

Lauren Hood, MCD
Chairperson
Donovan Smith
Vice Chair/Secretary

Marcell R. Todd, Jr.
Director

City of Detroit
CITY PLANNING COMMISSION
208 Coleman A. Young Municipal Center
Detroit, Michigan 48226
Phone: (313) 224-6225 Fax: (313) 224-4336
e-mail: cpc@detroitmi.gov

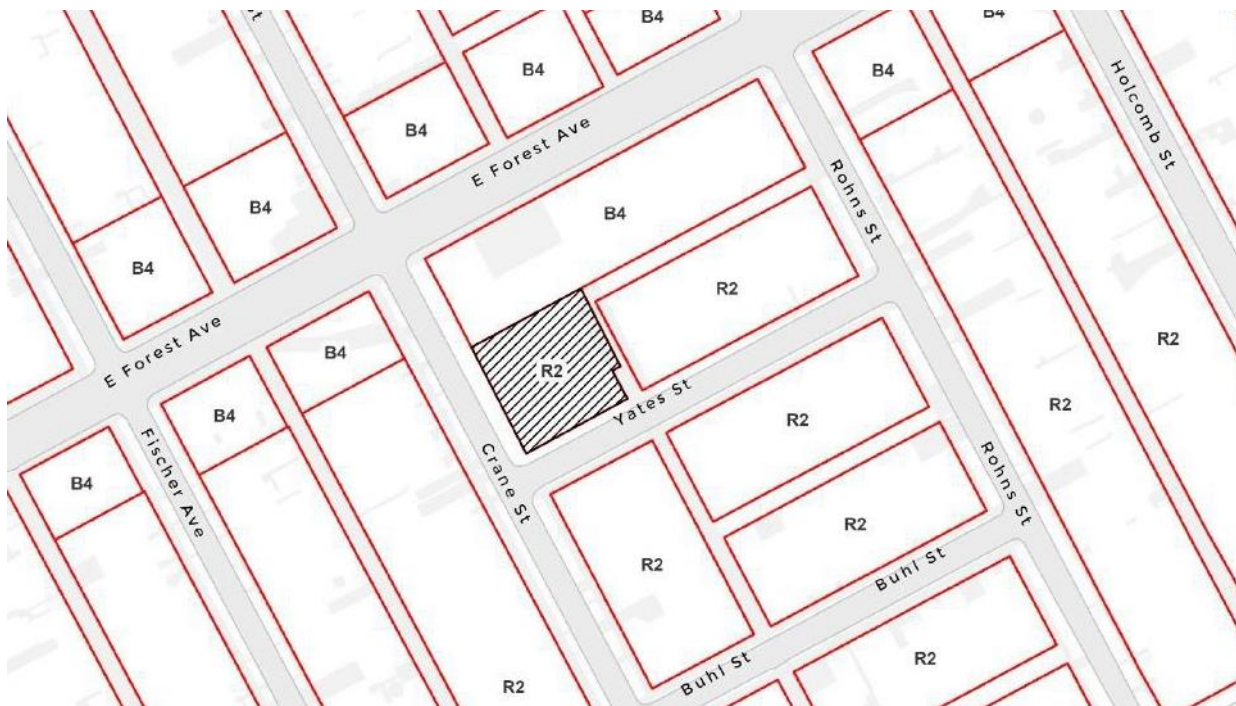
Kenneth R. Daniels
David Esparza, AIA, LEED
Ritchie Harrison
Gwen Lewis
Melanie Markowicz
Frederick E. Russell, Jr.
Rachel M. Udabe

May 22, 2023

HONORABLE CITY COUNCIL

RE: Request of Shane Overbey to amend Article XVII, *Zoning District Maps*, Section 50-17-30, *District Map No. 28*, of the 2019 Detroit City Code, Chapter 50, *Zoning*, to show a B4 (General Business District) zoning classification where an R2 (Two-Family Residential District) zoning classification is currently shown (**RECOMMEND APPROVAL – ORDINANCE INCLUDED TO SET A PUBLIC HEARING**)

The City Planning Commission has received a request to revise the zoning classification of the site commonly known as 4630 Crane Street from R2, indicated on the below map, to B4. This proposed zoning map amendment has been requested to permit the redevelopment of a vacant non-residential building and site with split zoning and would align the zoning map with the historic use and development of this site, which was an extension of the East Forest Avenue commercial corridor.

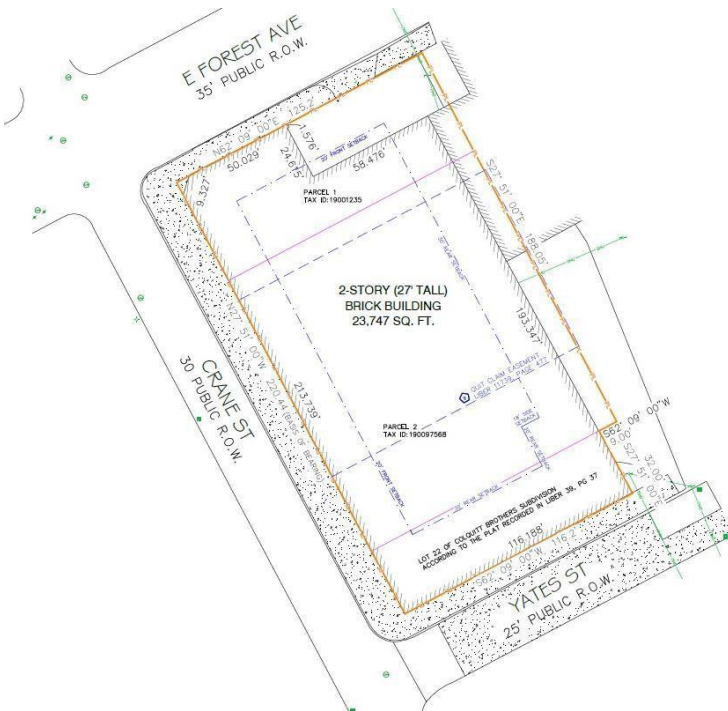


Existing Zoning Map – 4630 Crane Street

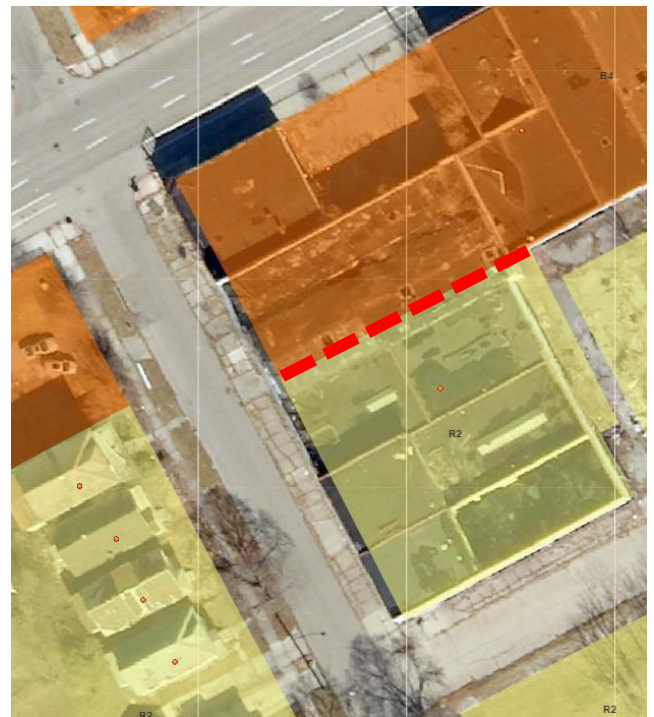
BACKGROUND AND PROPOSAL

Existing Conditions

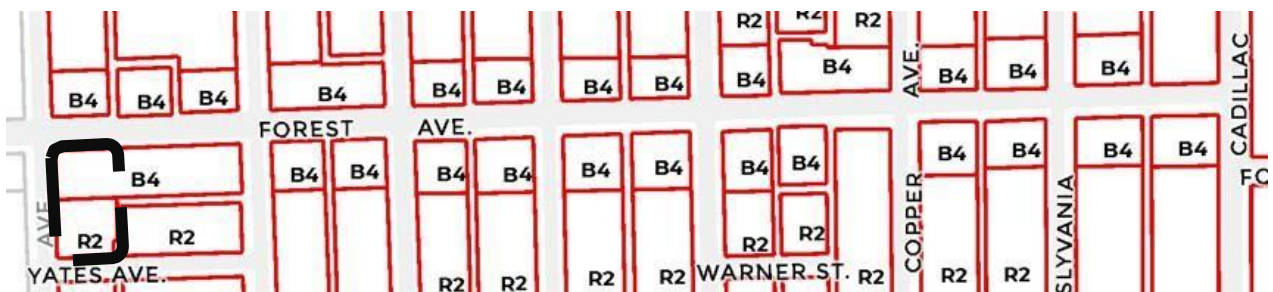
The subject site is in the Gratiot Woods neighborhood in City Council District 5. The Gratiot Woods neighborhood is part of the larger Kettering neighborhood area as specified within the City of Detroit Master Plan of Policies. The proposed rezoning is being requested to allow for the redevelopment of an existing vacant industrial building and site that currently has split zoning: B4 on the north half of the site with frontage on East Forest Avenue and Crane Street, and R2 on the south half of the site with frontage on Crane Street and Yates Street. The overall redevelopment site contains an area (0.63 acres) that is larger than the R2 area subject to this rezoning request given the split zoning and that rezoning is not required for the north portion of the site currently zoned B4. Below is a survey indicating the entire redevelopment area. The red dashed line dividing current B4 zoning (orange) along the East Forest Avenue corridor and R2 zoning (yellow) to the south runs through the site parallel to the north boundary of the alley and rear building walls to the east of the site. This split zoning was likely the result of a historic rezoning that occurred along both sides of the East Forest Avenue corridor ending at Cadillac Avenue to the east. Where alleys are present, they were often used as a zoning dividing line between commercial corridors and residential areas, which could be extended through properties and buildings to provide a uniform depth of commercial zoning along corridors.



ALTA Survey



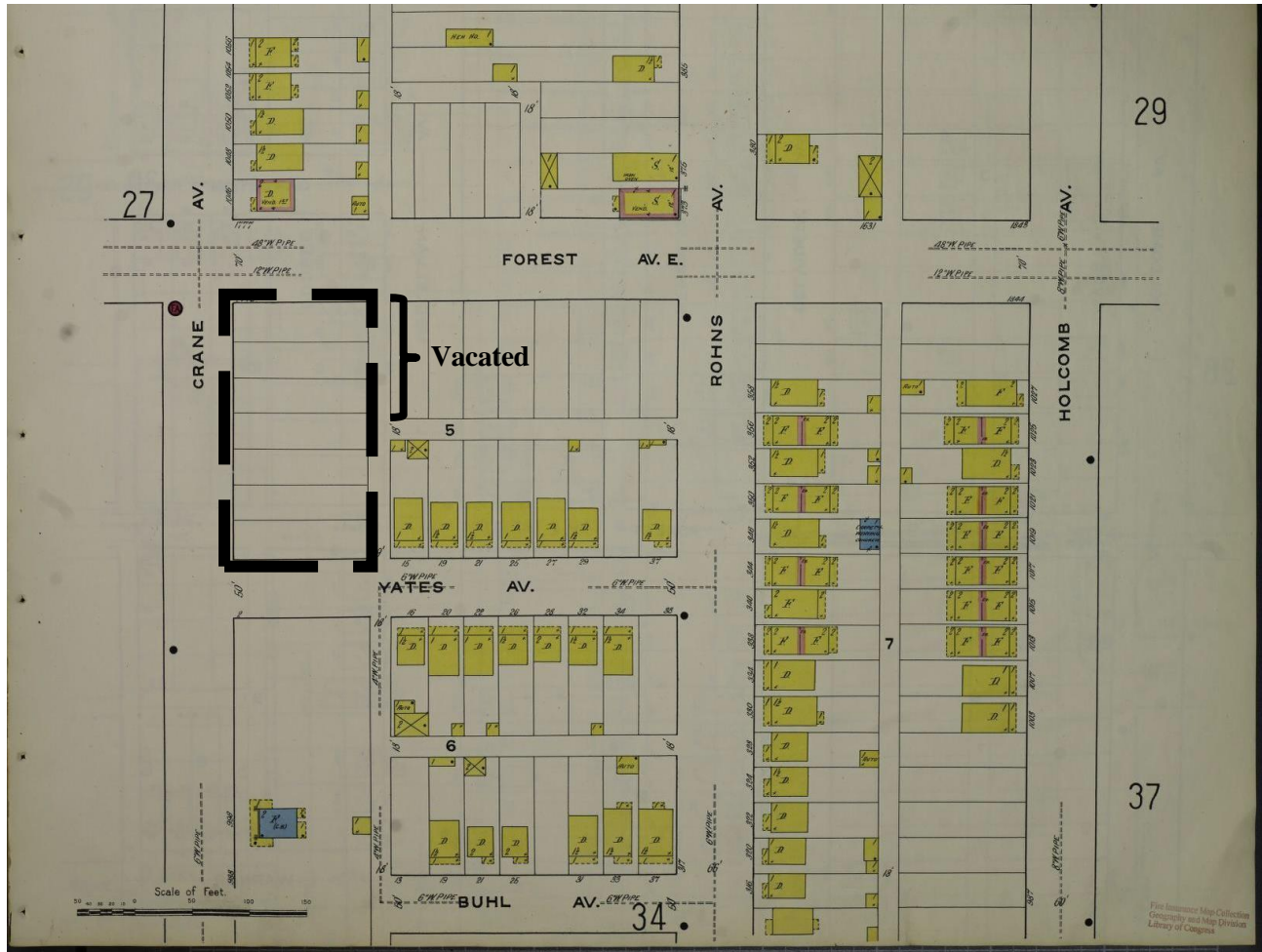
GIS Zoning Map



East Forest Avenue corridor from Crane St to the west and Cadillac Ave to the east

Crane Street Alley – 1915 Sanborn Map

At the October 6 CPC meeting, there was discussion about the alley that runs along the east boundary of the site and the possibility of it being vacated with the applicant proposing an off-street parking area to the east across the alley. Below is a 1915 Sanborn Map indicating the boundaries of the redevelopment site and nearby alleys. On this 1915 map, an alley is indicated that runs north-south to the rear (east) of Crane Street. This historic Crane Street alley appears to be more consistent through the area than east-west alleys to the rear of Forest Avenue. However, as Crane Street was not historically a commercial corridor, that may explain why commercial zoning follows the east-west Forest Avenue commercial corridor and does not wrap around Crane Street, despite the historic use of this site which this map pre-dates. At some point later, the north half of the Crane Street alley connected to Forest Avenue immediately east of the site was vacated, leaving only the south half of the alley with no direct access to Forest Avenue. The north half of the Crane Street alley that was vacated is now occupied by the existing building immediately adjacent to the east of the site.



1915 Sanborn Map

Should the applicant desire to pursue vacating the remaining south half of this Crane Street alley, they could submit a petition to the Department of Public Works (DPW). Prior to the application being accepted, the applicant would be required to obtain a letter of support from all adjacent property owners. However, it may be unlikely that DPW would permit the remaining south half of this alley to be vacated as it would create a dead-end east-west alley from Rohns Street to the east with the through connection to Yates Street to the south being eliminated. Avoiding the creation of dead-end alleys is one of DPW's submission requirements.

Nonconforming Status – 4630 Crane Street

At the October 6 CPC meeting, it was asked if the existing site is considered nonconforming given that there is a vacant industrial building present on a site zoned R2. The applicant has submitted a letter from BSEED (attached) that states the current legal nonconforming use of the building is “dry cleaning and laundering” per a Board of Zoning Appeals (BZA) grant from 1976 and a building permit issued in 1977. Zoning Ordinance (ZO) Section 50-15-30 provides a process for applicants with a nonconforming use to pursue permitting a change of use subject to review and approval by the BZA. This process was established, in part, to encourage the reuse of existing non-residential buildings that may not be zoned appropriately without requiring a rezoning. This procedure was previously discussed with the applicant and may remain an option should this rezoning request be denied or withdrawn. However, staff believes that rezoning this site to B4 would be a more appropriate procedure than utilizing Section 50-15-30 given that the nonconforming dry cleaning and laundering use appears to have been abandoned at some point as the building is vacant, and that this rezoning request would correct what appears to be a historic zoning map oversight as the current R2 zoning does not reflect the historic use of this site and building, which was an extension of the East Forest Avenue commercial corridor.

Zoning District Descriptions

Below are the ZO descriptions for the applicable zoning districts.

R2 – Two-Family Residential (Current)

The district is designed to protect and enhance those areas developed or likely to develop with single- or two-family dwellings. The district regulations are designed to promote a suitable environment for homes and for activities connected with family life. The only principal uses permitted by-right are single- and two-family dwellings. Additional uses are conditional.

B4 – General Business (Proposed)

This district is designed to provide for business and commercial uses of a throughfare-oriented nature. In addition to these uses, other businesses, which may benefit by drawing part of their clientele from passing traffic are permitted. Additional uses, which may be successfully blended with permitted by-right uses, are conditional.

Proposed Development

This rezoning would allow for the redevelopment of the first floor of the existing building for the specific land use of “trade services, general”, which permits cabinet-making and similar industrial service uses. Within the existing second floor, one future office tenant space is indicated and one future living space. Please refer to the plan set dated September 30 for detailed information on the proposed redevelopment of the site that would occur if this rezoning were approved.

It is important to note that in general, rezoning approval does not legally constitute approval of a specific proposed development, site plan, or set of land uses. If approved, the by-right and conditional uses included in the B4 district would be permissible on the site, subject to the development meeting the full set of permitting requirements included in the ZO and the remaining 2019 Detroit City Code. We have no reason to believe that the applicant would ultimately develop the site differently than what is currently proposed, but we point this out as zoning is a long-term and general regulatory impact on property rights. However, we would like to emphasize that the split zoning that is currently affecting the overall site appears to be an inexact treatment of the property that does not reflect the historic use of the building intended to be redeveloped. Approval of this zoning request would correct this historic map oversight and would eliminate this conflicting messaging that this portion of the site and building were ever used as a two-family dwelling under the current R2 zoning district.

CPC AND COMMUNITY ENGAGEMENT MEETINGS

October 6 and November 3 CPC Meetings

On October 6, 2022, the CPC held a public hearing on the proposed amendment, which was continued to the November 3 meeting. This continuance allowed time for the applicant to participate in the November 1 community meeting summarized below. No public comments were received at either the October 6 or November 3 meetings.

Applicant Contact with Neighbors

The applicant has indicated that they have contacted three residential neighbors and one commercial neighbor in the adjacent building to the east. The applicant stated that all feedback was very positive and that neighbors do not like having a vacant building across the street from their homes. Below are the individuals that the applicant stated they have contacted and their address:

1. Roosevelt Hendrix: 8842 East Forest Avenue (commercial building adjacent to the east)
2. Carlton Spencer: 4549 Crane Street (immediately west of the site across Crane Street)
3. Michelle Gowens: 4627 Crane Street (immediately west of the site across Crane Street)
4. Hudson McKay: 4534 Rohns Street (east of the development site)

November 1 Community Meeting

On November 1, with assistance from the Department of Neighborhoods District 5 Manager and Eastside Community Network (ECN), the applicant presented their proposal to community members for feedback and discussion. Approximately 30 people attended this meeting, including leadership from two Crane Street block clubs. Additionally, ECN conducted their own community outreach on October 28 to contact residents in the area of Crane Street and East Forest Avenue to make them aware of the proposal. A key focus of this meeting was to make the applicant and attendees aware of the efforts of the Goodstock Detroit community development organization that operates in the area defined by Gratiot Avenue and I-94 to the north, St. Jean to the east, Mack Avenue to the south, and Van Dyke to the west. The boundary of this area includes the subject rezoning site. Goodstock Detroit was created by community leaders and ECN in 2015 and contains over two square miles that includes block clubs, neighborhood groups, faith-based organizations, and businesses. Goodstock Detroit's purpose is as follows from the ECN website:

“To build community capacity so that neighbors can target and plan for themselves and their neighborhood in a sustainable and achievable way. The purpose of this committee is to establish a resident-led anchor in the community to plan, drive equitable development, spur authentic collaboration with the city of Detroit in order to advocate for city services and prompt response time, and to effectively engage stakeholders toward the revitalization of the neighborhood.”

After the applicant's presentation, attendees were invited to ask questions and engage the applicant in a discussion of the project. Some topics discussed were directly related to zoning and the rezoning process, while others were more focused on the applicant's proposal, business, and future desires should the redevelopment proposal be completed. Attached is a summary of zoning-related and non-zoning comments. In general, attendees were in favor of the applicant's investment in the building and area and were supportive of his proposal.

PLANNING CONSIDERATIONS

Surrounding Zoning and Land Uses

North: B4 (Commercial)
East: R2 (Vacant Land)
South: R2 (Vacant Land)
West: R2 (Residential – Single Family Dwellings)

Status of Adjacent Crane Street Homes

At the October 6 CPC meeting, there was a question about the ownership and occupancy status of the five existing homes immediately to the west of the site across Crane Street. Below is a summary of information regarding this. At the November 1 community meeting, staff was made aware that 4617 Crane Street, which appears to be vacant, is currently undergoing renovation. Therefore, it appears that all five homes to the west of the site along Crane Street are currently occupied or may be soon.

Address	Taxpayer (address)	Occupancy
4627 Crane St	Michelle Gowens-Smith (4627 Crane St)	Occupied
4621 Crane St	4 Show Michigan LLC (Dearborn)	Occupied
4617 Crane St	Fannie Mae (Texas)	Vacant – Renovation
4611 Crane St	Pavala LLC (Florida)	Occupied
4549 Crane St	Carlton Spencer (4549 Crane St)	Occupied



4617 Crane St – Under Renovation

Impacts on Surrounding Land Use and Transportation

The site contains the southern portion of a former dry-cleaning establishment. Because the site has contained a commercial use for many years, a significant impact is not anticipated. The site is served by a bus route on East Forest Avenue, which is designated as a “Secondary Thoroughfare”. Traffic generation is not anticipated to be significantly higher than historic commercial uses, so minimal impact is anticipated. Lastly, a bike lane is present along East Forest Avenue immediately to the north of the site, which is the eastbound bike lane that is coupled with the westbound bike lane present on East Warren Avenue to the north. These bike lanes provide cycling infrastructure from Cadillac Avenue to the east, which is the end of East Forest Avenue, and Dequindre Street to the west.



Bike Lanes – East Forest Avenue and Warren Avenue (2009 DPW Map)

Master Plan Consistency

Below is the Planning and Development Department’s Master Plan Interpretation as provided in the attached document:

“The site is designated Low Density Residential (RL) in the Master Plan. The RL areas should have an overall density up to eight dwelling units per net residential acre. These areas are often characterized by single-family homes with front yard setbacks and driveways with garage or off-street parking. While the proposed zoning classification is not consistent with the Master Plan’s Future General Land Use classification, its size is quite small and the rezoning and proposed use is similar to that which has been on the site for many years. Therefore, the rezoning is not anticipated to change the overall character of the neighborhood. It is therefore **generally consistent** with the Master Plan classification. The mixed-use development will provide needed commercial activity in this area and permit reuse of a long-vacant building.”

Map Amendment (Rezoning) Approval Criteria

Section 50-3-70 of the ZO states that decisions on a zoning map amendment shall be based on consideration of the below eight criteria. CPC staff findings are included with each item in italics.

1. Whether the proposed amendment corrects an error or meets the challenge of some changing condition, trend, or fact.
 - *The proposed amendment would correct a historic zoning map oversight as the current R2 zoning does not reflect the historic use of the site and building, which was developed as an extension of the East Forest Avenue commercial corridor.*
2. Whether the proposed amendment is consistent with the Master Plan and the stated purposes of this chapter (the ZO).
 - *The Planning and Development Department has provided a Master Plan Interpretation that finds the proposed amendment is generally consistent with the Master Plan.*

- *Consistency with the stated purpose of the ZO, provided in Article I of the ZO, would be reviewed in detail as part of the zoning compliance review and permitting process through BSEED.*
3. Whether the proposed amendment will protect the health, safety, and general welfare of the public.
 - *The proposed amendment would allow for the redevelopment of a vacant, dilapidated nonresidential building near single-family homes. If completed, this should lead to a positive impact on the health, safety, and general welfare of the public.*
 4. Whether the City and other service providers will be able to provide adequate public facilities and services to the subject property, while maintaining adequate levels of service to existing development.
 - *On March 22, the applicant presented their proposal to BSEED and other review agencies during a Preliminary Plan Review (PPR) meeting. No concerns were expressed during this meeting regarding the City or other service providers being able to provide adequate public facilities and services to the site.*
 5. Whether the proposed rezoning will have significant adverse impacts on the natural environment, including air, water, soil, wildlife, and vegetation and with respect to anticipated changes in noise and regarding stormwater management.
 - *No significant adverse impacts are anticipated as the proposed amendment would allow for the redevelopment of an existing building. Additionally, the applicant has previously indicated that all business activities would occur indoors to limit noise and that stormwater management, and potentially green infrastructure, may be provided as the applicant continues to work towards the permitting process if approved.*
 6. Whether the proposed amendment will have significant adverse impacts on other property that is in the vicinity of the subject tract.
 - *The proposed amendment would allow for the redevelopment of a vacant, dilapidated nonresidential building near single-family homes. If completed, this should lead to a positive impact on the immediate area.*
 7. The suitability of the subject property for the existing zoning classification and proposed zoning classification.
 - *The zoning that is currently affecting the overall development site appears to be an inexact treatment of the property that does not reflect the historic use of the building planned for redevelopment. Approval of the proposed B4 zoning classification would correct this historic zoning map oversight and would eliminate split zoning currently affecting the property and conflicting messaging that this portion of the site and building was ever used as a two-family dwelling under R2 zoning.*
 8. Whether the proposed rezoning will create an illegal “spot zone.”
 - *The proposed amendment would not create a “spot zone”, or a small zone of inconsistent use within a larger zone, as the proposed B4 zoning would be an extension of B4 zoning present along the East Forest Avenue commercial corridor.*

NOVEMBER 3 CPC RECOMMENDATION TO CITY COUNCIL

Based on the above analysis and consistent with the approval criteria of Section 50-3-70, the CPC voted to recommend approval of this request at its November 3, 2022, meeting.

Respectfully submitted,

LAUREN HOOD, CHAIRPERSON



Marcell R. Todd, Jr., Director
Eric Fazzini, City Planner

Attachments: Ordinance Approved as to Form
Rezoning Petition 2022-219
BSEED Nonconforming Letter
CPC Public Hearing Notice
Sept. 30 Plan Set
P&DD Master Plan Interpretation
November 1 Community Meeting Flyer
November 1 Community Meeting Comments
Updated Zoning Map 28

cc: Antoine Bryant, Director, P&DD
Karen Gage, P&DD
Greg Moots, P&DD
David Bell, Director, BSEED
Jayda Philson, BSEED
Joshua Roberson, DON District Manager
Conrad L. Mallett, Corp. Counsel
Bruce Goldman, Law
Jonathan Demers, Law

SUMMARY

This ordinance amends Chapter 50 of the 2019 Detroit City Code, *Zoning*, by amending Article XVII, *Zoning District Maps*, Section 50-17-30, *District Map No. 28*, to revise the zoning classification of the parcel generally located on the east side of Crane Street between East Forest Avenue to the north and Yates Street to the south, identified as parcel number 190009756-8, and commonly known as 4630 Crane Street, from the R2 Two-Family Residential District zoning classification to the B4 General Business District zoning classification.

1 **BY COUNCIL MEMBER _____:**

2 **AN ORDINANCE** to amend Chapter 50 of the 2019 Detroit City Code, *Zoning*, by
3 amending Article XVII, *Zoning District Maps*, Section 50-17-30, *District Map No. 28*, to revise
4 the zoning classification of the parcel generally located on the east side of Crane Street between
5 East Forest Avenue to the north and Yates Street to the south, identified as parcel number
6 190009756-8, and commonly known as 4630 Crane Street, from the R2 Two-Family Residential
7 District zoning classification to the B4 General Business District zoning classification.

8 **IT IS HEREBY ORDAINED BY THE PEOPLE OF THE CITY OF DETROIT**
9 **THAT:**

10 **Section 1.** Chapter 50 of the 2019 Detroit City Code, *Zoning*, Article XVII, *Zoning District*
11 *Maps*, Section 50-17-30, *District Map No. 28*, be amended as follows:

12 **CHAPTER 50. ZONING**

13 **ARTICLE XVII. ZONING DISTRICT MAPS**

14 **Sec. 50-17-30. District Map No. 28.**

15 For parcel generally located on the east side of Crane Street between East Forest Avenue
16 to the north and Yates Street to the south, identified as parcel number 19009756-8, commonly
17 known as 4630 Crane Street, identified more specifically as follows:

18 E CRANE 22 COLQUITT BROS SUB L39 P37 PLATS, W C R 19/429 & S 138.05 FT

19 OF N 188.05 FT OF E 125.20 FT OF PC 154 LYG S OF & ADJ FOREST AVE 19/---

20 170.05 IRREG

21 the existing R2 Two-Family Residential District zoning classification is revised to the B4 General
22 Business District zoning classification.

1 **Section 2.** All ordinances or parts of ordinances in conflict with this ordinance are
2 repealed.

3 **Section 3.** This ordinance is declared necessary for the preservation of the public peace,
4 health, safety, and welfare of the people of the City of Detroit.

5 **Section 4.** This ordinance shall become effective on the eighth (8th) day after publication
6 in accordance with Section 401(6) of Public Act 110 of 2006, as amended, M.C.L. 125.3401(6)
7 and Section 4-118, paragraph 3 of the 2012 Detroit City Charter.

Approved as to Form:



Conrad L. Mallett
Corporation Counsel

Lauren Hood, MCD
Chairperson
Donovan Smith
Vice Chair/Secretary

Marcell R. Todd, Jr.
Director

City of Detroit
CITY PLANNING COMMISSION
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Brenda Goss Andrews
Kenneth R. Daniels
David Esparza, AIA, LEED
Ritchie Harrison
Gwen Lewis
Melanie Markowicz
Frederick E. Russell, Jr.

NOTICE OF PUBLIC HEARING

A public hearing will be held by the Detroit City Planning Commission in the Committee of the Whole Room, 13th Floor, Coleman A. Young Municipal Center, 2 Woodward Avenue, Detroit, Michigan 48226 at the date and time listed below. Virtual attendance is strongly encouraged as, pursuant to public health guidelines, the meeting room will be subject to space limitations. To attend the meeting virtually, please use the link toward the end of this notice.

THURSDAY, OCTOBER 6, 2022 AT 5:15 PM

The public hearing is to consider the request of petitioner Shane Overbey to amend Article XVII, Section 50-17-30, District Map No. 28 of the 2019 Detroit City Code, Chapter 50, Zoning, to show a B4 (General Business District) zoning classification where an R2 (Two-Family Residential) zoning classification is currently shown at 4630 Crane Street, generally located on the east side of Crane Street between East Forest Avenue to the north and Yates Street to the south. The location of the proposed rezoning is indicated on the accompanying map.

The proposed map amendment (rezoning) is being requested to permit the reuse and improvement of an existing commercial building. The north approximate half of the existing building, which fronts East Forest Avenue in addition to Crane Street, is currently zoned B4 and is therefore not subject to the proposed amendment. The south half of the existing building, which fronts both Crane Street and Yates Street is currently zoned R2 and is subject to the proposed amendment. Within the existing first floor of the entire building is proposed five individual tenant spaces of varying size for the use of Trade services, general, which would include a cabinet making shop and other uses. Within the existing second floor of the south half of the building zoned R2, one future office tenant space is indicated and one future living space of 1,364 square feet is indicated.

The pertinent zoning district classifications are described as follows:

R2 – Two-Family Residential

The district is designed to protect and enhance those areas developed or likely to develop with single- or two-family dwellings. The district regulations are designed to promote a suitable environment for homes and for activities connected with family life. The only principal uses permitted by-right are single- and two-family dwellings. Additional uses are conditional.

B4 – General Business District

This district is designed to provide for business and commercial uses of a thoroughfare-oriented nature. In addition to these uses, other businesses, which may benefit by drawing part of their clientele from passing traffic are permitted. Additional uses, which may be successfully blended with permitted by-right uses, are conditional.

Zoning Ordinance amendments require approval by the City Council following a separate public hearing conducted by the Council. The Council considers the matter upon receipt of a report and recommendation from the City Planning Commission. This Zoning Ordinance map amendment request is being considered consistent with the provisions of Article III, Divisions 2, 3 and 4 of Chapter 50 of the 2019 Detroit City Code, the Detroit Zoning Ordinance.

All interested persons are invited to be present and be heard as to their views. Persons making oral presentations are encouraged to submit written copies, for the record, to the City Planning Commission via U.S. Mail at the above address or e-mail at cpc@detroitmi.gov. Public comment/testimony may be given at the appropriate times when called for during the meeting. If you desire to speak and are attending the meeting online, press the “raise your hand” icon at the bottom of the screen or press ALT-Y for a PC or OPT-Y for a MAC to raise your hand virtually. If attending by phone press *-9 to raise your hand.

If interpretation or translation services are needed, including for the hearing impaired, call the Department of Civil Rights, Inclusion & Opportunity at 313-224-4950. For further information on this proposal or the public hearing, please call (313) 224-6225.

To participate virtually in the CPC meeting, please use the following options.

Online:

<https://cityofdetroit.zoom.us/j/96355593579?pwd=TTloMzN5M3pmU1RKNXp1MjJlczN3UT09>

Or iPhone one-tap:

US: +12678310333,96355593579# or +13017158592,,96355593579#

Or by Telephone:

Dial (for higher quality, dial a number based on your current location):

US: +1 267 831 0333 or +1 301 715 8592 or +1 312 626 6799 or +1 213 338 8477 or +1 253 215 8782 or +1 346 248 7799 Webinar ID: 963 5559 3579

CPC Webpage: <https://detroitmi.gov/government/commissions/city-planning-commission>



**Highlighted area is proposed to be rezoned
from R2 to B4.**



PLANNING AND DEVELOPMENT DEPARTMENT

Coleman A. Young Municipal Center
2 Woodward Avenue, Suite 808
Detroit, Michigan 48226

Phone 313•224•1339
www.detroitmi.gov

TO: Mr. Marcell Todd, Legislative Policy Division
FROM: Greg Moots, Planning and Development
RE: Master Plan Interpretation for **Rezoning**
DATE: September 30, 2022

RE: Master Plan of Policies review of the request to rezone the property at 4630 Crane Street from the R2 zoning classification to a B4 zoning classification

Dear Mr. Todd:

Pursuant to the City of Detroit's City Charter (Sections 6-202 and 6-204), the Planning and Development Department's (P&DD) Planning Division submits the following review of the proposed rezoning. The proposed map amendment is at the request of Shane Overbey.

Location

The subject site, a portion of 4630 Crane Street, is generally located on the east side of Crane Street between East Forest Avenue to the north and Yates Street to the south.

Existing Site Information

The subject area is zoned R2 (Two Family Residential District) and contains a vacant commercial structure. The area is approximately 0.3 acres in size.

Surrounding Site Information

North: B4 – Commercial
East: R2–vacant
South: R2 – vacant
West: R2 - residential

Project Proposal

The rezoning will allow for the development of the existing first floor of the existing building for the use of "trade services, general", which would include a cabinet making shop and other uses. Within the existing second floor, one future office tenant space is indicated and one future living space.

Interpretation

Impact on Surrounding Land Use

This site contains the southern portion of an existing former dry-cleaning establishment. Because the site has contained a commercial use for many years, a significant impact is not anticipated.

Impact on Transportation

The site is served by a bus route on E. Forest Avenue, which is designated as a “Secondary Thoroughfare”. Traffic generation is not anticipated to be significantly higher than the previous use, and so minimal impact on traffic is anticipated.

Master Plan Interpretation

The site is designated Low Density Residential (RL) in the Master Plan. The RL areas should have an overall density up to 8 dwelling units per net residential acre. The areas are often characterized by single family homes with front yard set backs and driveways with garage or off street parking.”.

While the proposed zoning classification is not consistent with the Master Plan’s Future General Land Use classification, its size is quite small and the rezoning and proposed use is similar to that which has been on the site for many years. Therefore, the rezoning is not anticipated to change the overall character of the Kettering neighborhood. It is therefore **generally consistent** with the Master Plan classification. The mixed-use development will provide needed commercial activity in this area and permit reuse of a long-vacant building.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Gregory Moots", written in a cursive style.

Gregory Moots

Planning and Development Department

Attachments

Future General Land Use Map: Map 3-8B, Neighborhood Cluster 3, Kettering

CC: Karen Gage
Antoine Bryant, Director



Map 3-8B

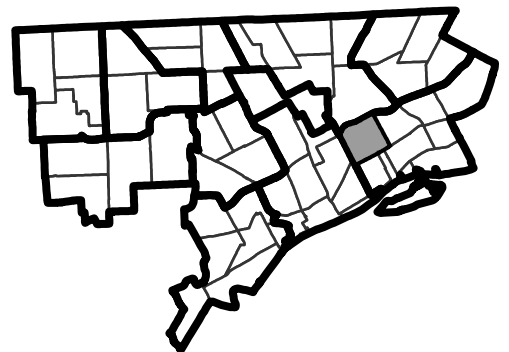
City of Detroit
Master Plan of
Policies

Nighborhood Cluster 3 Kettering



Future Land Use

Low Density Residential (RL)	Thoroughfare Commercial (CT)	Mixed - Town Center (MTC)
Low / Medium Density Residential (RLM)	Special Commercial (CS)	Recreation (PRC)
Medium Density Residential (RM)	General Industrial (IG)	Regional Park (PR)
High Density Residential (RH)	Light Industrial (IL)	Private Marina (PRM)
Major Commercial (CM)	Distribution / Port Industrial (IDP)	Airport (AP)
Retail Center (CRC)	Mixed - Residential / Commercial (MRC)	Cemetery (CEM)
Neighborhood Commercial (CN)	Mixed - Residential / Industrial (MRI)	Institutional (INST)





DEPARTMENT OF
Buildings, Safety Engineering &
Environmental

Coleman A. Young Municipal Center
2 Woodward Avenue, Fourth Floor
Detroit, Michigan, 48226

Phone 313-224-2733 TTY:711
Fax 313-224-1467
www.detroitmi.gov

February 24, 2022

Shane Overbey
961 Burns
Detroit, MI 48214

RE: 4630 Crane
PIN: 19009756-8

To the Attention of Shane Overbey:

Pursuant to your request for zoning verification of the above-referenced property, we have reviewed our records and find that it is located in an R2 (Two Family Residential) zoning district.

The current legal, non-conforming use of the building is “Dry Cleaning & Laundering” per building permit number 33670 issued on January 19, 1977 and Board of Zoning Appeals Grant #. 63-76. The continued use of this property for the above-stated use is permitted per Article XV Division 2 of the Detroit Zoning Ordinance, subject to compliance with all relevant codes and ordinances.

Be advised, a nonconforming use cannot be expanded, re-established or changed to another non-conforming use without approval from the Board of Zoning Appeals. If you have any questions, please contact our Zoning Division at (313) 224-1317 or zoning@detroitmi.gov.

Sincerely,

Jayda Philson

Jayda Sanford-Philson
Zoning Manager

JSP/EL
VER2022-00009

Janice M. Winfrey
City Clerk

City of Detroit
OFFICE OF THE CITY CLERK

Andre P. Gilbert II
Deputy City Clerk

DEPARTMENT PETITION REFERENCE COMMUNICATION

To: The Department or Commission Listed Below

From: Janice M Winfrey, Detroit City Clerk

The following petition is herewith referred to you for report and recommendation to the City Council.

In accordance with that body's directive, kindly return the same with your report in duplicate within four (4) weeks.

Petition No.	2022-219
Name of Petitioner	Shane Overbey
Description of Petition	Request for change of Zoning Classification for multiple parcels Located at 4630 Crane Street between E. Forest and Yates from the current zoning classification of B4 to the proposed zoning classification of R2.
Type of Petition	Zoning
Submission Date	07/07/2022
Concerned Departments	City Planning Commission; Department of Public Works
Petitioner Contact	Shane Overbey 906 Burns Detroit, MI 48214 406-270-1991

City Planning Commission
208 Coleman A. Young Municipal Center
Detroit, Michigan 48226
(313) 224-6225 (phone)
(313) 224-4336 (fax)

CPC File #: _____

Date of Filing: _____

RE: _____

APPLICATION FOR A ZONING CHANGE

The City Council of the City of Detroit requires a report and recommendation from the City Planning Commission on all rezoning proposals before it takes final action. Please provide the following information regarding the proposal, so that the Commission may proceed in its review and processing of this request.

Section 50-3-3 of the Detroit Zoning Ordinance states that application for rezoning may be initiated by petition from:

1. all owners of the property that is the subject of the application;
2. the owners' authorized agents;
3. any review or decision-making body; or
4. other persons with a legal interest in the subject property, such as a purchaser under contract.

Petitions of the City Council are to be made through the City Clerk via separate written request prepared by the applicant or the completion of form available from the City Planning Commission.

The applicant will be notified at least seven (7) days prior to the meeting at which the proposal will appear on the Commission's agenda.

The applicant (or a representative of the applicant) is expected to be in attendance at the required public hearings to present the proposal and to answer any questions regarding the matter.

The City Planning Commission may request all necessary information pertaining to proposed ordinances for the regulation of development in carrying out its duties as set forth in Section 4-402 and 6-204 of the City Charter.

Failure to answer all pertinent questions and to supply all of the requested information will delay processing of this proposal.

NOTE: Applicants proposing a rezoning or modification to the PD (Planned Development), PC (Public Center), PCA (Restricted Central Business District) and the SD5 (Special Development District, Casinos) zoning district classifications must complete a different application which may be obtained from our office.

Signature of Applicant: Shae m s

Date: 6-13-22

ZONING FEE:

Effective January 11, 1995, the applicant will be charged a fee for the processing of a rezoning application. The fee schedule is as follows:

Size of Property	Fee
One acre or less	\$350.00
Over one acre	\$350.00 for the first acre plus \$25.00 for each additional acre to a maximum of \$1,000.00

Payment of the fee must be in the form of a check or money order payable to the “City of Detroit – Treasurer” When the City Planning Commission has accepted payment, the applicant should formally submit the petition to the office of the City Clerk.

ZONING CHANGE PROCEDURES:

A change in the zoning classification on property located within the City of Detroit requires action by the City Planning Commission (after the holding of a State-required public hearing) and approval by the City Council (after the holding of a Charter-required public hearing).

A change in zoning usually takes from three to four months to accomplish (from the date of submittal of the application to the effective date of the zoning change).

At each of the required public hearings, all owners of property, residents, businesses and known community organizations within 300 feet of the property in question are notified of the proposal and of the time, date and place of the hearing. The applicant will be responsible for posting public notice of the public hearing on the property in question in a manner acceptable to the Planning Commission. The persons so notified are invited to attend the hearing, hear presentations on what is being proposed, and express their opinions on the proposal if they so desire.

It is mandatory that the applicant, or the applicant’s officially designated representative, attend both of the public hearings and justify to the satisfaction of the members of the City Planning Commission and the members of the City Council that the current zoning classification is inappropriate, and that the proposed change and resultant development can take place and be accomplished without adversely affecting the surrounding properties.

1. Name of Applicant: SHANE OVERBY

Address of Applicant: 961 BURNS

City, State & Zip Code: DETROIT MI 48244

Telephone Number: (406) 270-1991

2. Name of Property Owner: CITY OF DETROIT

(If same as above, write "SAME")

Signature of Property Owner
(If different than Applicant) _____

Address of Property Owner: 65 CADILLAC SQUARE STE 1100

City, State & Zip Code: DETROIT MI 48226

Telephone Number: ()

3. Present Zoning of Subject Parcel: R2

4. Proposed Zoning of Subject Parcel: B4

5. Address of Subject Parcel: 4630 CRANE

between E. FOREST and YATES
(Street) (Street)

6. General Location of Subject Property: CORNER OF YATES & CRANE

7. Legal Description of Subject Parcel: (May be attached)

ATTACHED

8. Size of Subject Parcel

(Dimensions): 124' x 170'

(Acreage): .444

9. Description of anticipated development:

CABINET SHOP, OFFICES, RESIDENTIAL APARTMENT

10. Reason why the present zoning classification is not appropriate and why the proposed zoning classification is more appropriate:

CURRENTLY A LARGE WAREHOUSE THAT IS ZONED R2
BUSINESSES WILL OCCUPY THIS BUILDING

11. Zoning of Adjacent Properties:

To the North - B4

To the South - R2 ACROSS THE STREET

To the East - R2 ACROSS THE ALLEY

To the West - R2 ACROSS THE STREET

12. Development of Adjacent Properties:

To the North - OFFICES / WORKSHOP

To the South - N/A

To the East - DLBA OWNS SLOTS THAT I WOULD LIKE TO PURCHASE

To the West - N/A

13. Community Organizations and/or Block Clubs contacted by applicant:

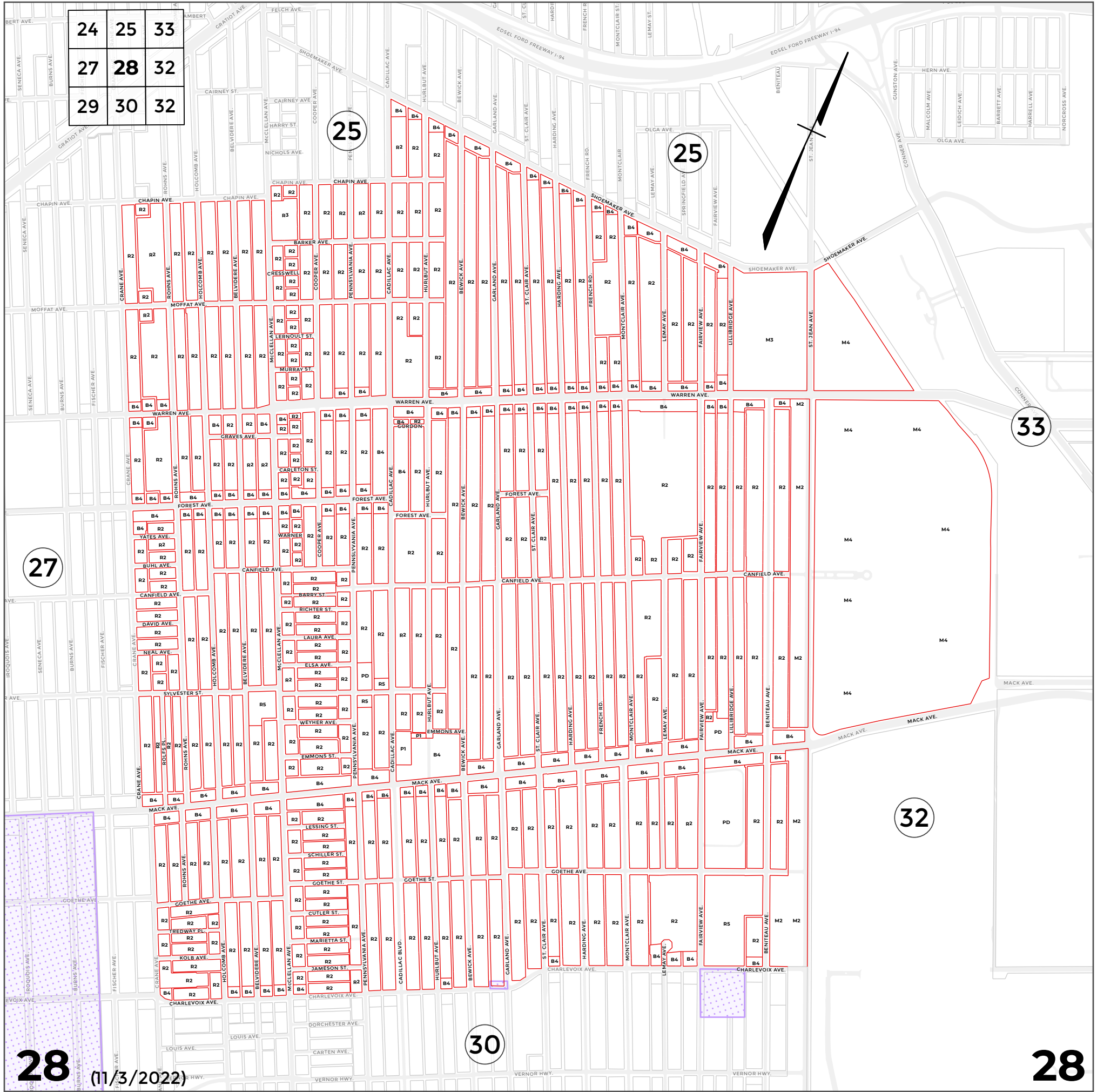
Group Name/Address	Contact Person/Phone Number

14. Adjacent Property Owners, Businesses or Residents contacted by Applicant:

Name	Indicate: Owner Business Resident	Address	Address of Adjacent Property	Phone
CARLTON SPENCER	RESIDENT	4549 CRANE DETROIT MI 48214	4549 CRANE DETROIT MI 48214	313-742-8584
ROOSEVELT HEMMILL	BUSINESS	8928 MARSH AVENUE DETROIT MI 48214	8442 FOREST DETROIT MI 48214	313-717-2104

LEGAL DESCRIPTION OF 4630 CRANE

E CRANE 22 COLQUITT BROS SUB L39 P37 PLATS, W C R 19/429 & S 138.05 FT OF N
188.05 FT OF E 125.20 FT OF PC 154 LYG S OF & ADJ FOREST AVE 19/--- 170.05 IRREG



FOREST & CRANE REDEVELOPMENT

ARTISAN CONTRACTING

SHANE OVERBEY

8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214



PROJECT INFORMATION

CLIENT: ARTISAN CONTRACTING
SHANE OVERBEY
P: 313.909.0477
E: shane@artisancontractingfirm.com

LOCATION: 8800 E FOREST AVE & 4630 CRANE ST
DETROIT, MI 48214

LEGAL DESCRIPTION:
LOT 1 PARCEL ID: 19001235.
S FOREST N 50 FT OF E 125.20 FT OF P C 154 LYG S OF & ADJ FOREST AVE 19'--- 5.20' 50'

LOT 2 PARCEL ID: 19009756-8
E CRANE 22 COLQUITT BROS SUB L39 P37 PLATS, 19' R 19/429 & S 18.05 FT OF N 18.05' 10' OF
E 125.20 FT OF PG 154 LYG S OF & ADJ FOREST AVE 19'--- 170.05 JRR

PROJECT DESCRIPTION:

REDEVELOPMENT / RESTORATION OF EXISTING VACANT MASONRY BUILDINGS. THE FORMER BUILDING USES WILL BE CHANGED TO COMMERCIAL LEASE SPACE, WORKSHOP SPACE, & OFFICE SPACE. SCOPE OF WORK TO INCLUDE MASONRY RESTORATION, PAINTING OF MASONRY, LIMITED NEW CLADDING, NEW DOORS, NEW WINDOWS, & NEW OVERHEAD DOORS THROUGHOUT. RESTORATION OF EXISTING STRUCTURE. REMOVAL OF HIGH MASONRY PARAPETS. REPLACEMENT OF ALL ROOFING. RESTORATION/REPLACEMENT OF EXISTING SKYLIGHTS, & WHITE BOX REFRESH OF ALL INTERIOR SPACES FOR FUTURE TENANT BUILD OUTS.

BUILDING SUMMARY:

EXISTING AND PROPOSED GROSS BUILDING AREAS:
GROUND FLOOR (LOT 1): 2,785 SFG
ROOF FLOOR (LOT 1): 19,967 SFG
CONCRETE ON LOT 2: 3,098 SFG
TOTAL EXISTING AND PROPOSED GROSS BUILDING AREA: 25,851 SFG

GOVERNING CODES:

2011 MICHIGAN RESIDENTIAL CODE (MRC)
2015 MICHIGAN MECHANICAL CODE (MMC)
2018 MICHIGAN PLUMBING CODE (MPC)
2014 NATIONAL ELECTRICAL CODE (NEC)
2015 MICHIGAN UNIFORM ENERGY CODE (MUEC)
2015 INTERNATIONAL FIRE CODE NFPA 1, UNIFORM FIRE CODE

ZONING REQUIREMENTS

LOCAL AUTHORITY: CITY OF DETROIT

LOCAL ORDINANCE: DETROIT ZONING ORDINANCE (REVISION 31 JULY 2018)

ZONING CLASSIFICATION: LOT 1: B-4
LOT 2: R-2

DETROIT LANDBANK AUTHORITY LOTS:

8831 YATES, 8837 YATES, 8843 YATES, & 8849 YATES

ZONING CLASSIFICATION:

R-2 PROPOSED PARKING LOT
CONDITIONAL USE (SITE PLAN REVIEW REQUIRED)

REQUIRED SETBACKS FOR PARKING: (SECT. 61-11-195)

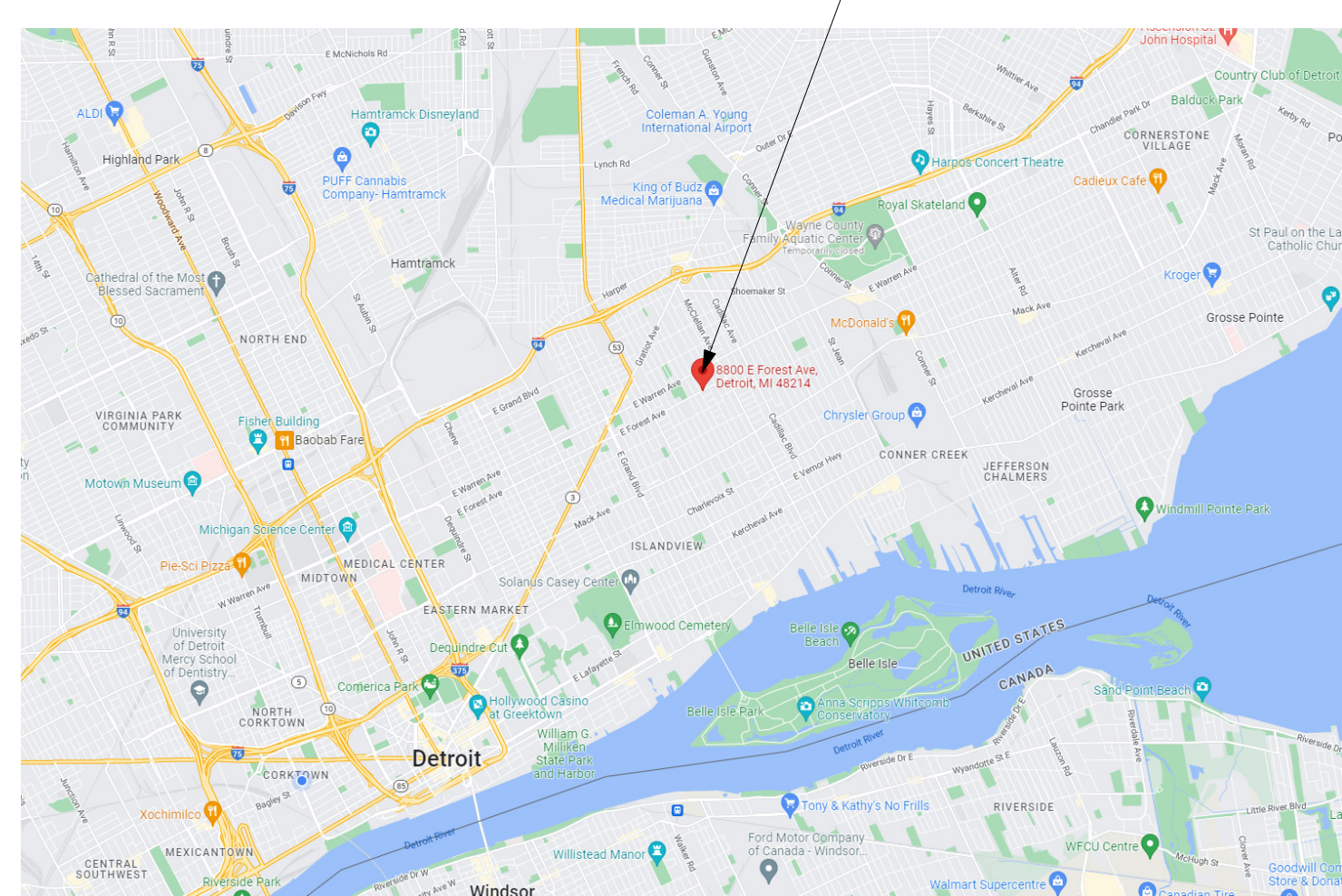
FRONT: 20 FT
SIDES: 10 FT OR 0 FT ALONG ALLEY
REAR: N/A

DISCLAIMER: ALL CONDITIONS DEPICTED ARE BASED ON KNOWLEDGE DISCOVERED UPON FIELD MEASURE (OR CONVEYED BY OWNER). IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT AND OWNER OF ANY DISCOVERIES EXPOSED UPON DEMOLITION / NEW CONSTRUCTION THAT DIFFER FROM CONDITIONS DEPICTED HEREIN.

SHEET LIST

SHEET NUMBER	SHEET NAME
1CS	COVER SHEET
A-1.0	DEMOLITION PLANS
A-1.1	DEMO / REPAIR PLANS
A-1.2	DEMO / REPAIR PLANS
A-1.3	DEMO / REPAIR PLANS
A-1.4	DEMO / REPAIR PLANS
A-1.5	DEMO / REPAIR PLANS
A-1.6	DEMO/REPAIR ELEVATIONS
A-2.1	PROPOSED FLOOR PLAN
A-2.2	ENLARGED FLOOR PLAN
A-2.3	PROPOSED ROOF PLAN
A-3.0	PROPOSED EXTERIOR ELEVATIONS

VICINITY MAP



PROJECT LOCATION

GENERAL SYMBOLS

	SECTION WITH SECTION NUMBER & NAME
	DETAIL WITH DETAIL NUMBER & NAME
	WINDOW TYPE
	DOOR TYPE
	LEVEL WITH NAME & HEIGHT
	REVISION
	NORTH DESIGNATION

ABBREVIATIONS

@	AT
ACOUST.	ACOUSTICAL
A.C.T.	ACOUSTICAL CEILING TILE
ADJ.	ADJACENT
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
B.O.	BOTTOM OF
B.O.F.	BOTTOM OF FOOTING
CEM.	CEMENT
CFM.	CUBIC FEET PER MINUTE
CL.	CENTERLINE
C.O.	CLEANOUT
COL.	COLUMN
COL.G.	CORNER GUARD
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CORR.	CORRUGATED
CPT.	CARPET
C.T.	CERAMIC TILE
DET.	DETAIL
DIA.	DIAMETER
DIM.	DIMENSION
DN.	DOWN
D.O.	DOOR OPENING
DR.	DOOR
DWG.	DRAWING
EA.	EACH
ELEV.	ELEVATION
E.W.	EACH WAY
EX.	EXISTING
EXIST.	EXISTING
EXP.	EXPANSION/EXPOSED
EXT.	EXTERIOR
F.D.	FLOOR DRAIN
FDN.	FOUNDATION
FRP.	FIBER REINFORCED PANELS
FIN.	FINISH
FLR.	FLOOR
F.O.	FACE OF
F.O.S.	FACE OF STUD
FR.	FRAME
FTG.	FOOTING

GA.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSUM
HDW.	HARDWARE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HT.	HEIGHT
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
LAV.	LAVATORY
LG.	LONG
LLO.	LONG LEG OUTSTANDING
LLV.	LONG LEG VERTICAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MET.	METAL
MEZZ.	MEZZANINE
M.I.	MISCELLANEOUS IRON
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
N.I.C.	NOT IN CONTRACT
N.S.	NO SCALE
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OPNG.	OPENING
OPP.	OPPOSITE
PL.G.	PLATE GLASS
PLS.	PLATE STEEL
PL.	PLATE
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PREFAB.	PREFABRICATED
PROJ.	PROJECT
P.F.	POUNDS PER SQUARE FOOT
PT.	POINT
R.	RISER
R.A.	RETURN AIR
R.B.	RUBBER BASE
R.C.	ROOF CONDUCTOR
R.F.	RUBBER FLOORING
REINF.	REINFORCED/REINFORCING
REQ'D.	REQUIRED
RFG.	ROOFING
RM.	ROOM
R.S.	ROOM
R.T.	RUBBER TILE
SAN.	SANITARY
SCHED.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.S.	SERVICE SINK/STAINLESS STEEL
STL.	STEEL
STD.	STANDARD
STOR.	STORAGE
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SW.	SWITCH
SYM.	SYMMETRICAL
T.	TREAD
T&B	TOP AND BOTTOM
TEL.	TELEPHONE
TERR.	TERRAZZO
T&G	TONGUE AND GROOVE
THK.	THICK/THICKNESS
THRES.	THRESHOLD
T.O.	TOP OF
T.O.F.	TOP OF FOOTING
T.O.S.	TOP OF STEEL
TYP.	TYPICAL
U/C	UNDERCUT
U.N.O.	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
V.B.	VINYL BASE
V.C.B.	VINYL COBE BASE
V.C.T.	VINYL COMPOSITE TILE
V.I.F.	VERIFY IN FIELD
V.S.B.	VINYL STRAIGHT BASE
VERT.	VERTICAL
WD.	WIDE
WAINS.	WAINSCOT
W.A.	WATER CLOSET
WD. WIN.	WOOD WINDOW
WD.	WOOD
WT.	WEIGHT
W.W.F.	WELDED WIRE FABRIC
W.W.M.	WOVEN WIRE MESH



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NO.	DESCRIPTION	DATE

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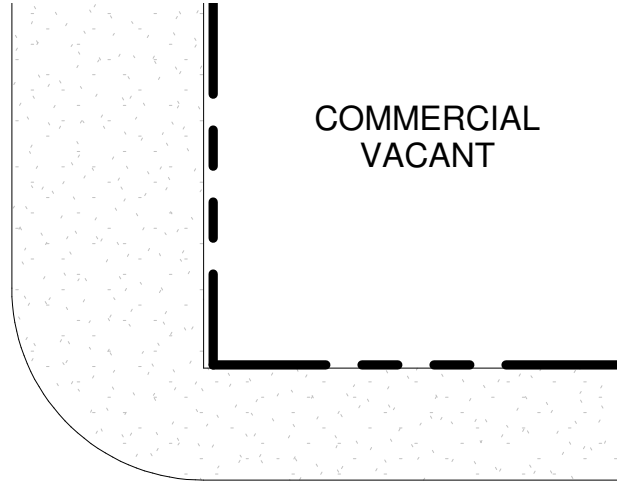
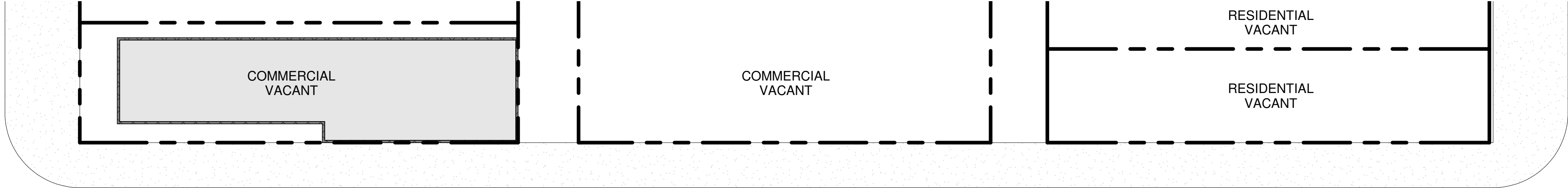
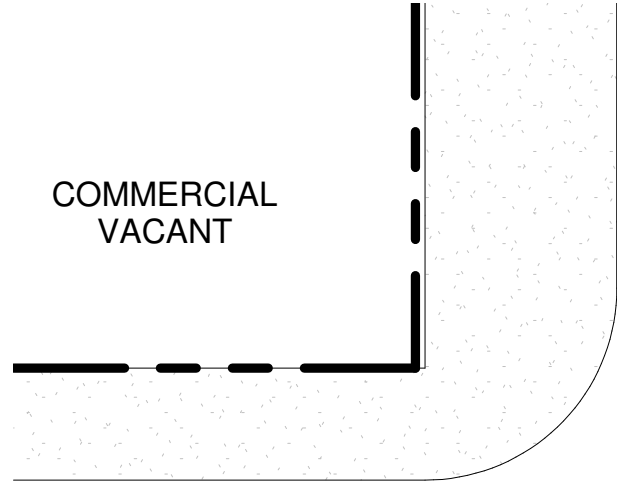
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8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING

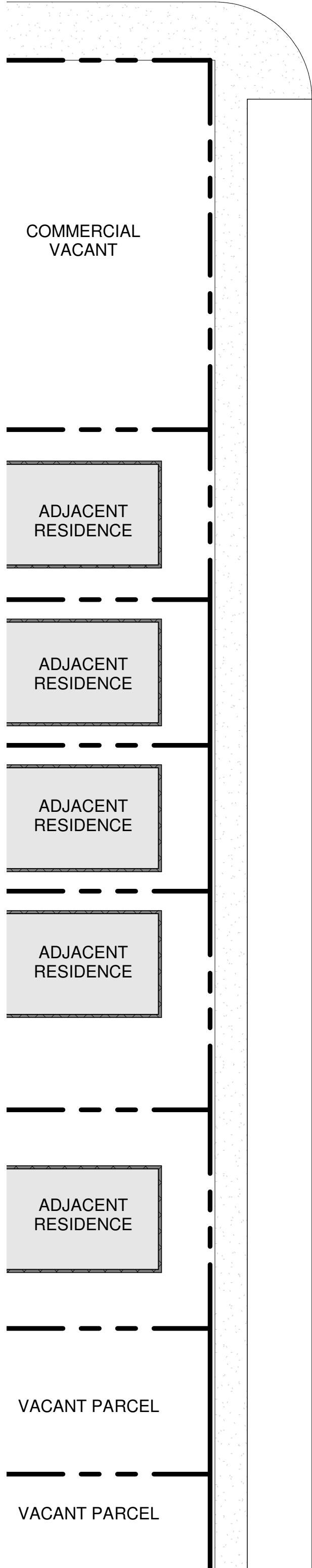
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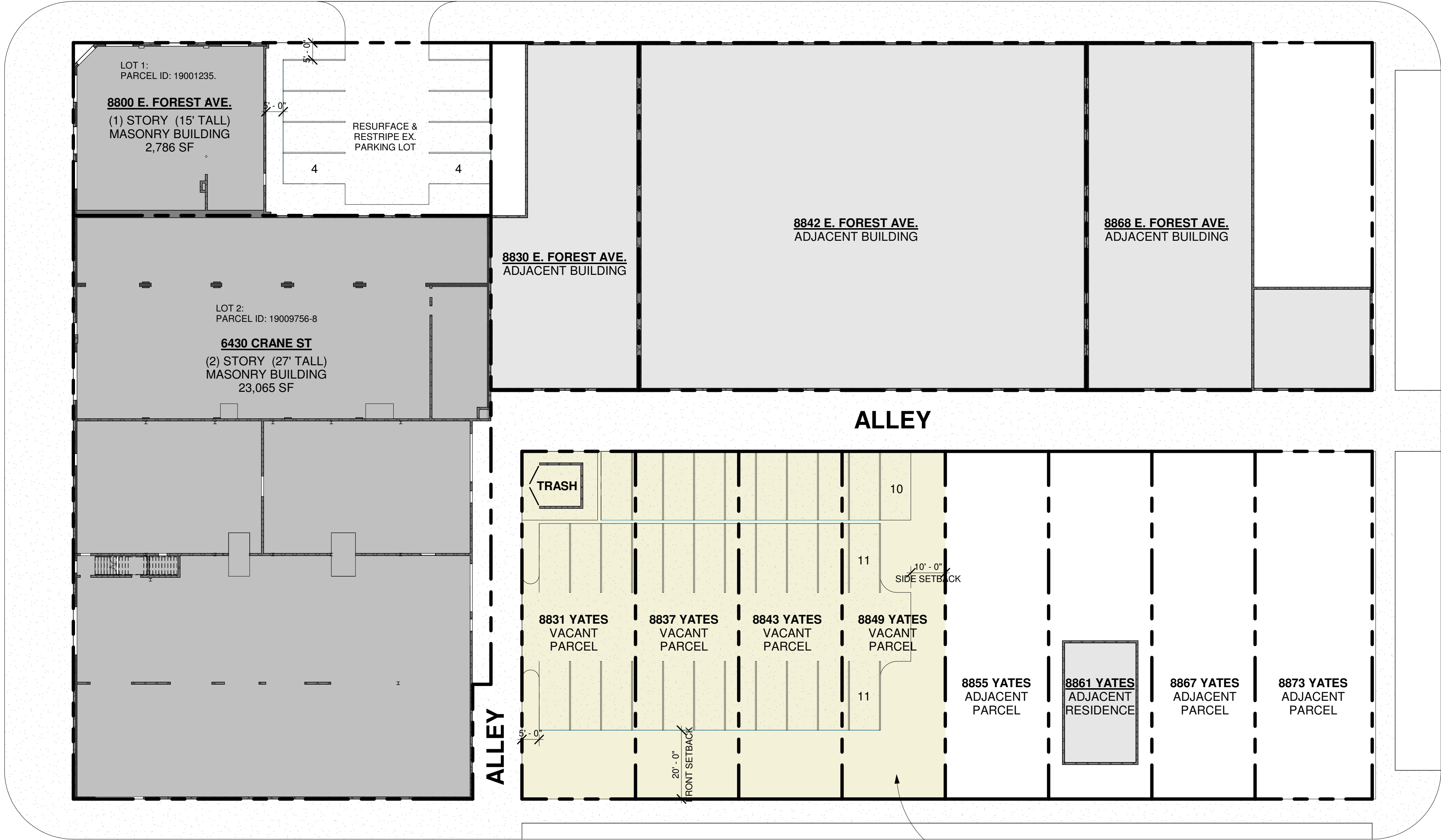
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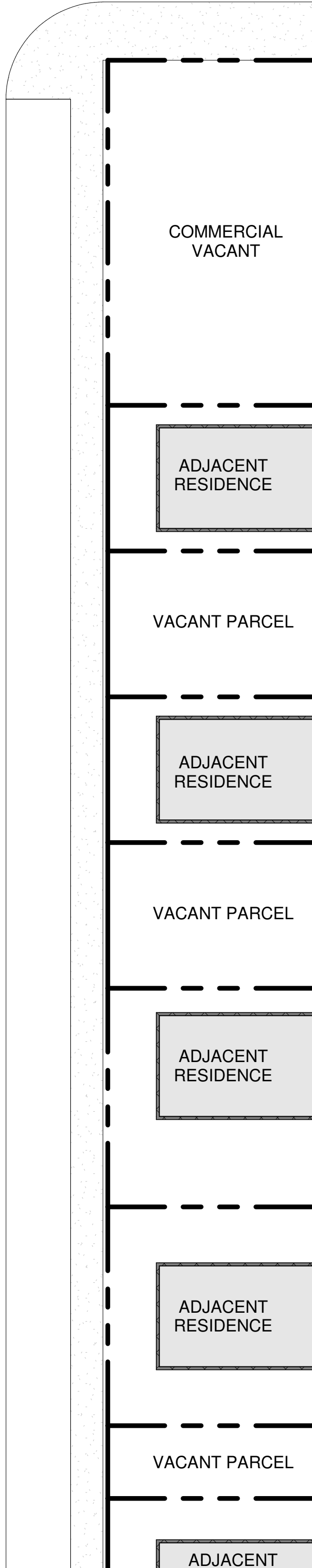
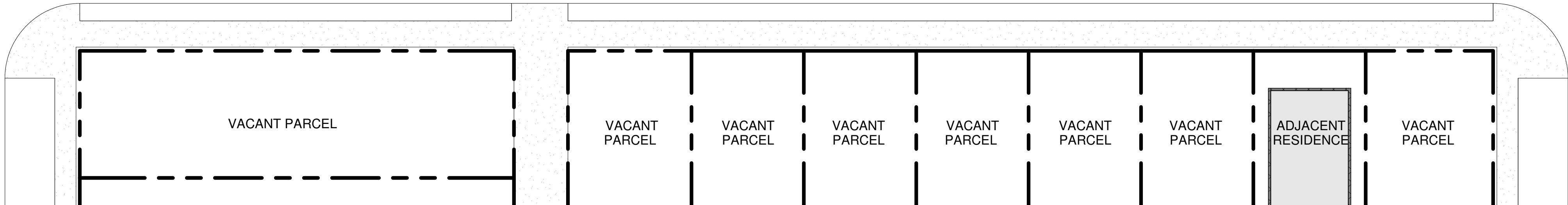
E. FOREST AVE.



CRANE ST.



ROHNS ST.



NOTE:
1. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.
2. REFER TO SITE PLAN BY CIVIL ENGINEER FOR ALL CIVIL ENGINEERING INFORMATION.
3. ALL INFO PROVIDED BY OWNER AND PUBLICLY PROVIDED INFO.



ARCHITECTS + INNOVATORS
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Web: infuzarchitects.com

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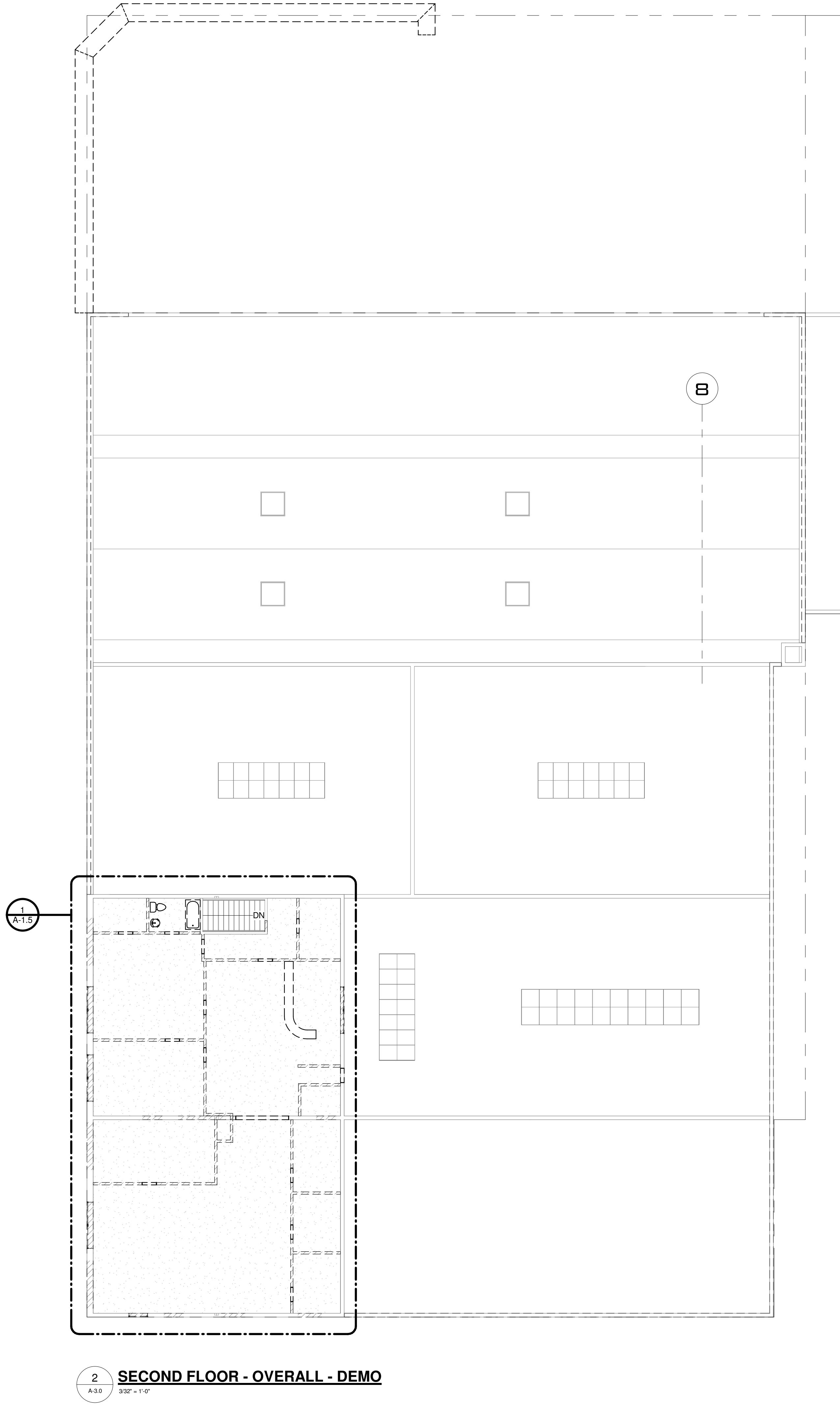
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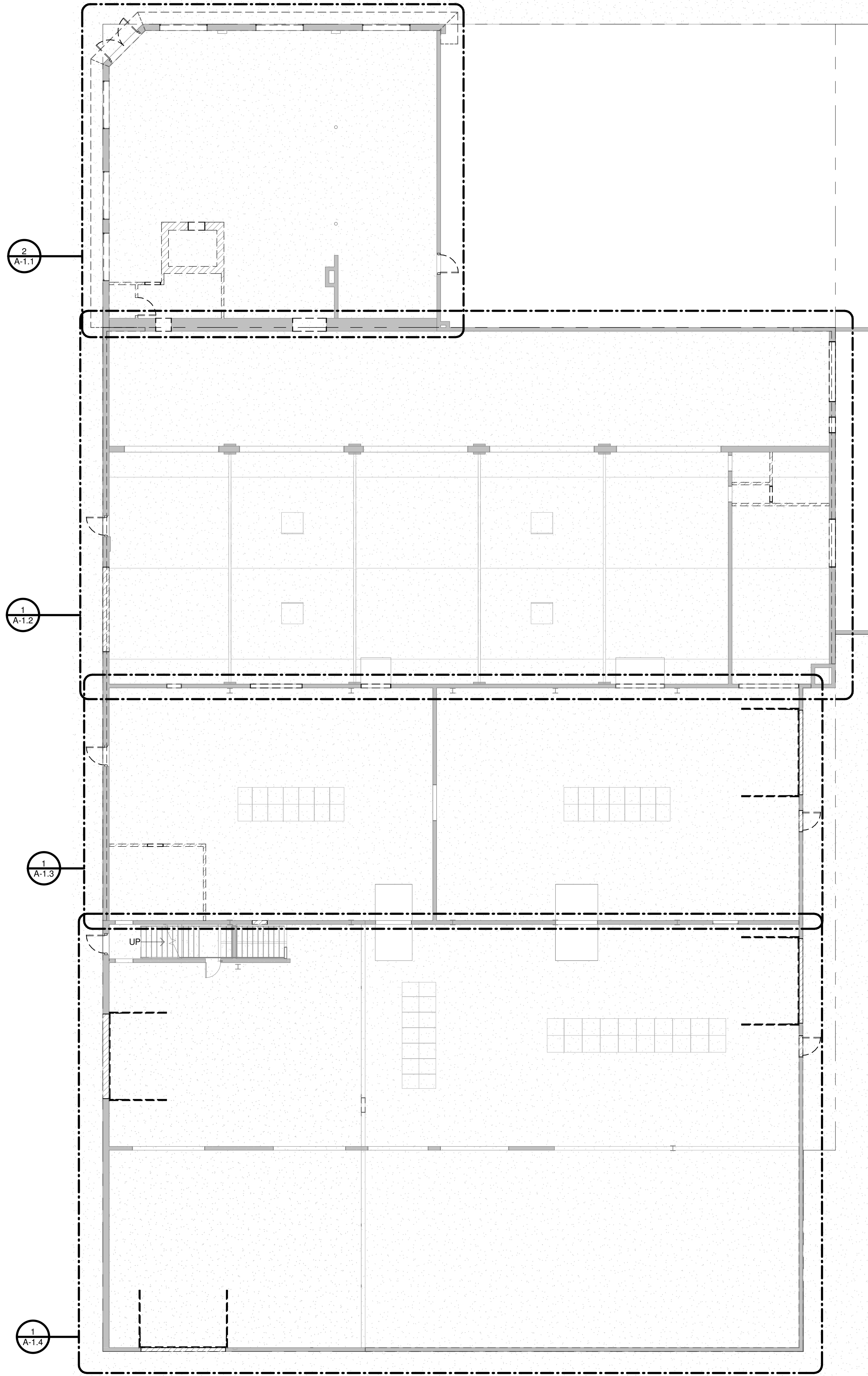
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ARTISAN CONTRACTING
SHEET TITLE
ARCHITECTURAL SITE PLAN

4CSP



2
A-3.0
3/32" = 1'-0"



1
A-3.0
3/32" = 1'-0"



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Revision Schedule

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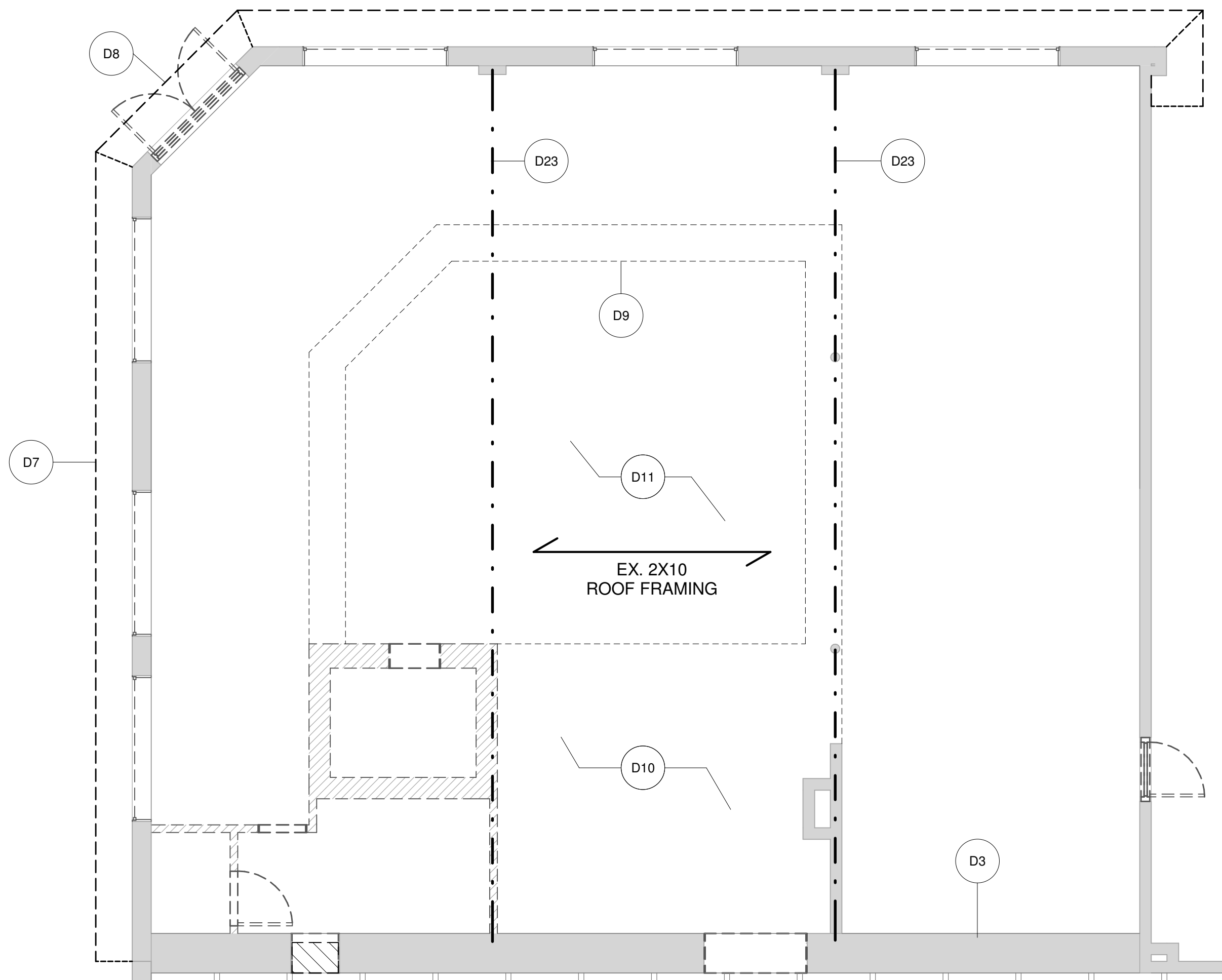
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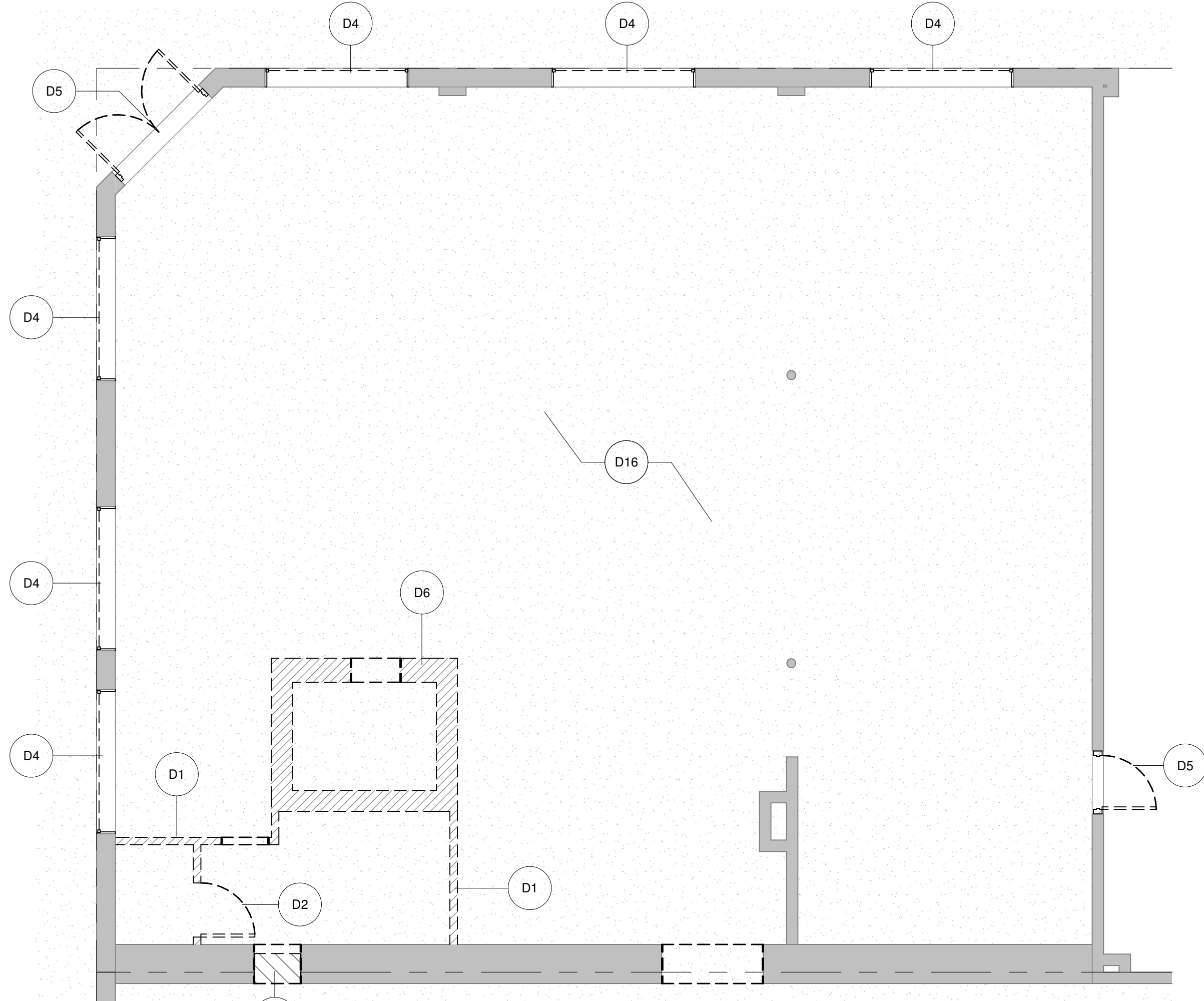
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SHEET TITLE
DEMOLITION PLANS

SHEET NUMBER

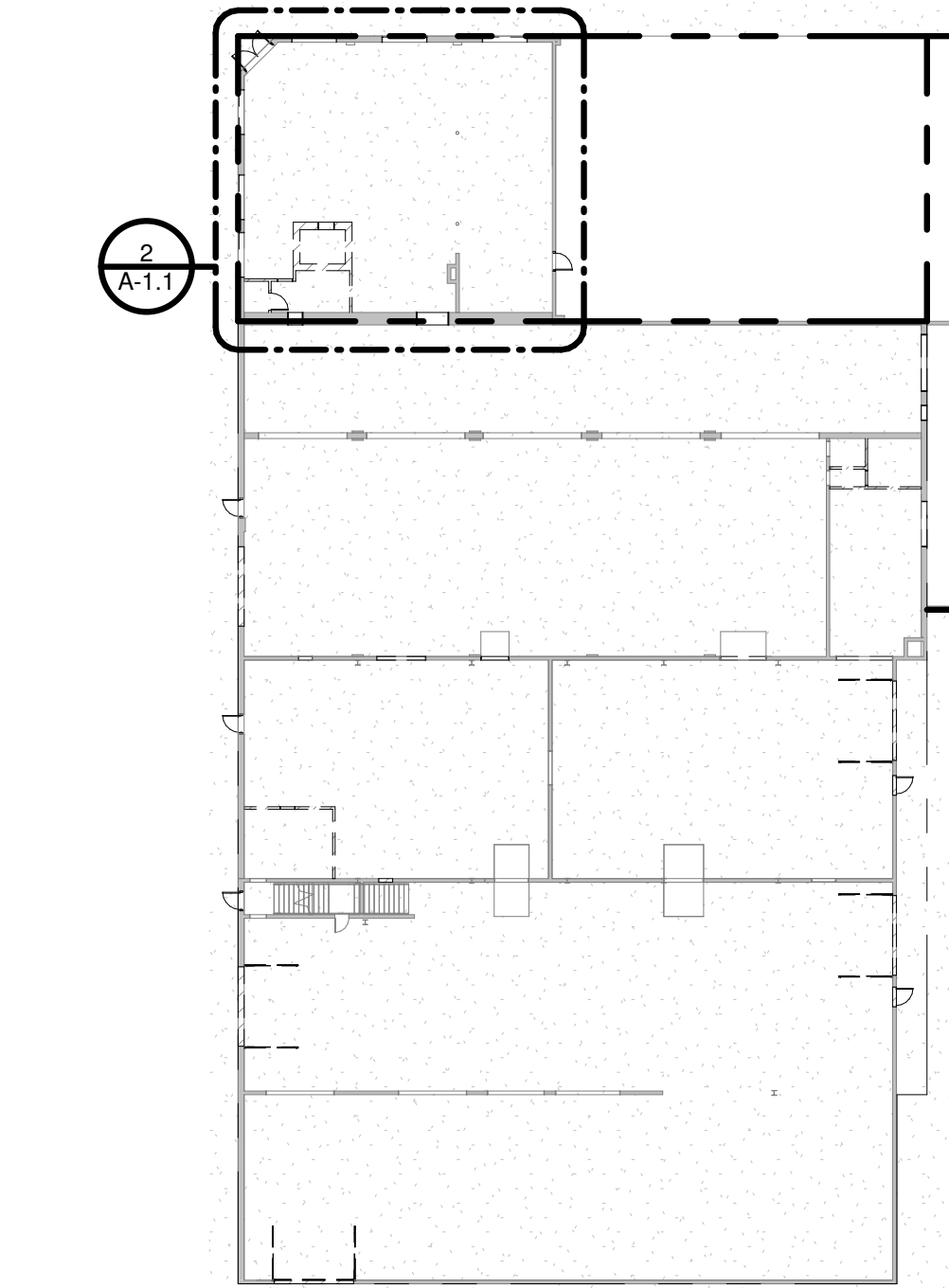
A-1.0



3 ENLARGED RCP - SPACE A - DEMO
3/16" = 1'-0"



2 ENLARGED FIRST FLOOR - SPACE A - DEMO
3/16" = 1'-0"



1 FIRST FLOOR - DEMO KEY PLAN - SPACE A
1/32" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
D1	REMOVE EX. INTERIOR WALL
D2	REMOVE EX. INTERIOR DOOR
D3	REMOVE EX. WALL FINISHES & ASSOCIATED FURRING/FRAMING
D4	REMOVE EX. WINDOW, PREP FOR NEW, REFER TO PROPOSED PLANS
D5	REMOVE EX. EXTERIOR DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D6	REMOVE EX. CONCRETE VAULT
D7	REMOVE EX. FAUX MANSARD ROOF
D8	REMOVE EX. FRONT CORNER CANOPY & STL. FRAMING
D9	REMOVE EX. BULKHEAD & ANY ASSOCIATED MECH. DUCTWORK
D10	REMOVE EX. CEILING FINISHES
D11	INSPECT & REMOVE EX. DAMAGED ROOFING & FRAMING, PREP FOR RESTORATION/REBUILD, REFER TO PROPOSED PLANS
D16	INSPECT EX. CONC. FLOOR, REPAIR AS REQUIRED
D17	REMOVE EX. INFILLED OPENING, PREP FOR NEW OPENING
D23	INSPECT EX. BEAM, REPAIR AS REQUIRED

EXISTING PHOTOS

SPACE A



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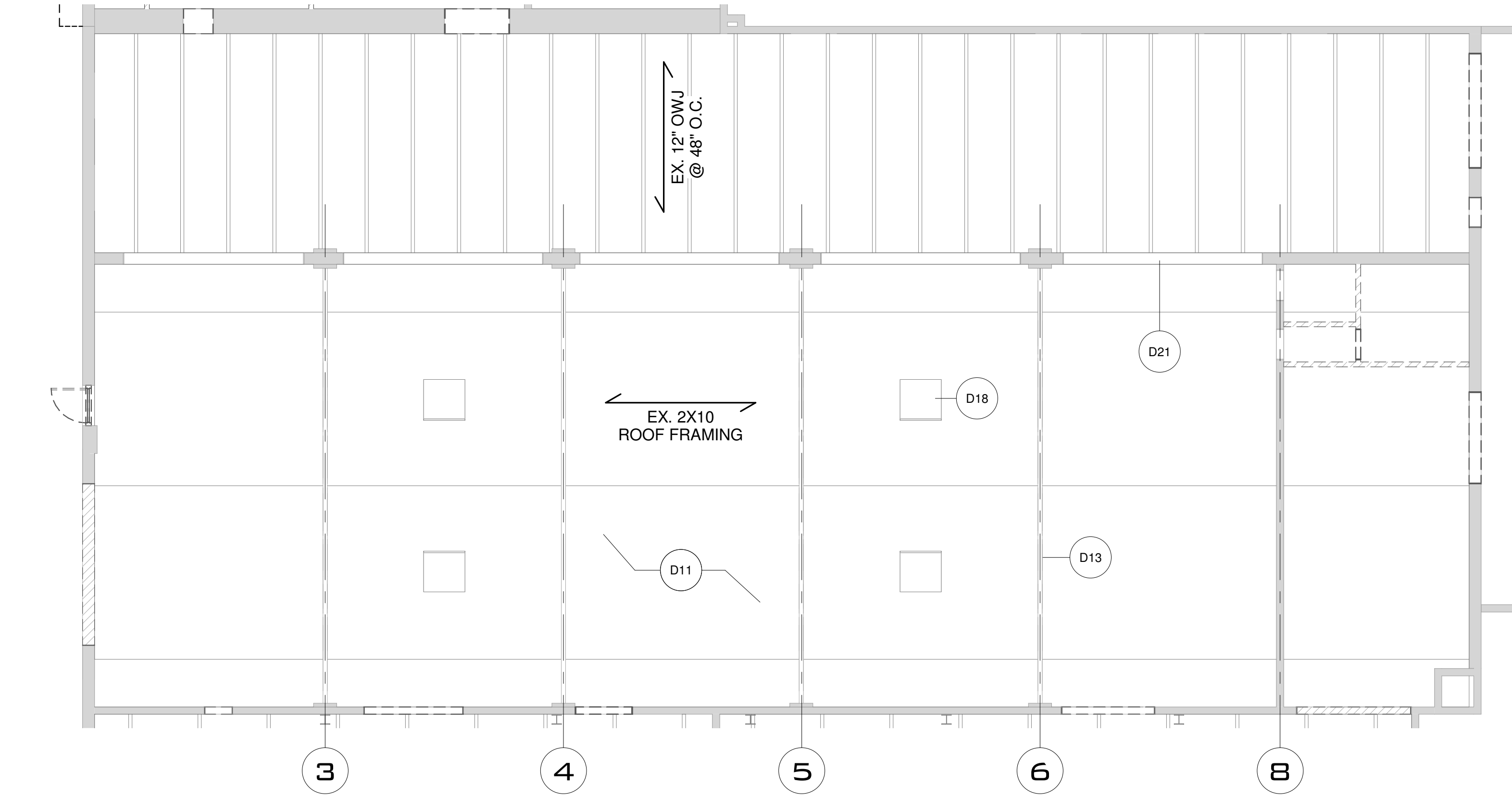
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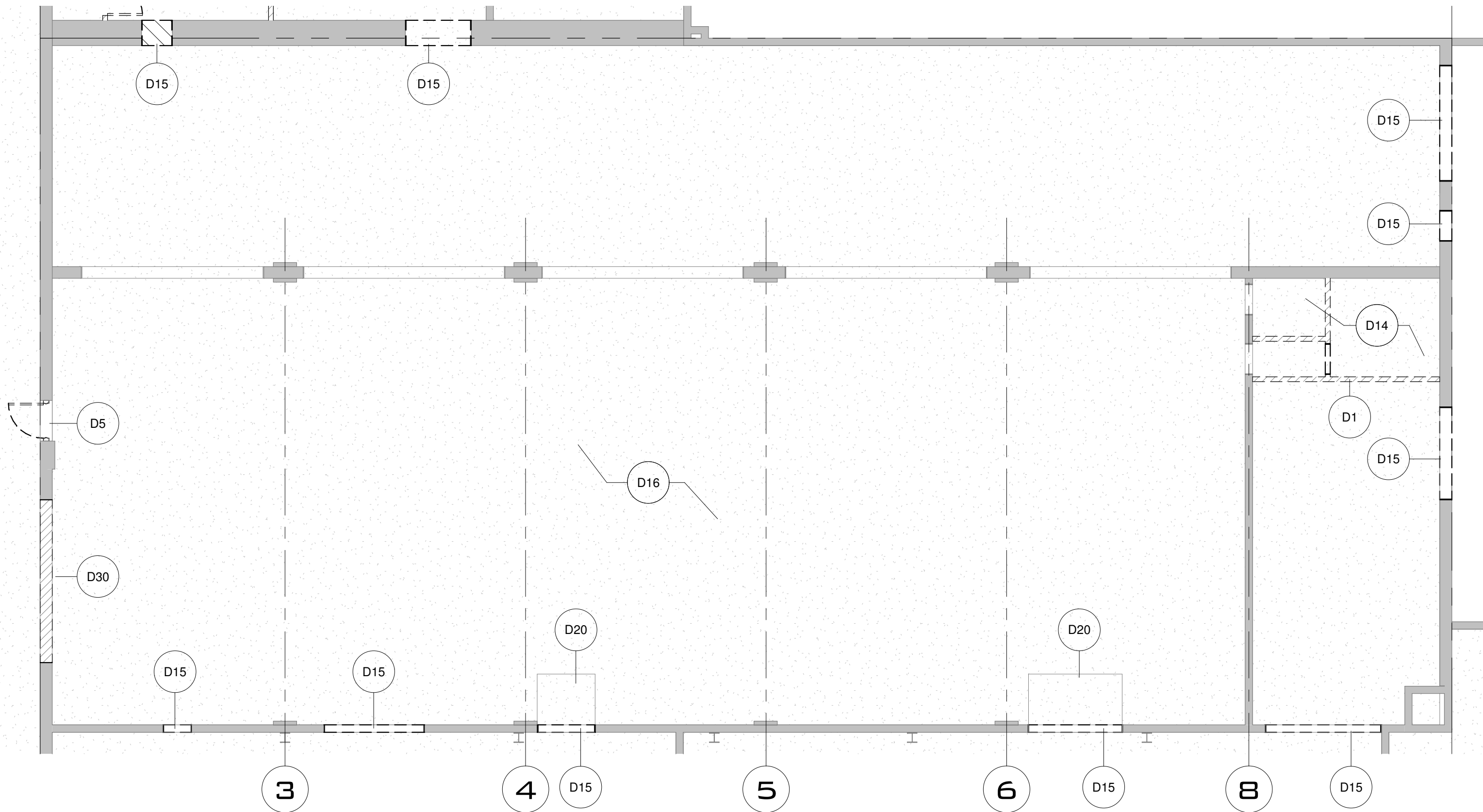
DATE SEALED
FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 220608
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& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO / REPAIR PLANS

SHEET NUMBER
A-1.1

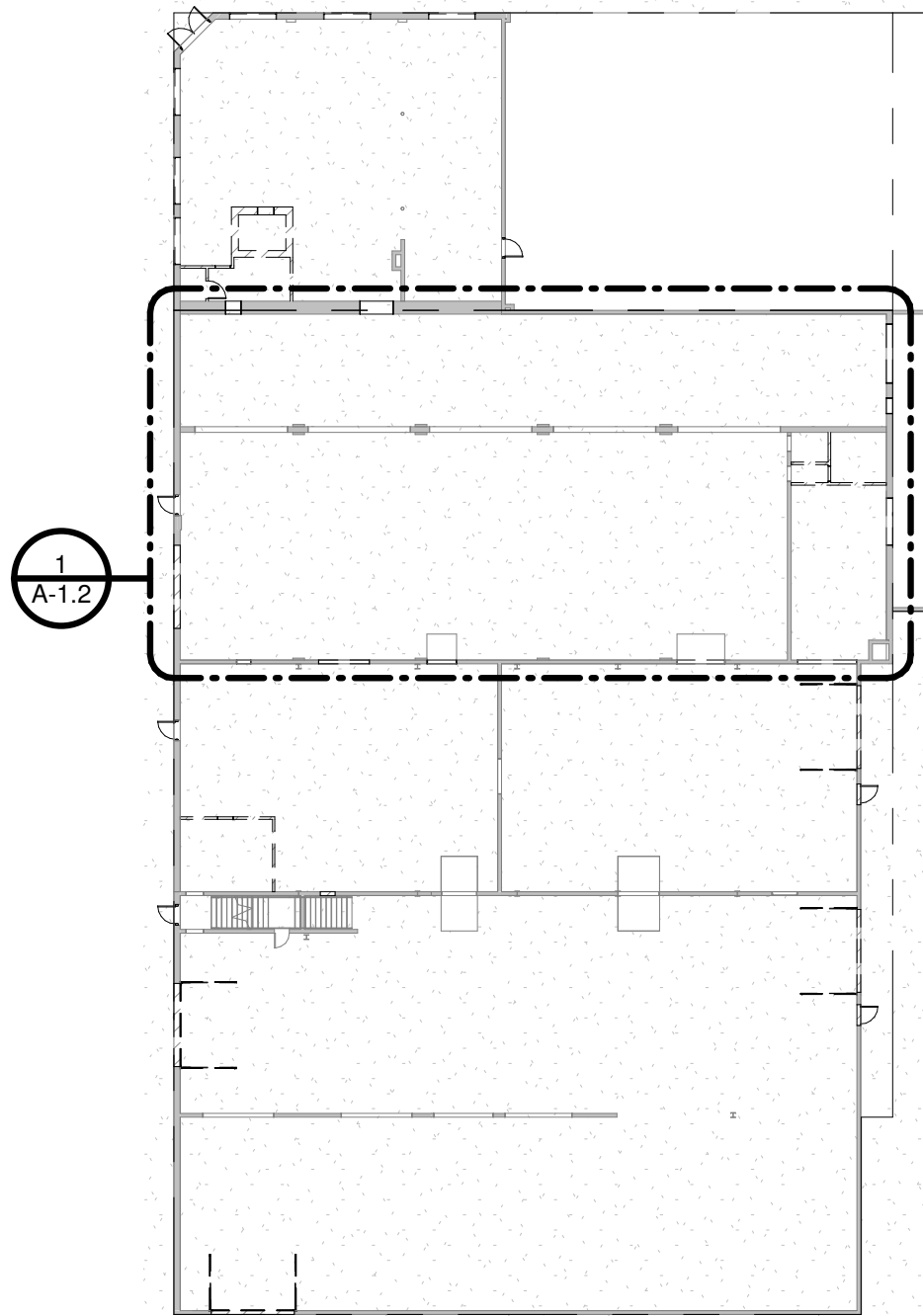




3 **ENLARGED RCP - SPACE B - DEMO**
1/8" = 1'-0"



1 **ENLARGED FIRST FLOOR - SPACE B - DEMO**
1/8" = 1'-0"

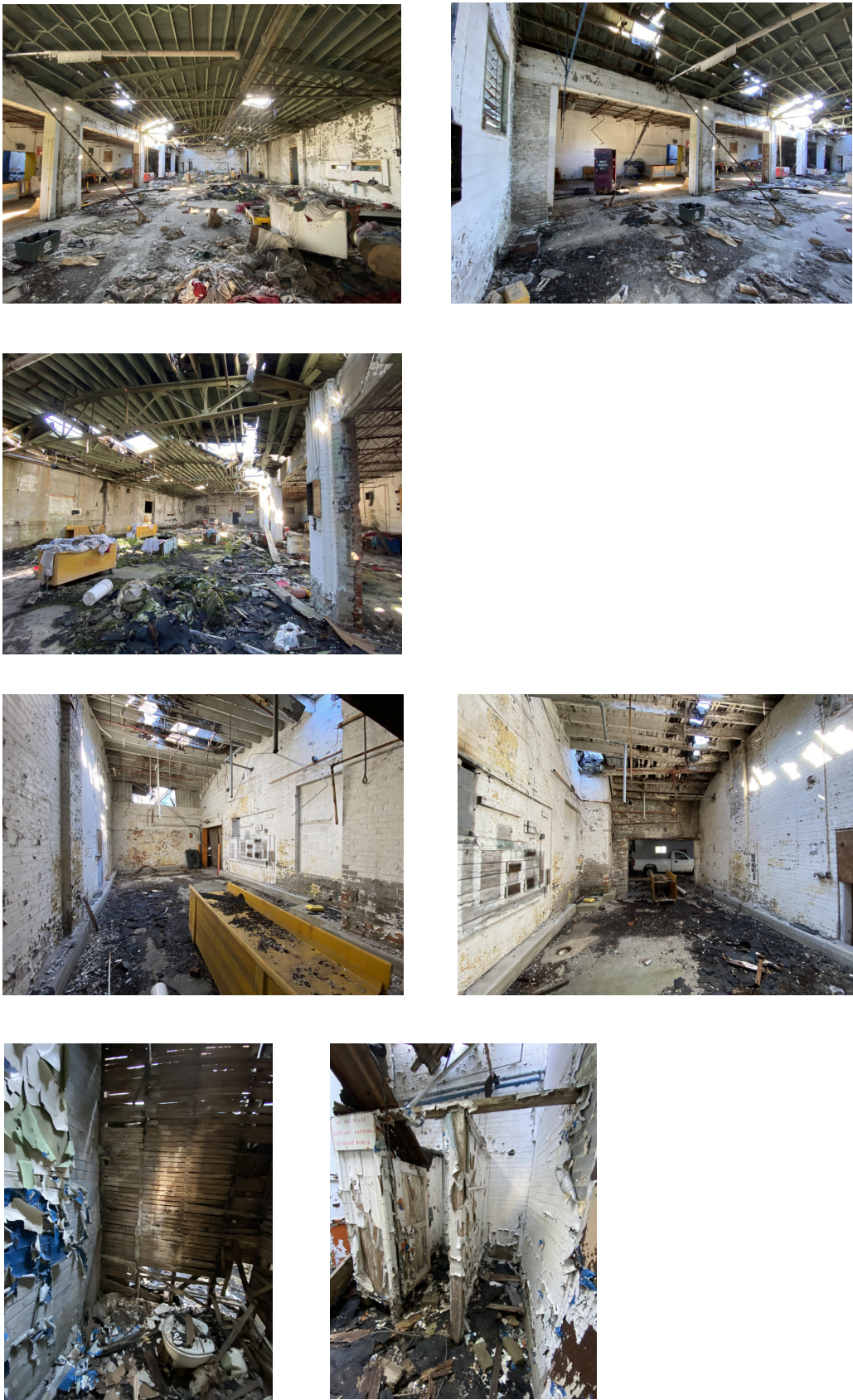


2 **FIRST FLOOR - DEMO KEY PLAN - SPACE B**
1/32" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
D1	REMOVE EX. INTERIOR WALL
D5	REMOVE EX. EXTERIOR DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D11	INSPECT & REMOVE EX. DAMAGED ROOFING & FRAMING, PREP FOR RESTORATION/REBUILD, REFER TO PROPOSED PLANS
D13	INSPECT EX. ROOF TRUSSES, REPAIR AS REQUIRED
D14	REMOVE EX. RESTROOM FIXTURES & ANY ASSOCIATED PARTITIONS, CAP ALL EX. PLUMBING
D15	REMOVE/INFILL EX. OPENING
D16	INSPECT EX. CONC. FLOOR, REPAIR AS REQUIRED
D18	INSPECT EX. SKYLIGHT, REPAIR AS REQUIRED
D20	REMOVE EX. CONC. RAMP AS REQUIRED
D21	INSPECT & REPAIR EX. DAMAGED HEADER/BEAM, REFER TO STRUCT.
D30	REMOVE EX. WALL AREA & PREPARE FOR NEW OVERHEAD GARAGE, REFER TO PROPOSED PLANS

EXISTING PHOTOS

SPACE B



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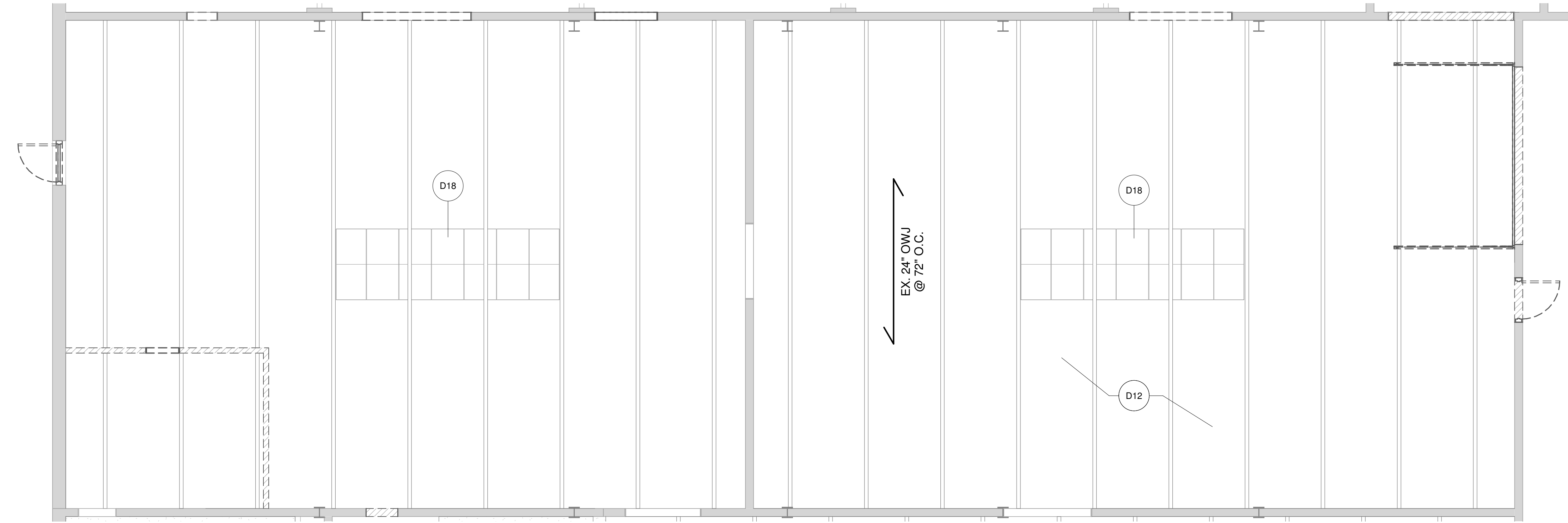
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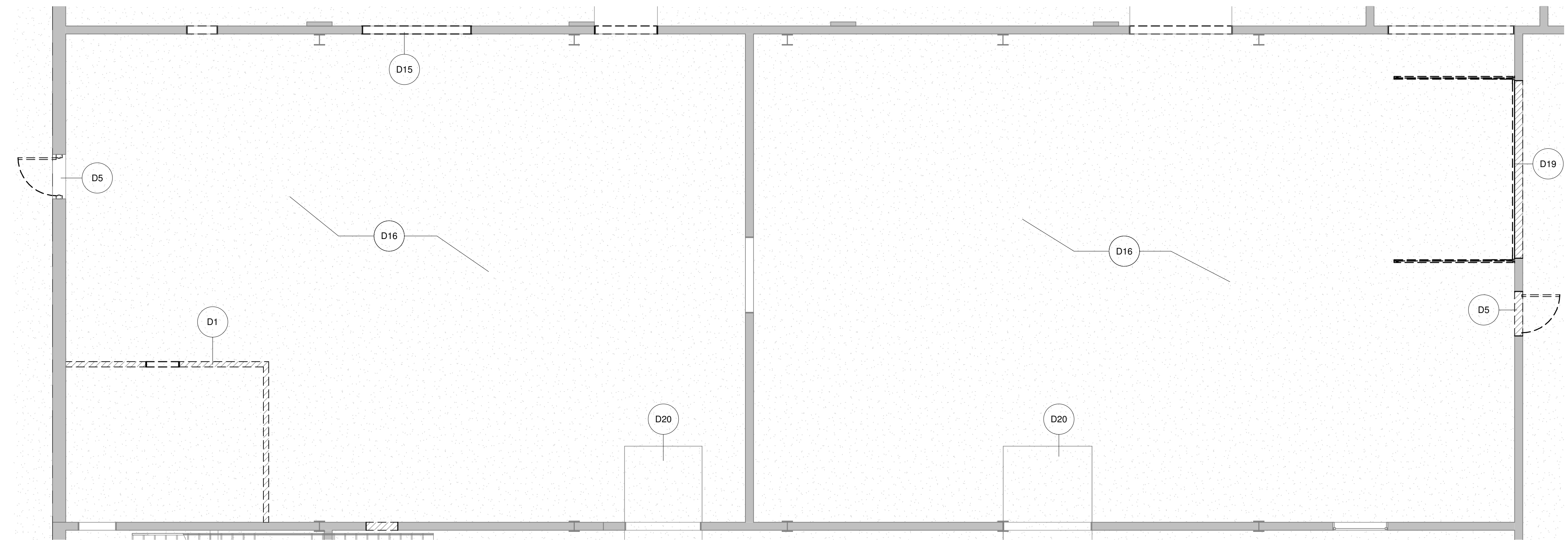
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PROJECT NUMBER: 220608
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& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO / REPAIR PLANS

SHEET NUMBER
A-1.2

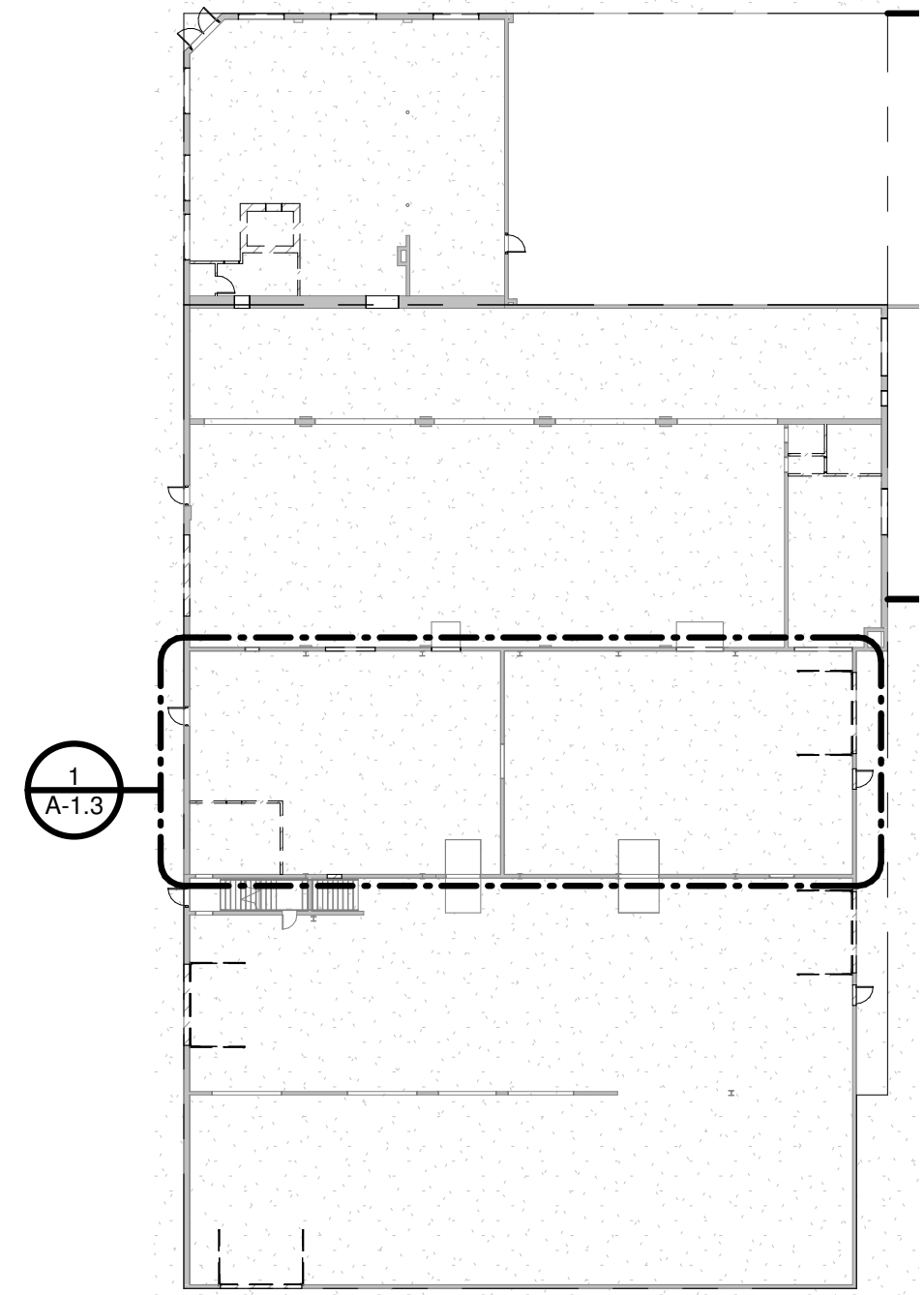




2 **ENLARGED RCP - SPACE C - DEMO**
3/16" = 1'-0"



1 **ENLARGED FIRST FLOOR - SPACE C - DEMO**
3/16" = 1'-0"

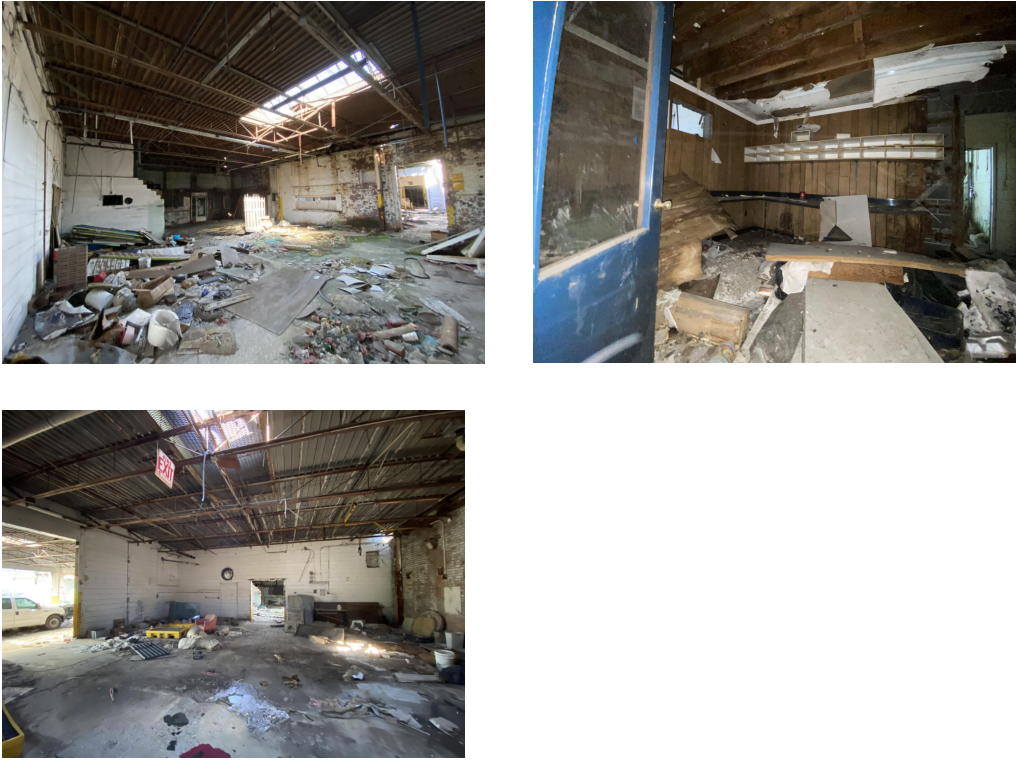


3 **FIRST FLOOR - DEMO KEY PLAN - SPACE C**
1/32" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
D1	REMOVE EX. INTERIOR WALL
D5	REMOVE EX. EXTERIOR DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D12	INSPECT EX. OWJ FRAMING, REPAIR AS REQUIRED
D15	REMOVE/INFILL EX. OPENING
D16	INSPECT EX. CONC. FLOOR, REPAIR AS REQUIRED
D18	INSPECT EX. SKYLIGHT, REPAIR AS REQUIRED
D19	REMOVE EX. OVERHEAD GARAGE DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D20	REMOVE EX. CONC. RAMP AS REQUIRED

EXISTING PHOTOS

SPACE C



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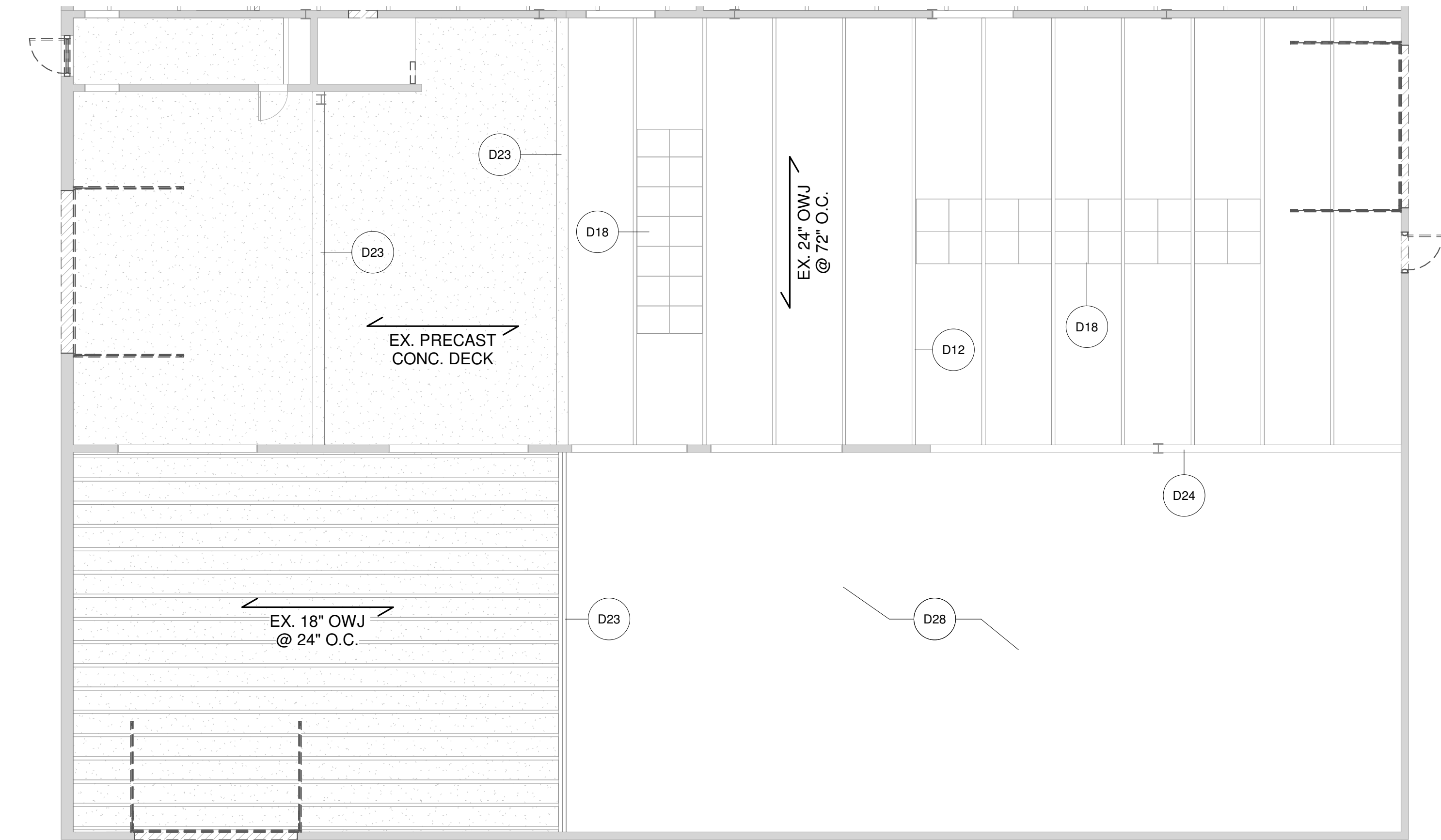
Revision Schedule		
#	Description	Date

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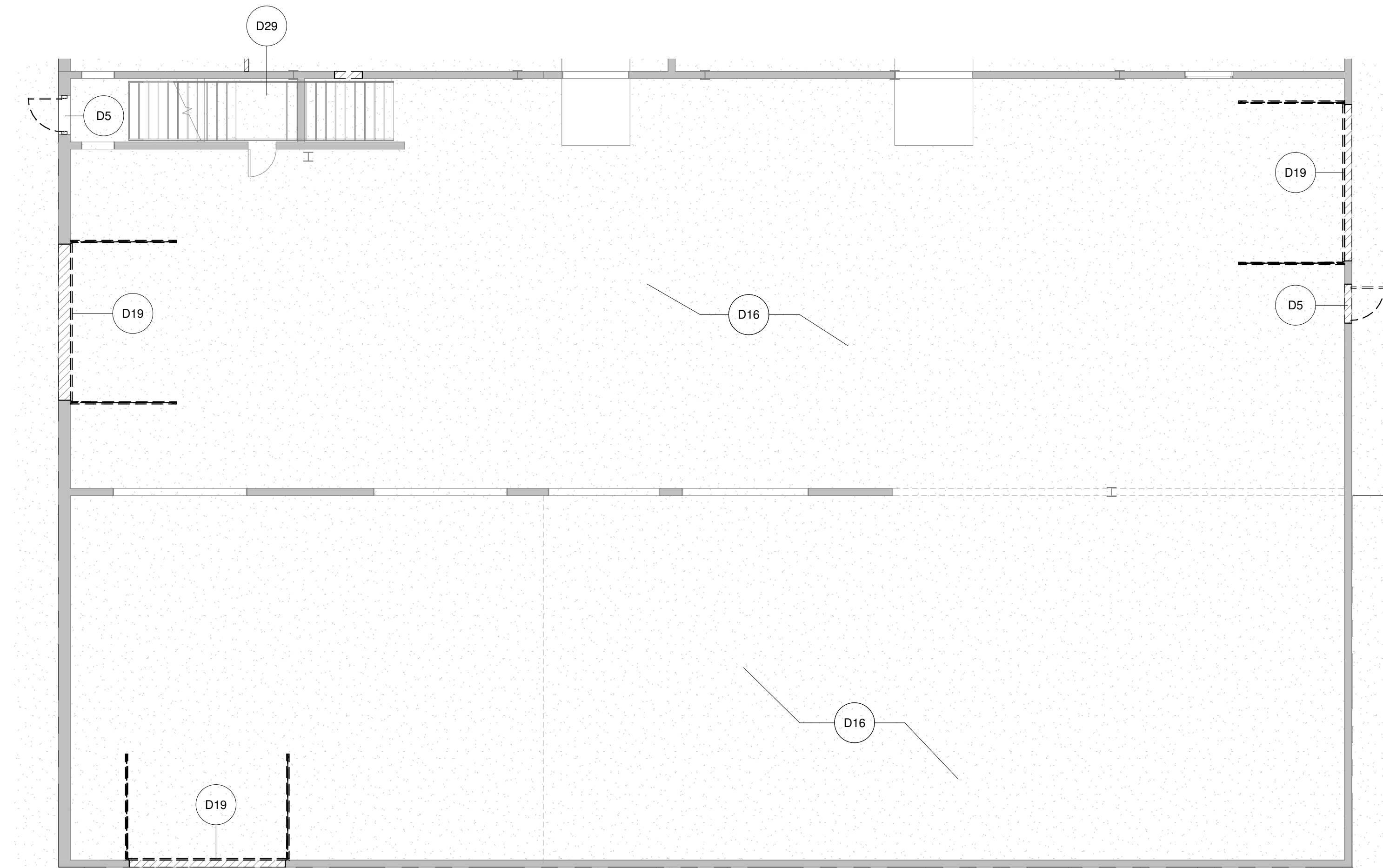
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FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 220606
8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO / REPAIR PLANS

SHEET NUMBER
A-1.3

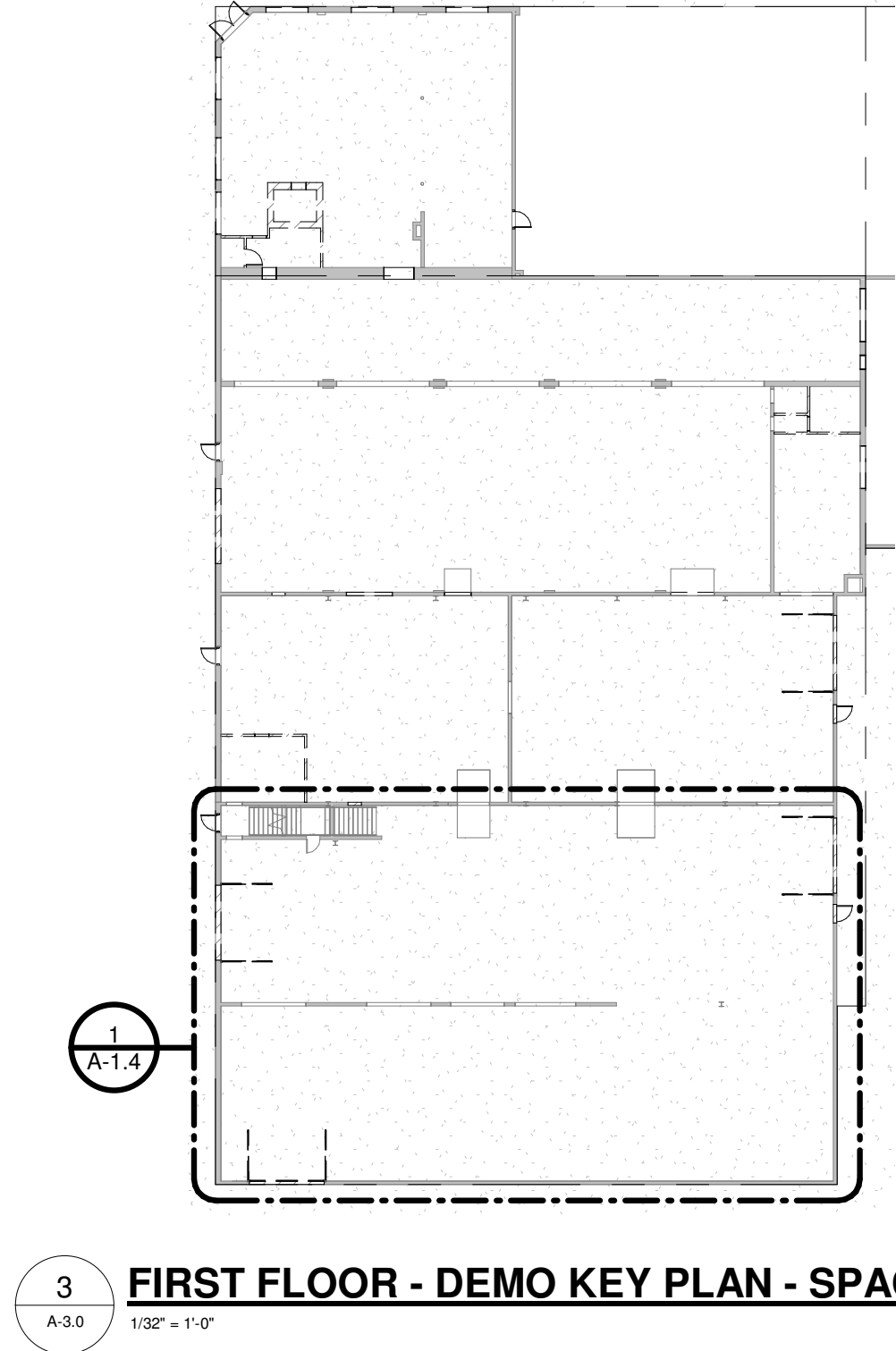




2 ENLARGED RCP - SPACE D - DEMO
1/8" = 1'-0"



1 ENLARGED FIRST FLOOR - SPACE D - DEMO
1/8" = 1'-0"



FIRST FLOOR - DEMO KEY PLAN - SPACE D

Keynote Legend	
Key Value	Keynote Text
D5	REMOVE EX. EXTERIOR DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D12	INSPECT EX. OWJ FRAMING, REPAIR AS REQUIRED
D16	INSPECT EX. CONC. FLOOR, REPAIR AS REQUIRED
D18	INSPECT EX. SKYLIGHT, REPAIR AS REQUIRED
D19	REMOVE EX. OVERHEAD GARAGE DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D23	INSPECT EX. BEAM, REPAIR AS REQUIRED
D24	INSPECT EX. HEADER, REPAIR AS REQUIRED
D28	REPAIR FORMER EX. ROOF STRUCTURE, REFER TO PROPOSED PLANS
D29	REMOVE EX. RESTROOM FIXTURES, PREPARE FOR NEW RESTROOM FIXTURES & FINISHES, REFER TO PROPOSED PLANS

EXISTING PHOTOS

SPACE D



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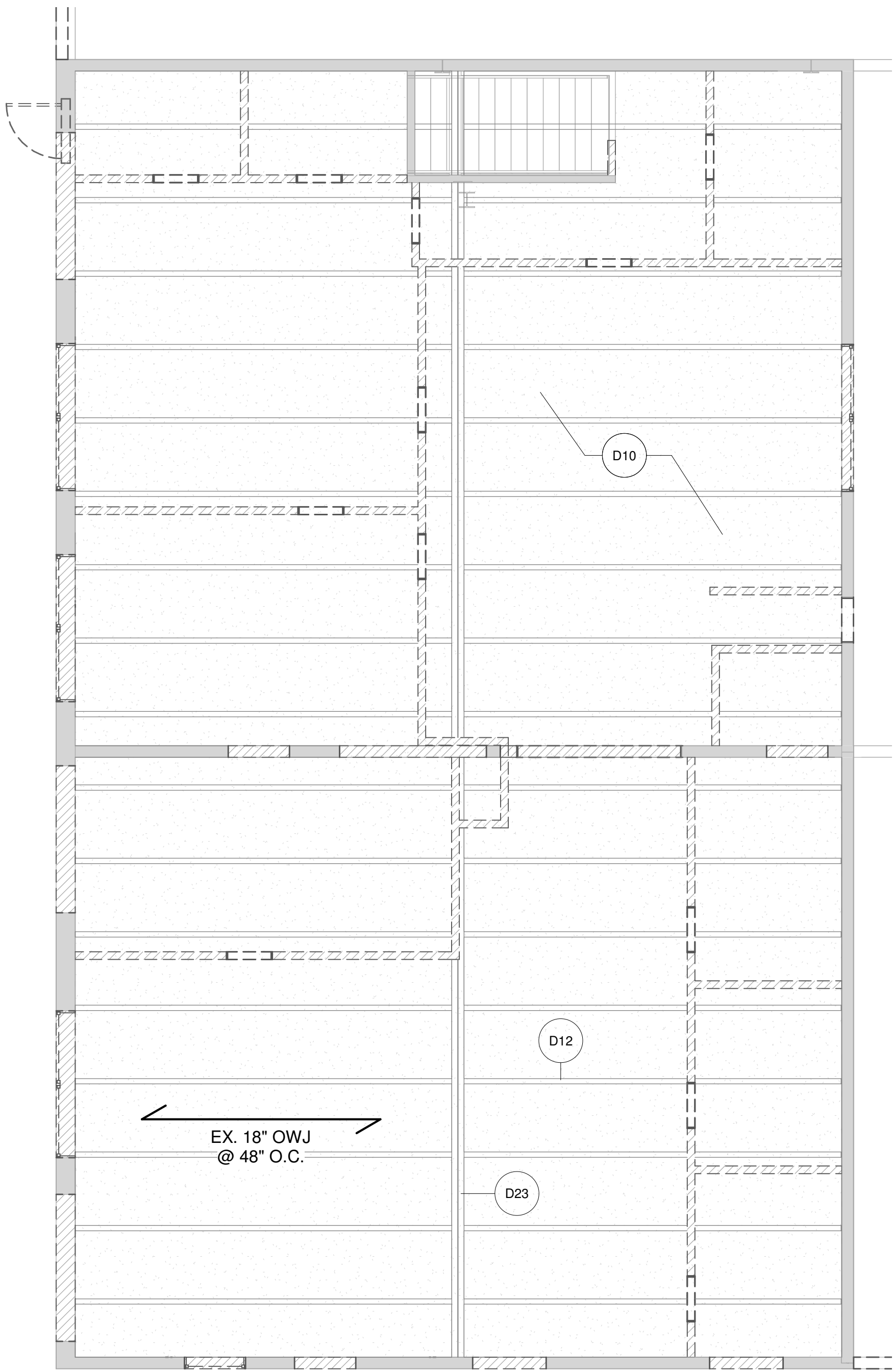
Revision Schedule		
#	Description	Date

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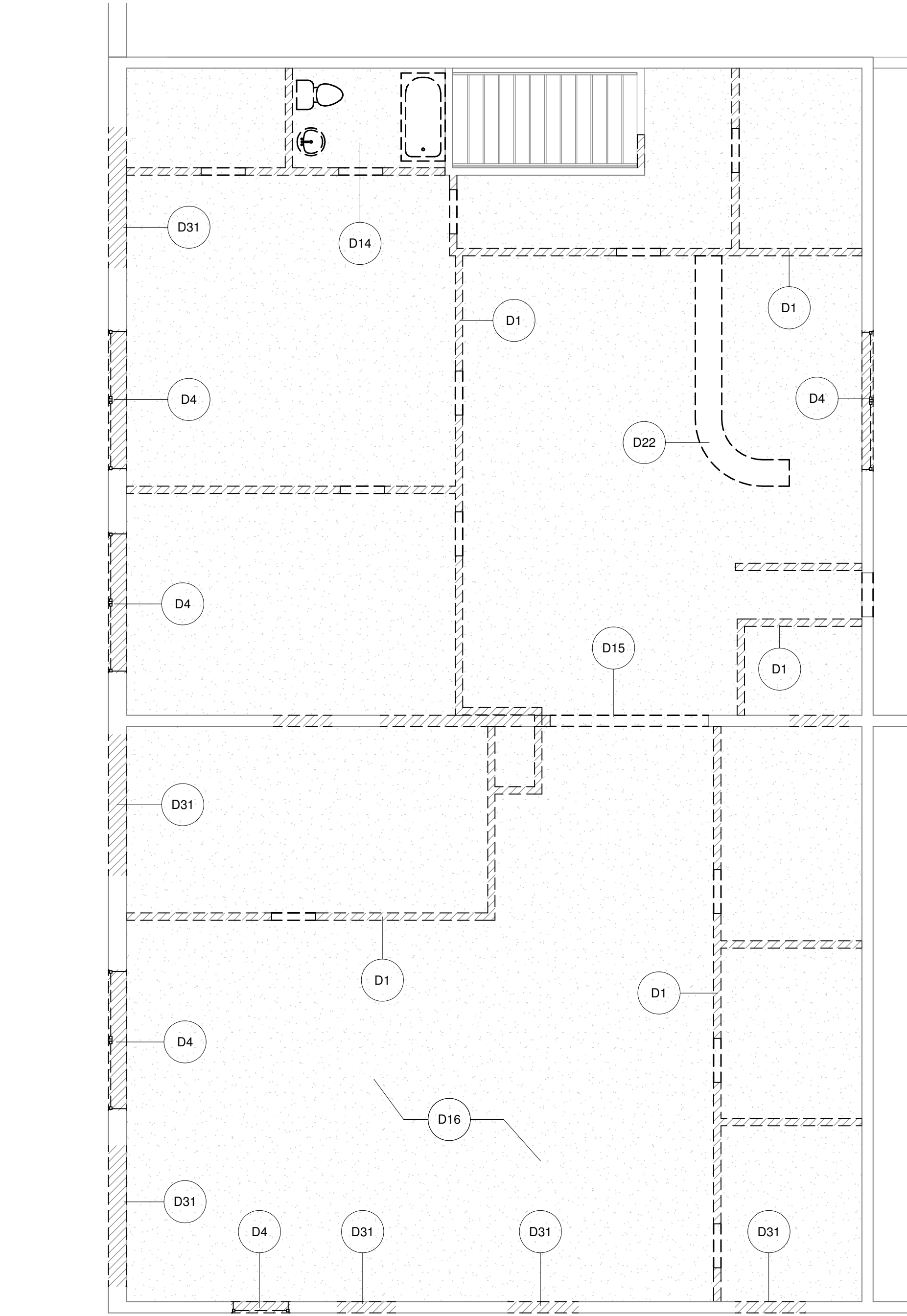
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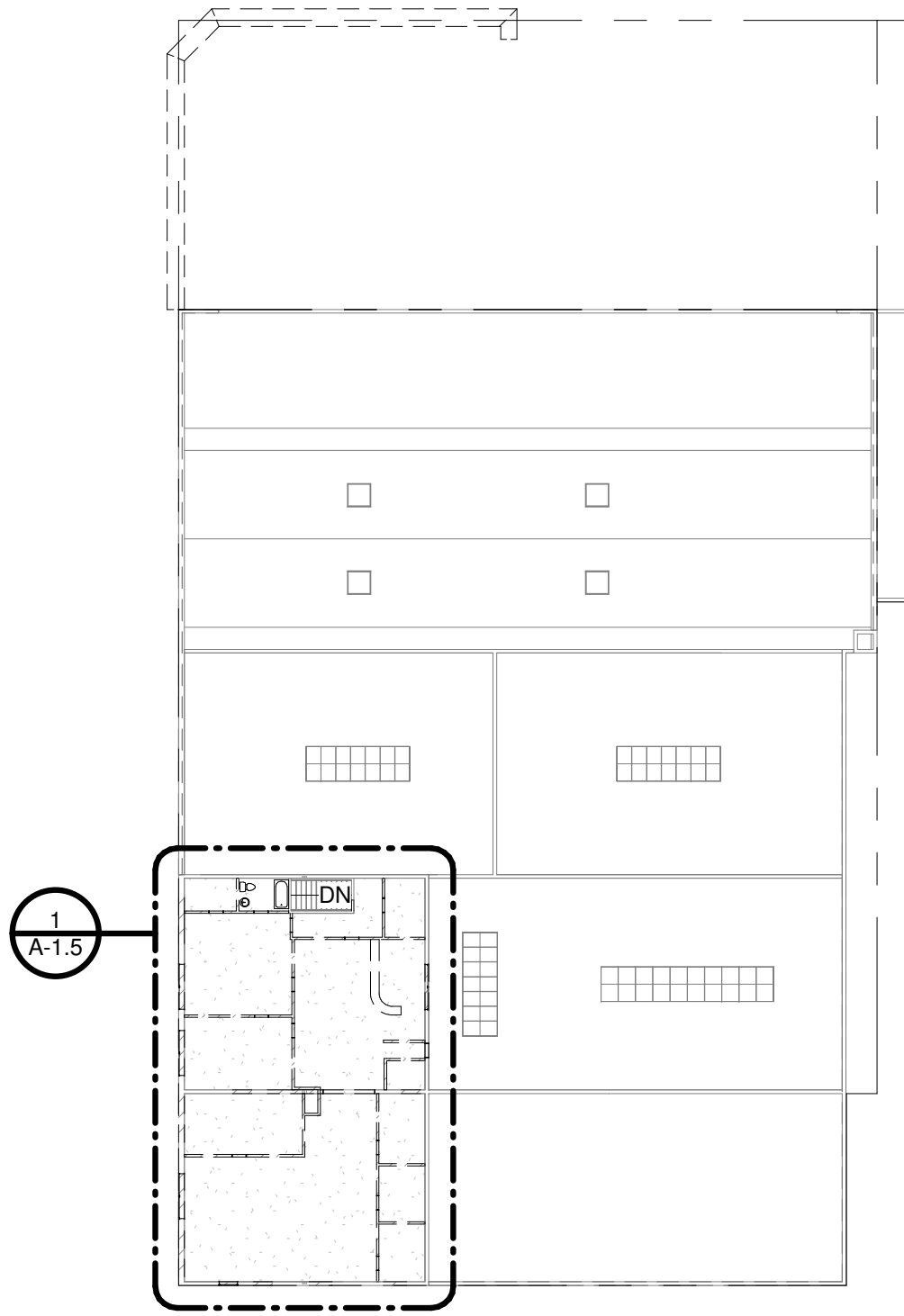
FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 220608
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& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO / REPAIR PLANS



2
A-3.0
3/16" = 1'-0"
ENLARGED RCP - SECOND FLOOR - DEMO



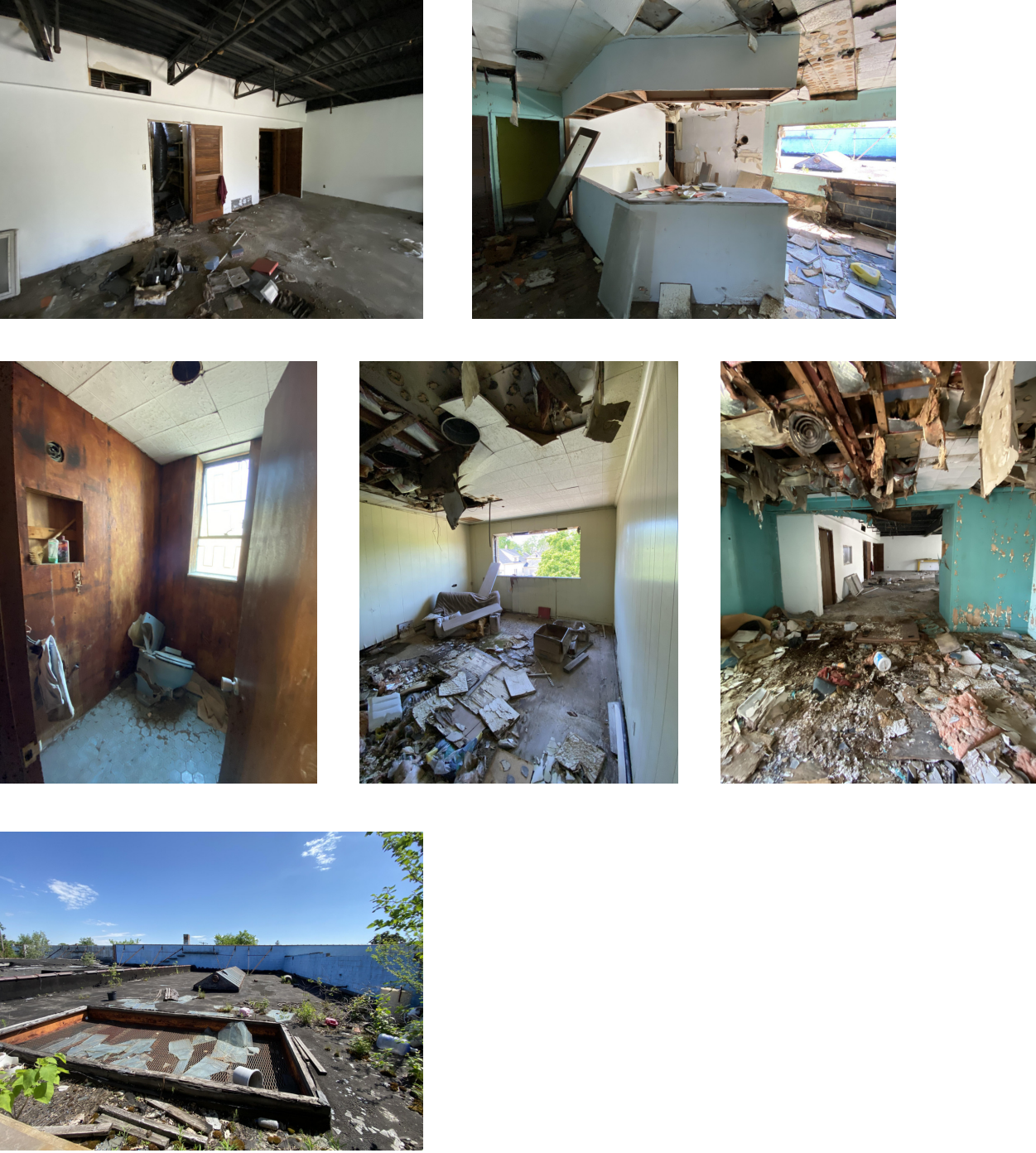
1
A-1.0
3/16" = 1'-0"
SECOND FLOOR - DEMO



3
A-3.0
1" = 30'-0"
SECOND FLOOR - DEMO KEY PLAN

Keynote Legend	
Key Value	Keynote Text
D1	REMOVE EX. INTERIOR WALL
D4	REMOVE EX. WINDOW, PREP FOR NEW, REFER TO PROPOSED PLANS
D10	REMOVE EX. CEILING FINISHES
D12	INSPECT EX. OWJ FRAMING, REPAIR AS REQUIRED
D14	REMOVE EX. RESTROOM FIXTURES & ANY ASSOCIATED PARTITIONS, CAP ALL EX. PLUMBING
D15	REMOVE/INFILL EX. OPENING
D16	INSPECT EX. CONC. FLOOR, REPAIR AS REQUIRED
D22	REMOVE EX. CASEWORK
D23	INSPECT EX. BEAM, REPAIR AS REQUIRED
D31	REMOVE EX. WALL AREA & PREPARE FOR NEW WINDOW, REFER TO PROPOSED PLANS

EXISTING PHOTOS



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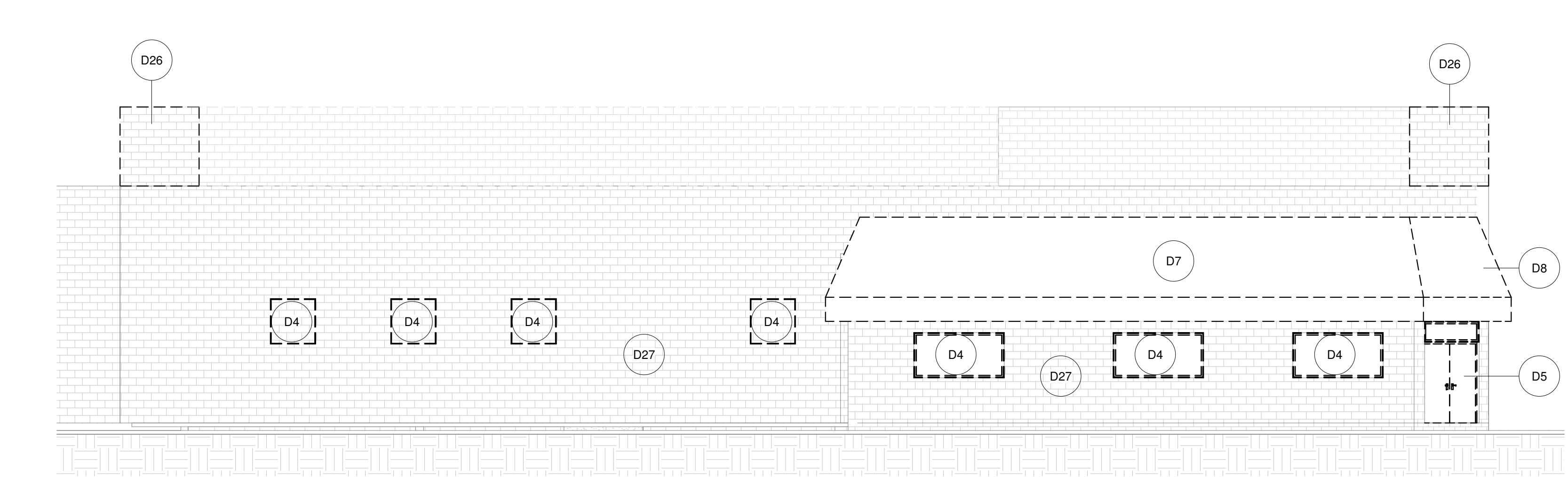
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FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 22006
8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO / REPAIR PLANS

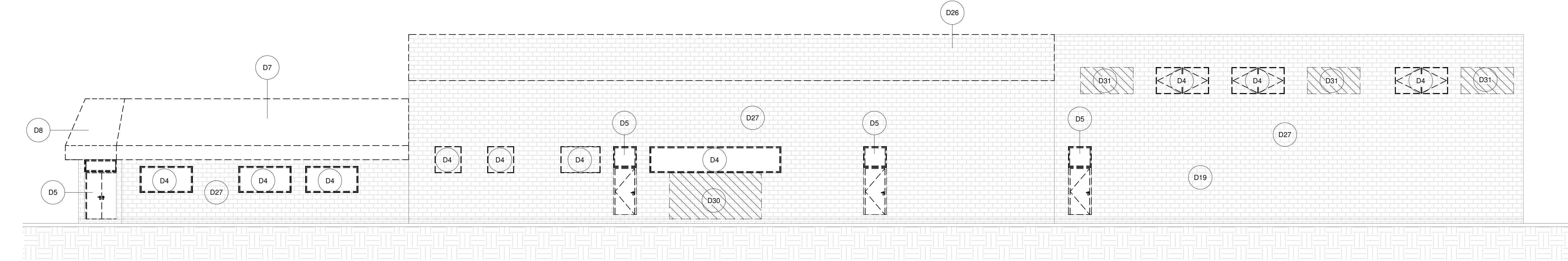
SHEET NUMBER

A-1.5

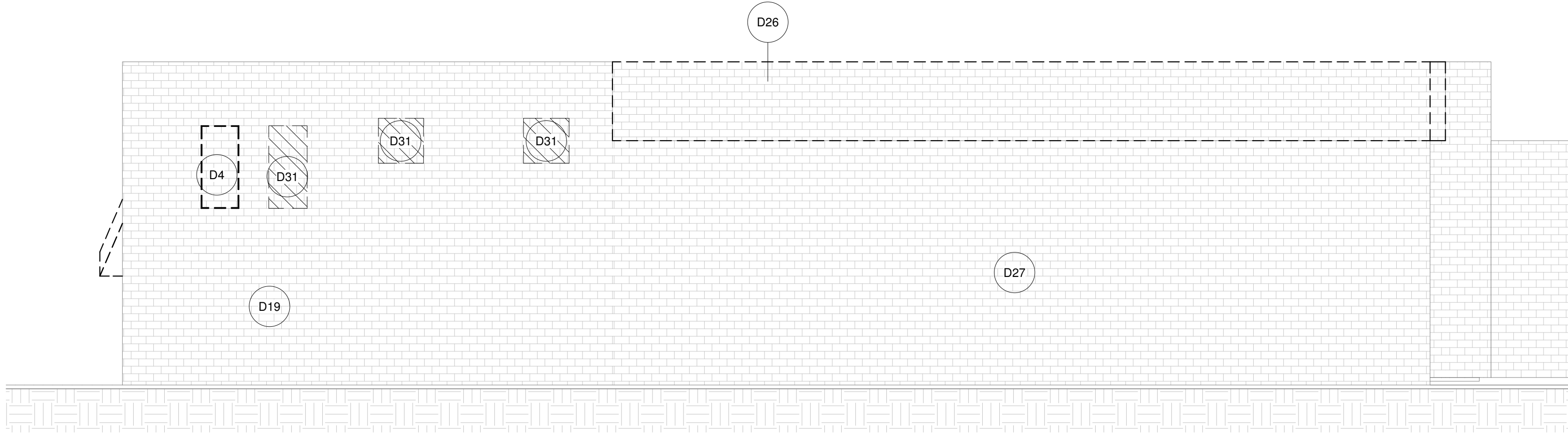
Keynote Legend	
Key Value	Keynote Text
D4	REMOVE EX. WINDOW, PREP FOR NEW, REFER TO PROPOSED PLANS
D5	REMOVE EX. EXTERIOR DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D7	REMOVE EX. FAUX MANSARD ROOF
D8	REMOVE EX. FRONT CORNER CANOPY & STL. FRAMING
D15	REMOVE/INFILL EX. OPENING
D19	REMOVE EX. OVERHEAD GARAGE DOOR, PREP FOR NEW, REFER TO PROPOSED PLANS
D26	REMOVE EX. EXTENDED MASONRY PARAPET & ALL ASSOCIATED SUPPORTS
D27	INSPECT EX. MASONRY, TUCKPOINT/REPAIR AS REQUIRED
D30	REMOVE EX. WALL AREA & PREPARE FOR NEW OVERHEAD GARAGE, REFER TO PROPOSED PLANS
D31	REMOVE EX. WALL AREA & PREPARE FOR NEW WINDOW, REFER TO PROPOSED PLANS



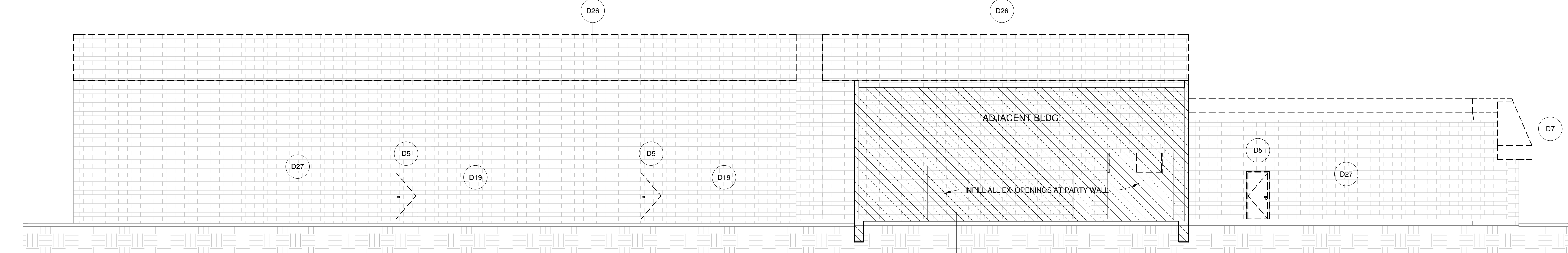
2 NORTH ELEVATION - DEMO
1/8" = 1'-0"



4 WEST ELEVATION - DEMO
EXIST1 1/8" = 1'-0"



3 SOUTH ELEVATION - DEMO
1/8" = 1'-0"



1 EAST ELEVATION - DEMO
EXIST1 1/8" = 1'-0"

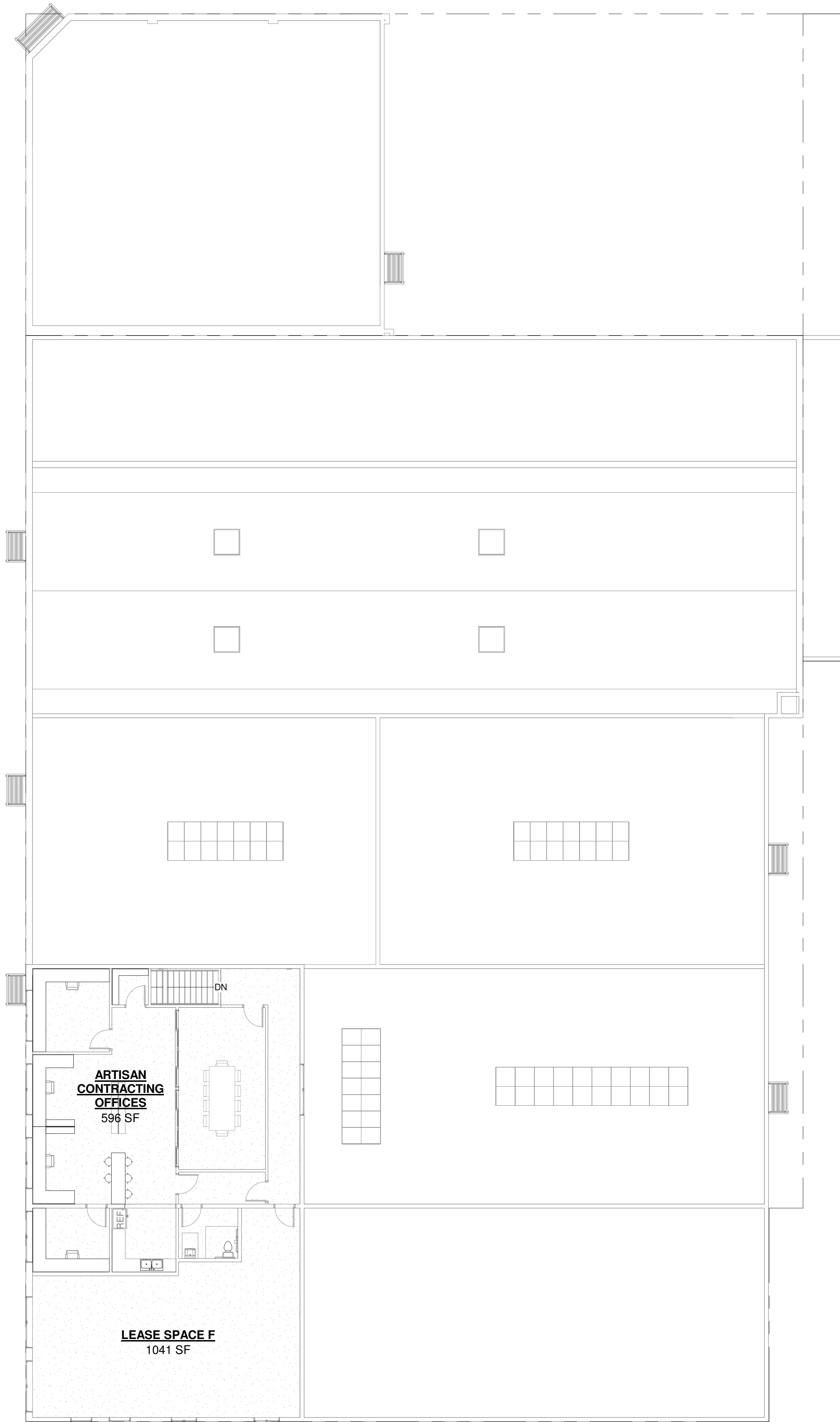
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Revision Schedule		
#	Description	Date

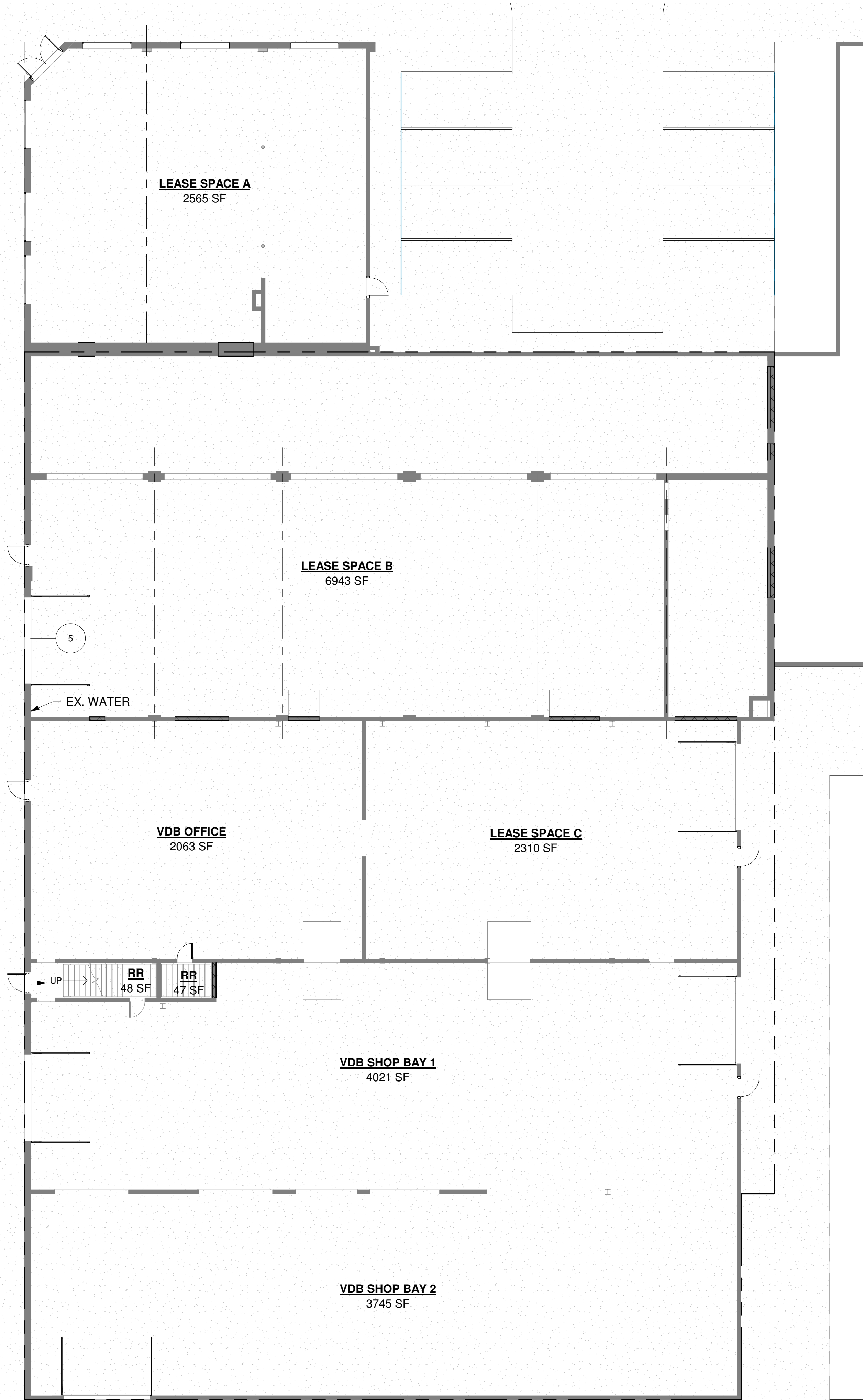
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PROJECT NUMBER: 220606
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& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
DEMO/REPAIR ELEVATIONS


SHEET NUMBER
A-1.6



2 SECOND FLOOR - OVERALL - PROPOSED
A-3.0 3/32" = 1'-0"



1 FIRST FLOOR - OVERALL - PROPOSED
A-3.0 3/32" = 1'-0"



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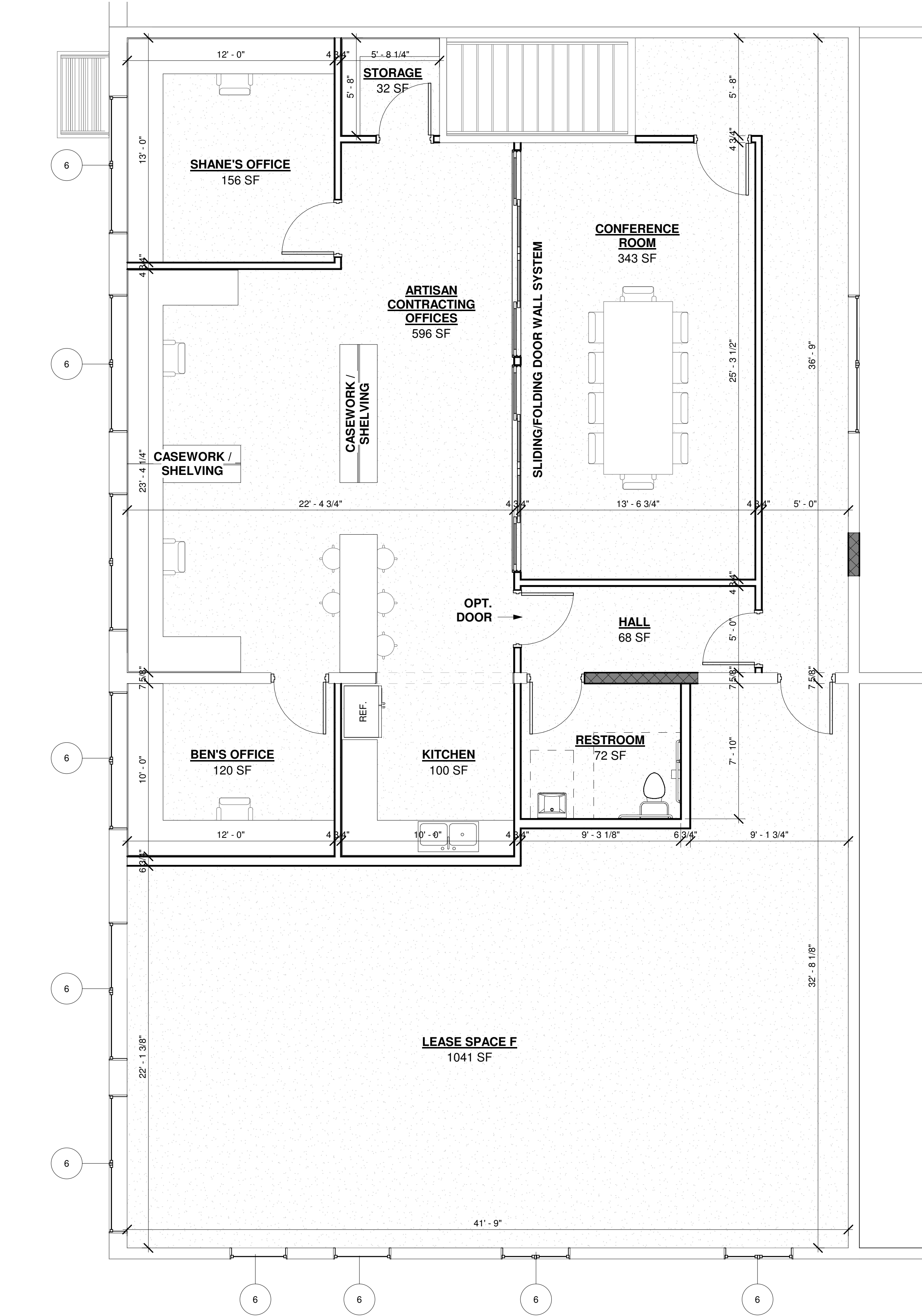
DATE SEALED

FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 22006
8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
PROPOSED FLOOR PLAN

A-2.1


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Keynote Legend	
Key Value	Keynote Text
6	NEW WINDOW, INSTALL PER MFR. STANDARD DETAILS



1 SECOND FLOOR - PROPOSED
1/4" = 1'-0"





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Revision Schedule		
#	Description	Date

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FOREST & CRANE REDEVELOPMENT
PROJECT NUMBER: 220608
8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
ENLARGED FLOOR PLAN

SHEET NUMBER
A-2.2

9/30/2022 10:05:32 AM

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ROOFING NOTES:

PITCHED ROOFS WITH SHINGLES:

1.

PROVIDE W&I SHIELD @ ALL EAVES MIN. 24" BEYOND INSIDE FACE OF EXTERIOR WALLS.

2.

PROVIDE W&I SHIELD @ SADDLES AND AREAS WHERE CONVERGING PITCHES MAY RETAIN SNOW BUILD-UP.

3.

PROVIDE 'VALLEY GUARD' AT ALL VALLEY LOCATIONS.

4.

PROVIDE MIN 30 YR. WARRANTY SHINGLES WITH MIN 15# FELT UNDERLAYMENT.

5.

ENSURE THAT ALL DORMERS (FALSE & TRUE) ARE VENTED.

6.

WHERE FLAT ROOF MEMBRANES MEET SLOPED ROOFS, RUN MEMBRANE MIN. 48" UP SLOPE.

7.

REFER TO MANUFACTURER DETAILS AND RECOMMENDED PRACTICES FOR ALL ROOFING MATERIALS.

FLAT ROOFS:

1.

WHERE EXISTING FLAT ROOFS EXIST, ROOFING CONTRACTOR SHALL PROVIDE INSPECTION FOR LEAKS, AND PITCH ISSUES TO ROOF SUMPS.

2.

WHERE NEW MEMBRANE ROOFS ARE SPECIFIED, RUN MEMBRANE A MIN. OF 8" UP VERTICAL PARAPET WALLS WITH COUNTER FLASHING DETAIL AS RECOMMENDED BY MFR... OR UP UNDER COPING.

3.

METAL COPING TO BE MIN. .024 MM PRE FINISHED ALUM OR APPROVED EQUAL.

4.

PROVIDE MIN RIGID INSULATION AS REQUIRED BY CODE, TAPER WHERE NECESSARY TO ASSURE POSITIVE FLOW OF WATER.

INSULATION/VENTING & ACCESS:

1.

PROVIDE MIN. R-26 INSULATION AT ALL BOND AND CONCEALED/SHAFT CONDITIONS.

2.

ALL BATT INSULATION SHALL PROVIDE VAPOR BARRIER AT WARM SIDE.

3.

RIGID INSULATIONS SHALL CONTAIN/EMIT NO HCFC'S.

4.

CONFIRM OWNER REQUIREMENTS FOR BATT SOUND INSULATION IN WALLS, FLOORS AND CEILINGS.

5.

PROVIDE INSULATION BEHIND ANY FIXTURE OR CHASE IN EXTERIOR WALLS.

6.

CONFIRM THAT ANY FIXTURE BEING COVERED BY INSULATION IS APPROVED AND/OR IC RATED.

7.

A READILY ACCESSIBLE OPENING NOT LESS THAN 22" X 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30".

8.

PROVIDE ACCESS TO ALL PLUMBING CONTROL VALVES AND MOTORS.

9.

PROVIDE FREE AIRFLOW FROM ALL SOFFITS TO THE ROOF SPACE

10.

MAINTAINING VENTILATION TO ANY CONCEALED ROOF AREAS; PROVIDE BAFFLES WHERE REQUIRED FOR UNOBSTRUCTED AIR FLOW.

DRAINAGE NOTES:

1.

ALL DRAIN TILES TO BE MIN. 4" DIA., RIGID PVC IN PEA STONE COVER, PROVIDE FILTER FABRIC PROTECTION.

2.

CONNECT ALL DOWNSPOUTS INTO DRAIN TILE WHERE APPLICABLE.

3.

REFER TO SOILS ENGINEER AND CIVIL ENGINEER DOCUMENTS AND RECOMMENDATIONS FOR DRAIN TILE.

4.

PROVIDE SUMPS FOR ALL BELOW GRADE SPACES WITH SAFE DISCHARGE AND OVERFLOW.

5.

WHERE ELEVATOR SUMP ARE REQUIRED, PROVIDE ALARM AND BACK UP SUMP.

6.

PROVIDE OVERFLOW DRAINAGE AT ALL FLAT ROOF CONDITIONS.

MOISURE PROTECTION:

1.

PROVIDE FLASHING AT ALL WALL ASSEMBLIES AT MATERIAL TRANSITIONS.

2.

WHERE ANY MOISTURE INTRUSION MAY OCCUR IN BUILDING ASSEMBLIES, PROVIDE RELIEF OUTLET WITH DIRECTED, POSITIVE FLOW.

3.

ALL INTERIOR CONCRETE SLABS SHALL HAVE MIN. 6 MIL VAPOR BARRIER BELOW; WHERE EXTREME WET SOILS EXIST, PROVIDE MIN 12 MIL VAPOR BARRIER OVER MIN. 6" OF 3/4" SHARP STONE (NO FINES) BASE WITH PITCHED SUBGRADE TO DRAIN TILES.

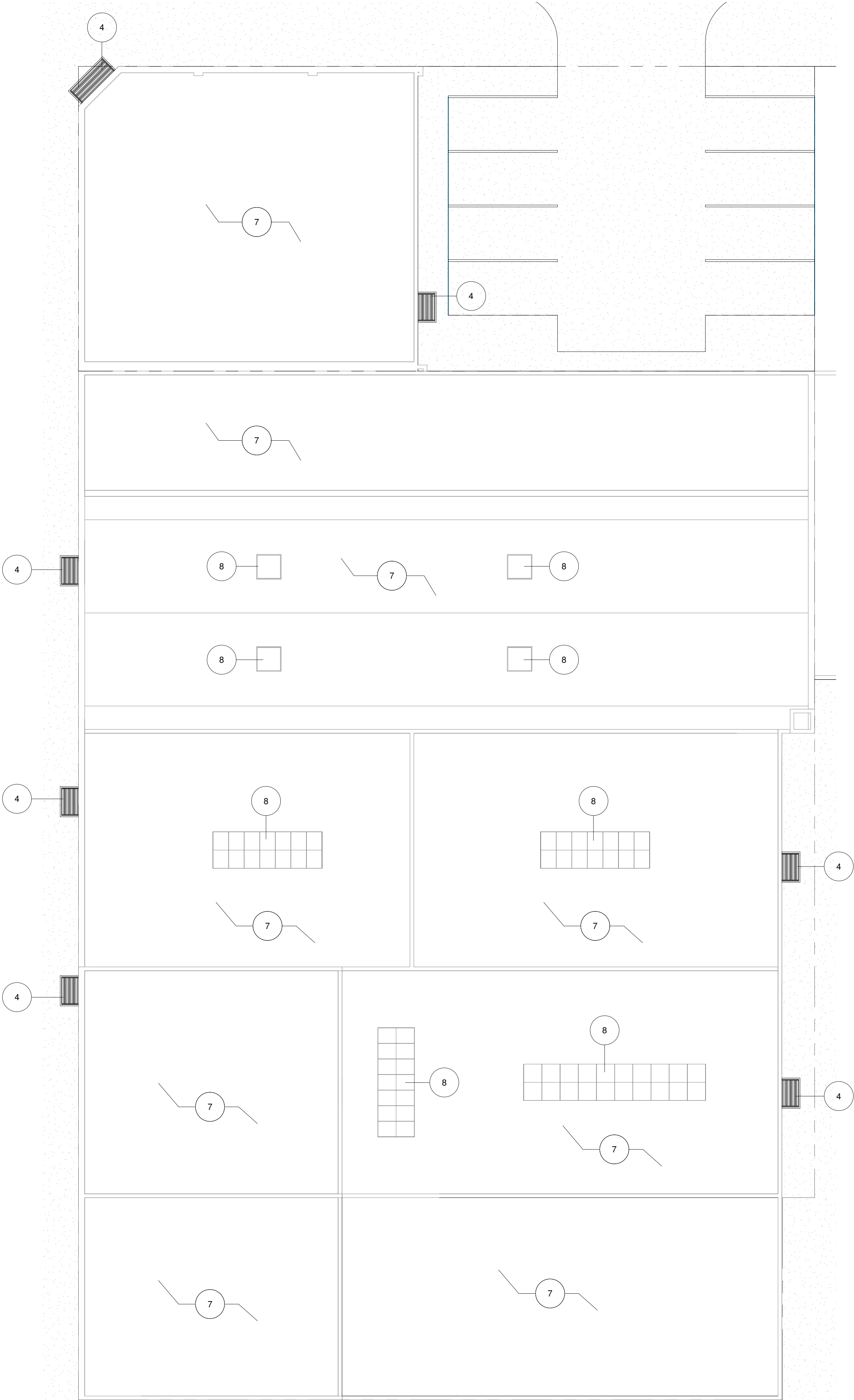
4.

USE PRESSURE TREATED WOOD WITHIN 8" OF GRADE AND PROTECT WITH WATERPROOF MEMBRANE.

5.

USE SOLAR SEAL CAULK FOR ALL EXTERIOR APPLICATIONS, COLOR TO MATCH TRIM.

Keynote Legend	
Key Value	Keynote Text
4	NEW PRE-ENGINEERED METAL AWNING, INSTALL PER MFR. STANDARD DETAILS
7	NEW MEMBRANE ROOFING THROUGHOUT
8	INSTALL RESTORED AND/OR NEW SKYLIGHT INTO EXISITNG OPENING, CURB & FLASH AS REQUIRED TO INTEGRATE W/ NEW MEMBRANE ROOFING, REFER TO MFR. STANDARD DETAILS AS REQ'D.



1
A-3.0
3/32" = 1'-0"

ROOF PLAN - PROPOSED

INTUZ

ARCHITECTS + INNOVATORS

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FOREST & CRANE REDEVELOPMENT

PROJECT NUMBER: 220608

8800 E FOREST AVE

& 4360 CRANE ST

Detroit, MI 48214

ARTISAN CONTRACTING

SHEET TITLE

PROPOSED ROOF PLAN

1

A-2.3

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GENERAL EXTERIOR FINISH NOTES:

- A. ALL CONSTRUCTION TO COMPLY WITH THE LOCAL BUILDING CODES AND ORDINANCES FOR MATERIAL REQUIREMENTS AND PERFORMANCE.
- B. ALL MATERIALS WITHIN 8" OF GRADE SHALL BE OF NON-ROTTING COMPOSITION PER CODE.
- C. VERIFY ALL SELECTIONS WITH OWNER PRIOR TO ORDER AND INSTALL PER MANUFACTURERS RECOMMENDATIONS.

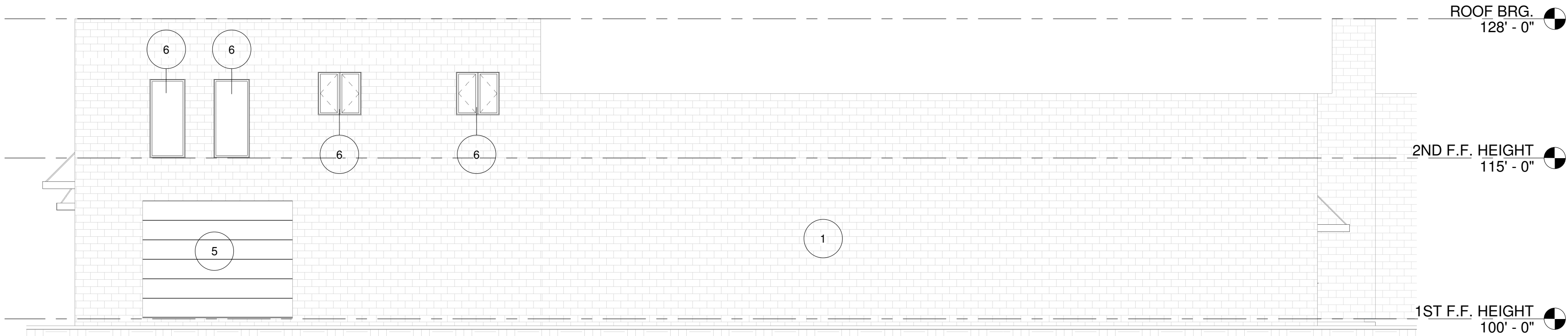
MASONRY NOTES:

- A. ALL MASONRY WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE LATEST BUILDING CODE AND INSTALLED IN CONFORMANCE WITH RECOMMENDED PRACTICES IN THE INDUSTRY AND THE MASONRY INSTITUTE OF MICHIGAN.
- B. ALL C.M.U. AT OR WITHIN 8" OF GRADE SHALL BE GROUTED SOLID.
- C. WATERPROOF ALL BRICK, BLOCK AND POURED CONCRETE WALLS AT ANY BELOW GRADES CONDITION UNLESS NOTED OTHERWISE.
- D. VERIFY ALL SELECTIONS, INCLUDING MORTAR COLORS, WITH OWNER PRIOR TO ORDER.
- E. PROVIDE TEMPORARY JIGS OR STEEL LINTELS WHERE ARCHED ELEMENTS ARE PRESENT.
- F. PROVIDE 'DOLOMITIC' LIMESTONE WHERE DETAILS ARE IN CONTACT WITH GRADE. SUPPORT MORE THAN ONE STORY OF MASONRY, OR WHERE WALL CAPS ARE NOT TAPERED.

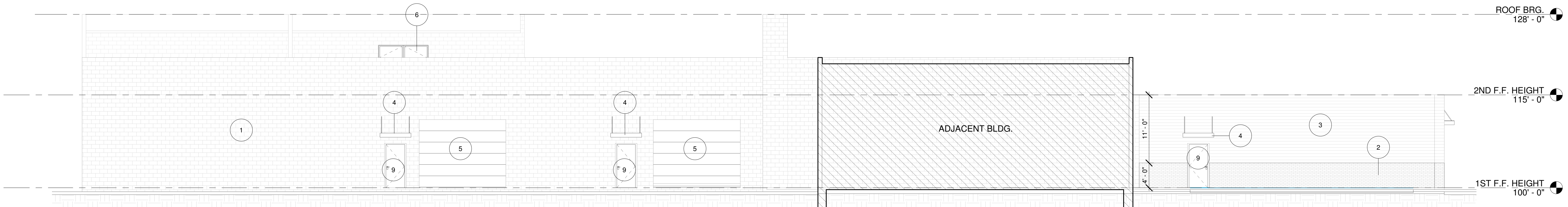
SIDING/TRIMS:

- A. OWNER SELECTION OF SIDING MATERIALS SHALL BE REVIEWED BY GENERAL CONTRACTOR AND MAINTENANCE FREE ALTERNATIVES DISCUSSED. WHERE PAINTED PRODUCTS ARE SELECTED, PROVIDE ALTERNATE FOR COMPOSITES.
- B. WHERE OWNER SELECTS PAINTED SIDING OR TRIMS, PROVIDE SAMPLE/MOCK-UP PRIOR TO PAINT ORDER. ALL EXTERIOR PAINTED ELEMENTS SHALL BE PREPARED, CAULKED, PRIMED AND PAINTED PER INDUSTRY STANDARDS WITH OIL BASE FINISHES OR APPROVED EQUAL.
- C. ALUMINUM COIL TRIMS, AS WELL AS GUTTERS AND DOWNSPOUTS, SHALL BE VERIFIED WITH OWNER AND COORDINATED WITH ROOFING AND WINDOW COLOR SELECTIONS. UNLESS DESIGN INTENT CONVEYS OTHERWISE, DOWNSPOUTS SHALL MATCH FAÇADE COLOR THEY ARE MOUNTED TO.
- D. ALL EXTERIOR SEALANTS SHALL MATCH COLOR OF MATERIALS THEY ABUT AND SHALL HAVE U. V. INHIBITORS. USE 'SOLAR SEAL' OR APPROVED EQUAL.
- E. WHERE COMPOSITE EMBELLISHMENT OR SUPPORT BRACKETS ARE PRESENT, PROVIDE SOLID BLOCKING IN FRAME WALLS FOR PROPER SUPPORT AND TRANSFERRED LOADS. WHERE ELEMENTS OCCUR IN MASONRY, PROVIDE BUILT-UP PRESSURE TREATED 2X BLOCKING AS NECESSARY TO ASSURE FLUSH MOUNTING OF ELEMENTS AND/OR BRACKET PLATES.

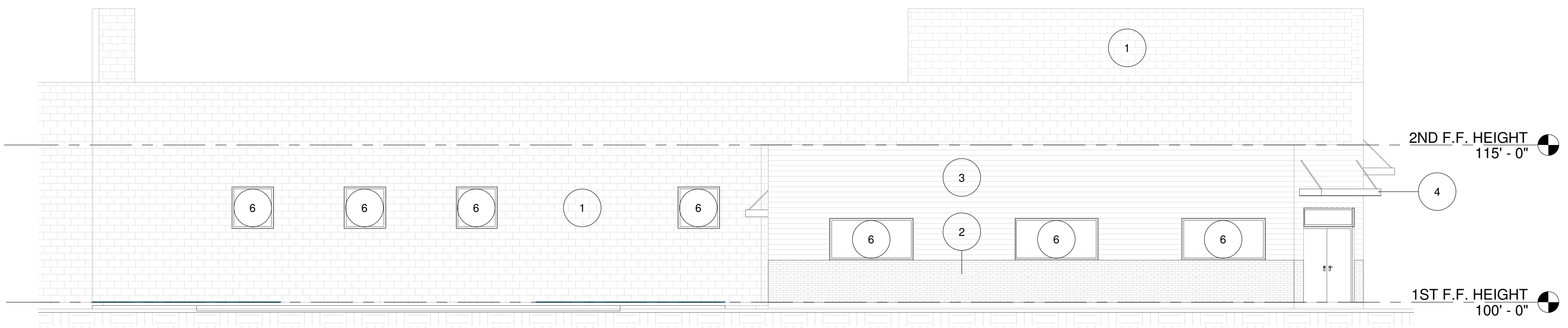
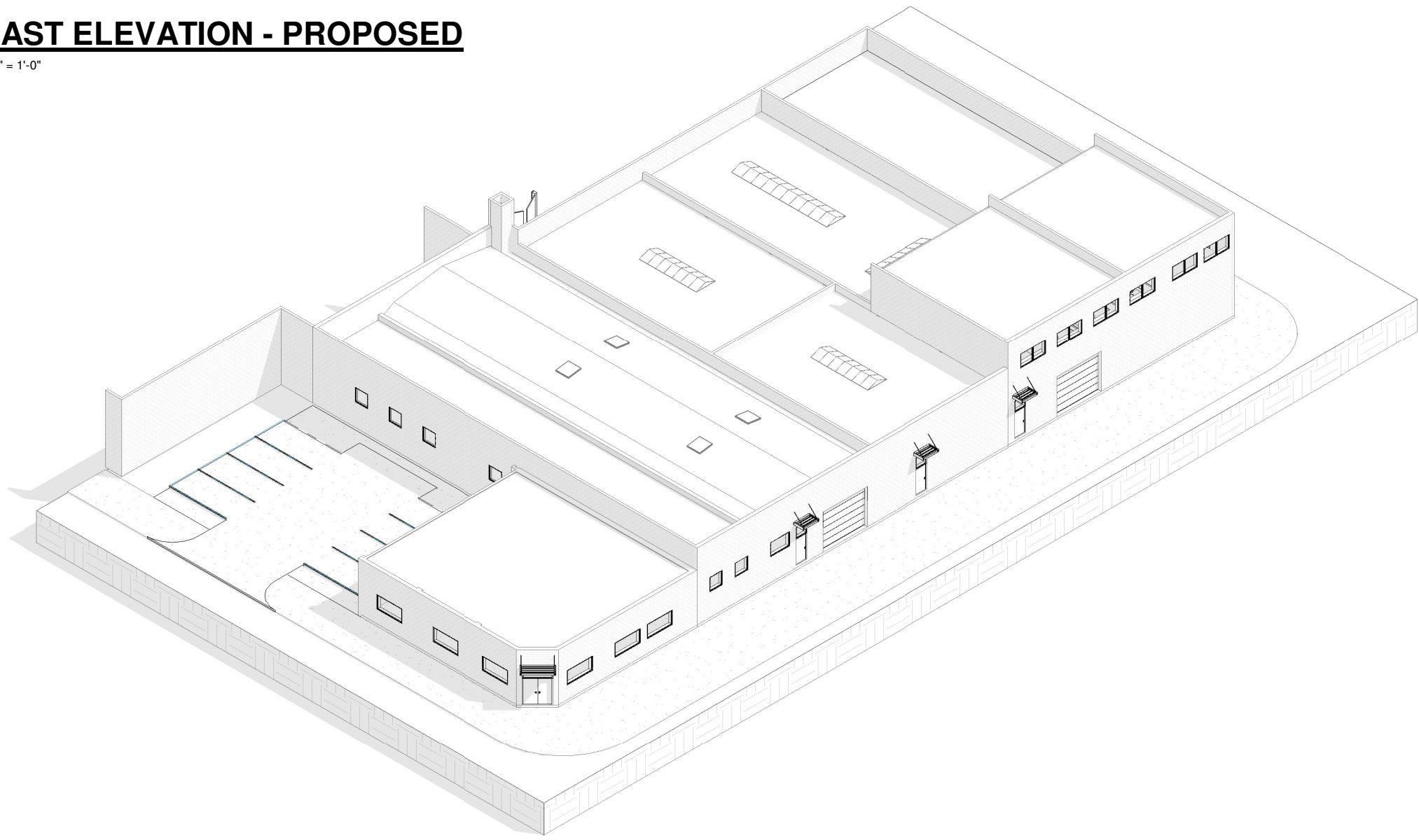
Keynote Legend	
Key Value	Keynote Text
1	PAINT EX. EXTERIOR MASONRY WALL, FINAL PAINT COLOR SELECTION BY OWNER
2	NEW THIN BRICK OVER EX. MASONRY, INSTALL PER STANDARD MFR. DETAILS, FINAL COLOR SELECTION BY OWNER
3	NEW RIBBED METAL CLADDING, INSTALL PER STANDARD MFR. DETAILS, FINAL COLOR SELECTION BY OWNER
4	NEW PRE-ENGINEERED METAL AWNING, INSTALL PER MFR. STANDARD DETAILS
5	NEW OVERHEAD GARAGE DOOR, INSTALL PER MFR. STANDARD DETAILS
6	NEW WINDOW, INSTALL PER MFR. STANDARD DETAILS
9	NEW DOOR, INSTALL PER MFR. STANDARD DETAILS



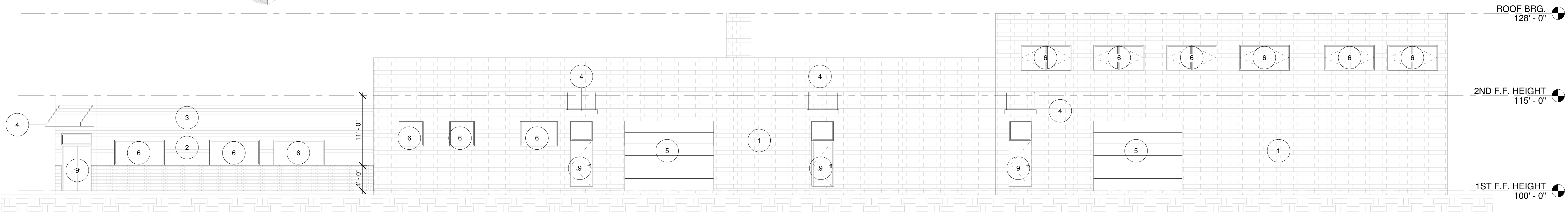
4 SOUTH ELEVATION - PROPOSED
1/8" = 1'-0"



3 EAST ELEVATION - PROPOSED
1/8" = 1'-0"



2 NORTH ELEVATION - PROPOSED
1/8" = 1'-0"



1 WEST ELEVATION - PROPOSED
1/8" = 1'-0"

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Revision Schedule

#	Description	Date

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FOREST & CRANE REDEVELOPMENT

PROJECT NUMBER: 220606
8800 E FOREST AVE
& 4360 CRANE ST
Detroit, MI 48214
ARTISAN CONTRACTING
SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

SHEET NUMBER

A-3.0

Lauren Hood, MCD
Chairperson
Donovan Smith
Vice Chair/Secretary

Marcell R. Todd, Jr.
Director

City of Detroit
CITY PLANNING COMMISSION
208 Coleman A. Young Municipal Center
Detroit, Michigan 48226
Phone: (313) 224-6225 Fax: (313) 224-4336
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Kenneth R. Daniels
David Esparza, AIA, LEED
Ritchie Harrison
Gwen Lewis
Melanie Markowicz
Frederick E. Russell, Jr.
Rachel M. Udabe

May 17, 2023

HONORABLE CITY COUNCIL

RE: Request of Shane Overbey to amend Article XVII, *Zoning District Maps*, Section 50-17-30, *District Map No. 28*, of the 2019 Detroit City Code, Chapter 50, *Zoning*, to show a B4 (General Business District) zoning classification where an R2 (Two-Family Residential District) zoning classification is currently shown (**ATTACHMENT**)

November 1 Community Meeting

On November 1, with assistance from the Department of Neighborhoods District 5 Manager and Eastside Community Network (ECN), the applicant presented their proposal to community members for feedback and discussion. Approximately 30 people attended this meeting, including leadership from two Crane Street block clubs. Additionally, ECN conducted their own community outreach on October 28 to contact residents in the area of Crane Street and East Forest Avenue to make them aware of the proposal. A key focus of this meeting was to make the applicant and attendees aware of the efforts of the Goodstock Detroit community development organization that operates in the area defined by Gratiot Avenue and I-94 to the north, St. Jean to the east, Mack Avenue to the south, and Van Dyke to the west. The boundary of this area includes the subject rezoning site. Goodstock Detroit was created by community leaders and ECN in 2015 and contains over two square miles that includes block clubs, neighborhood groups, faith-based organizations, and businesses. Goodstock Detroit's purpose is as follows from the ECN website:

"To build community capacity so that neighbors can target and plan for themselves and their neighborhood in a sustainable and achievable way. The purpose of this committee is to establish a resident-led anchor in the community to plan, drive equitable development, spur authentic collaboration with the city of Detroit in order to advocate for city services and prompt response time, and to effectively engage stakeholders toward the revitalization of the neighborhood."

After the applicant's presentation, attendees were invited to ask questions and engage the applicant in a discussion of the project. Some topics discussed were directly related to zoning and the rezoning process, while others were more focused on the applicant's proposal, business, and future desires should the redevelopment proposal be completed. On the following page is a summary of zoning-related and non-zoning comments. In general, attendees were in favor of the applicant's investment in the building and area and were supportive of his proposal.

Comments/Concerns (applicant's response is below each question)

- Would heavy machinery be stored on-site?
 - No
- How many employees would be on-site?
 - Subcontractor who would occupy part of the building currently has 10 employees but is looking to grow to up to 14.
- Hours of operation?
 - Normal hours of operation, 7am-4pm/8am-5pm
- Would the building be open to the public?
 - There would be no storefront for the contractor businesses, but other unidentified tenants could potentially have a storefront (likely along East Forest Avenue).
- Would there be noise or light pollution that could disturb neighbors?
 - General lighting would be provided for surrounding sidewalks, the masonry construction of the building should limit any noise from the interior.
- Are there any plans to redevelop the adjacent commercial buildings to the east?
 - No, these are owned by different entities. There is the hope that this redevelopment may spur these adjacent property owners to improve their vacant buildings.
- One block club president indicated their opposition to certain types of retail, including beer/wine stores or cannabis. (site appears to be within a drug free zone per BSEED maps)
- Could a commercial kitchen be provided for the community?
 - There are no plans for a commercial kitchen, but one may be feasible in the future.
- Where are contractor vehicles stored and what size vehicles are used?
 - Normal personal pickup trucks, maybe vans, are driven by employees, currently three to four pickup trucks but no more than five daily. No company vehicles.
- Are there environmental issues with the building?
 - Brownfield remediation will be needed due to the previous use, soil test have not been done yet but are scheduled.
- The Planning and Development Department, and Law Department, should coordinate on assisting in redevelopment/improvement of the adjacent vacant commercial buildings.
- Do clients visit the applicant's current contractor business location?
 - Yes, they may come to visit the office but the majority of meetings are on-site.
- How many employees of the applicant are from or currently live in Detroit?
 - Two employees do not currently live in Detroit but one is in the process of moving to Detroit. Subcontractor has about four to six employees that currently live in Detroit. The applicant currently lives in Detroit.
- How would the applicant become a part of the community?
 - Will coordinate with Goodstock on how this could be achieved.
- Would you be able to commit one tenant space for a Detroit small, black-owned business?
 - Desire that all tenants be based in Detroit, have spoken with a couple of subcontractors that would consider.
- Can the applicant guarantee to the community that they're committed to developing the property so that the building doesn't remain vacant or flipped to a different entity?
 - Committed to making the project happen.
- Is the applicant able to support any Detroit Public Schools near Crane and Forest?
 - Have had several suburban schools contact but would be interested in providing opportunities for local schools.
- Applaud the applicant for coming to the community.
- How much would be invested into the project?
 - The building is in rough shape, approximately \$1.4 to \$1.6 million.
- What is project timeline?

- Hoping to close on the property in early 2023, starting work late summer.
- Purchasing other surrounding property?
 - Yes, purchasing four (DLBA) lots behind the building (for parking).
- Could rain gardens/stormwater management be provided on the four lots for parking (or for the building)? Would like green infrastructure.
 - CPC staff will assist the applicant in coordinating the stormwater design of the parking area with P&DD as these are currently city-owned lots.
- Why did you choose this property for your investment?
 - Wanted to be on the east side and needed a certain size building, other buildings looked at were too large for business needs or capacity.



EASTSIDE
COMMUNITY
NETWORK



Learn how a potential development project will impact our community.

Zoning - Property Development - Community Impact

Good Stock Development Meeting

AT THE STOUDAMIRE
(light refreshments provided)



Community
Discussion

Calling all
residents
living near
4630 Crane St.

Tuesday
November 1

6:00 pm - 7:30pm
The Stoudamire,
4401 Conner St,
Detroit, MI 48215

Speakers:



Shane Overbey
Artisan Contracting, LLC

For more information, contact Savana Brewer at (313) 264-1413 or Letitia Russell at (313) 649-4577.