

City of Detroit

Alton James
Chairperson
Lauren Hood, MCD
Vice Chair/Secretary

Marcell R. Todd, Jr.
Director

CITY PLANNING COMMISSION
208 Coleman A. Young Municipal Center
Detroit, Michigan 48226
Phone: (313) 224-6225 Fax: (313) 224-4336
e-mail: cpc@detroitmi.gov

Brenda Goss Andrews
Damion W. Ellis
David Esparza, AIA, LEED
Gregory Pawlowski
Frederick E. Russell, Jr.
Angy Webb
Henry Williams

June 5, 2020

RE: HONORABLE CITY COUNCIL

RE: Request of Doug Quada to approve site plans and elevations for a Planned Development (PD) zoning classification on District Map No. 4 of Chapter 50, Article XVII of the 2019 Detroit City Code, for the Henry Glover mansion commonly referred to as 229 and 239 Edmund Place, to construct a carriage home with residential space and parking. Additionally to allow for green space on the site. (RECOMMEND APPROVAL)

BACKGROUND

In 2018, the request of Doug Quada was reviewed and approved to allow for the site plans and elevations of the Henry Glover mansion, commonly referred to as 229 Edmund Place. The property hosts a historic Victorian style mansion in the Brush Park Historic District.

The original approval of this request allowed for the structure to be rehabbed and an addition to the building to allow for two new units. In total the new mansion now allows for five market rate rental units. The units have two bedrooms at 1,400 square feet each. The rehab of the building also used materials that were salvaged and repurposed from the original building.

PROPOSAL & ANALYSIS

The current proposal is to construct a two-story carriage home and provide for green space at 229-239 Edmund Place. The plan is that the carriage home will house six individual parking stalls on the first story. The second story is planned to be an 1800 square foot residential unit.

When the original request for a rehabilitation and addition to the Henry Glover Mansion on this site was received, the petitioner desired to also build the proposed carriage home. At that time, the proposal did not meet the 1.5 floor area ratio and side setback requirements of zoning provisions set forth in the Brush Park Third Modified Development Plan and zoning ordinance.

Since then, the petitioner has acquired additional land from the City to the east, which consists of approximately 36.5 feet of the parcel commonly known as 239 Edmund Place. This additional land makes the proposal for the carriage home consistent with zoning requirements. Given the additional land that is in process to be combined with the parcel that the mansion sits on, the

proposal is in conformance with the F.A.R ratio, setback and all other the applicable zoning requirements, including the Sec. 50-11-15. PD Design Criteria.

Surrounding Zoning and Land Use

The zoning classification and land uses surrounding the subject area are as follows:

North: is zoned PD-H; Community park

East: is zoned PD-H; Vacant lots; historic mansions

South: is zoned PD-H; City Modern development

West: is zoned PD-H; vacant lot

Master Plan of Policies

Regarding the City of Detroit Master Plan of Policies (MP), the subject property is located in the Lower Woodward area of Neighborhood Cluster 4. The future land use designation for the subject parcels indicates Mixed Residential Commercial (MRC) on the subject parcel. This proposal is consistent with this designation.

COMMUNITY INPUT

The Brush Park CDC has submitted a letter of support (see attached) for the proposal after reviewing the plans of the developer. The developer has also informed the remaining neighbors on the subject block of the desired plans and has received support from immediate neighbors.

RECOMMENDATION

Based on the review of this proposal and it's consistency with the Brush Park Modified Development Plan, the Sec.50-11-15 PD Design criteria, and all other zoning ordinance provisions, CPC deems this proposal appropriate. Therefore, CPC recommends approval with the following two conditions:

1. The developer shall work with the immediately adjacent community to minimize disruption to the neighborhood during construction and address impacts that may arise.
2. The final site plans, elevations, lighting, landscape and signage plans be submitted by the developer to the staff of the City Planning Commission for review and approval prior to making application for applicable permits.

Respectfully submitted,
ALTON JAMES, CHAIRPERSON



Marcell R. Todd, Jr., Director
Kimani Jeffrey, City Planner

Attachments:
Letter
Plans
Resolution

Cc: Katy Trudeau, Deputy Director, PDD
Karen Gage, Director of Zoning Innovation, PDD
David Bell, Director, BSEED
Lawrence T. Garcia, Corp. Counsel
Arthur Jemison, Chief of Infrastructure and Services



By Council Member _____:

WHEREAS, Doug Quada has requested site plan review and approval of the preliminary site plans and elevations to construct a carriage home with residential space and parking, and to allow for green space on the subject site located on the north side of Edmund Place and John R. Street, more commonly known as 229 Edmund Place and more specifically known as Tax Parcel No. 01000717. Also, 239 Edmund Place more specifically known as Tax Parcel No. 01000718 and described as North Edmund Place, East, the West 36.5 feet of the East 40 feet of Lot 9 Block 7 BRUSH PARK SUBDIVISION of part of Park Lots 14 and 15 as recorded in Liber 2, Page 25 of PLATS, Wayne County Records 1/43 36.5 X 150; and

WHEREAS, the proposed development is located within an existing PD (Planned Development) District and consequently, subject to the provisions of Article III, Division 5, Section C; “Authority to Review and Approve Site Plans,” (Secs. 50-3-153 through 50-3-170) of the Detroit Zoning Ordinance; and

WHEREAS, the PD zoning district classification requires that site plans be reviewed and approved by the Detroit City Council following the receipt of a written report and recommendations from the City Planning Commission; and

WHEREAS, the rehabilitation and addition to the Henry Glover mansion was approved by the City Council in 2019, the developer is seeking approval for an additional carriage home on the property; and

WHEREAS, the Detroit City Council has reviewed the preliminary site plan and found the proposed development to be in agreement with the applicable Brush Park Rehabilitation Project Development Plan (Third Modification) dated July 10, 2002, which underpins the PD zoning district ;

NOW, THEREFORE, BE IT RESOLVED, that the Detroit City Council approves the preliminary site plans and elevations titled 229 Edmund Place dated December 17, 2019, described in the communication from the City Planning Commission, dated June 5, 2020.



234 Winder Street • Detroit, MI 48201 • www.BrushParkCDC.org • hello@BrushParkCDC.org

September 18, 2018

New Beginnings Land Development
Doug Quada
doug.quada@nblanddev.com

Re: Letter of Support for sale of 239 Edmund

Brush Park Community Development Corporation (the “CDC”) forwards this letter to indicate our support for the proposed sale of the vacant parcel located at 239 Edmund to support the development of the restoration of the dilapidated home at 229 Edmund (the “Project”).

The Project plan was presented before the CDC and the Brush Park community at a public meeting held on September 11, 2018. The developer explained that due to the property lines, the original design for the back portion of 229 Edmund was now a surface parking lot (rather than a covered garage). The developer also explained that with the purchase of 239 Edmund, the developer would be able to construct a covered garage and provide landscaped green space for the development. Community feedback was positive. Residents were particularly happy about not having a surface parking lot. There were questions about the location of the garage doors (where they would be facing), but also positive feedback on the design of the garage.

Much consideration was given to the Project by the CDC Board. By a vote of 8 in favor, 0 objections and 0 abstentions, the Board voted to support the Project.

We thank you again for your commitment to Brush Park and making a positive impact in our community.

Sincerely,

A handwritten signature in black ink, appearing to read "Karissa Holmes".

Karissa Holmes, Secretary

Cc: City of Detroit Planning & Development



▲ LOCATION PLAN

GENERAL NOTES

1. ANY MENTION OF "CONTRACTOR" INCLUDES THE GENERAL CONTRACTOR (GC), CONSTRUCTION MANAGER (CM) OR SUBCONTRACTORS AS THEY RELATE TO THE CONTRACTUAL DELIVERY METHOD AGREED TO BY THE OWNER AND INDIVIDUALS RESPONSIBLE FOR THE MANAGEMENT, COORDINATION, SUPERVISION, AND PHYSICAL CONSTRUCTION OF EITHER THE COMPLETE JOB (GENERAL CONTRACTOR / CONSTRUCTION MANAGER) AND/OR A SPECIFIC TRADE (SUBCONTRACTOR).
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE LOCAL JURISDICTION UNLESS OTHERWISE AGREED UPON. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL BUILDING PERMITS AS REQUIRED FOR WORK TO BE PERFORMED AND WILL OBTAIN AND PAY FOR ALL REQUIRED INSPECTIONS DURING THE COURSE OF THE WORK.
3. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL STAIR, ELEVATOR, AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
4. THE CONTRACTOR SHALL VISIT THE SITE BEFORE PROVIDING A PRICE AND BE AWARE OF EXISTING CONDITIONS TO THE EXTENT OF INFLUENCE OF THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.
6. DO NOT SCALE DRAWINGS FOR DIMENSIONS AND / OR SIZES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASURING EXISTING CONDITIONS PRIOR TO THE BEGINNING OF WORK, AND PERIODICALLY DURING PROGRESS OF WORK TO VERIFY ALL CRITICAL DIMENSIONS. ANY DEVIATIONS FROM DIMENSIONS INDICATED ON DRAWINGS ARE TO BE APPROVED BY ARCHITECT, PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR IS TO ALERT THE ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, EXISTING CONDITIONS, OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING A PRODUCT OR ITS USE PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL INFORMATION, CLARIFICATIONS AND / OR DIRECTIVES WILL BE ISSUED AS NECESSARY AND WILL BECOME PART OF THE CONTRACT DOCUMENTS. FOR THESE DISCREPANCIES NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT, IT WILL BE ASSUMED THAT THE CONTRACTOR HAS BID THE MORE EXPENSIVE METHOD OF CONSTRUCTION.
8. THE CONTRACTORS ARE TO VERIFY ALL CONDITIONS PRIOR TO THE BEGINNING OF CONSTRUCTION OF ANY TRADE. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR OBVIOUS FIELD CONDITIONS WHICH PROHIBIT THE WORK FROM BEING BUILT, AS SHOWN.
9. THE CONTRACTOR IS TO COORDINATE ALL CIVIL, ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND STRUCTURAL TRADES.
10. THE CONTRACTOR IS TO PRESERVE, TAKE CARE OF, AND COORDINATE WITH THE UTILITY COMPANIES AND SUB-CONTRACTORS.
11. SHOP DRAWINGS / SUBMITTALS / SAMPLES ARE TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH ALL ITEMS WHICH REQUIRE FABRICATION, AS DIRECTED AND APPROVED BY THE OWNER. ALL COLOR AND MATERIAL REVIEWS ARE TO BE MADE FROM ACTUAL SAMPLES, NOT FROM REPRODUCTIONS OR FROM NARRATIVE DESCRIPTIONS.
12. CHANGES IN THE WORK SHALL BE INITIATED THROUGH DOCUMENTS ISSUED BY THE ARCHITECT AS REQUESTED / APPROVED BY THE OWNER. THE CONTRACTOR SHALL NOT PROCEED WITH EXECUTION OF CHANGES WITHOUT WRITTEN APPROVAL FROM THE OWNER IN THE FORM OF AN APPROVED CHANGE ORDER NOTING CHANGES TO CONTRACT PRICE AND TIME.
13. THE STRUCTURE HAS BEEN DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS THE CONTRACTOR SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCING TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING, SHORING, SUPPORT, JOYS, OR TIE-DOWNS IF NECESSARY. MEANS AND METHODS ARE NOT INCLUDED WITHIN THESE DOCUMENTS.
14. ENSURE ALL FIRE AND LIFE SAFETY ITEMS THAT ARE EXISTING AND REQUIRED, REMAIN OPERATIONAL DURING CONSTRUCTION.
15. MAINTAIN ALL REQUIRED FIRE RATINGS / SEPARATIONS AS REQUIRED BY THE APPLICABLE BUILDING CODE AND RULES PER THE REGULATIONS OF THE LOCAL JURISDICTION.
16. EXECUTE FIRE WATCH AND PREVENTION PROCEDURES ON SITE DURING FIELD CUTTING AND WELDING OPERATIONS MEETING THE OWNER'S REQUIREMENTS.
17. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES. PROVIDE SIGNAGE TO DESIGNATE THE EXITS AND SEPARATION OF THE SPACES.
18. EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH EXISTING CONDITIONS NOT UNDERGOING ALTERATION ARE DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, ALL ADJACENTLY AFFECTED CONDITIONS MUST BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED TO THE SATISFACTION OF THE OWNER, ARCHITECT, ADJACENT PROPERTY OWNERS (IF APPLICABLE), AND THE LOCAL JURISDICTION.
19. ANY DAMAGE CAUSED BY NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
20. DEMOLITION OF ALL PORTIONS OF THE STRUCTURE TO BE REMOVED SHALL BE DONE WITH THE UTMOST CARE, USING TOOLS AND METHODS SUBJECT TO THE OWNER'S APPROVAL. ALL POSSIBLE CARE SHALL BE TAKEN TO AVOID DAMAGING, SHOCK, OR VIBRATION TO PORTIONS OF THE EXISTING STRUCTURE TO REMAIN.
21. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS TO BE REMOVED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
22. IF DEMOLITION OF AN EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY THE ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPED DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS.
23. REMOVE AND / OR RELOCATE ALL MECHANICAL, PLUMBING AND ELECTRICAL ITEMS INCLUDING PIPING, FIXTURES, EQUIPMENT, DUCTWORK, WIRING, DEVICES, PANELS, AND ACCESSORIES AS REQUIRED BACK TO THE POINT OF ORIGIN. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DOCUMENTS FOR FURTHER DIRECTION / DIRECTION PRIOR TO.
24. THE CONTRACTOR SHALL VERIFY THE EXISTENCE, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES INCLUDING EXISTING WATER, SEWERS / STORM MAINS, DRAINS, ELECTRICAL, AND GAS SERVICES, ETC., BEFORE PROCEEDING WITH THE WORK. ALL DISCREPANCIES SHALL BE DOCUMENTED AND REPORTED TO THE ARCHITECT.
25. REMOVE ALL MATERIALS AND DEBRIS CREATED DURING THE CONSTRUCTION PROCESS AND DISPOSE OFF-SITE IN A SAFE AND LEGAL MANNER.
26. CAP, PATCH, AND REPAIR ALL HOLES AND SURFACES IN WALLS, FLOORS, AND CEILINGS WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, OR PLUMBING ITEMS ARE

GENERAL NOTES

27. NEATLY SAW CUT AND REMOVE CONCRETE AS REQUIRED FOR PLACEMENT OF NEW INSTALLATIONS OR PER MEANS AND METHODS.
28. PREPARE ALL DEMOLITION AREAS FOR NEW FINISHES.
29. IF CONSTRUCTION IS UNDERTAKEN BY A GENERAL CONTRACTOR (GC) FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION AND ACCEPTANCE BY OWNER, THE GC SHALL ADJUST, REPAIR, OR REPLACE AT HIS/HER COST TO THE OWNER ANY ITEM OF EQUIPMENT, MATERIAL, OR WORKMANSHIP FOUND TO BE DEFECTIVE, WITHIN THE SCOPE OF THE CONTRACT.
30. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING NOT LESS THAN 2-A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE TENANT SPACE AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY 2015 MICHIGAN BUILDING CODE, NFPA 10 AND THE FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
31. PROVIDE EXIT SIGNS PER 2015 MICHIGAN BUILDING CODE WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS, AND ADDITIONAL SIGNS AS REQUIRED BY BUILDING DEPARTMENT INSPECTOR OR FIRE DEPARTMENT FIELD INSPECTOR. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS. COMPLY WITH BUILDING CODES. PROVIDE GREEN LETTERING.
32. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGN, COMPLYING WITH ICC 117.1 ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, EXIT PASSAGEWAY, EXIT DISCHARGE, OR OTHERWISE REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR OR BUILDING DEPARTMENT INSPECTOR.
33. PROVIDE EMERGENCY LIGHTING LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
34. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE. ALL NEW DOORS SHALL HAVE APPROVED LEVER HANDLES.
35. EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
36. INTERIOR WALL AND CEILING FINISHES FOR EXIT CORRIDORS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING PER SECTION 803, BASED UPON OCCUPANCY GROUP SPECIFIED IN TABLE 803.9 P. 199 OF THE 2015 MI BUILDING CODE.
37. DECORATIONS (PRIVATE CURTAINS, DRAPES, SHADES, HANGINGS, WALL COVERINGS, ETC.) SHALL CONFORM TO THE REQUIREMENTS OF SECTION 803 OF 2015 MICHIGAN BUILDING CODE.
38. WOOD BLOCKING SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

LEGEND

	CONCRETE MASONRY UNIT
	BRICK
	CONCRETE
	INSULATION (BATT, CELLULOSE, SPRAY-FOAM)
	RIGID INSULATION
	PLYWOOD
	METAL
	FINISHED WOOD
	WOOD (ROUGH CONTIN./JOINTS)
	WOOD (ROUGH NON-CONTINUOUS / BLOCKING)
	GLASS
	ALUM
	COLUMN LINE IDENTIFICATION
	PARTITION TYPE
	DEMOLITION KEYNOTE
	FOUNDATION KEYNOTE
	ARCHITECTURAL KEYNOTE
	ROOF KEYNOTE
	CEILING PLAN KEYNOTE
	STRUCTURAL KEYNOTE
	ELEVATION KEYNOTE
	VERTICAL HEIGHT ELEVATION
	WINDOW TYPES/SCHEDULE NUMBER
	DOOR TYPES/SCHEDULE NUMBER
	MATERIAL SPECIFICATION NUMBER
	REVISION NUMBER
	PLAN DETAIL TAG
	DETAIL NUMBER - SHEET NUMBER
	SECTION TAG
	SECTION NUMBER - SHEET NUMBER
	SHEET IDENTIFICATION NUMBER
	DISCIPLINE DESIGNATOR - ARCHITECTURAL SHEET
	SHEET SEQUENCE NUMBER - NUMBER IDENTIFYING EACH SHEET IN SET
	SHEET TYPE DESIGNATOR

PROJECT INFORMATION

PROJECT ADDRESS:
 229 EDMUND PLACE, DETROIT, MI 48201
PARCEL NUMBER: 01000717, 01000719-0
LEGAL DESCRIPTION:
 N EDMUND PL 10W 10FT OF 9BLK 7 BRUSH SUB L2 P25 PLATS, WCR 1/43 60 X 150
 NORTH EDMUND PLACE EAST, THE WEST 36.5 FEET OF THE EAST 40 FEET OF LOT 9 BLOCK 7 BRUSH PARK SUBDIVISION OF PART OF PARK LOTS 14 AND 15 AS RECORDED IN LIBER2, PAGE 25 OF PLATS, WAYNE COUNTY RECORDS 1/43 36.5 X 150
PROJECT DESCRIPTION:
 REHABILITATION OF AN EXISTING HISTORIC MULTI-FAMILY HOUSE INTO A RECONFIGURED MULTI-FAMILY RESIDENTIAL BUILDING- MRCEB.
 WITH AN ADDITION OFF THE REAR OF A DUPLEX RESIDENTIAL BUILDING - MRC.

APPLICABLE CODES:
 ALL WORK SHALL CONFORM TO APPLICABLE GOVERNING CODES, INCLUDING BUT NOT LIMITED TO:
 1. 2015 MICHIGAN RESIDENTIAL CODE - BUILDING ADDITION
 2. 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS - ALTERATION LEVEL 3. PERFORMANCE COMPLIANCE METHOD.
 3. 2015 MICHIGAN MECHANICAL CODE
 4. 2015 MICHIGAN PLUMBING CODE
 5. 2017 MICHIGAN ELECTRICAL CODE

ZONING DATA:
 A. ZONING DISTRICT: PD-H WITH OVERLAY H SEC. 25-2-76
 B. SITE AREA CALCULATIONS

0. EXISTING PARCEL SIZE
 a. 96.4' x 150'-0'
 b. 14,475 SQFT / 0.33 ACRE
1. LOT AREA COVERAGE - BY RIGHT
 a. SHALL BE APPROPRIATE TO THE NATURE OF THE PROJECT AND RELATE WELL TO SURROUNDING DEVELOPMENT (ZONING SEC. 61-11-14)
2. LOT AREA COVERAGE - EXISTING
 a. 1,975 SQFT OF INTACT STRUCTURE
 b. +/- 1,200 SQFT OF COLLAPSED STRUCTURE
 c. 2,975 SQFT / 9,000 SQFT = 33% COVERAGE
3. LOT AREA COVERAGE - PROPOSED
 a. 1,975 SQFT OF INTACT STRUCTURE
 b. 1,900 SQFT NEW ADDITION
 c. 4,575 SQFT / 14,475 SQFT = 32% COVERAGE

- BUILDING DATA:**
- A. CONSTRUCTION CLASSIFICATION:
 1. EXISTING STRUCTURE: TYPE III-B
 2. ADDITION: TYPE V-B
- B. STORIES ABOVE GRADE: 3 AND 2

- C. BUILDING AREAS
- EXISTING STRUCTURE (NO CHANGE)
 1. BASEMENT: 1794
 2. FIRST LEVEL: 1794
 3. SECOND LEVEL: 1794
 4. THIRD LEVEL: 1794
 TOTAL: 7174
- ADDITION
 1. BASEMENT: 1500
 2. FIRST LEVEL: 1500
 3. SECOND LEVEL: 1500
 4. THIRD LEVEL: 117
 TOTAL: 4,617

- E. ENERGY EFFICIENCY
 COMPLY WITH SECTION 1102 - 2015 MI RESIDENTIAL CODE
- | | |
|----------------------|-----------------------------------|
| 1. CLIMATE ZONE: SA | R-38 |
| a. CEILING: | R20 OR R13(CAVITY) + R5(HEATHING) |
| b. WOOD FRAMED WALL: | R13 / R17 |
| c. MASS WALL: | R20 OR FULL CAVITY, R19 MIN. |
| d. FLOOR: | R10/R13 |
| e. BASEMENT WALL: | R10 / 12" DEEP |
| f. SLAB: | R15 / R10 |
| g. CRAWL SPACE: | |

SIGNATURE BLOCK

NAME OF AUTHORIZED REPRESENTATIVE

(owner)

(Architect) Christian Hurttianne Architects, LLC

(General Contractor)

DRAWING LIST

- GENERAL SHEETS**
 G0-00 COVER SHEET
 C0-00 SITE AREA PLAN
 C1-00 SURVEY
 C1-01 SITE PLAN
- ARCHITECTURAL SHEETS**
 A1-11 ARCHITECTURAL PLANS
 A1-12 ARCHITECTURAL PLANS
- A2-00 EXTERIOR ELEVATIONS**
 A2-01 EXTERIOR ELEVATIONS
 A2-02 EXTERIOR ELEVATIONS

- LANDSCAPE SHEETS**
 LA1-00 LANDSCAPE PLAN
 LA2-01 EXTERIOR LANDSCAPE RENDERS
 LA2-02 EXTERIOR LANDSCAPE RENDERS

DRAWING ISSUE DATES

NO.	DESCRIPTION	DATE
1	HDC AND CDC REVIEW	02.09.18
2	CPC SUBMISSION	03.08.18
3	CPC SUBMISSION- REVISED	06.07.18
4	CPC/HDC SUBMISSION	12.17.19

ISSUED FOR:

- HDC AND CDC REVIEW
 CPC SUBMISSION
 CPC SUBMISSION - REVISED
 CPC/ HDC SUBMISSION

- 02.09.2018
 03.08.2018
 06.07.2018
 12.17.2019

229 EDMUND PLACE

229 EDMUND PLACE, DETROIT, MI 48201

Doug and Kathy Quada
 808 Chesterfield Ave.
 Birmingham, MI 48009

OWNER

Christian Hurttianne Architects, LLC

2111 Woodward Ave., Suite #201, Detroit, MI 48230
 313.825.2005 brian@cha-c.com

ARCHITECT

LM Engineering, LLC

2315 Dequindre Road, Madison Heights, MI 48071
 248.672.1895 Lawrence@LM-Engineering.net

STRUCTURAL

Systems Solution

4893 Rochester Road, Suite A, Troy, MI 48065
 313.221.9933 ssc@systemsolution.net

MEP



CONTRACTOR

PUBLIC ALLEY 20 FT. WD.

S60°00'00"W 60.04'(M)

S60°00'00"W 36.50'

BLOCK 7

BLOCK 7

POSSIBLE PROPOSED FUTURE DEVELOPMENT AREA

LOT 10

LOT 11

HOUSE RUINED

EXIT. HOUSE #229 (UNDERCONSTRUCTION)

W. 36.5 FT. OF THE E. 40 FT. OF LOT 9 (VACANT)

W. 10 FT. OF LOT 9

N30°00'00"W 149.86'(M)

N30°00'00"W 149.86'(M)

S30°00'00"E 149.86'(M)

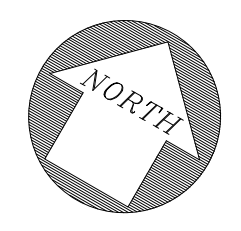
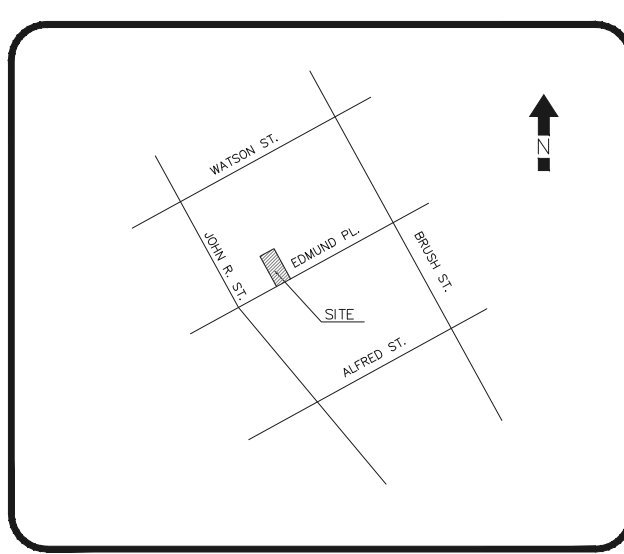
N60°00'00"E 50.04'(M)

N60°00'00"E 60.04'(M)

N60°00'00"E 36.50'

N60°00'00"E 410.32'(M)

EDMUND PLACE (60 FT. WD.)



LEGEND OF SYMBOLS & ABBREVIATIONS

- (M) FIELD MEASUREMENT
- (TYP.) TYPICAL
- EXIST. EXISTING
- CONC. CONCRETE
- R.O.W. RIGHT-OF-WAY
- FIP FOUND IRON PIPE
- FIR FOUND IRON ROD
- SIR SET IRON ROD
- BOUNDARY LINE
- OH OVERHEAD ELECTRIC LINES
- S SANITARY SEWER
- G GAS LINE
- W WATER LINE
- E UNDERGROUND ELECTRIC
- UTILITY POLE
- ⊙ STORM MANHOLE
- SQUARE CATCH BASIN
- GUY WIRE
- TREE
- CONCRETE SURFACE
- ASPHALT PAVEMENT

LEGAL DESCRIPTION: (AS PROVIDED BY CLIENT) PER WARRANTY DEED (G818610)

PARCELS OF LAND SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE, STATE OF MICHIGAN, KNOWN AND DESCRIBED AS FOLLOWS, TO WIT: LOT 10 AND THE WEST 10 FEET OF LOT 9, BLOCK 7, OF BRUSH SUBDIVISION, OF PART OF PARK LOTS 14 AND 15 AND PART OF BRUSH FARM ADJOINING, CITY OF DETROIT, WAYNE COUNTY, MICHIGAN, LIBER 2, PAGE 25 OF WAYNE COUNTY RECORDS.

COMMONLY KNOWN AS: 229 EDMUND PLACE, DETROIT WAYNE COUNTY, MI 48201

LEGAL DESCRIPTION: (PER QUIT CLAIM DEED L. 53946 P. 230)

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF DETROIT, COUNTY OF WAYNE AND STATE OF MICHIGAN, TO WIT: N EDMUND PL 10 W 10 FT OF 9 BLK 7 BRUSH SUB L. 2 P. 5 PLATS, WCR 1443 60 X 150.

COMMONLY KNOWN AS: 229 EDMUND PLACE, DETROIT WAYNE COUNTY, MI 48201

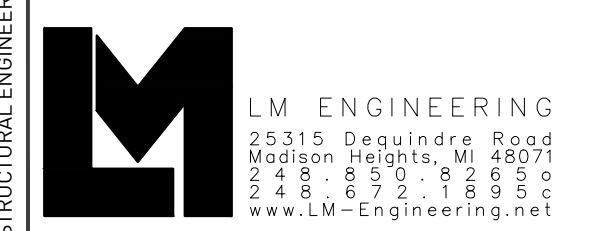
FLOOD HAZARD NOTE: THIS PROPERTY IS NOT LOCATED WITHIN THE FLOOD HAZARD AREAS AS INDICATED BY "FIRM" THE FLOOD INSURANCE RATE MAP, MAP NUMBER 26163C0285E, PANEL 285 OF 575 CITY OF DETROIT, WAYNE COUNTY, MICHIGAN. COMMUNITY: CITY OF DETROIT NUMBER: 260222 PANEL: 0285 SUFFIX: E EFFECTIVE DATE: FEBRUARY 02, 2012 AS PREPARED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FEDERAL EMERGENCY MANAGEMENT AGENCY.

UTILITY NOTES: ALL UTILITIES DEPICTED HEREON ARE FROM VISIBLE EVIDENCE. SURVEYOR DID NOT CONTACT SUBSURFACE UTILITY LOCATOR SERVICE. THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS, EXACTNESS OF LOCATION OR ACCURACY THEREOF. THE CONTRACTOR / OWNER SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION OR ANY SITE MODIFICATION.



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229 EDMUND PLACE 229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

DATE	DESCRIPTION
1. 02.09.18	CLIENT REVIEW
2. 02.15.18	HDC AND CDC REVIEW
3. 02.16.18	CPC SUBMISSION
4. 08.13.18	PERMIT SUBMISSION
5. 02.06.18	CDC REVIEW
6. 10.31.18	OWNER UPDATES
7. 12.17.19	CPC/HDC SUBMISSION



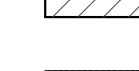
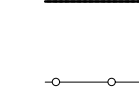


SURVEY

C1-00

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  PROPERTY LINE
-  PROPOSED NEW FENCE WITH GATES

ZONING PD-H NOTE

SEC. 61-11-14 INTENSITY AND DIMENSIONAL STANDARDS:
 LOT DIMENSIONS, SETBACKS, HEIGHT LIMITATIONS, LOT
 COVERAGE PERCENTAGES, AND FLOOR AREA RATIOS SHOULD BE
 APPROPRIATE TO THE NATURE OF THE PROJECT AND RELATE
 WELL TO SURROUNDING DEVELOPMENT.

CONTRACTOR'S NOTE

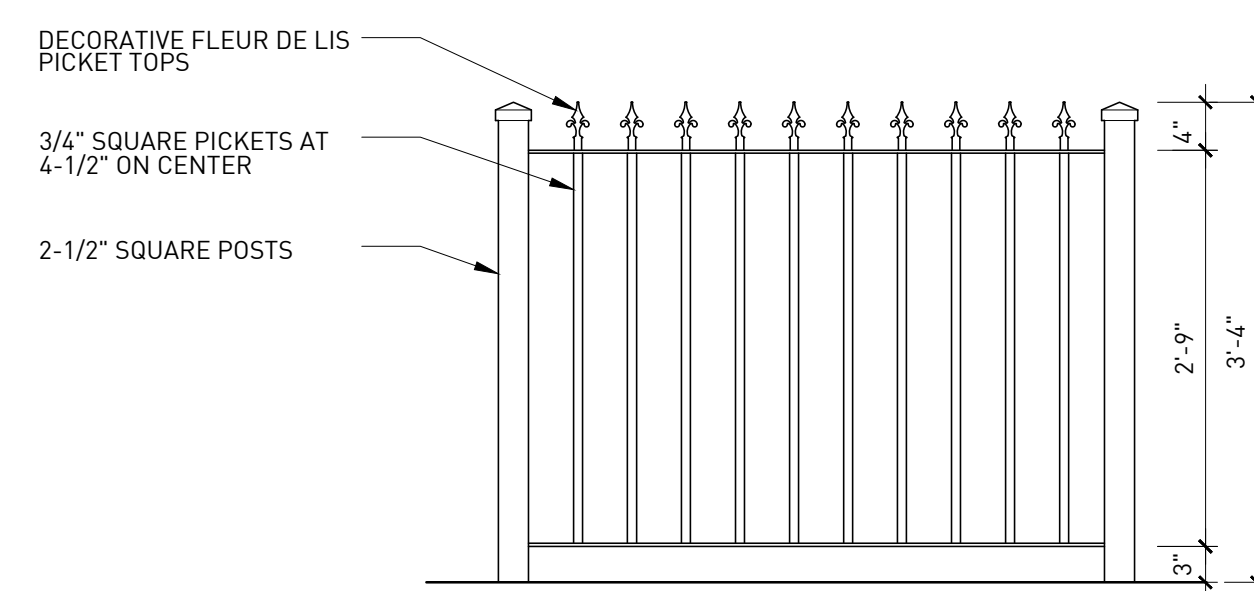
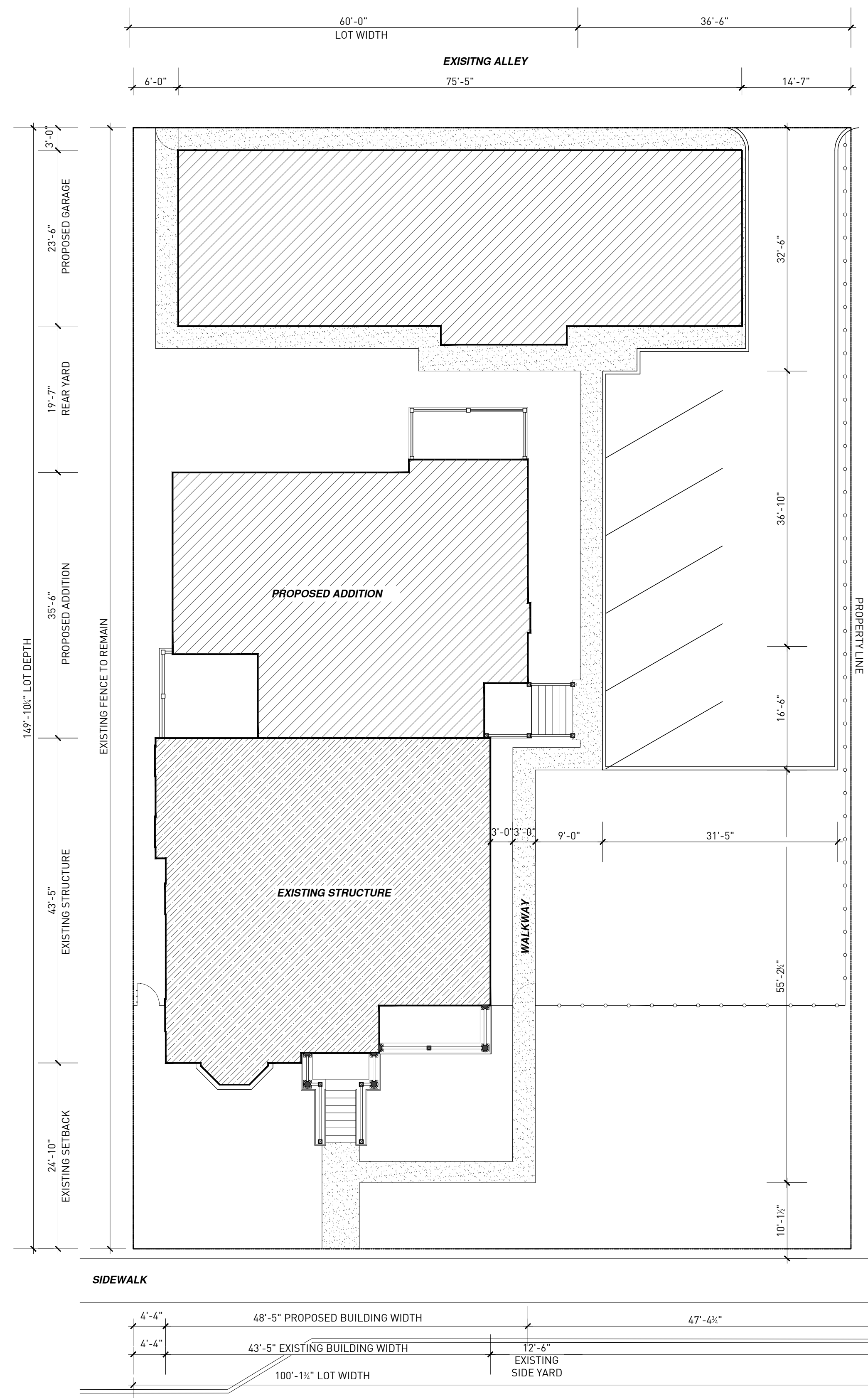
THE LOCATIONS OF
 EXISTING UNDERGROUND
 UTILITIES ARE SHOWN IN AN
 APPROXIMATE WAY. THE
 CONTRACTOR SHALL
 DETERMINE THE EXACT
 LOCATION OF ALL EXISTING
 UTILITIES BEFORE COMMENCING WORK.
 HE AGREES TO BE FULLY RESPONSIBLE FOR
 ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS
 FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL
 UNDERGROUND UTILITIES.

3 WORKING DAYS
**BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO
 ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS,
 SPECIFICATIONS, AND GUIDELINES
 FOR CONSTRUCTION.

GENERAL NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE STAKED-OUT BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF.
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE, AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
- EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



2 FENCE DETAIL

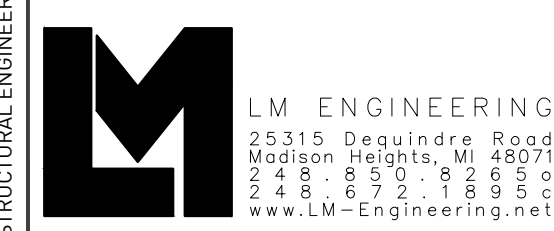
1 SITE PLAN

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

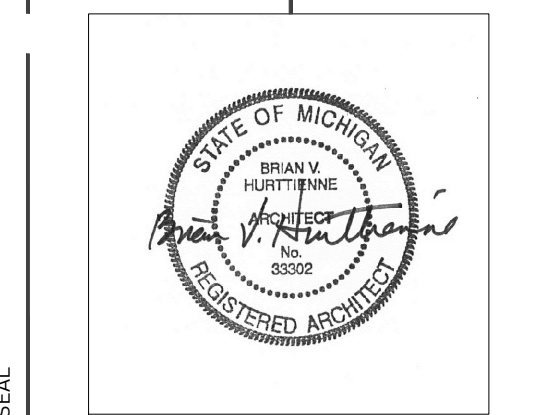
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SITE PLAN

C1-01

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SYSTEMS SOLUTION CONSULTANT
 4893 Rochester Road, Suite A, Troy
 MI 48068
 313.211.9933
 ssc@SystemsSolution.net

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW WALL CONSTRUCTION (WOOD FRAMED)
- NEW VENEER WALL CONSTRUCTION (BRICK/WOOD FRAMING)
- DEMISING LINE

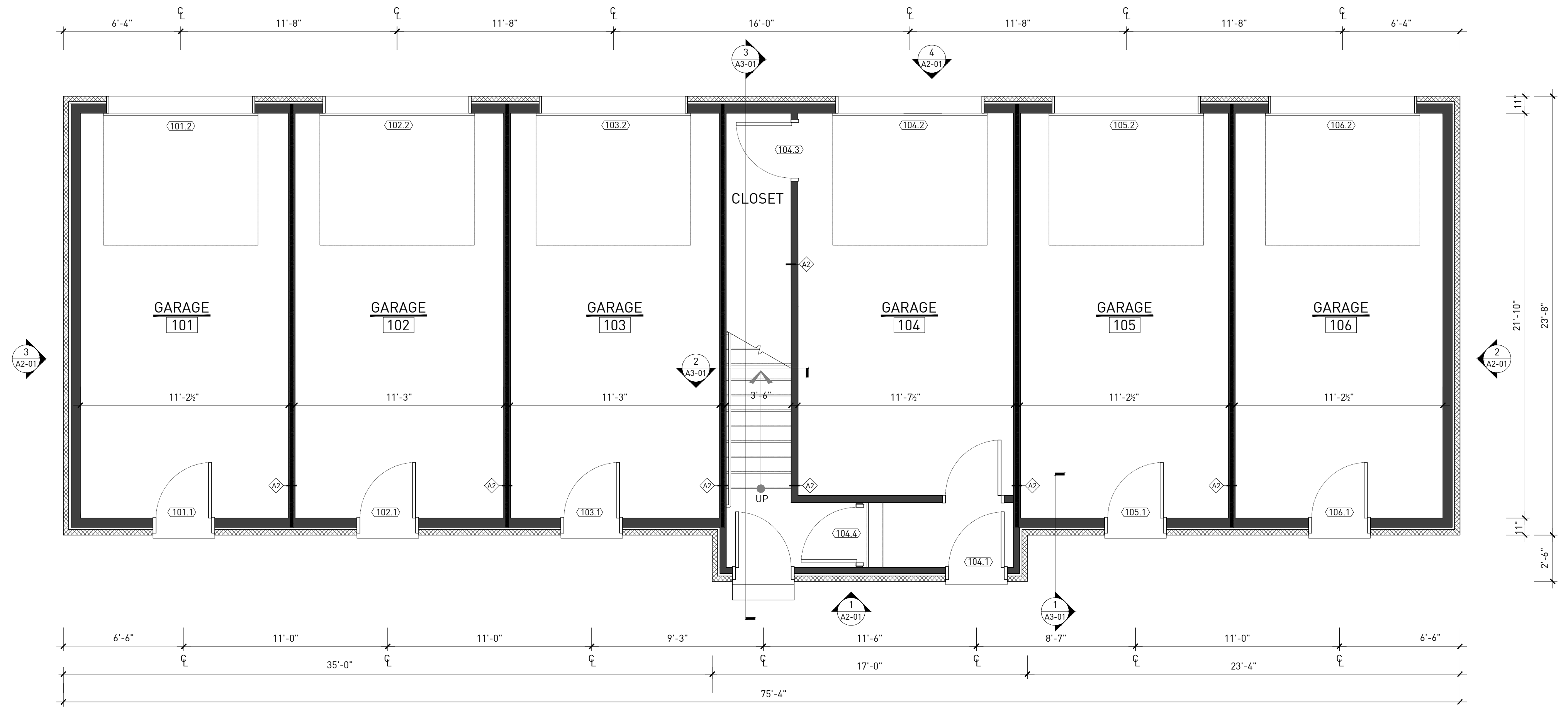
ARCHITECTURE GENERAL NOTES

1. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2. FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
3. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A 'COLD-ZONE', ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
4. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
5. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.

ARCHITECTURE PLAN KEY NOTES

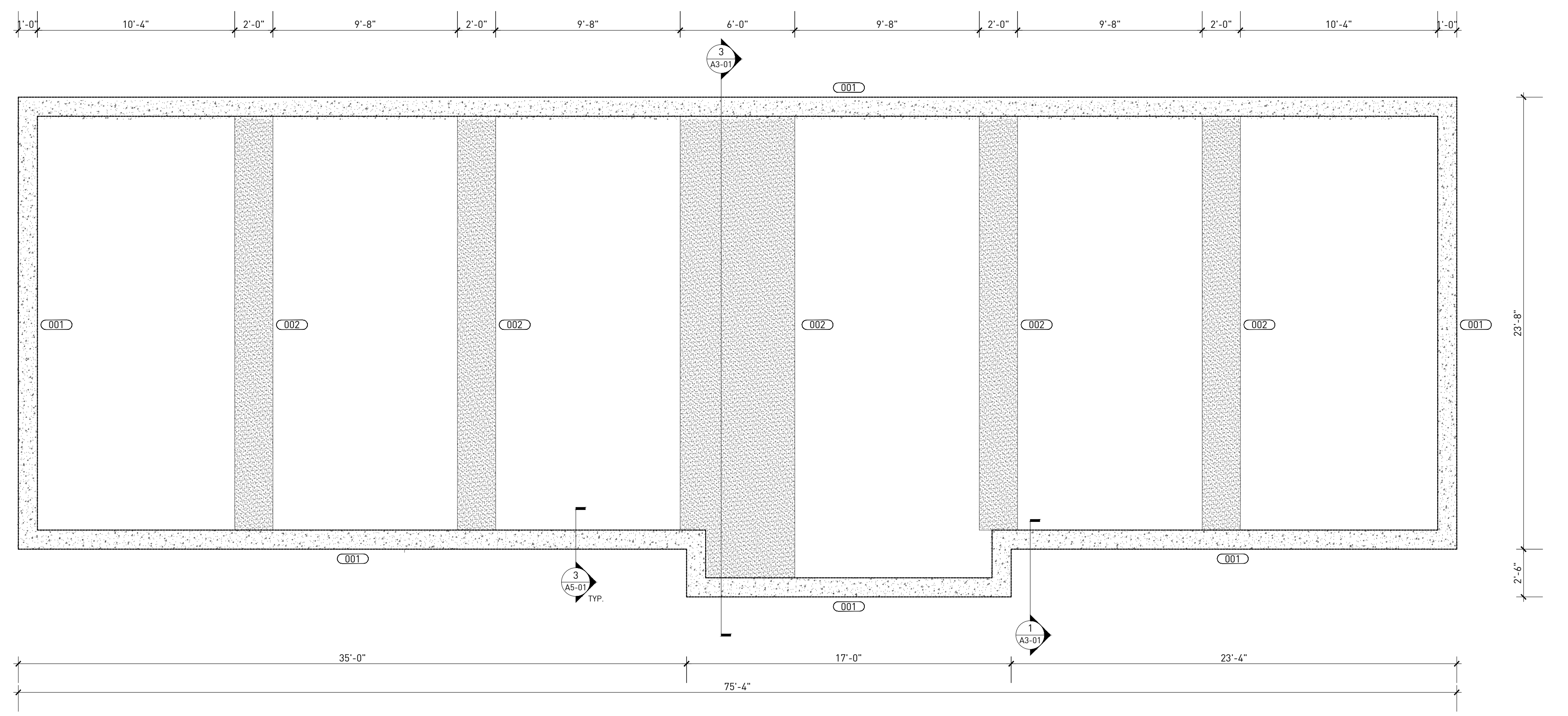
NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- (001)** 20" x 42" DEEP (MIN.) TRENCH FOOTING WITH (3) #5 TOP AND BOTTOM.
- (002)** 12" DEEP THICKENED SLAB WITH (3) #5 TOP AND BOTTOM. REFER TO DRAWING FOR WIDTH.



1 FIRST LEVEL ARCHITECTURE PLAN

SCALE: 1/4"=1'-0"



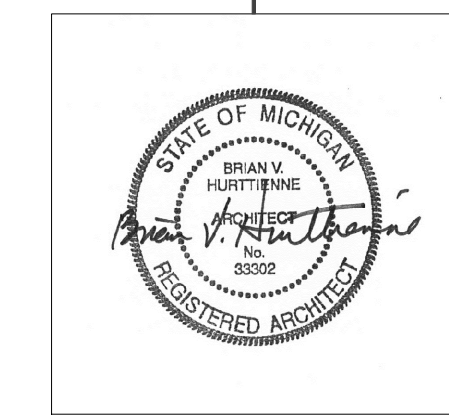
2 FOUNDATION PLAN

SCALE: 1/4"=1'-0"

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ARCHITECTURE PLANS

A1-11

DRAWING NO.

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www.LM-Engineering.net

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4893 Rochester Road, Suite A, Troy
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248.211.9933
scc@SystemsSolution.net

SYMBOLS

NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.

- NEW WALL CONSTRUCTION (WOOD FRAMED)
- NEW VENEER WALL CONSTRUCTION (BRICK/ WOOD FRAMING)
- DEMISING LINE

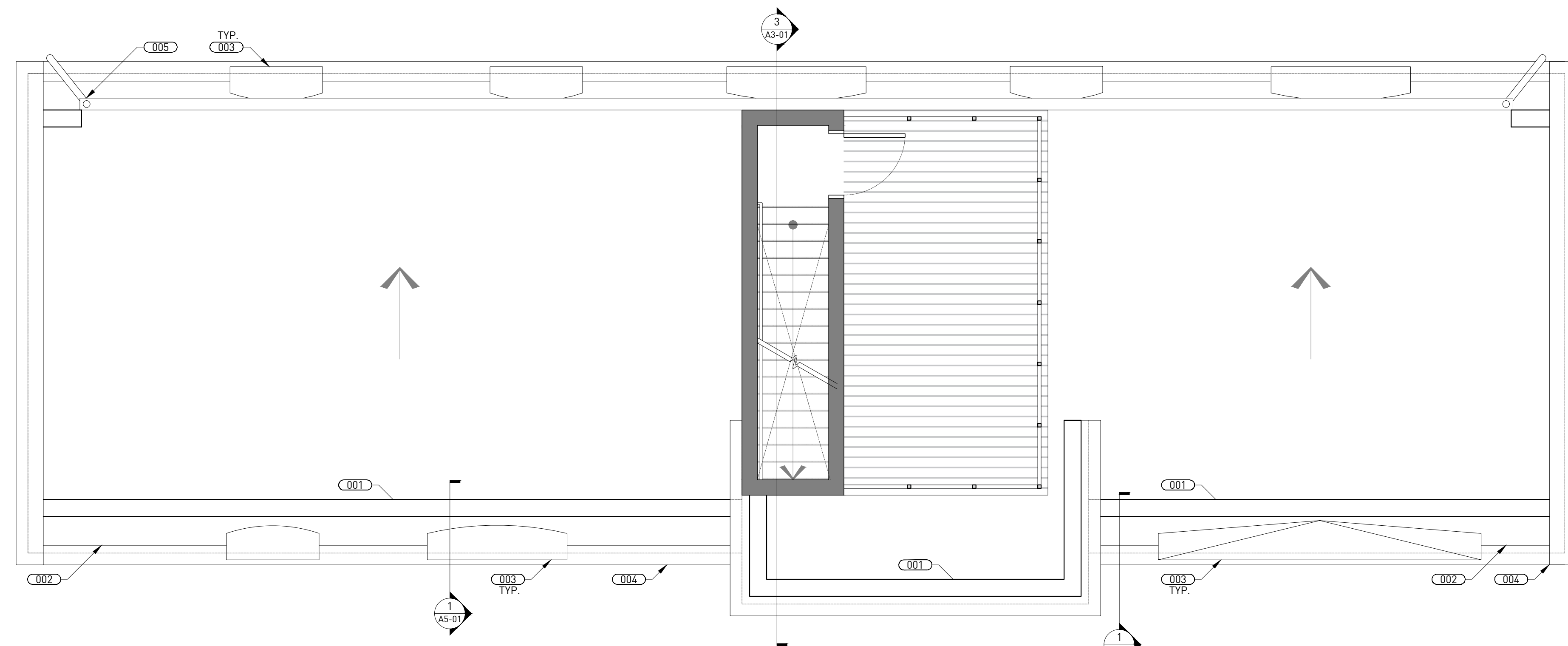
ARCHITECTURE GENERAL NOTES

1. ALL ASSEMBLIES ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
2. FIRE-SEAL / FIRE-CAULK SEALANT TO BE INSTALLED AT ALL INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
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5. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.

ARCHITECTURE PLAN KEY NOTES

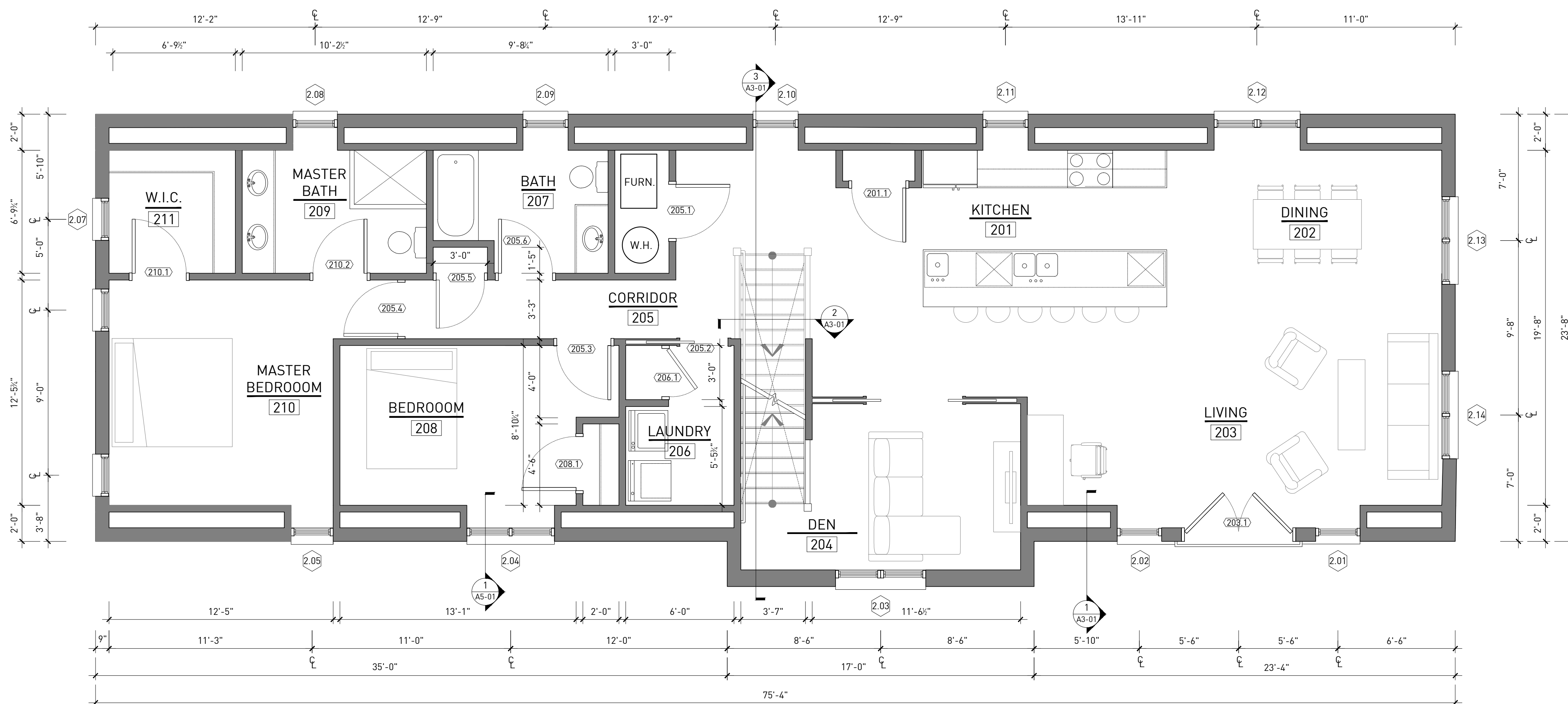
NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- PRESSURE SENSITIVE PARAPET CAP. REFER TO FINISH SCHEDULE AND SPECIFICATIONS FOR PAINT COLOR AND FINISH. SLOPE TO ROOF.
- GRAY-GREEN ROOF SLATE.
- ARCHED-ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM.
- PAINTED WOOD EAVE TRIM WITH ALUMINUM FLASHING.
- COPPER DOWNSPOUT AND GUTTER.



1 ROOF LEVEL ARCHITECTURE PLAN

SCALE: 1/4"=1'-0"



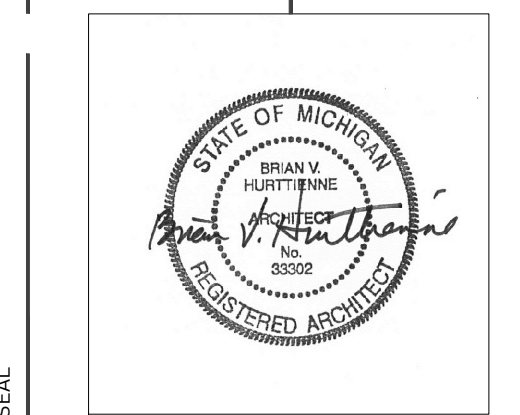
2 SECOND LEVEL ARCHITECTURE PLAN

SCALE: 1/4"=1'-0"

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ARCHITECTURE PLANS

A1-12

DRAWING NO.

SEAL

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

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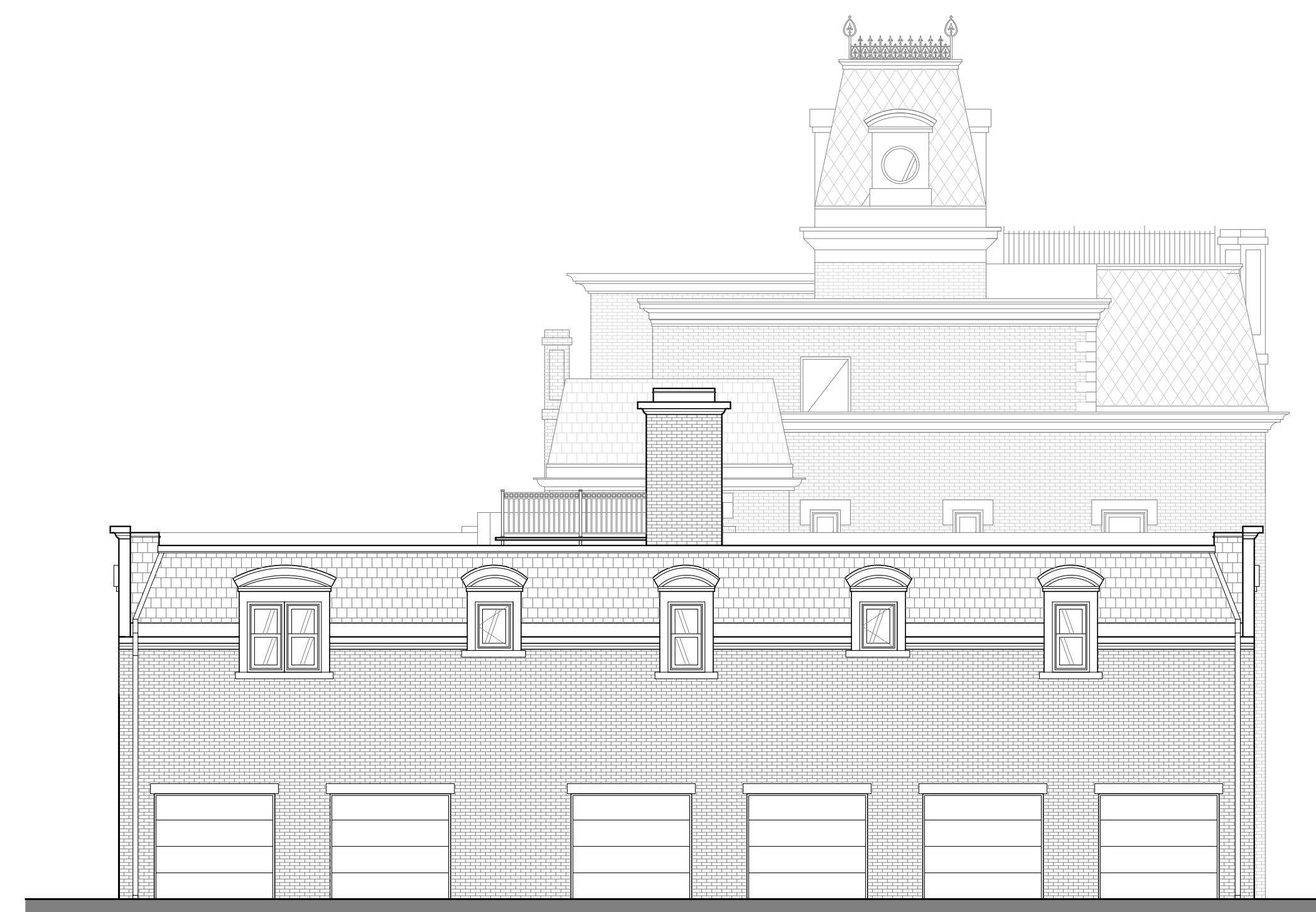
1 SOUTH FRONT ELEVATION

SCALE: 3/16"=1'-0"



2 EAST SIDE ELEVATION

SCALE: 3/16"=1'-0"



3 NORTH REAR ELEVATION

SCALE: 3/16"=1'-0"



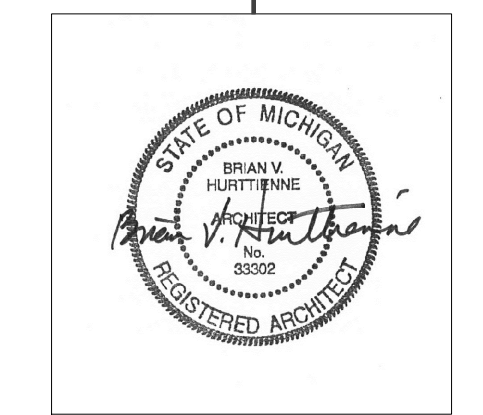
4 WEST SIDE ELEVATION

SCALE: 3/16"=1'-0"

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EXTERIOR ELEVATIONS

A2-00

DRAWING NO.

SEAL

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

HIGH ROOF PARAPET
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR
ELEV. 0'-0" (GRADE)

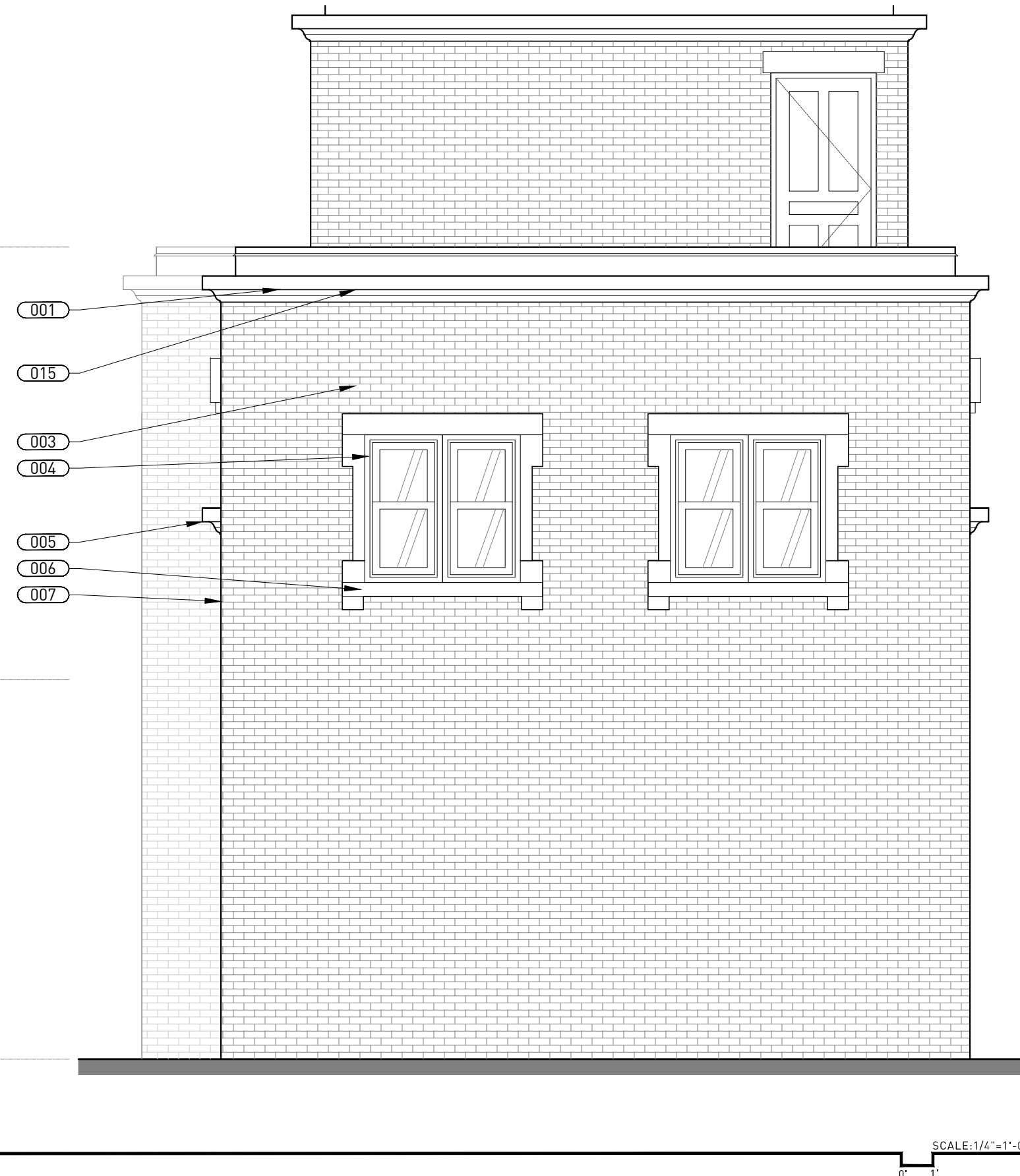


1 SOUTH ELEVATION

LOW ROOF PARAPET
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR
ELEV. 0'-0" (GRADE)



2 EAST ELEVATION

ELEVATION GENERAL NOTES

- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING (MASONRY OR OTHER) DIMENSIONS.
- ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS WITH ONE-PIECE INTEGRAL BRICK MOULD BY KELLY WINDOWS AND DOORS OF DETROIT MICHIGAN. SASH AND FRAME COLOR ARE TO BE BLACK, UNLESS OTHERWISE NOTED. REFER TO DOOR AND WINDOW SCHEDULES.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY, MATERIAL AND APPLICATION. REFER TO SPECIFICATIONS.
- ALL ENTRY DOORS ARE TO BE PAINT GRADE SOLID WOOD DOORS AND FRAMES, UNLESS OTHERWISE NOTED.
- ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE, COLOR SYSTEM B.
- NEW SLATE ROOF, GREY GREEN COLOR. HIPS ARE TO BE SLATE, VALLEYS AND FLASHINGS ARE TO BE COPPER. INSTALL OVER PROPER UNDERLAYMENTS PER MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A MINIMUM DISTANCE OF 24" BEYOND INTERIOR FACE OF FINISHED WALL UP ROOF SLOPE. ROOFING ASSEMBLY IS TO ACHIEVE A 30 YEAR WARRANTY.
- VENTILATE ROOFING ASSEMBLY PER CODE. VENTING IS TO OCCUR THROUGH EACH RAFTER CAVITY FROM VENTS LOCATED IN SOFFIT AND EXPULSED THROUGH VENT ASSEMBLY AT ROOF CURB THROUGH FULLY BARRILED RAFTER CAVITIES.

ELEVATION KEY NOTES

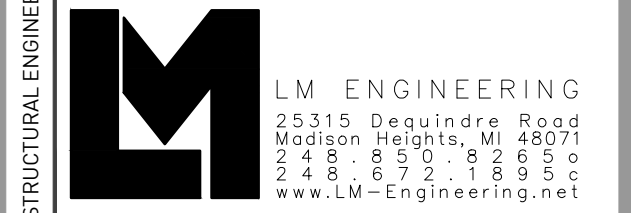
NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

- 001 ALUMINUM PARAPET CAP- LIMESTONE COLOR, OR TO MATCH SHINGLE COLOR.
- 002 GRAY-GREEN ROOF SLATE.
- 003 ARCHED-ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM.
- 004 ALUMINUM CLAD WOOD WINDOWS.
- 005 PAINTED WOOD EAVE TRIM WITH COPPER FLASHING.
- 006 CAST STONE SILL.
- 007 BRICK TO MATCH MAIN HOUSE IN COLOR AND DIMENSIONS.
- 008 CAST STONE DOOR HEADER.
- 009 CAST STONE WINDOW SURROUND.
- 010 COPPER DOWNSPOUT AND GUTTER.
- 011 WOOD TRIM AT GARAGE DOOR HEADER BEAM.
- 012 SECTIONAL GARAGE DOOR.
- 013 SHED ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM
- 014 CAST IRON GUARDRAIL BOLTED TO BRICK VENEER FACE
- 015 SYNTHETIC CORNICE MOLDING. PAINT.



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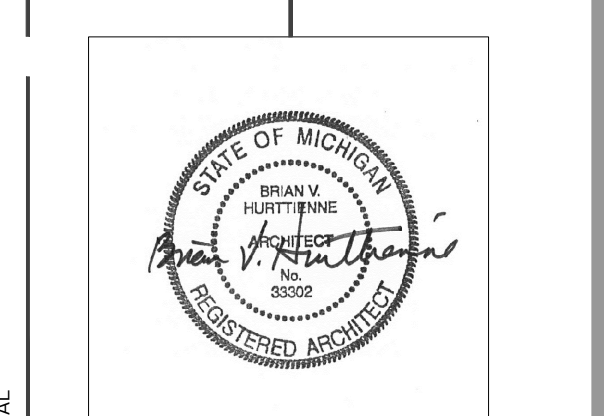


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3.	03.08.18	CPC SUBMISSION
4.	08.13.18	PERMIT SUBMISSION
5.	09.06.18	CDC REVIEW
6.	10.31.18	OWNER UPDATES
7.	12.17.19	CPC/HDC SUBMISSION



EXTERIOR ELEVATIONS

A2-01

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M LM ENGINEERING
 25315 Dequindre Road
 Madison Heights, MI 48071
 248.869.9218
 www.LM-Engineering.net

SYSTEMS SOLUTION CONSULTANT
 4893 Rochester Road, Suite A, Troy
 MI 48068-3113, 221-9933
 ssc@SystemsSolution.net

ELEVATION GENERAL NOTES

- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
- CONTRACTOR TO FIELD VERIFY ALL WINDOW AND DOOR OPENING (MASONRY OR OTHER) DIMENSIONS.
- ALL WINDOWS ARE TO BE ALUMINUM CLAD WOOD WINDOWS WITH ONE-PIECE INTEGRAL BRICK MOULD BY KELLY WINDOWS AND DOORS OF DETROIT MICHIGAN. SASH AND FRAME COLOR ARE TO BE BLACK, UNLESS OTHERWISE NOTED. REFER TO DOOR AND WINDOW SCHEDULES.
- PREPARE ALL WINDOW AND DOOR OPENINGS WITH CONTINUOUS FLEXIBLE FLASHING APPROPRIATE FOR THE ASSEMBLY, MATERIAL AND APPLICATION. REFER TO SPECIFICATIONS.
- ALL ENTRY DOORS ARE TO BE PAINT GRADE SOLID WOOD DOORS AND FRAMES, UNLESS OTHERWISE NOTED.
- ALL WOOD IS TO BE PAINT GRADE, PRIMED ON FOUR (4) SIDES AND RECEIVE NO LESS THAN TWO (2) COATS OF PAINT. CONTRACTOR IS TO PRIME ALL EXPOSED END-GRAIN PRIOR TO INSTALLATION. COLORS ARE TO BE SELECTED BY OWNER FROM THE DETROIT HISTORIC DISTRICT COLOR AND STYLE GUIDE, COLOR SYSTEM B.
- NEW SLATE ROOF, GREY GREEN COLOR. HIPS ARE TO BE SLATE, VALLEYS AND FLASHINGS ARE TO BE COPPER. INSTALL OVER PROPER UNDERLAYMENTS PER MANUFACTURER'S INSTALLATION AND WARRANTY REQUIREMENTS. PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A MINIMUM DISTANCE OF 24" BEYOND INTERIOR FACE OF FINISHED WALL UP ROOF SLOPE. ROOFING ASSEMBLY IS TO ACHIEVE A 30 YEAR WARRANTY.
- VENTILATE ROOFING ASSEMBLY PER CODE. VENTING IS TO OCCUR THROUGH EACH RAFTER CAVITY FROM VENTS LOCATED IN SOFFIT AND EXPULSED THROUGH VENT ASSEMBLY AT ROOF CURB THROUGH FULLY BARRILED RAFTER CAVITIES.

ELEVATION KEY NOTES

NOTE: SOME KEY NOTES MAY NOT BE APPLICABLE.

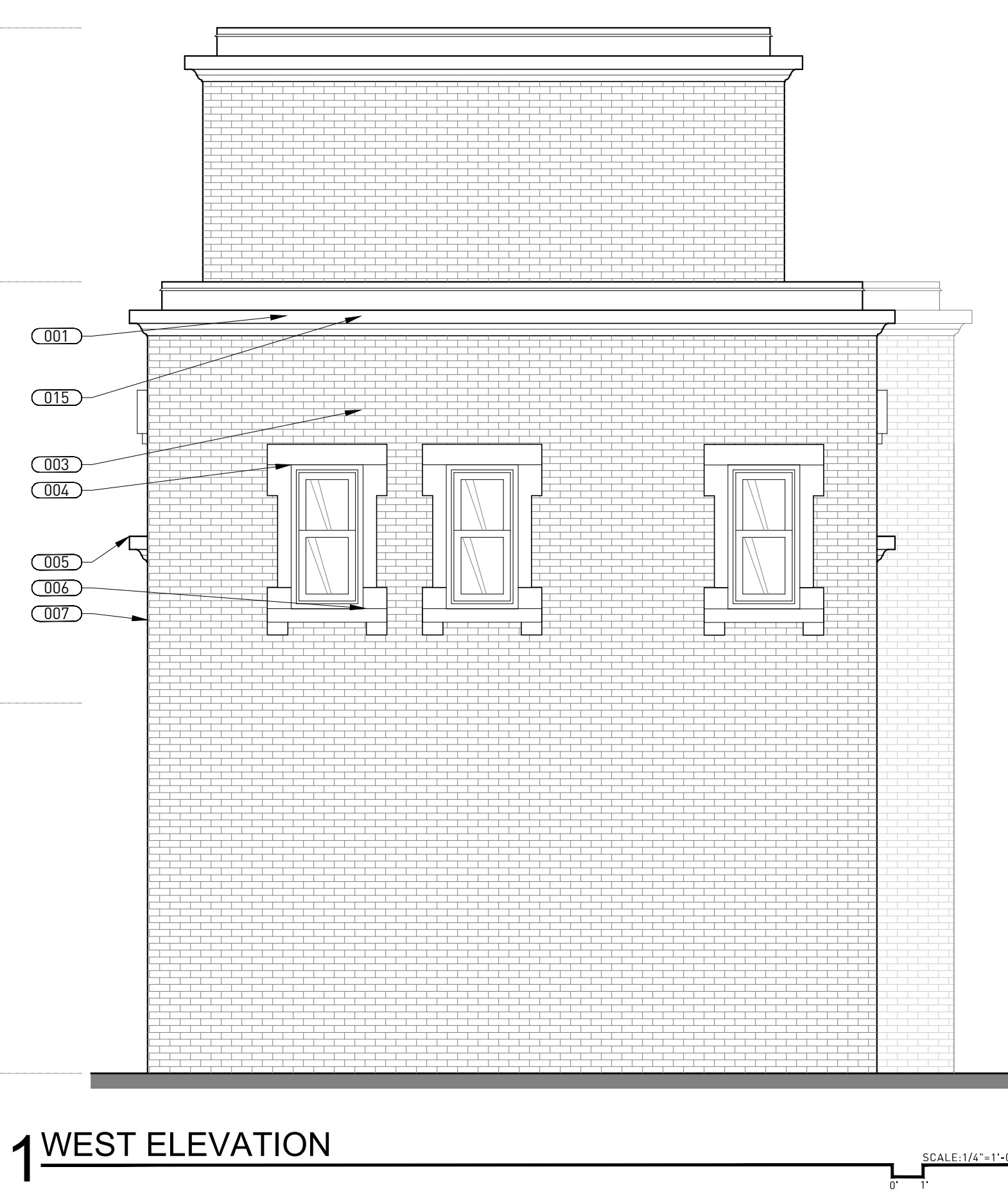
- 001 ALUMINUM PARAPET CAP- LIMESTONE COLOR, OR TO MATCH SHINGLE COLOR.
- 002 GRAY-GREEN ROOF SLATE.
- 003 ARCHED-ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM.
- 004 ALUMINUM CLAD WOOD WINDOWS.
- 005 PAINTED WOOD EAVE TRIM WITH COPPER FLASHING.
- 006 CAST STONE SILL.
- 007 BRICK TO MATCH MAIN HOUSE IN COLOR AND DIMENSIONS.
- 008 CAST STONE DOOR HEADER.
- 009 CAST STONE WINDOW SURROUND.
- 010 COPPER DOWNSPOUT AND GUTTER.
- 011 WOOD TRIM AT GARAGE DOOR HEADER BEAM.
- 012 SECTIONAL GARAGE DOOR.
- 013 SHED ROOF DORMER WITH COPPER ROOF AND FLASHING AND PAINTED WOOD TRIM
- 014 CAST IRON GUARDRAIL BOLTED TO BRICK VENEER FACE
- 015 SYNTHETIC CORNICE MOLDING. PAINT.

HIGH ROOF PARAPET
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR
ELEV. 0'-0" (GRADE)



1 WEST ELEVATION

HIGH ROOF PARAPET
ELEV. +33'-10" (ABOVE GRADE)

LOW ROOF PARAPET
ELEV. +25'-8" (ABOVE GRADE)

SECOND LEVEL
ELEV. +12'-0" (ABOVE GRADE)

FIRST FLOOR
ELEV. 0'-0" (GRADE)

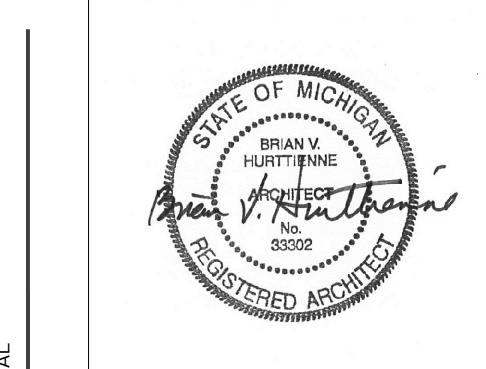


2 NORTH ELEVATION

229 EDMUND PLACE
 229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

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EXTERIOR ELEVATIONS

A2-02

DRAWING NO.

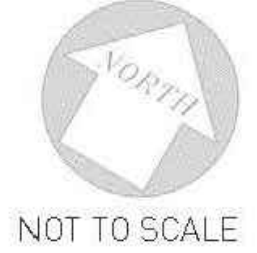
SEAL

CONTRACTOR NOTE

STRUCTURAL ENGINEER

MEP ENGINEER

229 EDMUND PLACE // SITE PLAN



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2111 WOODWARD AVE. #201 DETROIT, MI 48201
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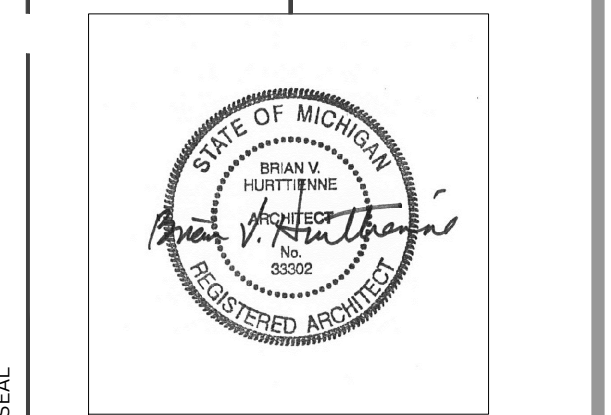
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25315 Dequindre Road
Madison Heights, MI 48071
248.859.2188
www.LM-Engineering.net

SS SYSTEMS SOLUTION
CONSULTANT
4893 Rochester Road, Suite A, Troy
MI 48065-1111, 221-9933
ssc@SystemsSolution.net

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229 EDMUND PLACE DETROIT, MI 48201

CPC/ HDC SUBMISSION

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LANDSCAPE PLAN

LA1-00

229 EDMUND PLACE //
STREET VIEW



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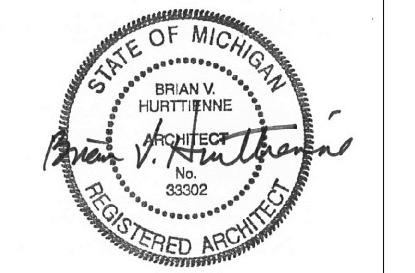
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M LM ENGINEERING
25315 Dequindre Road
Madison Heights, MI 48071
248.865.9211 865.9211
www.LM-Engineering.net

MEP ENGINEER
SS SYSTEMS SOLUTION
CONSULTANT
4893 Rochester Road, Suite A, Troy
MI 48068-1111 248.933.9333
ssc@SystemsSolution.net

229 EDMUND PLACE
229 EDMUND PLACE DETROIT, MI 48201

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LANDSCAPE
EXTERIOR
RENDERS

LA2-01

229 EDMUND PLACE //
AERIAL VIEW



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LM ENGINEERING
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Madison Heights, MI 48071
248.859.2828
www.LM-Engineering.net

MEP ENGINEER
SYSTEMS SOLUTION CONSULTANT
4893 Rochester Road, Suite A, Troy
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LANDSCAPE
EXTERIOR
RENDERS

LA2-02