented.". Additionally, Policy 9.2 is "Promote parking in structures with ground level commercial activity." The removal of the surface parking lot meets this. We recommend that signs state there be "no parking" in the drop-off loop to ensure that the drive is only used for drop-offs and that there be additional pylons to the east of those proposed to ensure that vehicles don't park on the sidewalk..

Criterion 2: Scale, form, massing and density should be appropriate to the nature of the project and relate well to surrounding development; The changed paving and plantings are appropriate.

Central Business District, City Design. Issue: Views and vistas to downtown and along the riverfront impact impressions and provide orientation. The changes maintain the view of the River.

The Planning and Development Department **supports** the proposed site changes, with the requirement that there be signs stating there be "no parking" in the drop-off loop and additional pylons.

Respectfully submitted,

Gregory Moots
Lead Planner-Design and Developer Innovation
Planning and Development Department

CC: Antoine Bryant, Director
Karen Gage
Russell Baltimore



**PLANNING AND
DEVELOPMENT DEPARTMENT**

Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Phone 313•224•1339
www.detroitmi.gov

Marcell R. Todd Jr., Director
Detroit City Planning Commission
208 CAYMC
Detroit, MI 48226

March 21, 2024

Dear Director Todd:

The following is the Planning and Development Department's (PDD) review of the proposed monument sign change for the UAW – Ford Center, located at 161 E Jefferson Avenue. This review is carried out per Sec. 50-11-96 for the review of developments located in the Public Center Adjacent (PCA) zoning district. The applicant has worked with PDD and CPC staff to modify the original proposal to change the materials and size from what was originally proposed.

The relevant PCA criteria from Sec. 50-11-67 of the Zoning Ordinance are followed by our analysis in italics:

Criterion 2: Scale, form, massing and density should be appropriate to the nature of the project and relate well to surrounding development; The sign is somewhat smaller than the current sign and is appropriate for the site.

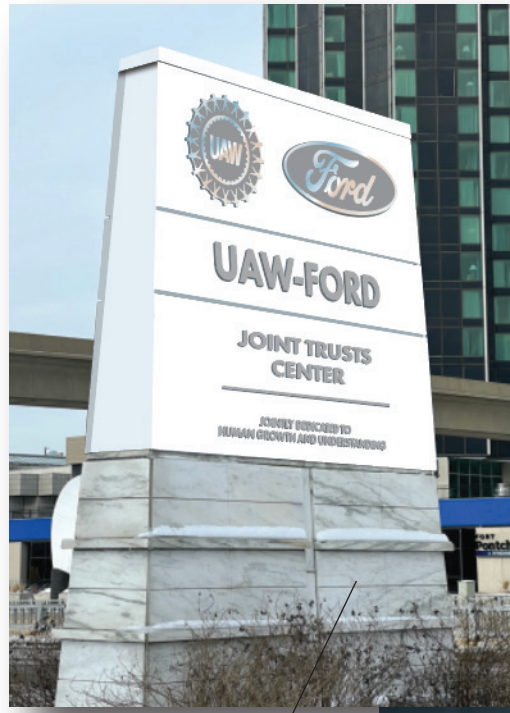
Criterion 11: Signage and graphics should be tastefully designed to be visually appealing and in character with surrounding development; they should provide needed information, direction and orientation in a clear and concise manner; The continued use of the marble with stainless steel continues the modern aesthetic of the building.

The Planning and Development Department **supports** the proposed sign change.

Respectfully submitted,

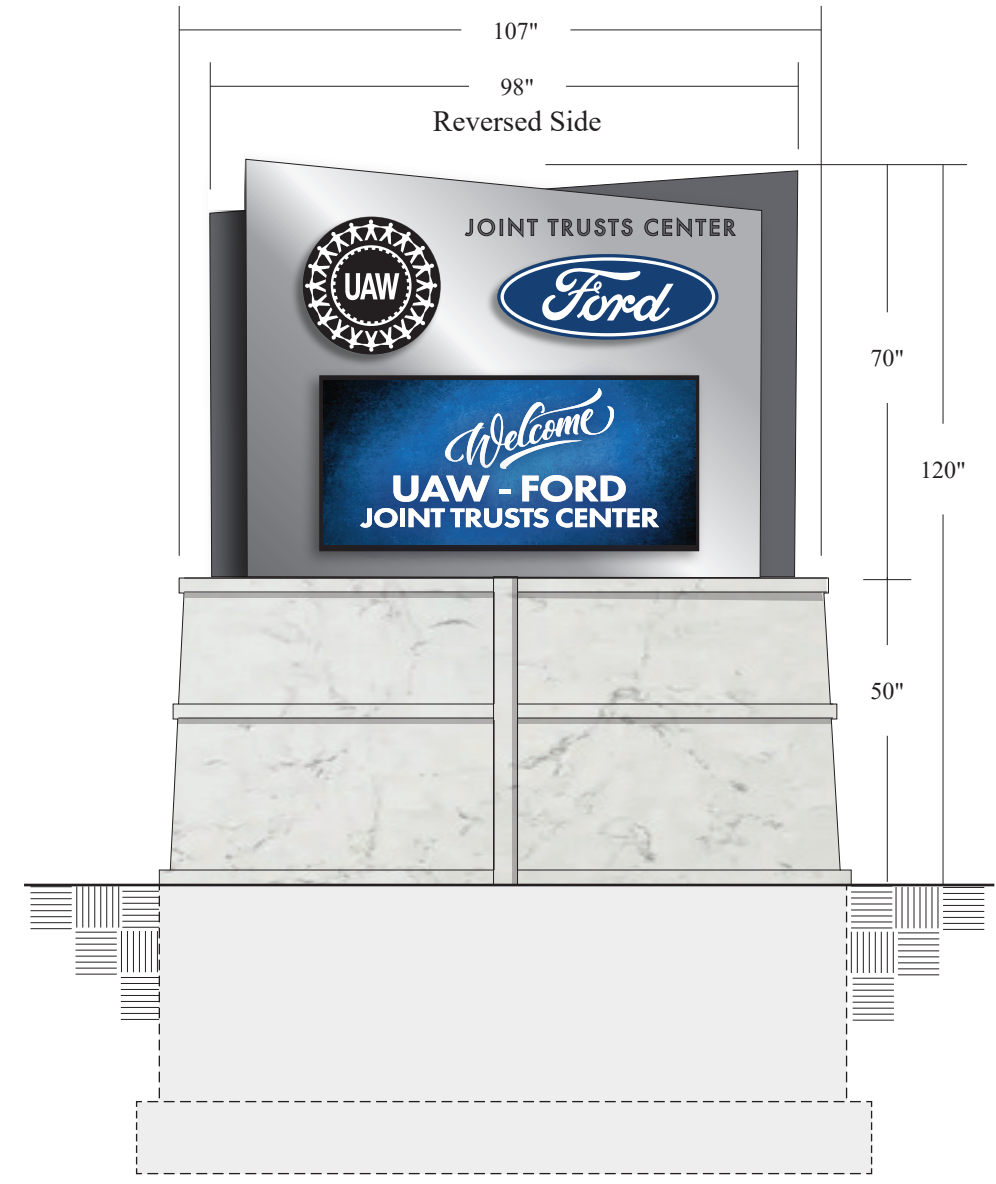
Gregory Moots
Lead Planner-Design and Developer Innovation
Planning and Development Department

CC: Antoine Bryant, Director
Karen Gage
Russell Baltimore

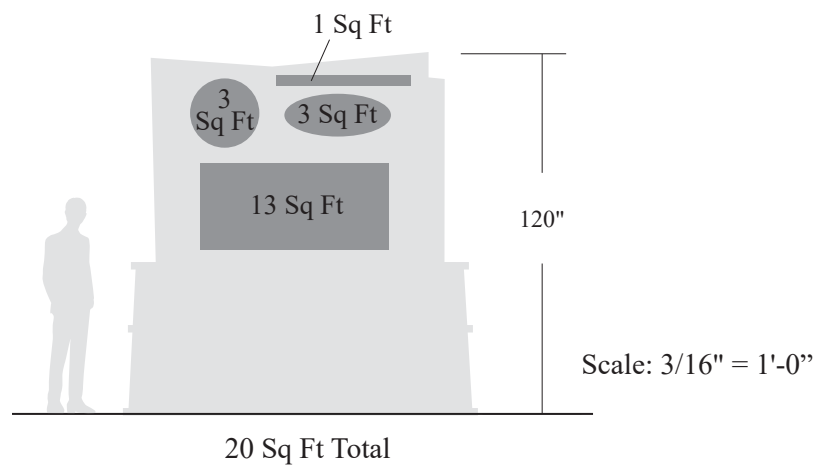


Present

Reusing existing marble slabs and accent trim



Scale: 3/8" = 1'-0"



UAW - Ford National Programs Center

8457 Andersonville Rd, Suite H
Clarkston, Michigan 48346
(O) 248.848.1700 (F) 248.848.1722
www.signgraphix.net

DRAWING: 02-03-24 02-20-24
24058 02-15-24 02-22-24
JOB: 02-16-24
26617 02-19-24

CLIENT SIGNATURE: _____

DATE: _____

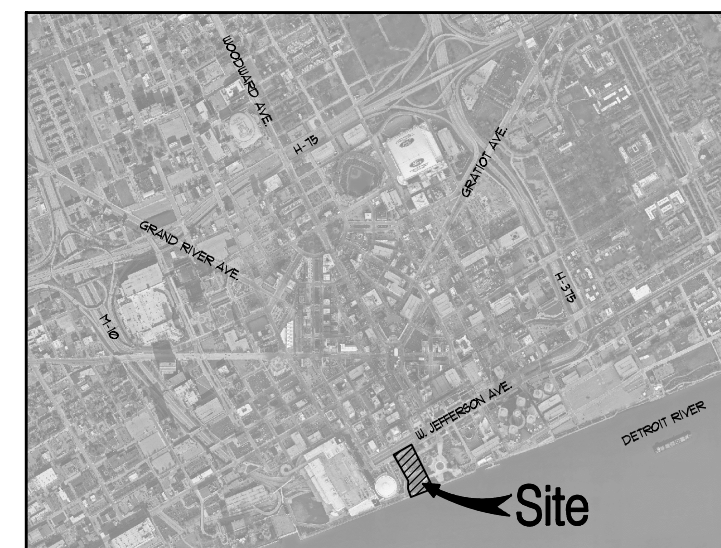
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UAW-FORD JOINT TRUSTS CENTER - W. JEFFERSON AVE. ENTRANCE

Detroit, Michigan

Issued for: CITY REVIEW

Date: 03/21/2024



LOCATION MAP
NOT TO SCALE

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Z EIMET W OZNIAK
& ASSOCIATES
Civil Engineers & Land Surveyors

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www.zeimetwozniak.com

Drawing Index Key:							
● Drawing Issued							
□ Drawing Not Issued							
◻ Drawing Issued for Reference Only							
Drawing Index:		03-22-2023 REEED Review	03-31-2023 BIDS	04-24-2023 REEED Pre-submittal	11-02-2023 City Review	11-03-2023 REED	03-21-2024 City Review
COVER SHEET		●	●	●	●	●	
S101 SURVEY		●	●		●		
L101 DEMOLITION PLAN		●	●		●		
L102 DEMOLITION DETAILS & NOTES		●	●		●		
L201 PAVING & LAYOUT PLAN		●	●	●	●		
L301 GRADING & DRAINAGE PLAN		●	●	●	●		
L302 DRAINAGE AREA PLAN		●	●	●	●		
L401 SITE DETAILS		●	●		●		
L402 SITE DETAILS		●	●		●		
L403 UTILITY DETAILS		●	●		●		
L501 LANDSCAPE PLAN		●	●	●	●		
L502 LANDSCAPE DETAILS		●	●		●		
H101 IRRIGATION PLAN		●	●		●		
H102 IRRIGATION DETAILS		●	●		●		
E101 LIGHTING PLAN		●	●	●	●		
E102 LIGHTING PHOTOMETRICS		●	●	●	●		
S-1 FLAG POLE FOUNDATION PLAN, DETAILS, & STRUCTURAL NOTES					●		

Contacts:

Owner:
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248-347-7010
Richard G. Houdek
richh@gma-la.com

Civil Engineer:
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55800 Grand River, Suite 100
New Hudson, MI 48165
248-437-5099
Julian J. Wargo, Jr.
jwargo@zeimetwozniak.com

Authority Name	Phone
123 NET, INC. FIBER OPTIC	248-911-6884
AT&T ANTENNA FIBER	231-941-6946
AT&T FIBER OPTICS	678-917-3174
AT&T TELEPHONE	800-778-9140
BLOOD HOLDING (PRIVATE LOCATOR)	317-800-1190
COMCAST CABLE TV	888-962-8025
COMCAST FIBER OPTICS	888-962-8025
DETROIT CITY ENGINEERING/LAND USE	313-224-3935
DETROIT CITY WATER & SEWERAGE POTABLE WATER	313-999-4761
DETROIT CITY WATER & SEWERAGE SEWER (COMBINED SANITARY ONLY)	313-999-4761
DETROIT PEOPLE SEWER SYSTEM OTHER	313-224-2182
DETROIT PUBLIC LIGHTING ELECTRIC	313-287-5130
DETROIT THERMA, LLC STEAM	313-363-8043
DTE ENERGY (ELECTRIC) ELECTRIC	313-407-5364
DTE ENERGY (GAS) GAS	248-318-7899
EVERSTREAM FIBER OPTICS	810-309-4136
EVERSTREAM FIBER OPTICS	517-742-4132
EXTENET SYSTEMS, INC. FIBER OPTICS	618-848-5306
GREAT LAKES GPS (Private Locator)	734-780-6849
GREAT LAKES WATER AUTHORITY POTABLE WATER	313-739-0289
GREAT LAKES WATER AUTHORITY SEWER (COMBINED SANITARY ONLY)	313-739-0289
LEVEL 3 NOW CENTURYLINK FIBER OPTICS	877-398-6344
MICROFIBER BUSINESS FIBER OPTICS	800-524-9875
NEXTEL COMMUNICATIONS FIBER OPTICS	818-309-4004
SPRINT FIBER OPTICS	818-309-4004
WAYNE COUNTY OPS/LAND USE	734-595-6504
ZAYO BANDWIDTH MIDWEST, LLC FIBER OPTICS	800-961-6500

2/23/07 City of Detroit general notes

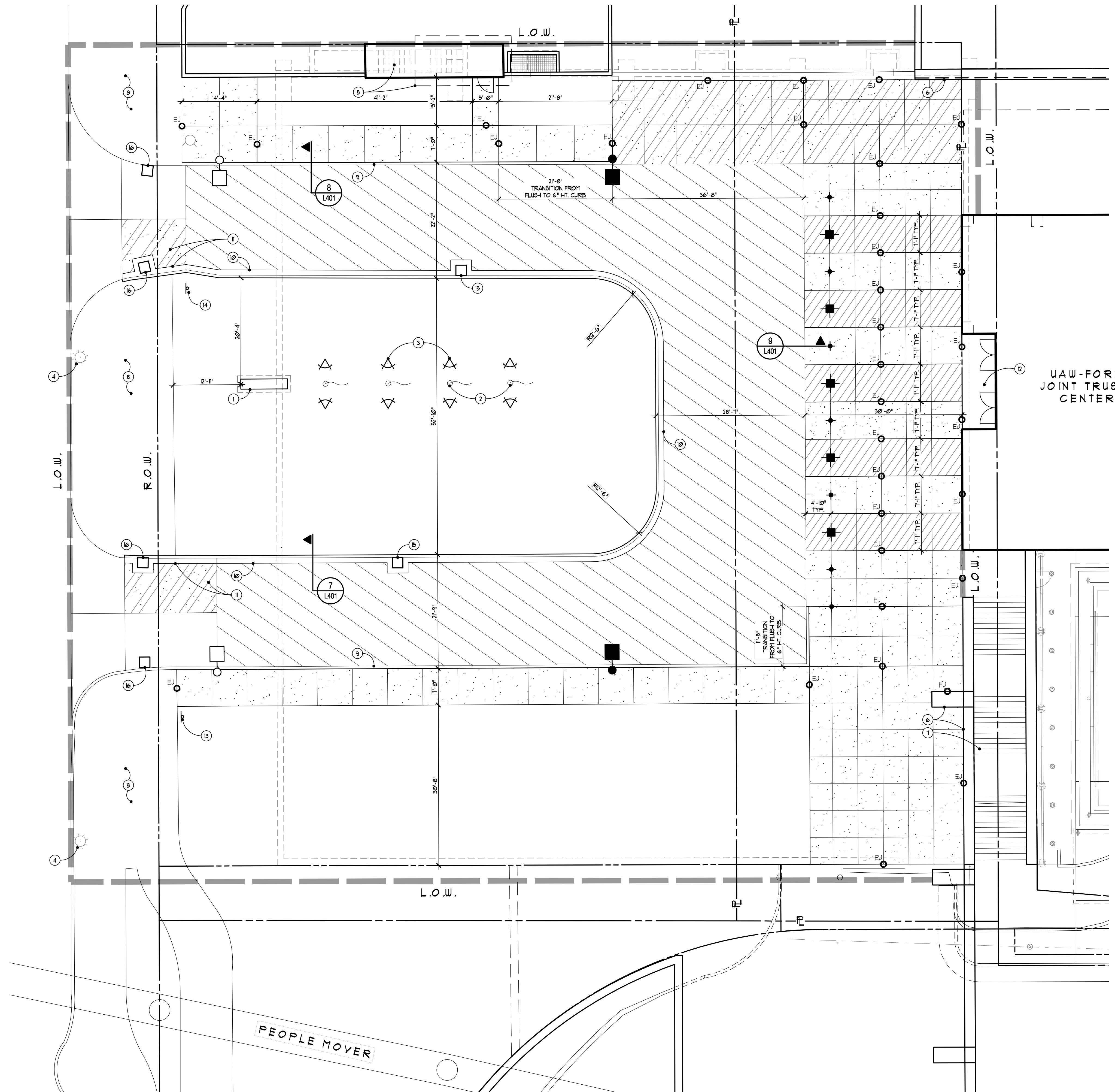


Richard G. Houdek *Julian J. Wargo, Jr.*

UAW-Ford Joint Trusts Center - W. Jefferson Ave. Entrance

Date: 03/21/2024 Issued For: City Review

W. JEFFERSON SERVICE ROAD



Paving & Layout Legend:

- PROPERTY LINE
- - - - - LIMIT OF WORK
- [Pattern] S.D. CONCRETE PAVEMENT, TYP. - REFER TO DETAIL
- [Pattern] H.D. CONCRETE PAVEMENT, TYP. - REFER TO DETAIL
- [Pattern] S.D. INTEGRAL COLORED CONCRETE PAVEMENT, TYP. - REFER TO DETAIL AND SPECS
- [Pattern] S.D. BITUMINOUS PAVEMENT, TYP. - REFER TO DETAIL
- [Symbol] STREETLIGHT, TYP. (QTY. 2), SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS - REFER TO LIGHTING PLAN AND DETAIL
- [Symbol] STREETLIGHT WITH MOUNTED BUILDING FACADE FLOODLIGHTS, TYP. (QTY. 2), SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS - REFER TO LIGHTING PLAN AND DETAIL
- [Symbol] LIGHT COLUMN, TYP. (QTY. 5), SURFACE MOUNT PER MANUFACTURER SPECIFICATIONS - REFER TO LIGHTING PLAN AND DETAIL
- [Symbol] YOKE-MOUNTED FLOODLIGHT, TYP. (QTY. 8), MOUNT PER MANUFACTURER SPECIFICATIONS - REFER TO LIGHTING PLAN AND DETAIL
- [Symbol] CALPIPE BOLLARD, TYP. (QTY. 1) - REFER TO DETAIL AND SPECS

Note Key:

- ① NEW IDENTITY SIGN (BY OTHERS)
- ② PROPOSED FLAG POLES, TYP. - REFER TO DETAIL
- ③ PROPOSED GROUND UPLIGHT, TYP. - REFER TO LIGHTING PLAN
- ④ EXISTING LIGHT POLES, TYP.
- ⑤ EXISTING SUBGRADE PARKING DECK ENTRANCE BUILDING
- ⑥ EXISTING RETAINING WALLS, TYP.
- ⑦ EXISTING STAIRWAYS, TYP.
- ⑧ EXISTING PAVING, TYP.
- ⑨ CONCRETE STRAIGHT CURB, TYP. - REFER TO DETAIL
- ⑩ CONCRETE CURB AND GUTTER, TYP. - REFER TO DETAIL
- ⑪ REPLACE H.D. CONCRETE PAVEMENT, CURB, AND GUTTER N-KIND, RE-STRIP PEDESTRIAN CROSSWALK AS REQUIRED - REFER TO SURVEY AND DEMOLITION PLANS FOR EXISTING CONDITIONS LAYOUT, TYP.
- ⑫ EXISTING CONCRETE WALK PAVEMENT, TYP.
- ⑬ RELOCATED ONE-WAY ENTRANCE SIGN
- ⑭ RELOCATED ONE-WAY / DO NOT ENTER SIGN
- ⑮ PROPOSED 24" DIA. STORMY CATCH BASIN - REFER TO GRADING & DRAINAGE PLAN AND CITY STANDARD DETAILS, TYP.
- ⑯ EXISTING STORMY CATCH BASIN TO REMAIN - REFER TO GRADING & DRAINAGE PLAN, TYP.

Paving & Layout Notes:

1. LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY EXCAVATION WORK.
2. PROTECT ALL NEW AND EXISTING UTILITIES, LIGHTS, PAVEMENT, POLES, ETC. DURING CONSTRUCTION.
3. RESTORE ANY DAMAGED INFRASTRUCTURE TO PRE-CONSTRUCTION CONDITIONS PER SPECIFICATIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION INFORMATION SHOWN PRIOR TO CONSTRUCTION, NOTIFY THE CONSTRUCTION MANAGER OF ANY CONCERNS PRIOR TO PROCEEDING.
5. PROPOSED UTILITIES SHOWN FOR REFERENCE ONLY.
6. LAYOUT TO BE COMPLETED BY A REGISTERED SURVEYOR, SUBMIT SURVEYORS NAME AND CONTACT INFORMATION PRIOR TO LAYOUT.
7. ALL SITE LAYOUT SHALL BE STAKED IN THE FIELD AND REVIEWED BY THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING.
8. MEET ALL EXISTING PAVEMENT AND SIDEWALKS FLUSH AT EXISTING WIDTHS AS SHOWN ON PLANS.
9. ELECTRONIC FILES ARE AVAILABLE UPON REQUEST.

**GRISSIM
METZ ASSOCIATES
ANDRIESE**

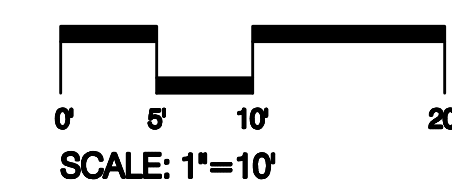
Landscape Architecture
15000 Edward N. Hines Dr., Suite A
Plymouth, MI 48170
Ph: 248-347-7010

Project:
UAW-Ford Joint Trusts Center -
W. Jefferson Ave. Entrance
Detroit, MI

Sheet:
Paving & Layout Plan

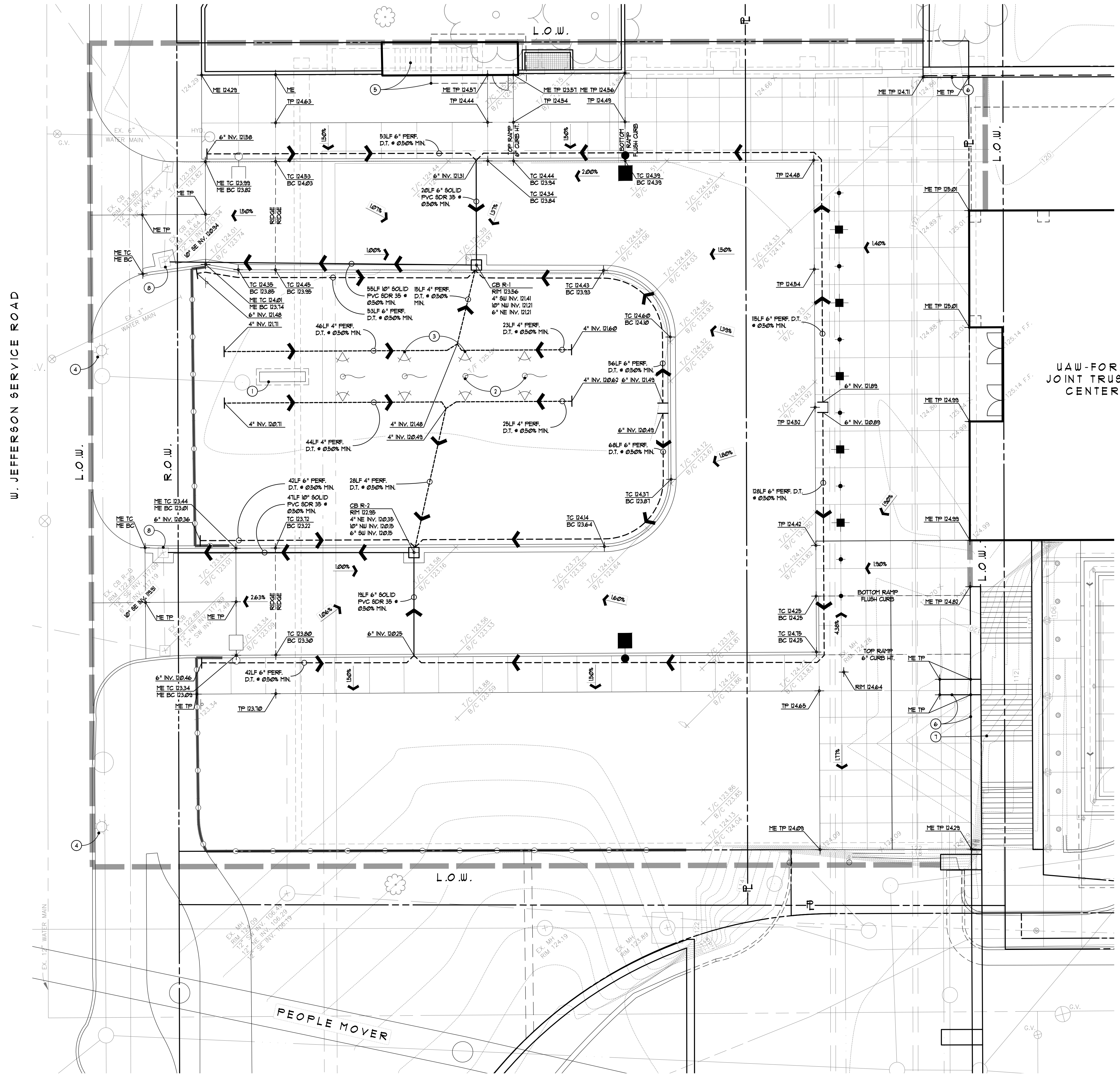
Job Number: F31-221
Drawn: BGB
Checked: RGH
Scale: As Noted

Date: 03-22-2023 BSEED Review
03-31-2023 BIDS
11-02-2023 City Review
11-03-2023 REBID
03-21-2024 City Review



Sheet Number:
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L201



Grading & Drainage Legend:

	PROPERTY LINE
	LIMIT OF WORK
	EROSION CONTROL SILT FENCE, TYP. - REFER TO DETAIL
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION (+ 479.755)
	PROPOSED CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED SPOT ELEVATION (+ 479.755)
	TC PROPOSED TOP OF CURB ELEVATION, TYP.
	BC PROPOSED BOTTOM OF CURB ELEVATION, TYP.
	TP PROPOSED TOP OF PAVEMENT ELEVATION, TYP.
	ME MATCH EXISTING ELEVATION, TYP.
	RM PROPOSED RIM ELEVATION OF STRUCTURE, TYP.
	PROPOSED 24" DIA. STORM CATCH BASIN, INSTALL INLET PROTECTION FABRIC DROP ONCE CONSTRUCTED, TYP. REFER TO DETAILS AND NOTES
	DIRECTION OF FLOW
	C.O. (CLEAN OUT)
	TRANSITION FROM PERFORATED DRAIN TILE TO SOLID DRAIN PIPE
	STREETLIGHT, TYP. (QTY. 2) - REFER TO LIGHTING PLAN AND DETAIL
	STREETLIGHT WITH MOUNTED BUILDING FACADE FLOODLIGHTS, TYP. (QTY. 2) - REFER TO LIGHTING PLAN AND DETAIL
	LIGHT COLUMN, TYP. (QTY. 5) - REFER TO LIGHTING PLAN AND DETAIL
	YOKE-MOUNTED FLOODLIGHT, TYP. (QTY. 8) - REFER TO LIGHTING PLAN AND DETAIL
	CALPIPE BOLLARD, TYP. (QTY. 1) - REFER TO DETAIL AND SPECS

- ### Note Key:
- NEW IDENTITY SIGN (BY OTHERS)
 - REINSTALLED FLAG POLES, TYP.
 - PROPOSED GROUND UPLIGHT, TYP. - REFER TO LIGHTING PLAN
 - EXISTING LIGHT POLES, TYP.
 - OUTLINE OF EXISTING SUBGRADE PARKING DECK BELOW
 - EXISTING RETAINING WALLS, TYP.
 - EXISTING STAIRWAYS, TYP.
 - TAP EXISTING CATCH BASIN, TYP. - REFER TO CITY STANDARD DETAILS AND NOTES

- ### Grading & Drainage Notes:
- LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY EXCAVATION WORK.
 - PROTECT ALL NEW AND EXISTING UTILITIES, LIGHTS, PAVEMENT, POLES, ETC. DURING CONSTRUCTION.
 - RESTORE ANY DAMAGED INFRASTRUCTURE TO PRE-CONSTRUCTION CONDITIONS PER SPECIFICATIONS.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION INFORMATION SHOWN PRIOR TO CONSTRUCTION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONCERNS PRIOR TO PROCEEDING.
 - PROPOSED UTILITIES SHOWN FOR REFERENCE ONLY.
 - MEET ALL EXISTING ROAD PAVEMENT, CURBS, GUTTERS, AND SIDEWALKS FLUSH AT EXISTING WIDTHS AS SHOWN ON PLANS.
 - EXISTING SPOT GRADES SHOWN ON PLAN TAKEN FROM SITE SURVEYING ON JANUARY 18, 2023, AND MAY VARY FROM OFFICIAL SURVEY BY +/- 0.10'. CONTRACTOR SHALL CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONCERNS PRIOR TO PROCEEDING.
 - EXISTING SPOT GRADE ELEVATION PER CITY OF DETROIT DATUM. (ADD 479.755 FEET FOR U.S.C. AND G.S. DATUM)

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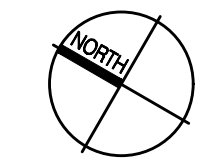
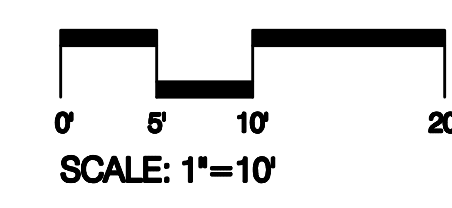
Landscape Architecture
 15000 Edward N. Hines Dr., Suite A
 Plymouth, MI 48170
 Ph: 248-347-7010

Project:
**UAW-Ford Joint Trusts Center -
 W. Jefferson Ave. Entrance
 Detroit, MI**

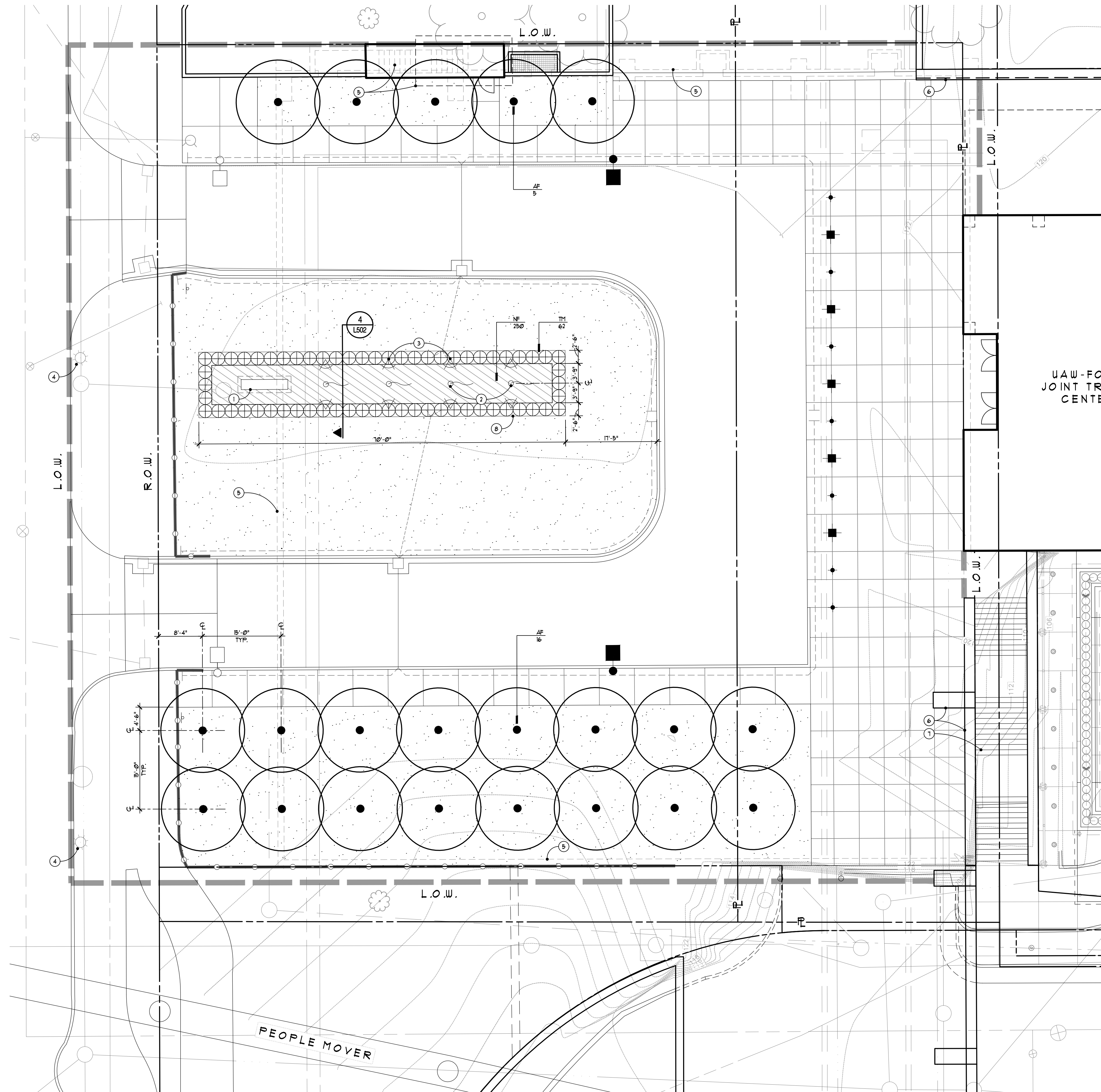
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Grading & Drainage Plan

Job Number: F31-221
 Drawn: BGB
 Checked: RGH
 Scale: As Noted

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W. JEFFERSON SERVICE ROAD



UAW-FORD
JOINT TRUSTS
CENTER

Landscape Legend:

- PROPERTY LINE
- - - LIMIT OF WORK
- - - EROSION CONTROL SILT FENCE, TYP. - REFER TO DETAIL
- SEEDED AND IRRIGATED LAWN ON 4" DEPTH IMPORTED TOPSOIL, TYP.
- PLANT CODE
- AF 21 CALIF. SIZE, IF APPLICABLE
- QUANTITY
- STREETLIGHT, TYP. (QTY. 2) - REFER TO LIGHTING PLAN AND DETAIL
- STREETLIGHT WITH MOUNTED BUILDING FACADE FLOODLIGHTS, TYP. (QTY. 2) - REFER TO LIGHTING PLAN AND DETAIL
- LIGHT COLUMN, TYP. (QTY. 5) - REFER TO LIGHTING PLAN AND DETAIL
- YOKE-MOUNTED FLOODLIGHT, TYP. (QTY. 8) - REFER TO LIGHTING PLAN AND DETAIL
- CALPIPE BOLLARD, TYP. (QTY. 1) - REFER TO DETAIL AND SPECS

Note Key:

- ① NEW IDENTITY SIGN (BY OTHERS)
- ② PROPOSED FLAG POLES, TYP. - REFER TO DETAIL
- ③ PROPOSED GROUND UPLIGHT, TYP. - REFER TO LIGHTING PLAN
- ④ EXISTING LIGHT POLES, TYP.
- ⑤ OUTLINE OF EXISTING SUBGRADE PARKING DECK BELOW
- ⑥ EXISTING RETAINING WALLS, TYP.
- ⑦ EXISTING STAIRWAYS, TYP.
- ⑧ STEEL EDGING BETWEEN ALL PLANT BEDS AND LAWN AREAS, TYP.

Landscape Notes:

1. INSTALL 4" DEPTH SHREDDED BARK MULCH IN ALL PLANTING BEDS.
2. LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY EXCAVATION WORK.
3. PROTECT ALL NEW AND EXISTING UTILITIES, LIGHTS, PAVEMENT, POLES, ETC. DURING CONSTRUCTION.
4. RESTORE ANY DAMAGED LANDSCAPE OR INFRASTRUCTURE TO PRE-CONSTRUCTION CONDITIONS PER SPECIFICATIONS.
5. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION INFORMATION SHOWN PRIOR TO CONSTRUCTION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONCERNS PRIOR TO PROCEEDING.

Plant List

Canopy/Trees				
CODE	QTY.	DESCRIPTION	SIZE	COMMENTS
AF	21	Acer x freemanii 'Autumn Blaze'	3" cal.	B&B
		Autumn Blaze Maple		
Shrubs and Perennials				
CODE	QTY.	DESCRIPTION	SIZE	COMMENTS
NF	250	Nepeta x faassenii 'Walker's Low'	2 gal.	plant 18" o.c.
		Walker's Low Catmint		
TM	62	Taxus x media 'Densaformis'	30" H./spd.	plant 30" o.c.
		Dense Yew		prune to 18" ht.

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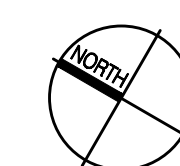
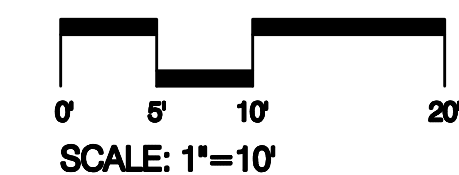
Landscape Architecture
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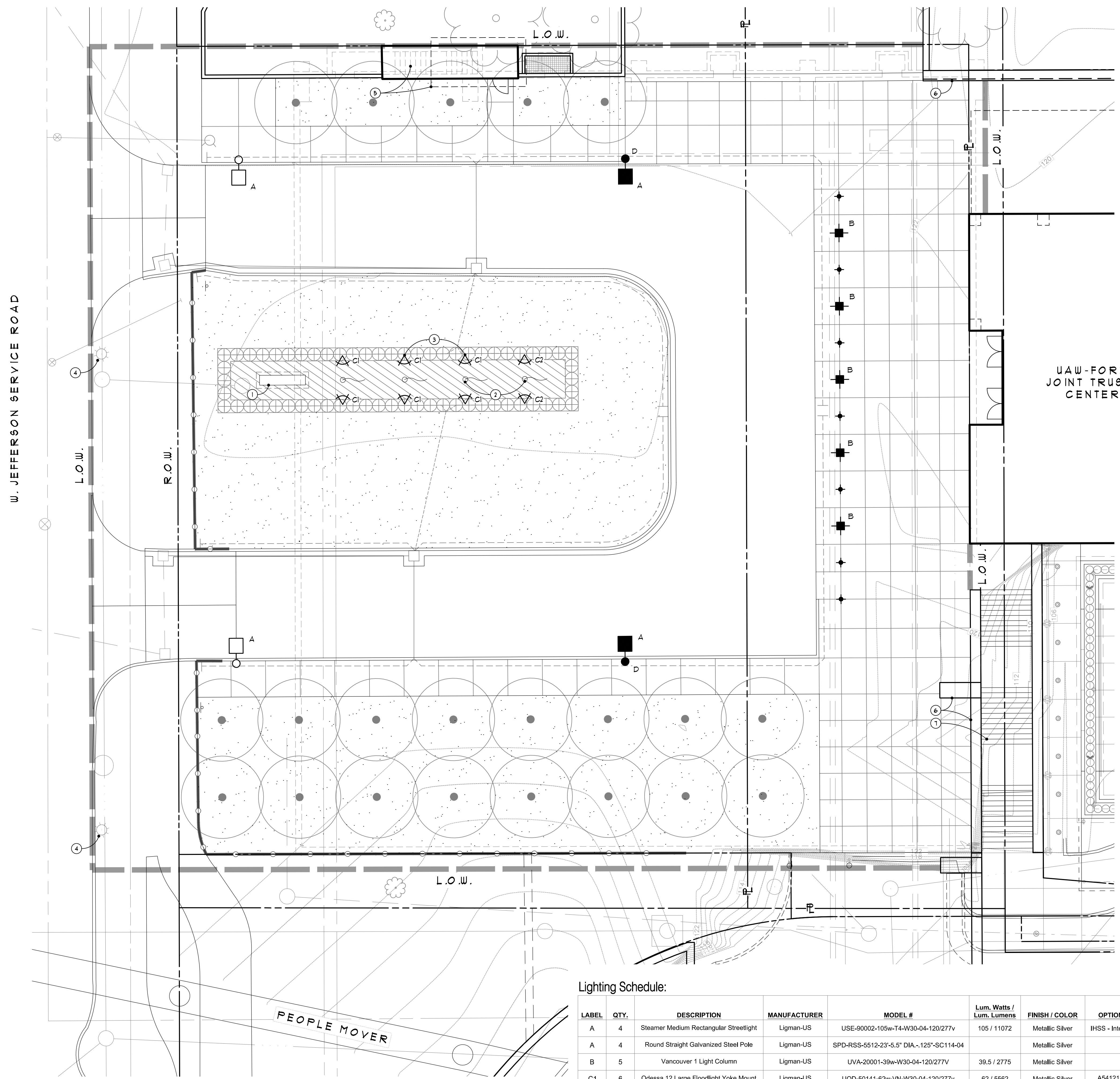
Sheet:
Landscape Plan

Job Number: F31-221
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Checked: RGH
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Lighting Legend:

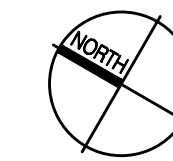
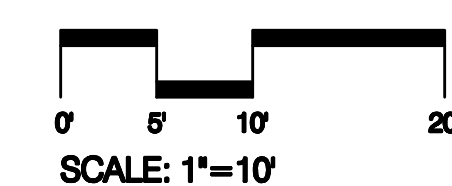
- PROPERTY LINE
- - - LIMIT OF WORK
- - - EROSION CONTROL SILT FENCE, TYP. - REFER TO DETAIL
- ○ STREETLIGHT, TYP. (QTY. 2) - REFER TO TABLE BELOW AND DETAIL
- ● STREETLIGHT WITH MOUNTED BUILDING FACIADE FLOODLIGHTS, TYP. (QTY. 2) - REFER TO TABLE BELOW AND DETAIL
- ⊕ LIGHT COLUMN, TYP. (QTY. 5) - REFER TO TABLE BELOW AND DETAIL
- ▽ YOE-MOUNTED FLOODLIGHT, TYP. (QTY. 8) - REFER TO TABLE BELOW AND DETAIL
- ✦ CALPIPE BOLLARD, TYP. (QTY. 1) - REFER TO DETAIL AND SPECS

Note Key:

- ① NEW IDENTITY SIGN (BY OTHERS)
- ② REINSTALLED FLAG POLES, TYP.
- ③ PROPOSED GROUND UPLIGHT, TYP. - REFER TO LIGHTING PLAN
- ④ EXISTING LIGHT POLES, TYP.
- ⑤ EXISTING SUBGRADE PARKING DECK ENTRANCE BUILDING
- ⑥ EXISTING RETAINING WALLS, TYP.
- ⑦ EXISTING STAIRWAYS, TYP.

Lighting Schedule:

LABEL	QTY.	DESCRIPTION	MANUFACTURER	MODEL #	Lum. Watts / Lum. Lumens	FINISH / COLOR	OPTIONS / ACCESSORIES
A	4	Steamer Medium Rectangular Streetlight	Ligman-US	USE-90002-105w-T4-W30-04-120/277v	105 / 11072	Metallic Silver	IHSS - Internal House Side Shield
A	4	Round Straight Galvanized Steel Pole	Ligman-US	SPD-RSS-5512-23'-5.5" DIA.-125"-SC114-04		Metallic Silver	
B	5	Vancouver 1 Light Column	Ligman-US	UVA-20001-39w-W30-04-120/277v	39.5 / 2775	Metallic Silver	
C1	6	Odessa 12 Large Floodlight Yoke Mount	Ligman-US	UOD-50141-62w-VN-W30-04-120/277v	62 / 5562	Metallic Silver	A54121 - Honeycomb Louvre
C2	2	Odessa 12 Large Floodlight Yoke Mount	Ligman-US	UOD-50143-45w-VN-W30-04-120/277v	45 / 3778	Metallic Silver	A54121 - Honeycomb Louvre
D	4	RGBW/RGBA Inner Mixing Architectural Spot and Floodlight (2 per pole)	GVA Lighting	FL200-SR-RGBW30K-IM-20-AC277-PM6	201.18 / 10134	Silver Matte Powder Coated	FL200-PM200-Dual Pole Mount Optional Visor



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E101

Luminaire Location Summary		Insertion Point				
LumNo	Label	X	Y	Z	Orient	Tilt
43	B	163.219	146.369	14.58	0	0
44	B	163.219	117.872	14.58	0	0
45	B	163.219	103.705	14.58	0	0
46	B	163.219	89.551	14.58	0	0
47	A	48.568	160.812	23	270	0
48	A	121.089	63.47	23	90	0
49	A	45.741	63.486	23	90	0
50	C1	78.894	122.5	0.5	270	173
51	C1	78.894	113.188	0.5	90	173
52	C1	66.864	122.445	0.5	270	173
53	C1	66.864	113.133	0.5	90	173
54	C1	90.66	122.422	0.5	270	173
55	C1	90.66	113.161	0.5	90	173
56	C2	102.355	122.445	0.5	270	173
57	C2	102.355	113.184	0.5	90	173
58	A	121.649	161.469	23	270	0
61	D	122.254	162.064	20	326.494	107
62	D	122.023	62.714	20	39.239	106
63	D	120.538	160.23	20	328.017	94.499
64	D	119.871	64.001	20	37.863	94
65	B	163.219	132.163	14.58	0	0

NOTES:

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.

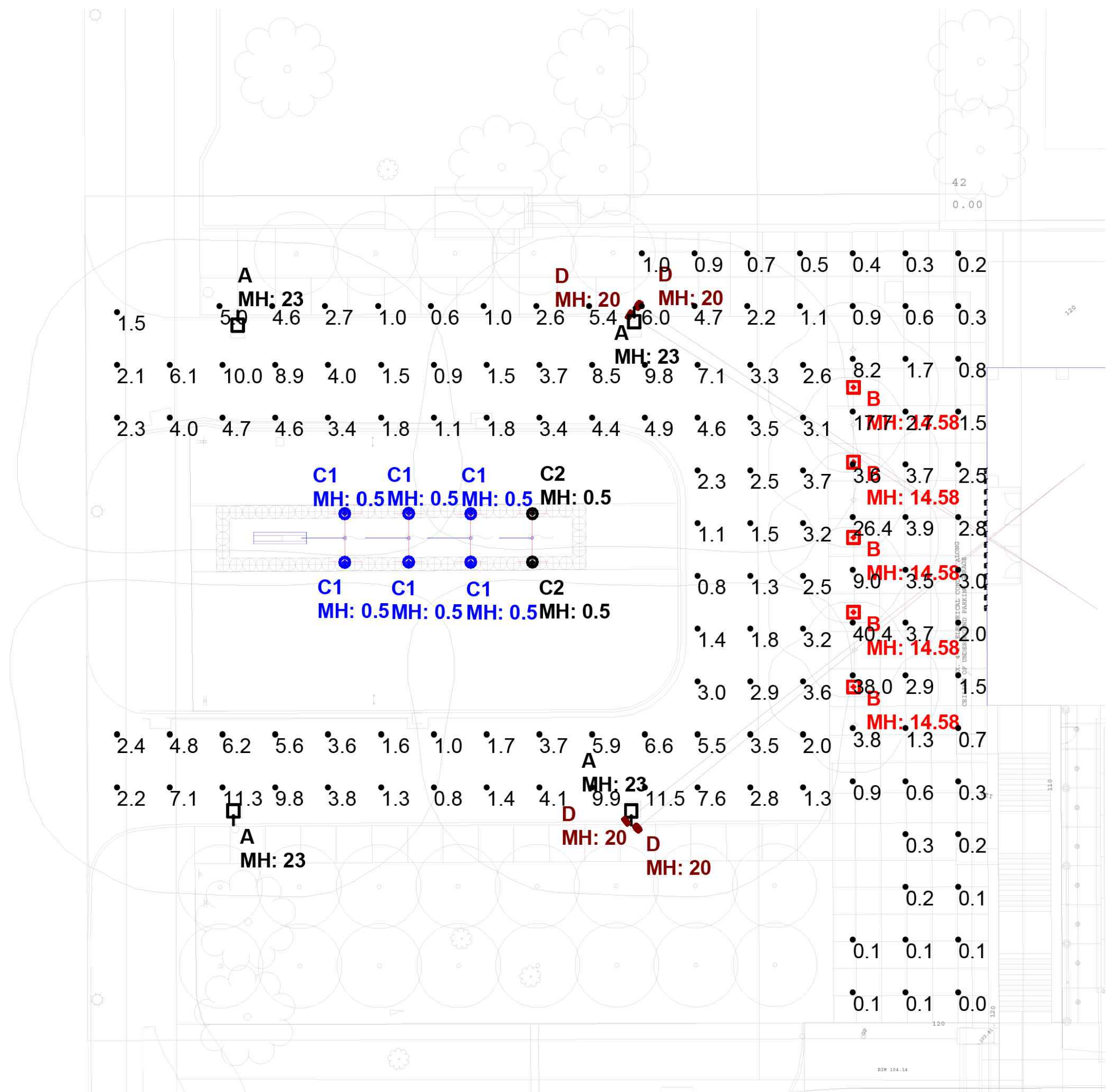
LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.

MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.

CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.

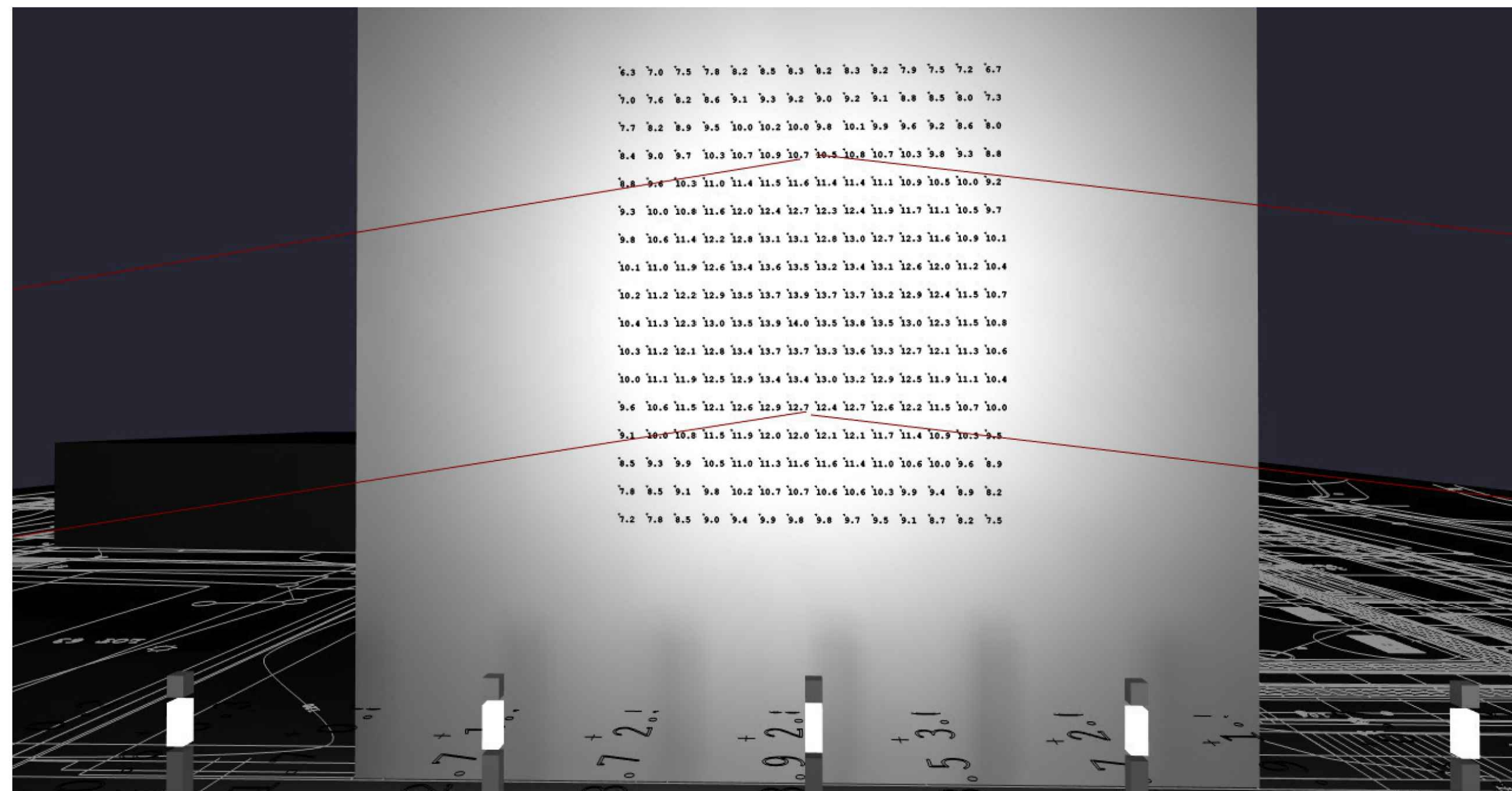
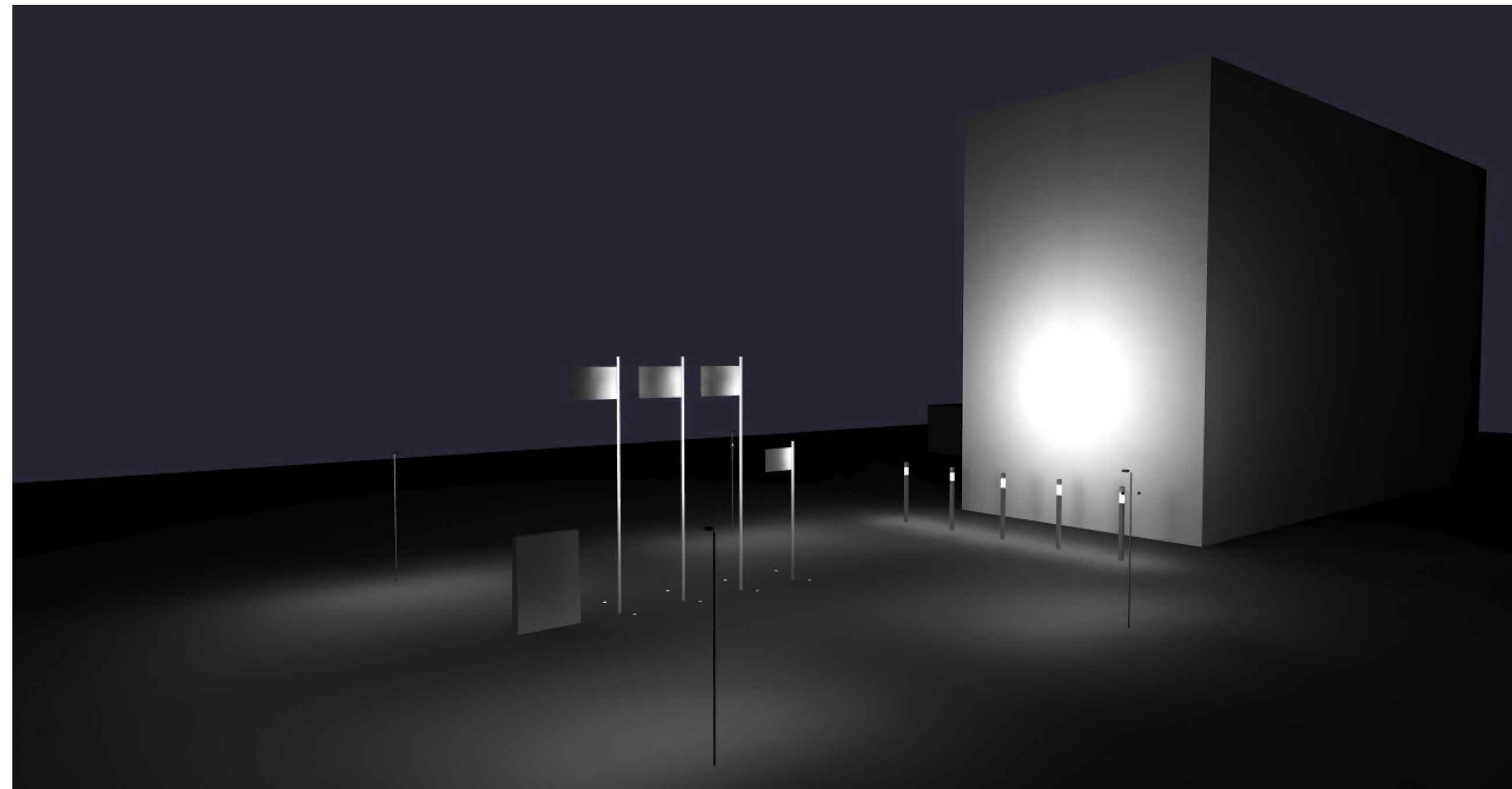
LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO - NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.

FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.



Scale: 1 inch= 15 Ft.

Luminaire Schedule Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
□	4	A	0.900	LIGMAN USE-90002-T4-W30-X-X-HSS	105	11072
□	5	B	0.900	LIGMAN VA-20001-W30	39.5	2775
○	6	C1	0.900	LIGMAN OD-50141-VN-W30-X-X-A54121	62	5562
○	2	C2	0.900	LIGMAN OD-50143-VN-W30-X-X-A54121	45	3778
○	4	D	0.800	GVA FL200-X-RGBW30K-IM-20-X-X-POLE MOUNT AND OPTIONAL VISOR	201.18	10134



Calculation Summary Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Facade_Side_3	Fc	10.75	14.0	6.3	2.22	1.71
Parking Lot and Drive	Fc	3.93	11.5	0.8	14.38	4.91
Sidewalk	Fc	3.92	40.4	0.0	N.A.	N.A.

CALCULATION POINTS TALKED AT 5'-0" ABOVE GRADE LEVEL FOR PARKING AND SIDEWALK.
MOUNTING HEIGHTS ARE INDICATED ADJACENT TO THE LUMINAIRE IN PLAN (MH:XX).
TYPE "D" FACADE LUMINAIRE ARE POLE MOUNTED ON TYPE "A" AREA POLES CLOSEST TO BUILDING.

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W. Jefferson Ave. Entrance
Detroit, MI

Sheet:
Lighting Photometrics

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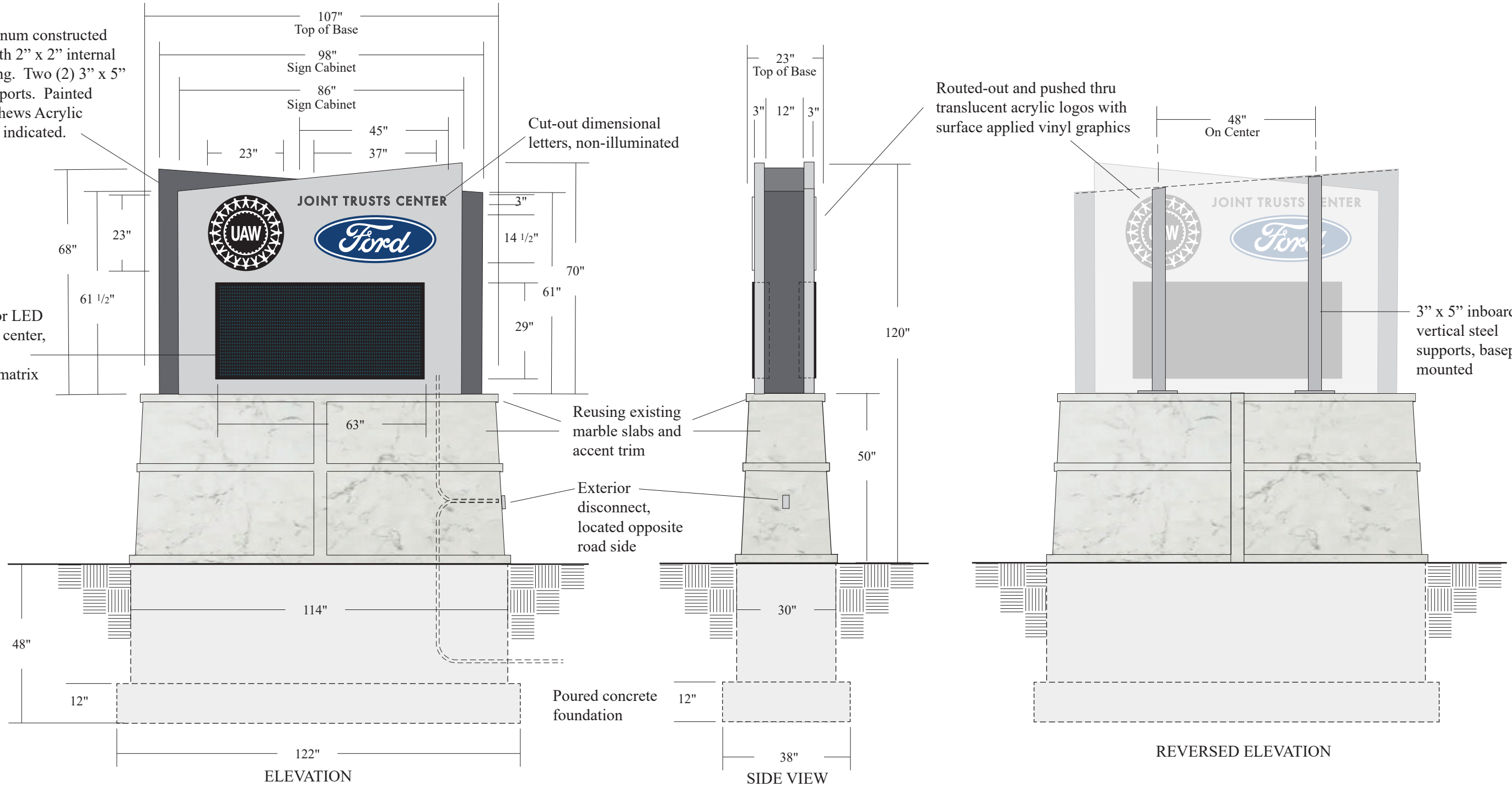
Fabricated aluminum constructed sign cabinets, with 2" x 2" internal aluminum framing. Two (2) 3" x 5" vertical steel supports. Painted with MAP (Matthews Acrylic Polyurethane) as indicated.

Full color LED message center, 10mm, 60x150 matrix

Cut-out dimensional letters, non-illuminated

Routed-out and pushed thru translucent acrylic logos with surface applied vinyl graphics

3" x 5" inboard vertical steel supports, baseplate mounted



ONE (1) INTERNALLY ILLUMINATED MONUMENT SIGN WITH EMC, DOUBLE-SIDED MOUNTED ON AN EXISTING MARBLE BASE
Scale: 3/8" = 1'-0"

MAP Brushed Aluminum	3M Sterling Grey Metallic	3M 3630-157 Sultan Blue	3M 3630-22 Black	MAP Black

SIGNgraphix
8457 Andersonville Rd, Suite H
Clarkston, Michigan 48346
(O) 248.848.1700 (F) 248.848.1722
www.signgraphix.net

UAW - Ford National Programs Center

DRAWING: 02-28-24
24075 02-29-24
JOB:
26617

CLIENT SIGNATURE: _____
DATE: _____

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